

SUBDIVISION REVIEW SHEET

CASE NO.: C8-2019-0025.0A

ZAP DATE: Oct. 1, 2019

SUBDIVISION NAME: Bluff Plaza

AREA: 0.85 ac.

LOT(S): 1

OWNER: LDG Development, LLC (Frank Leist)

AGENT/APPLICANT: Steven Buffum, P.E. (Costello, Inc.)

ADDRESS OF SUBDIVISION: 4400 E. William Cannon Dr. **COUNTY:** Travis

WATERSHED: Williamson Creek

EXISTING ZONING: GR-MU-CO

PROPOSED LAND USE: Commercial

DEPARTMENT COMMENTS: The request is for the approval of Bluff Plaza Final Plat which will create one legal lot (Lot 1, Block A) for a commercial/retail building out of previously unplatted land.

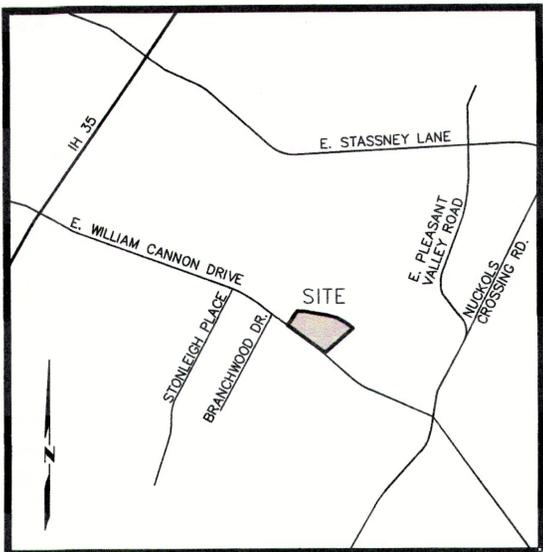
STAFF RECOMMENDATION: Staff recommends approval of this subdivision plat as it meets all applicable State and City of Austin LDC requirements.

ZONING AND PLATTING COMMISSION ACTION:

CASE MANAGER: Joey de la Garza

PHONE: 512-974-2664

EMAIL: joey.delagarza@austintexas.gov



VICINITY MAP (NOT TO SCALE)

LAND USE SUMMARY: BLUFF PLAZA

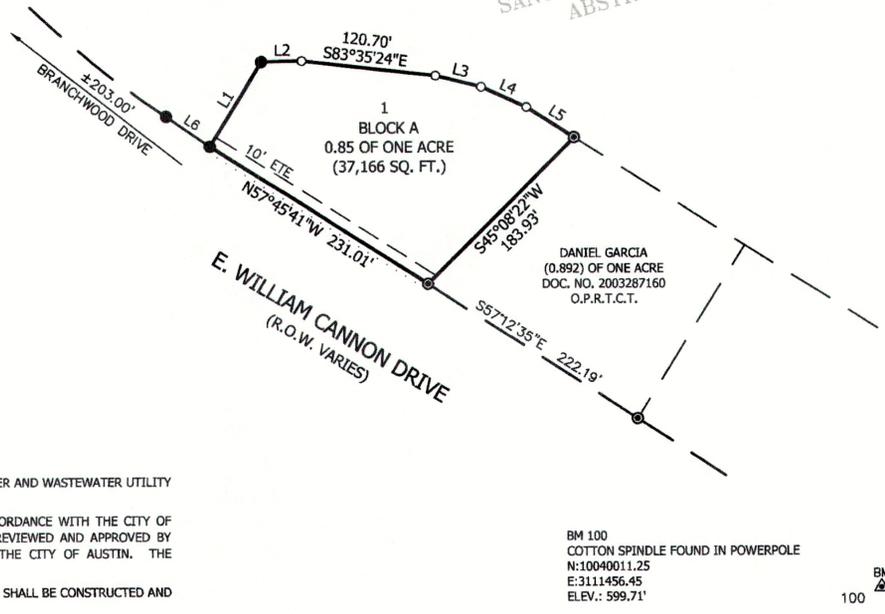
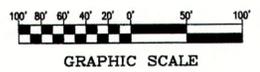
TOTAL ACREAGE:	0.85 OF ONE ACRE
STANDARD RESIDENTIAL LOTS:	1 LOT
DENSITY:	0.85 OF ONE ACRE (37,166 SQ. FT.)
NUMBER OF BLOCKS:	1 BLOCKS
TOTAL LOTS:	1 LOT
NO STREET DEDICATION	
SUBMITTAL DATE:	FEBRUARY 14, 2019
PREPARATION DATE:	AUGUST 8, 2018

Line Table

Line #	Direction	Length
L1	N31° 53' 34"E	88.46'
L2	N89° 50' 06"E	35.93'
L3	S75° 51' 02"E	41.72'
L4	S65° 47' 29"E	44.22'
L5	S57° 36' 02"E	50.19'
L6	N55° 34' 10"W	47.13'

LEGEND

- IRON REBAR FOUND (1/2", OR AS NOTED)
- ⊙ 1/2" REBAR WITH CAP FOUND (STAMPED "B&G SURVEYING)
- 1/2" REBAR WITH CAP STAMPED "LANDESIGN" SET
- △ CALCULATED POINT NOT SET
- P.R.T.C.T. OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS
- P.R.T.C.T. PLAT RECORDS OF TRAVIS COUNTY, TEXAS
- SIDEWALK
- E.T.E. ELECTRIC DISTRIBUTION, TELECOMMUNICATIONS AND FIBER EASEMENT



STATE OF TEXAS { COUNTY OF TRAVIS }

THAT LDG DEVELOPMENT, LLC, A KENTUCKY LIMITED LIABILITY COMPANY, ACTING BY AND THROUGH AS PRESIDENT OF LDG DEVELOPMENT, LLC, BEING THE OWNER OF THAT CERTAIN 0.864 ACRE TRACT OF LAND OUT OF THE SANTIAGO DEL VALLE GRANT ABSTRACT NO. 24, SITUATED IN TRAVIS COUNTY, TEXAS, AS CONVEYED BY DEED AS RECORDED IN DOCUMENT NO. 2016180923 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, DOES HEREBY SUBDIVIDE 0.85 OF ONE ACRE OF LAND IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT SHOWN HEREON, PURSUANT TO CHAPTER 212 OF THE TEXAS LOCAL GOVERNMENT CODE, TO BE KNOWN AS:

BLUFF PLAZA

AND DO HEREBY DEDICATE TO THE PUBLIC, THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

LDG DEVELOPMENT, LLC, A KENTUCKY LIMITED LIABILITY COMPANY

THE STATE OF TEXAS § COUNTY OF TRAVIS §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ___ DAY OF ___, 20___, BY ___ ON BEHALF OF SAID CORPORATION AND SAID PARTNERSHIP.

NOTARY PUBLIC - STATE OF TEXAS

STATE OF TEXAS { COUNTY OF TRAVIS }

I, STEVEN BUFFUM, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF TITLE 25 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE TRACT SHOWN HEREON DOES NOT APPEAR TO LIE WITHIN A DESIGNATED FLOODPLAIN ARE AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 48453C0595J, DATED JANUARY 6, 2016 FOR TRAVIS COUNTY, TEXAS.

Signature of Steven Buffum, 20190614 DATE. STEVEN BUFFUM, P.E. REGISTERED PROFESSIONAL ENGINEER NO. 115531 1016 LA POSADA DRIVE SUITE 288 AUSTIN, TEXAS 78752 TBPE REG. NO. F-280



STATE OF TEXAS { COUNTY OF TRAVIS }

I, TRAVIS S. TABOR, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING RELATED PORTIONS OF TITLE 25 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, AND WAS PREPARED FROM AN ACTUAL ON THE GROUND SURVEY OF THE PROPERTY MADE UNDER MY DIRECTION AND SUPERVISION.

Signature of Travis S. Tabor, 06/06/2019 DATE. TRAVIS S. TABOR, R.P.L.S. NO. 6428 LANDESIGN SERVICES, INC. 1220 MCNEIL ROAD SUITE 200 ROUND ROCK, TEXAS 78681 (512) 238-7901 FIRM REGISTRATION NO. 10001800



NOTES

- NO LOT SHALL BE OCCUPIED UNTIL THE STRUCTURE IS CONNECTED TO THE CITY OF AUSTIN WATER AND WASTEWATER UTILITY SYSTEM.
- THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY OF AUSTIN UTILITY DESIGN CRITERIA. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY AUSTIN WATER. ALL WATER AND WASTEWATER CONSTRUCTION MUST BE INSPECTED BY THE CITY OF AUSTIN. THE LANDOWNER MUST PAY THE CITY INSPECTION FEE WITH THE UTILITY CONSTRUCTION.
- ALL STREETS, DRAINAGE, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF AUSTIN STANDARDS.
- THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
- AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
- PUBLIC SIDEWALKS BUILT TO CITY OF AUSTIN STANDARDS ARE REQUIRED ALONG THE STREETS IN THIS SUBDIVISION AS SHOWN BY DOTTED LINES ON THE PLAN. EAST WILLIAM CANNON DRIVE. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOT BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONSTRUCTION BY THE GOVERNING BODY OR UTILITY COMPANY.
- THE OWNER / DEVELOPER OF THE SUBDIVISION / LOT SHALL PROVIDE THE ELECTRIC UTILITY (AUSTIN ENERGY) WITH EASEMENTS AND ACCESS REQUIRED FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRICAL FACILITIES TO SERVICE THIS PROPERTY.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
- ANY ELECTRIC UTILITY ACTIVITY INSIDE THE SUBDIVISION SHALL BE COVERED UNDER THE DEVELOPMENT PERMIT.
- ANY RELOCATION OF ELECTRIC FACILITIES SHALL BE AT LANDOWNER'S/DEVELOPER'S EXPENSE.
- PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF AUSTIN.
- LOT 1, BLOCK A WILL BE MAINTAINED BY THE OWNER OR HIS/HER ASSIGNS. NO RESIDENTIAL DEVELOPMENT SHALL BE ALLOWED ON THIS LOT. IF CONVEYED TO A PUBLIC ENTITY OR NEIGHBORHOOD ORGANIZATION, RECREATION FACILITIES AND REST AREAS MAY BE CONSTRUCTED.
- THE OWNER OF THIS SUBDIVISION AND THE OWNER'S SUCCESSORS AND ASSIGNS ARE RESPONSIBLE FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS THAT COMPLY WITH CITY OF AUSTIN REGULATIONS. THE OWNER UNDERSTANDS THAT PLAT VACATION OR REPLATTING MAY BE REQUIRED, AT THE OWNER'S EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH THE REGULATIONS.
- BY APPROVING THIS PLAT, THE CITY OF AUSTIN ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE LOTS IN THIS SUBDIVISION IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO CITY STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS, AND/OR CERTIFICATES OF OCCUPANCY.
- THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THE SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.

THIS PROJECT IS REFERENCED FOR ALL BEARING AND COORDINATE BASIS TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83 - 2011 ADJUSTMENT), CENTRAL ZONE (4203).

DISTANCES SHOWN HEREON ARE GRID VALUES REPRESENTED IN U.S. SURVEY FEET.

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 12B).

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR POLICY.

THIS SUBDIVISION PLAT IS LOCATED WITHIN THE FULL PURPOSE JURISDICTION OF THE CITY OF AUSTIN ON THIS THE ___ DAY OF ___, 20___.

APPROVED, ACCEPTED AND AUTHORIZED FOR RECORD BY THE DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT, CITY OF AUSTIN, COUNTY OF TRAVIS, THIS THE ___ DAY OF ___, 20___ A.D.

JOEY DE LA GARZA, FOR: DENISE LUCAS, ACTING DIRECTOR DEVELOPMENT SERVICES DEPARTMENT

ACCEPTED AND AUTHORIZED FOR RECORD BY THE ZONING & PLATTING COMMISSION OF THE CITY OF AUSTIN, TEXAS, THIS THE ___ DAY OF ___, 20___.

JOLENE KIOLBASSA, CHAIR

ANA AGUIRRE, SECRETARY

STATE OF TEXAS { COUNTY OF TRAVIS }

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, TEXAS DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ___ DAY OF ___, 20___, A.D. AT ___ O'CLOCK ___, M., DULY RECORDED ON THE ___ DAY OF ___, 20___, A.D. AT ___ O'CLOCK ___, M., OF SAID COUNTY AND STATE IN DOCUMENT NUMBER ___ OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS ___ DAY OF ___, 20___, A.D.

DANA DEBEAUVOIR, COUNTY CLERK TRAVIS COUNTY, TEXAS

DEPUTY

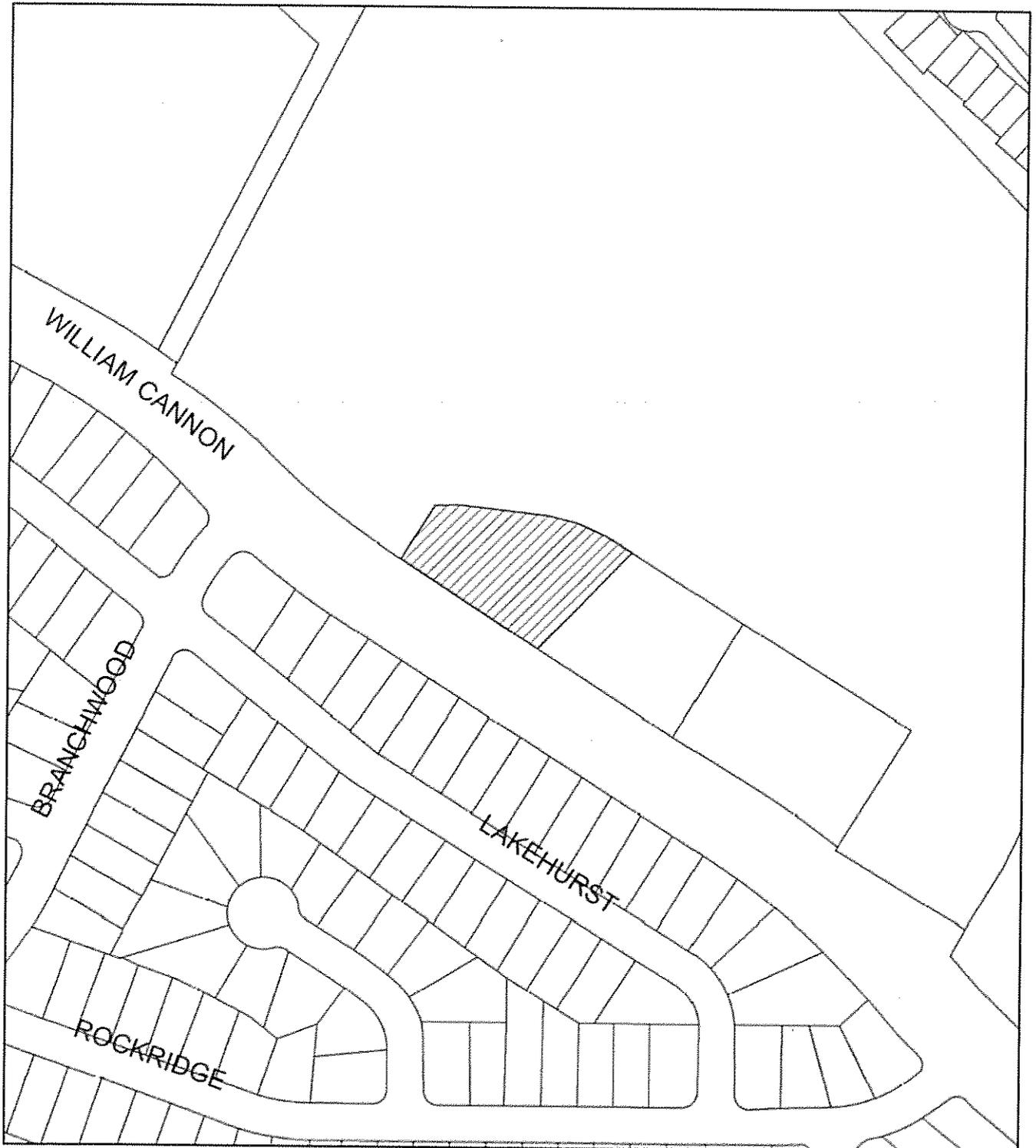
C8-2019-0025.OA

LANDESIGN SERVICES, INC. 1220 MCNEIL ROAD, SUITE 200 ROUND ROCK, TX 78681 TBL'S FIRM NO. 10001800 512-238-7901

BLUFF PLAZA FINAL PLAT

REVISIONS	DATE	DESCRIPTION
	05/13/19	REVISED PER COA COMMENTS

DRAWING NAME: BLUFF PLAZA PL SHEET 01 of 01



-  Subject Tract
-  Base Map

CASE#: C8-2019-0025.0A
LOCATION: 4400 E. William Cannon Drive



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference.