

809 MARIPOSA ADU

809 MARIPOSA DR. AUSTIN, TX 78704

HISTORIC REVIEW

09 JAN 2020



**DAVEY MCEATHRON
ARCHITECTURE**
6806 SYRACUSE CV. AUSTIN TX 78723
DAVEY@DAVEYMARCH.COM
512-599-0660

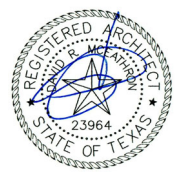
PROJECT NO:
DM190702

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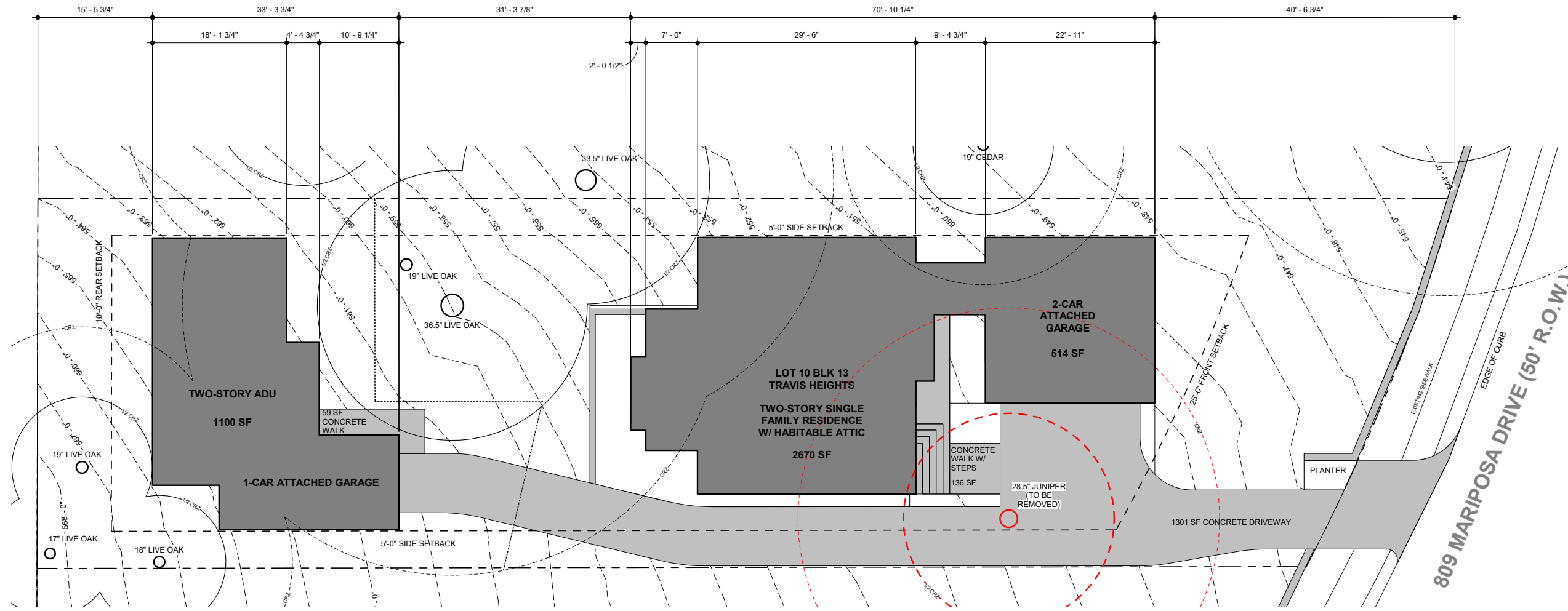


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REVISIONS		
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GENERAL NOTES - SITE PLAN

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- VERIFY EXISTING SITE CONDITIONS AND REPORT TO ARCHITECT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS PRIOR TO COMMENCING WORK.
- ALL NEW SIDEWALKS TO HAVE MAX 1/20 GRADE WITH CROSS SLOPE TO DRAIN AT 1/4" PER FOOT. SEAL CONCRETE AND PROVIDE A BROOM FINISH UNLESS OTHERWISE NOTED.
- CONTRACTOR TO TIE INTO EXISTING UTILITIES. SOME UTILITIES MAY REQUIRE UPGRADING. CONTRACTOR TO VERIFY. VERIFY METER & UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- CONTRACTOR TO UTILIZE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY CODE.
- PROVIDE TREE PROTECTION FOR ALL TREES NOT MARKED FOR REMOVAL.
- TREES TO BE REMOVED SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING
- SELECTIVELY CLEAR OR PRUNE ANY UNWANTED TREES OR THOSE IMPEDING CONSTRUCTION WITH CONSENT OF OWNER. COORDINATE REMOVAL AND DISPOSAL OF UNWANTED TREES AND OTHER LANDSCAPING MATERIALS WITH OWNER.
- PROVIDE NEW GUTTERS AND DOWNSPOUTS TO DRAIN ON SITE. DOWNSPOUTS TO DRAIN AWAY FROM BUILDING.
- ENSURE ALL GRADING SLOPES AWAY FROM BUILDING FOR AT LEAST 10'-0".
- CONTRACTOR TO STORE ALL NEW MATERIALS IN DRY AND SECURE LOCATION ON SITE.
- EXTERIOR HVAC EQUIPMENT SHALL BE SCREENED IN COMPLIANCE WITH ANY CITY OF AUSTIN REGULATIONS AND/OR LOCAL DEED RESTRICTIONS
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS & PATIOS
- EXISTING UTILITY LINE LOCATIONS ARE APPROXIMATED. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO CONSTRUCTION.



1 SITE PLAN COMPLETE
1/8" = 1'-0"

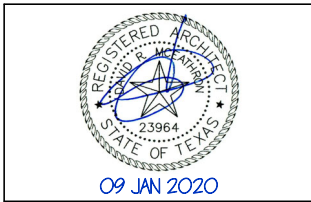
SITE PLAN LEGEND

(HB)	HOSE BIBB
(WM)	WATER METER
(EM)	ELECTRICAL METER
(GM)	GAS METER
(DT)	DISTRIBUTION TERMINAL
(E)	EXISTING ELEMENT
(MH)	MAN HOLE COVER
-----E-----	ELECTRICAL LINE
-----W-----	UNDERGROUND WATER
-----WW-----	UNDERGROUND WASTEWATER
-----G-----	UNDERGROUND GAS

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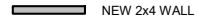
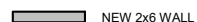
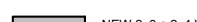
SITE PLAN

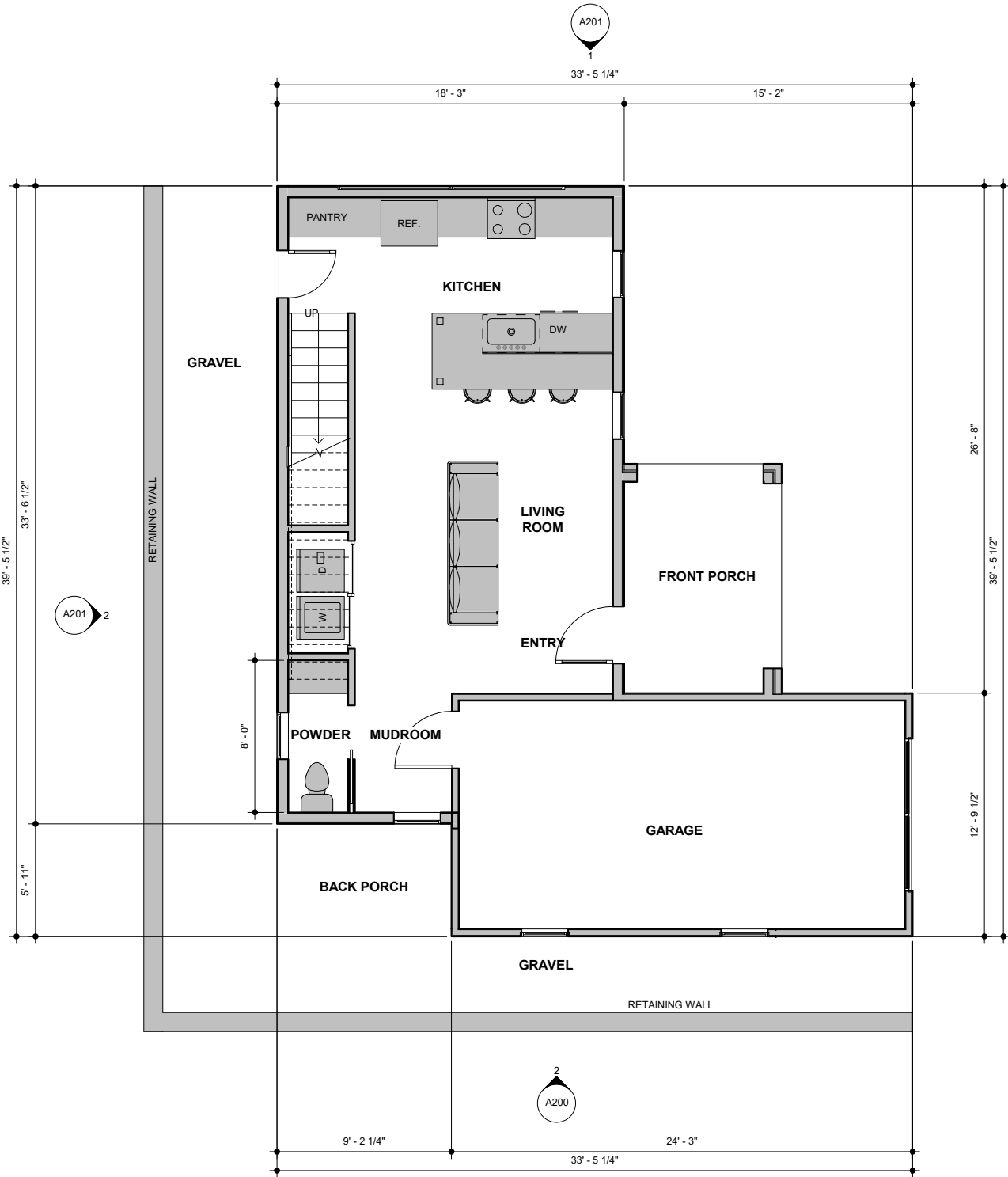
A100

GENERAL NOTES - FLOOR PLAN

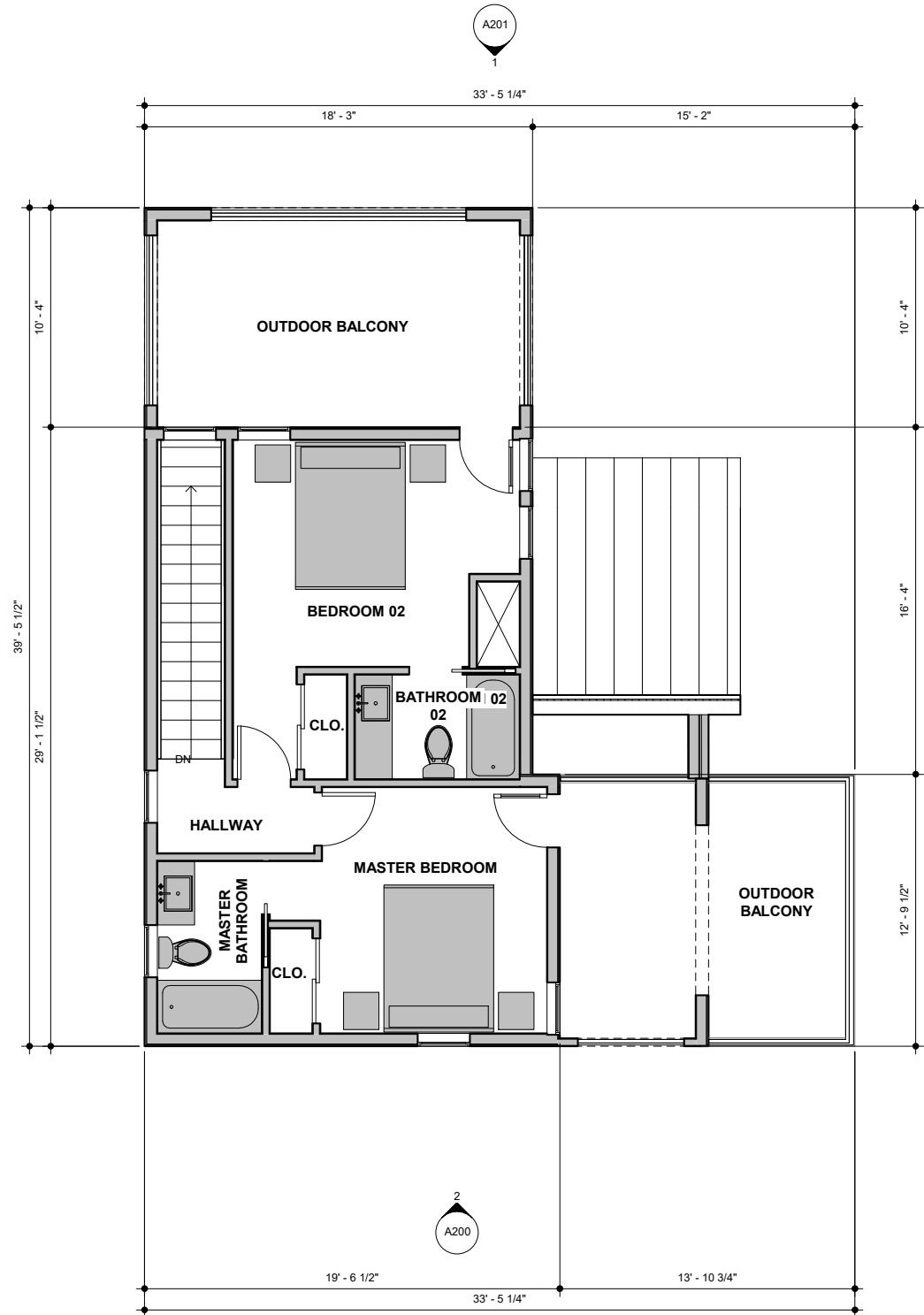
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FINISH FACE, UNLESS NOTED OTHERWISE.
- PROVIDE FIRE BLOCKING AT ALL PLUMBING OPENINGS.
- ALL INTERIOR WALL PARTITIONS TO BE 2X4 WOOD STUDS AT 16" O.C., EXCEPT PLUMBING WALLS AND POCKET DOOR WALLS, WHICH ARE TO BE 2X6 WOOD STUDS, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO BE 2X6 WOOD STUDS, UNLESS NOTED OTHERWISE.
- ALL NEW STAIRS, STEPS, AND RAILINGS TO MEET CURRENT CODES AT THE TIME OF CONSTRUCTION.
- CONTRACTOR SHALL HOOK UP ALL OWNER-PROVIDED APPLIANCES AND VERIFY THEY FUNCTION PROPERLY.
- ALL ELECTRICAL AND PLUMBING FIXTURES ARE TO BE INSTALLED PER CODE, INCLUDING LOCATION, OPERABLE COMPONENTS, AND TYPE.
- CONFIRM ALL PLUMBING CONNECTION LOCATIONS WITH ACTUAL FIXTURES.
- PROTECT WOOD AND WOOD-BASED PRODUCTS FROM DECAY AND TERMITES PER CODE.
- PROVIDE BLOCKING IN NEW WALLS BEHIND AND ADJACENT TO ALL TUBS AND TOILETS FOR FUTURE GRAB BAR INSTALLATION.
- SHOWER HEADS SHALL BE MOUNTED 7'-0" AFF UNLESS NOTED OTHERWISE.
- CABINET MATERIALS AND ADHESIVES TO HAVE NO ADDED UREA-FORMALDEHYDE. INTERIOR PAINTS TO BE LOW-VOC.
- FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR, THE DROP SHALL BE A MINIMUM OF 1/2", UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- NEW TOILET TO BE ULTRA-LOW-FLOW. NEW SINK AND SHOWER FAUCETS TO BE LOW-FLOW.

FLOOR PLAN LEGEND

-  NEW 2x4 WALL
-  NEW 2x6 WALL
-  NEW 2x6 + 2x4 WALL



1 ADU LEVEL 01
1/4" = 1'-0"

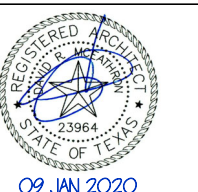


2 ADU LEVEL 02
1/4" = 1'-0"



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ADU - REFERENCE PLANS

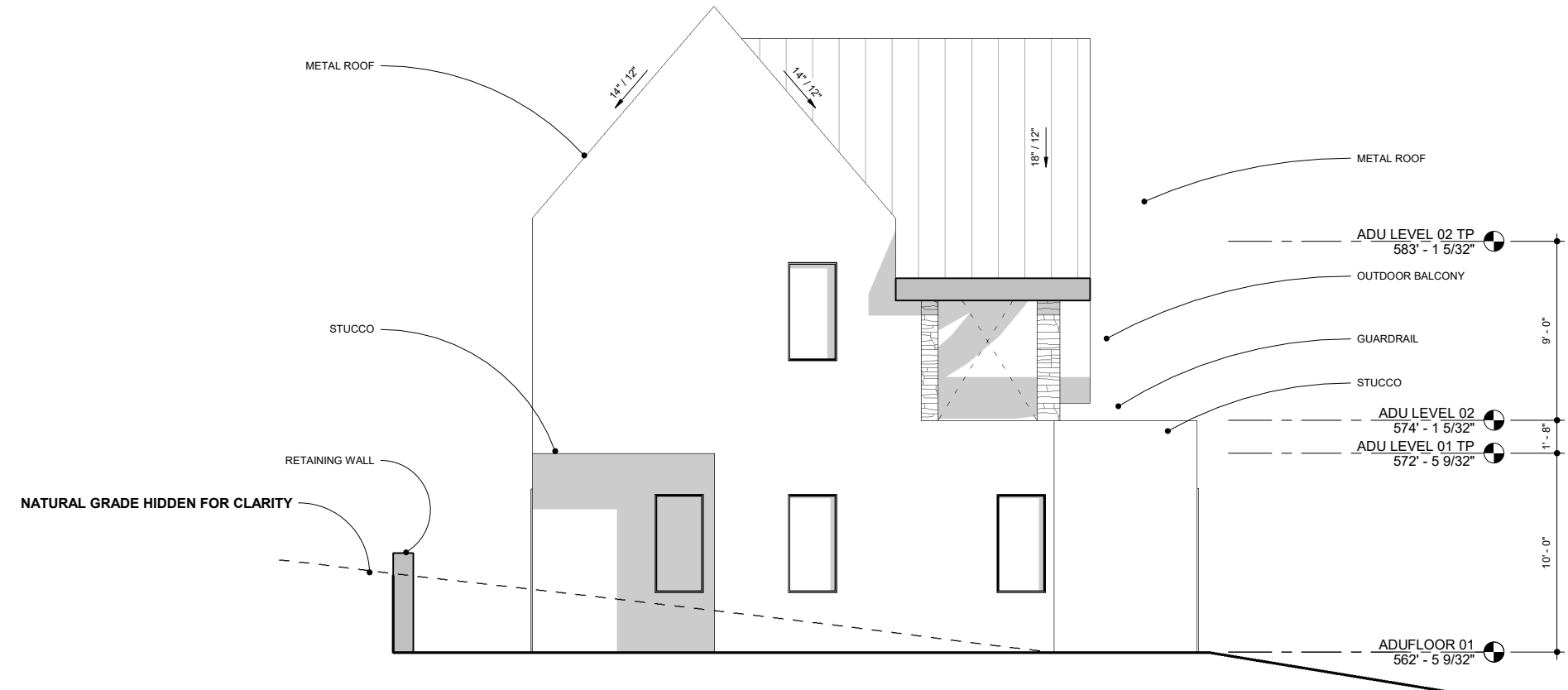
A110

GENERAL NOTES - EXTERIOR ELEVATIONS

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- ALL NEW STAIRS, STEPS, AND RAILINGS TO MEET CURRENT CODES AT THE TIME OF CONSTRUCTION.
- PROVIDE 2X6 BLOCKING AT 34" ABOVE FINISH FLOOR IN ALL BATHROOM FOR FUTURE GRAB BAR INSTALLATION, EXCEPT BEHIND VANITIES.
- PROVIDE 2X6 BLOCKING AT 34" ABOVE FINISH FLOOR BEHIND ALL FLOATING VANITIES. SEE BATHROOM ELEVATIONS FOR CONFIRMATION OF VANITY TYPE.
- FRAME FOR ALL SHOWER BENCHES AS NOTED IN BATHROOM ELEVATIONS.
- OVERSIZE NICHE BY 2" DURING FRAMING TO ALLOW TILE INSTALLER TO CUSTOMIZE NICHE TO TILE DIMENSIONS



1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

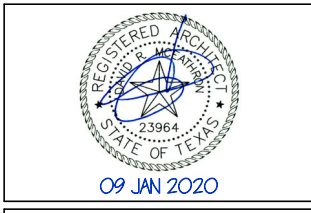
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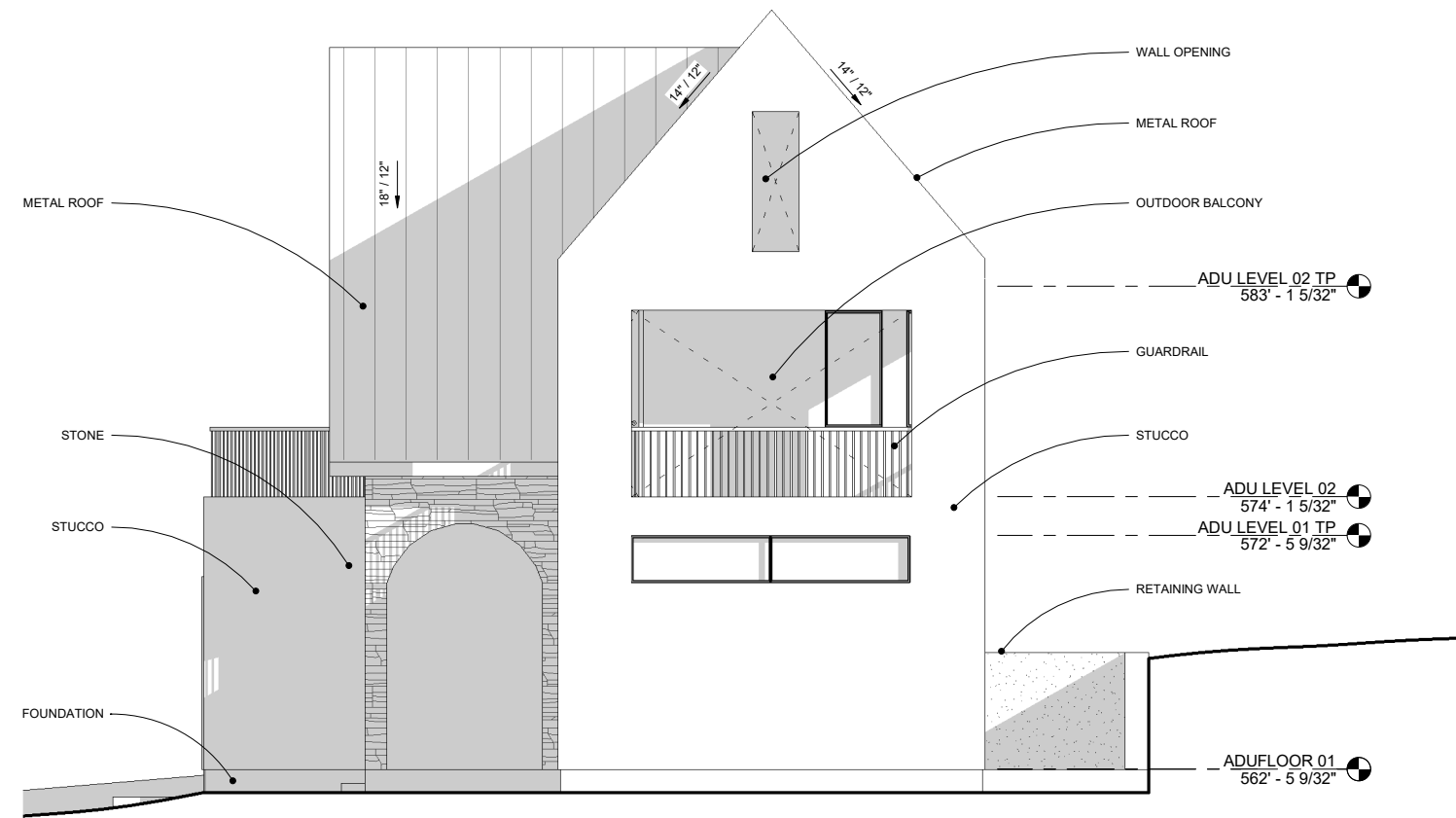
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EXTERIOR ELEVATIONS

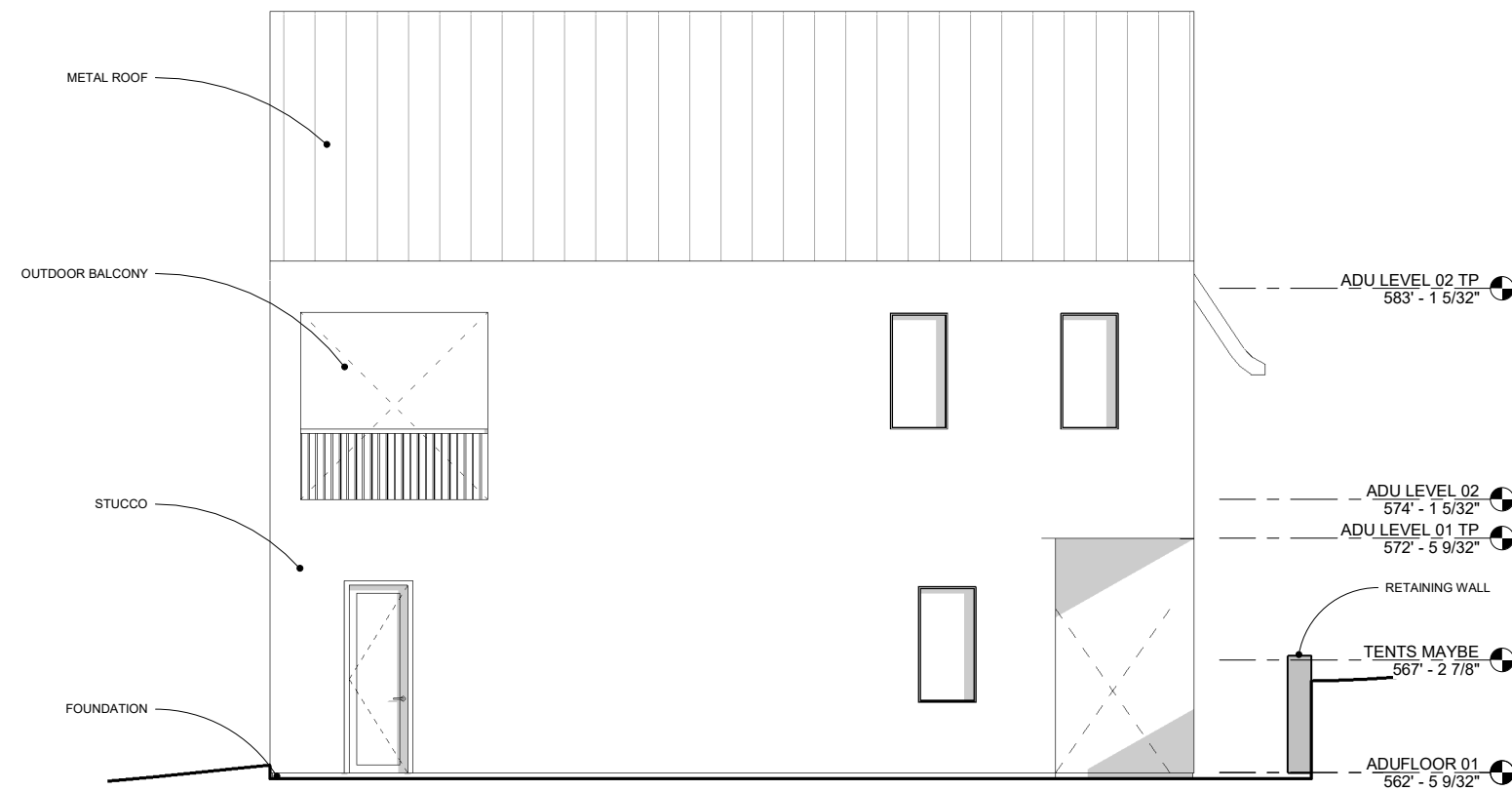
A200

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2. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
3. ALL NEW STAIRS, STEPS, AND RAILINGS TO MEET CURRENT CODES AT THE TIME OF CONSTRUCTION.
4. PROVIDE 2X6 BLOCKING AT 34" ABOVE FINISH FLOOR IN ALL BATHROOM FOR FUTURE GRAB BAR INSTALLATION, EXCEPT BEHIND VANITIES.
5. PROVIDE 2X6 BLOCKING AT 34" ABOVE FINISH FLOOR BEHIND ALL FLOATING VANITIES. SEE BATHROOM ELEVATIONS FOR CONFIRMATION OF VANITY TYPE.
6. FRAME FOR ALL SHOWER BENCHES AS NOTED IN BATHROOM ELEVATIONS.
7. OVERSIZE NICHE BY 2" DURING FRAMING TO ALLOW TILE INSTALLER TO CUSTOMIZE NICHE TO TILE DIMENSIONS



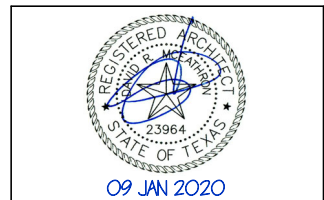
1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

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