

# 809 MARIPOSA HOUSE

809 MARIPOSA DR. AUSTIN, TX 78704

HISTORIC REVIEW

09 JAN 2020



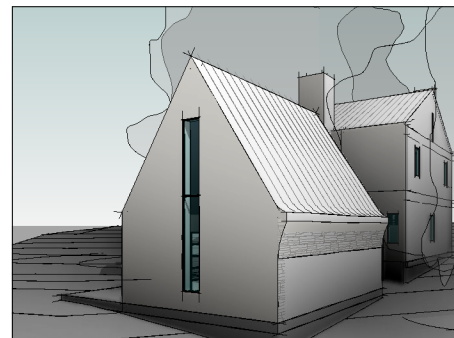
**DAVEY MCEATHRON  
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PROJECT NO:

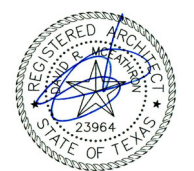
**DM190702**

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**SURVEYOR  
SURVEY WORKS**  
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AUSTIN, TEXAS 78741  
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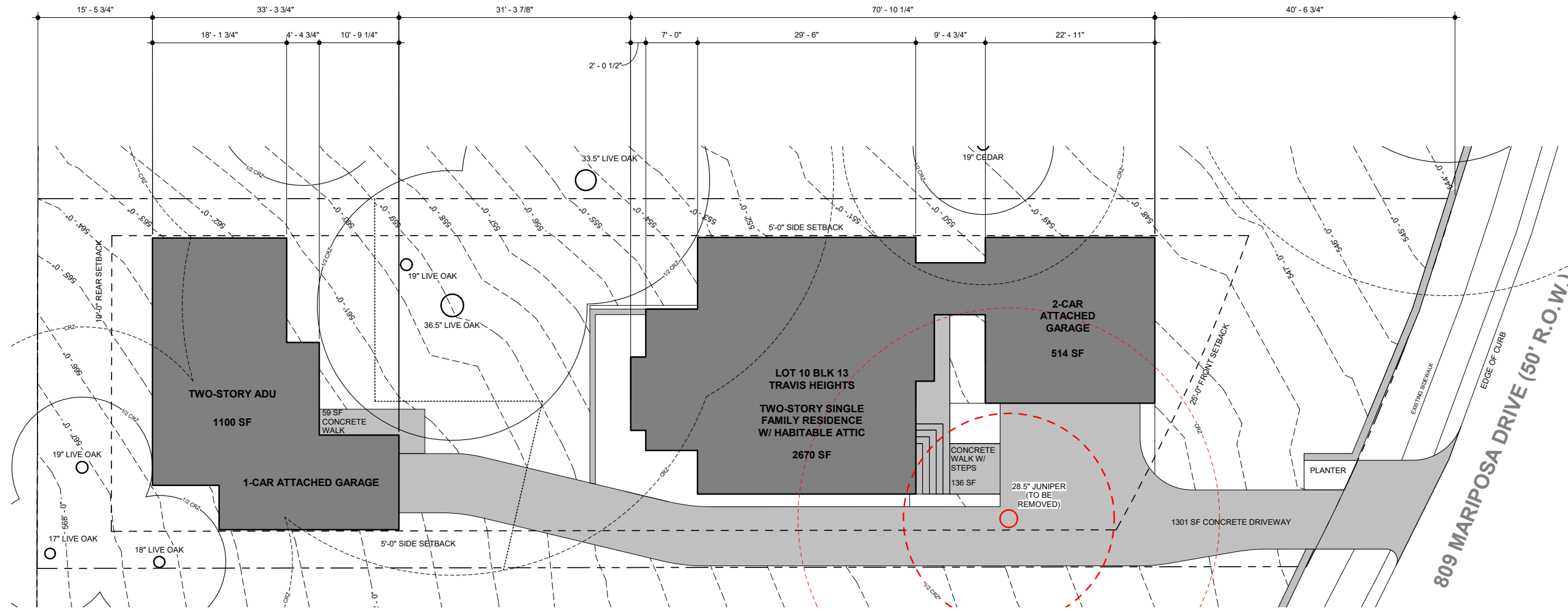


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REVISIONS		
NO	REFERENCE	ISSUED

GENERAL NOTES - SITE PLAN

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- VERIFY EXISTING SITE CONDITIONS AND REPORT TO ARCHITECT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS PRIOR TO COMMENCING WORK.
- ALL NEW SIDEWALKS TO HAVE MAX 1/20 GRADE WITH CROSS SLOPE TO DRAIN AT 1/4" PER FOOT. SEAL CONCRETE AND PROVIDE A BROOM FINISH UNLESS OTHERWISE NOTED.
- CONTRACTOR TO TIE INTO EXISTING UTILITIES. SOME UTILITIES MAY REQUIRE UPGRADING. CONTRACTOR TO VERIFY. VERIFY METER & UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- CONTRACTOR TO UTILIZE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY CODE.
- PROVIDE TREE PROTECTION FOR ALL TREES NOT MARKED FOR REMOVAL.
- TREES TO BE REMOVED SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING
- SELECTIVELY CLEAR OR PRUNE ANY UNWANTED TREES OR THOSE IMPEDING CONSTRUCTION WITH CONSENT OF OWNER. COORDINATE REMOVAL AND DISPOSAL OF UNWANTED TREES AND OTHER LANDSCAPING MATERIALS WITH OWNER.
- PROVIDE NEW GUTTERS AND DOWNSPOUTS TO DRAIN ON SITE. DOWNSPOUTS TO DRAIN AWAY FROM BUILDING.
- ENSURE ALL GRADING SLOPES AWAY FROM BUILDING FOR AT LEAST 10'-0".
- CONTRACTOR TO STORE ALL NEW MATERIALS IN DRY AND SECURE LOCATION ON SITE.
- EXTERIOR HVAC EQUIPMENT SHALL BE SCREENED IN COMPLIANCE WITH ANY CITY OF AUSTIN REGULATIONS AND/OR LOCAL DEED RESTRICTIONS
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS & PATIOS
- EXISTING UTILITY LINE LOCATIONS ARE APPROXIMATED. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO CONSTRUCTION.



1 SITE PLAN COMPLETE  
1/8" = 1'-0"

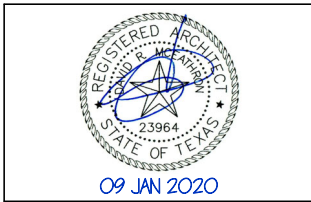
SITE PLAN LEGEND

(HB)	HOSE BIBB
(WM)	WATER METER
(EM)	ELECTRICAL METER
(GM)	GAS METER
(DT)	DISTRIBUTION TERMINAL
(E)	EXISTING ELEMENT
(MH)	MAN HOLE COVER
-----E-----	ELECTRICAL LINE
-----W-----	UNDERGROUND WATER
-----WW-----	UNDERGROUND WASTEWATER
-----G-----	UNDERGROUND GAS

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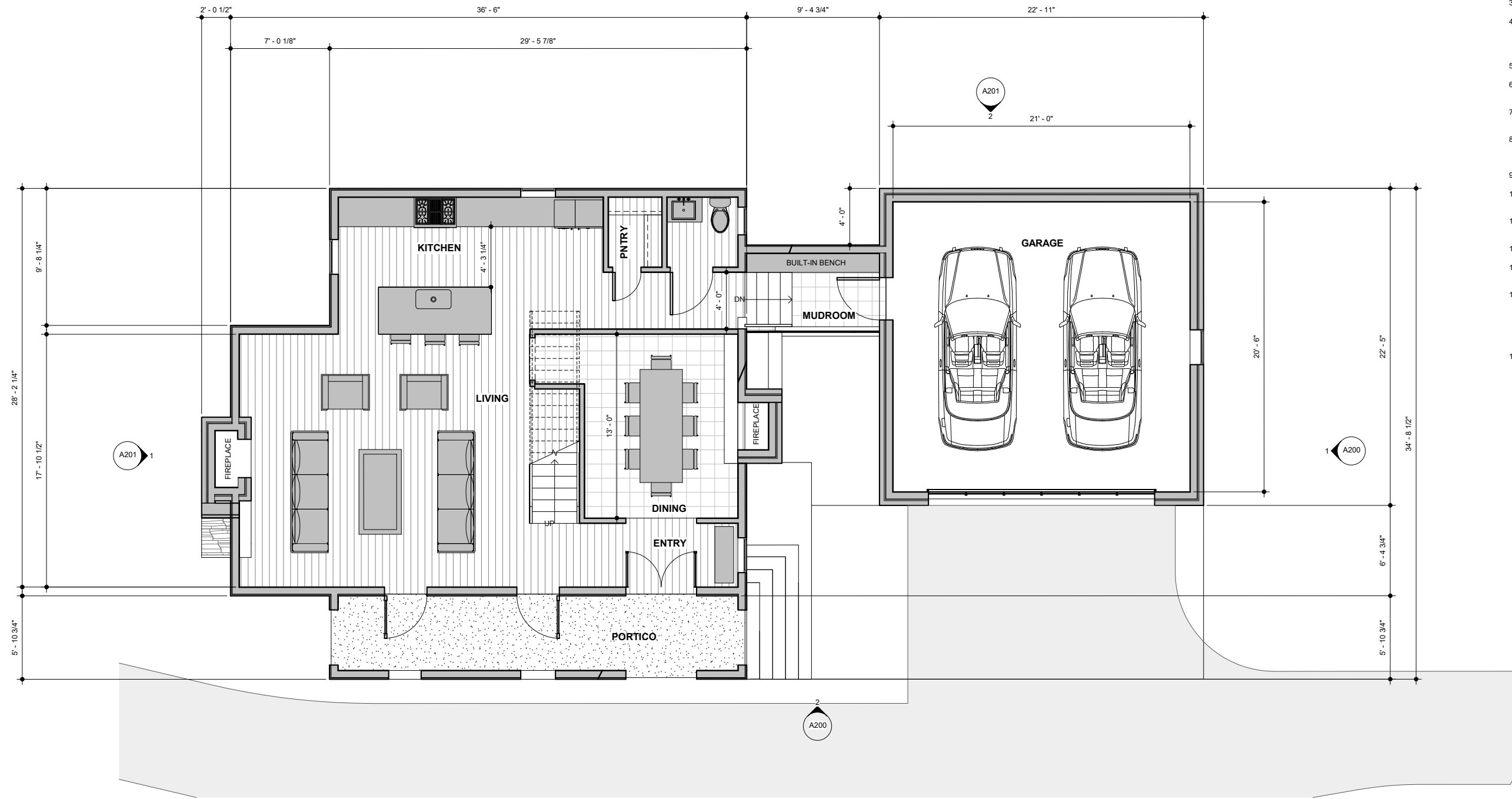
**SITE PLAN**

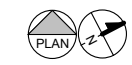
**A100**

GENERAL NOTES - FLOOR PLAN

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FINISH FACE, UNLESS NOTED OTHERWISE.
- PROVIDE FIRE BLOCKING AT ALL PLUMBING OPENINGS.
- ALL INTERIOR WALL PARTITIONS TO BE 2X4 WOOD STUDS AT 16" O.C., EXCEPT PLUMBING WALLS AND POCKET DOOR WALLS, WHICH ARE TO BE 2X6 WOOD STUDS, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO BE 2X6 WOOD STUDS, UNLESS NOTED OTHERWISE.
- ALL NEW STAIRS, STEPS, AND RAILINGS TO MEET CURRENT CODES AT THE TIME OF CONSTRUCTION.
- CONTRACTOR SHALL HOOK UP ALL OWNER-PROVIDED APPLIANCES AND VERIFY THEY FUNCTION PROPERLY.
- ALL ELECTRICAL AND PLUMBING FIXTURES ARE TO BE INSTALLED PER CODE, INCLUDING LOCATION, OPERABLE COMPONENTS, AND TYPE.
- CONFIRM ALL PLUMBING CONNECTION LOCATIONS WITH ACTUAL FIXTURES.
- PROTECT WOOD AND WOOD-BASED PRODUCTS FROM DECAY AND TERMITES PER CODE.
- PROVIDE BLOCKING IN NEW WALLS BEHIND AND ADJACENT TO ALL TUBS AND TOILETS FOR FUTURE GRAB BAR INSTALLATION.
- SHOWER HEADS SHALL BE MOUNTED 7'-0" AFF UNLESS NOTED OTHERWISE.
- CABINET MATERIALS AND ADHESIVES TO HAVE NO ADDED UREA-FORMALDEHYDE. INTERIOR PAINTS TO BE LOW-VOC.
- FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR, THE DROP SHALL BE A MINIMUM OF 1/2", UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- NEW TOILET TO BE ULTRA-LOW-FLOW. NEW FLOOR PLAN LEGEND

-  NEW 2x4 WALL
-  NEW 2x6 WALL
-  NEW 2x6 + 2x4 WALL



 1 FLOOR 01 REFERENCE PLAN  
1/4" = 1'-0"



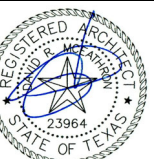
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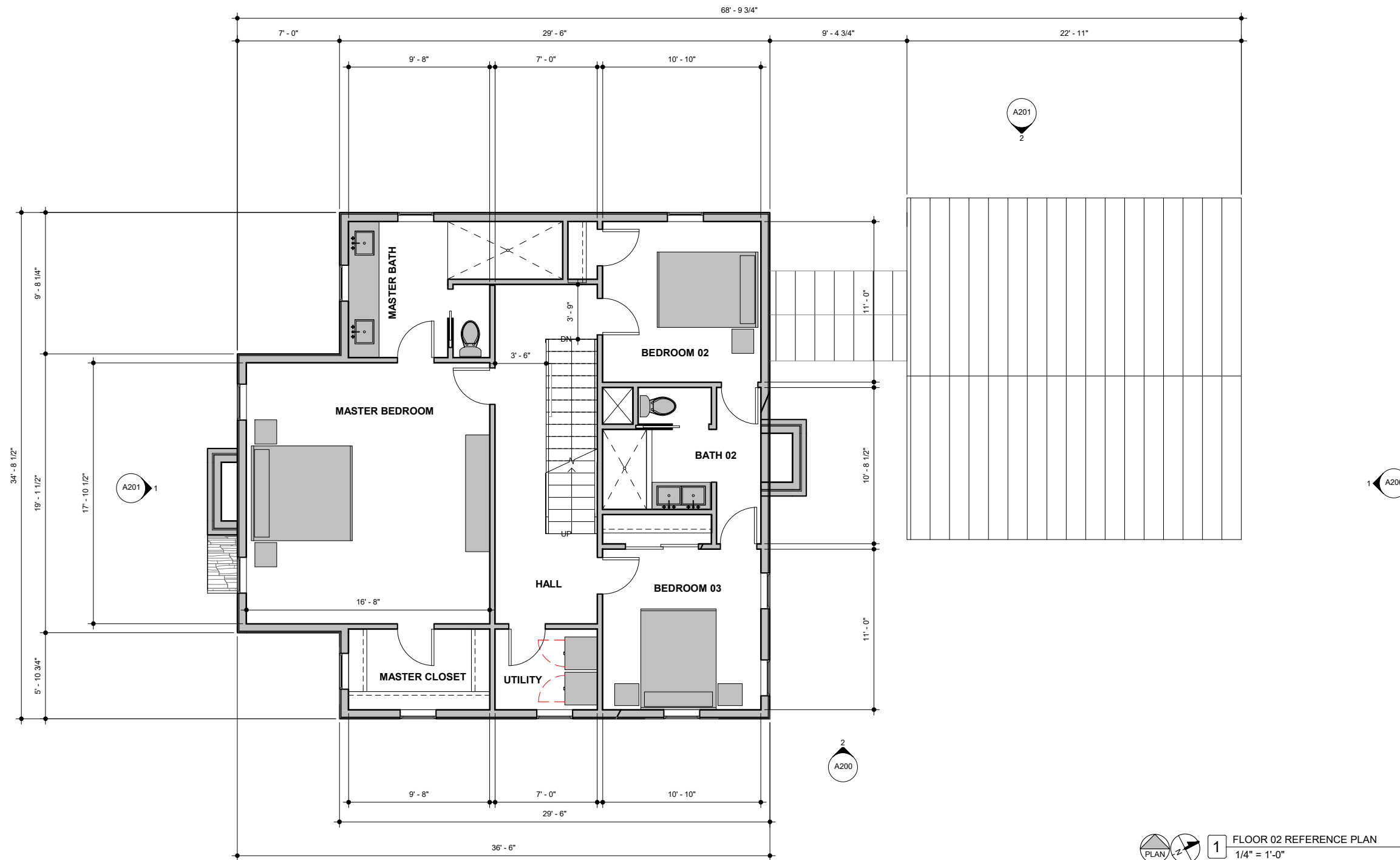
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**FLOOR 01 PLAN COMPLETE**

**A110**

GENERAL NOTES - FLOOR PLAN

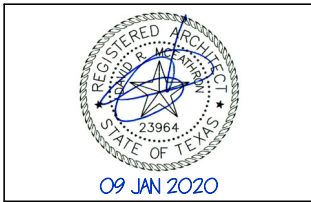
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- ALL DIMENSIONS ARE TO FINISH FACE, UNLESS NOTED OTHERWISE.
- PROVIDE FIRE BLOCKING AT ALL PLUMBING OPENINGS.
- ALL INTERIOR WALL PARTITIONS TO BE 2X4 WOOD STUDS AT 16" O.C., EXCEPT PLUMBING WALLS AND POCKET DOOR WALLS, WHICH ARE TO BE 2X6 WOOD STUDS, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO BE 2X6 WOOD STUDS, UNLESS NOTED OTHERWISE.
- ALL NEW STAIRS, STEPS, AND RAILINGS TO MEET CURRENT CODES AT THE TIME OF CONSTRUCTION.
- CONTRACTOR SHALL HOOK UP ALL OWNER-PROVIDED APPLIANCES AND VERIFY THEY FUNCTION PROPERLY.
- ALL ELECTRICAL AND PLUMBING FIXTURES ARE TO BE INSTALLED PER CODE, INCLUDING LOCATION, OPERABLE COMPONENTS, AND TYPE.
- CONFIRM ALL PLUMBING CONNECTION LOCATIONS WITH ACTUAL FIXTURES.
- PROTECT WOOD AND WOOD-BASED PRODUCTS FROM DECAY AND TERMITES PER CODE.
- PROVIDE BLOCKING IN NEW WALLS BEHIND AND ADJACENT TO ALL TUBS AND TOILETS FOR FUTURE GRAB BAR INSTALLATION.
- SHOWER HEADS SHALL BE MOUNTED 7'-0" AFF UNLESS NOTED OTHERWISE.
- CABINET MATERIALS AND ADHESIVES TO HAVE NO ADDED UREA-FORMALDEHYDE. INTERIOR PAINTS TO BE LOW-VOC.
- FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR, THE DROP SHALL BE A MINIMUM OF 1/2" UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- NEW TOILET TO BE ULTRA-LOW-FLOW. NEW SINK AND SHOWER FAUCETS TO BE LOW-FLOW.



1 FLOOR 02 REFERENCE PLAN  
1/4" = 1'-0"



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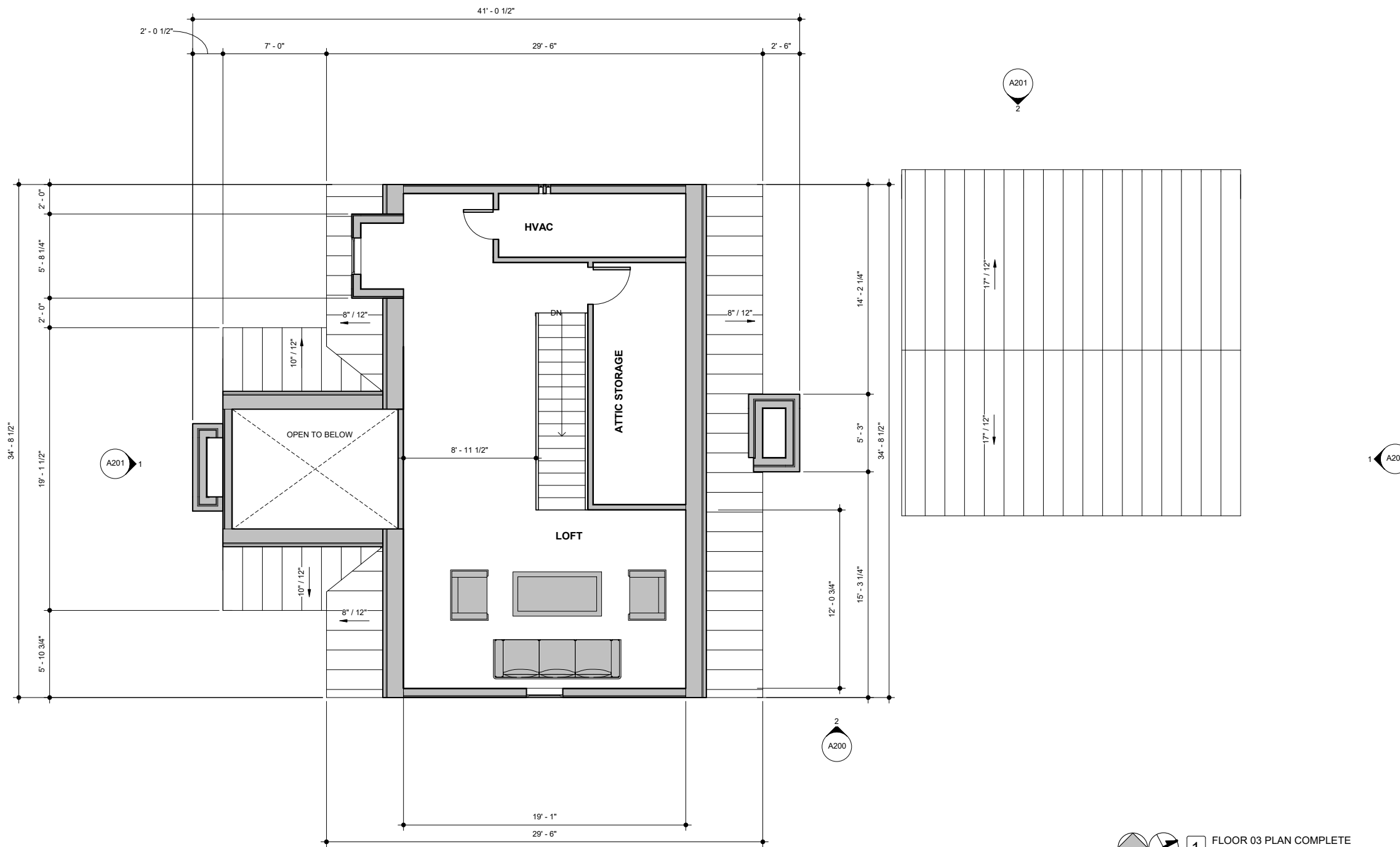
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**FLOOR 02 PLAN COMPLETE**

**A120**

GENERAL NOTES - FLOOR PLAN

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- ALL DIMENSIONS ARE TO FINISH FACE, UNLESS NOTED OTHERWISE.
- PROVIDE FIRE BLOCKING AT ALL PLUMBING OPENINGS.
- ALL INTERIOR WALL PARTITIONS TO BE 2X4 WOOD STUDS AT 16" O.C., EXCEPT PLUMBING WALLS AND POCKET DOOR WALLS, WHICH ARE TO BE 2X6 WOOD STUDS, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO BE 2X6 WOOD STUDS, UNLESS NOTED OTHERWISE.
- ALL NEW STAIRS, STEPS, AND RAILINGS TO MEET CURRENT CODES AT THE TIME OF CONSTRUCTION.
- CONTRACTOR SHALL HOOK UP ALL OWNER-PROVIDED APPLIANCES AND VERIFY THEY FUNCTION PROPERLY.
- ALL ELECTRICAL AND PLUMBING FIXTURES ARE TO BE INSTALLED PER CODE, INCLUDING LOCATION, OPERABLE COMPONENTS, AND TYPE.
- CONFIRM ALL PLUMBING CONNECTION LOCATIONS WITH ACTUAL FIXTURES.
- PROTECT WOOD AND WOOD-BASED PRODUCTS FROM DECAY AND TERMITES PER CODE.
- PROVIDE BLOCKING IN NEW WALLS BEHIND AND ADJACENT TO ALL TUBS AND TOILETS FOR FUTURE GRAB BAR INSTALLATION.
- SHOWER HEADS SHALL BE MOUNTED 7'-0" AFF UNLESS NOTED OTHERWISE.
- CABINET MATERIALS AND ADHESIVES TO HAVE NO ADDED UREA-FORMALDEHYDE. INTERIOR PAINTS TO BE LOW-VOC.
- FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR, THE DROP SHALL BE A MINIMUM OF 1/2". UNLESS OTHERWISE NOTED, CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAIN FLOOR SCHEDULE COMMENTS.
- NEW TOILET TO BE ULTRA-LOW-FLOW. NEW SINK AND SHOWER FALCETS TO BE LOW-VOC. WINDOWS AND DOORS TO MEET IRC 2015 REQUIREMENTS AND ALL AMENDMENTS AS ADOPTED BY THE CITY OF AUSTIN.
- ALL GLAZING IN DOORS AND WITHIN A 24" ARC OF THE VERTICAL EDGE OF DOORS MUST BE TEMPERED.
- CONTRACTOR TO COORDINATE WITH DOOR SUPPLIER TO ENSURE DOORS MEET CURRENT CODES.



1 FLOOR 03 PLAN COMPLETE  
1/4" = 1'-0"

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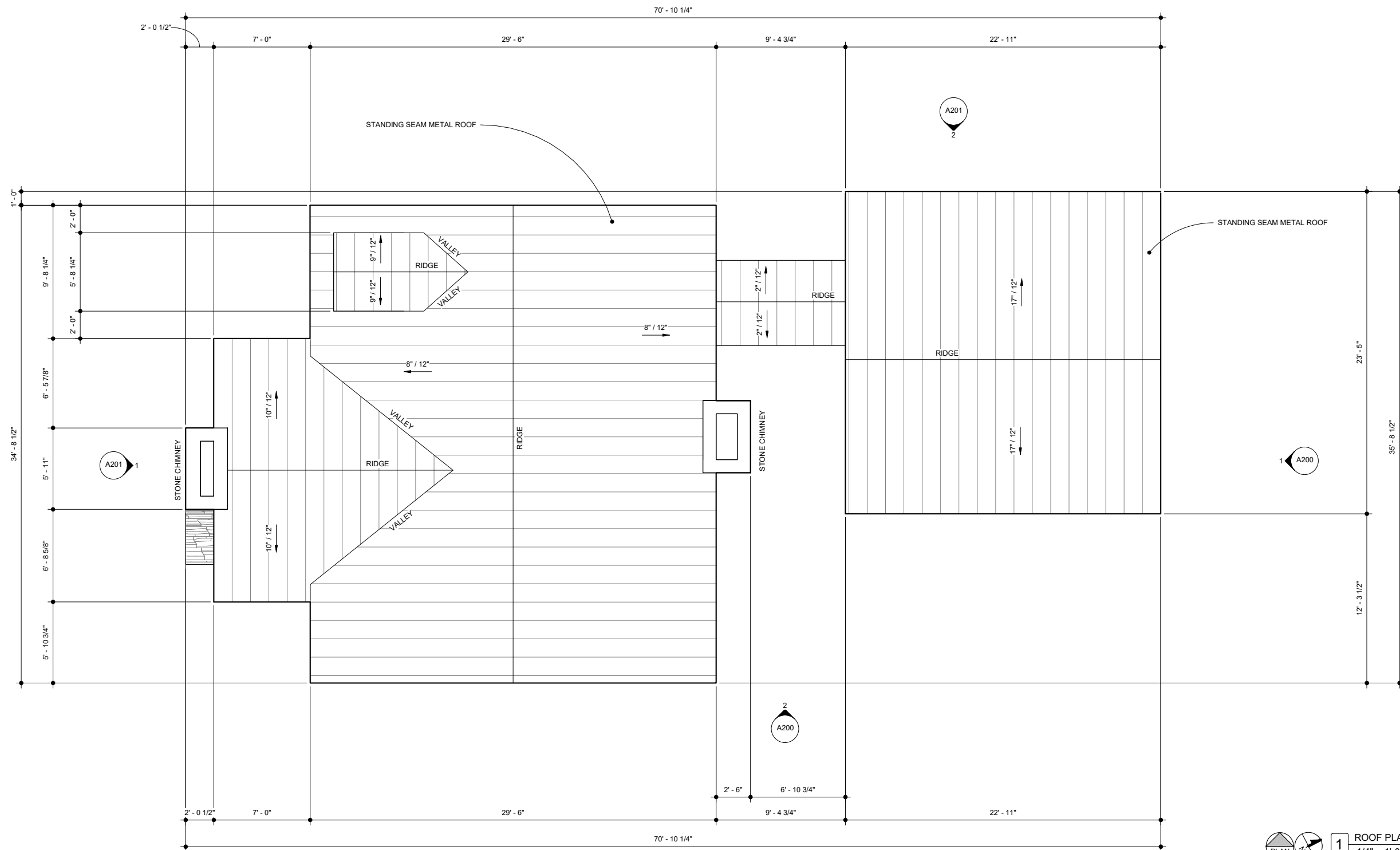
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**FLOOR 03 PLAN COMPLETE**

**A130**

GENERAL NOTES - ROOF

1. CONTRACTOR SHALL KEEP BUILDING WEATHER TIGHT.
2. ALL ROOFS SHALL SLOPE TO DRAIN.
3. CONTRACTOR SHALL PROVIDE ALL TRIM, FLASHING, UNDERLAYMENTS, FASTENERS AND ACCESSORIES NECESSARY TO ENSURE A COMPLETE, WARRANTABLE, AND WEATHERTIGHT CONSTRUCTED ROOF.
4. ALL ROOF PENETRATIONS TO BE PROPERLY FLASHED AND SEALED TO PREVENT WATER INTRUSION.
5. NEW ROOF SRI VALUE: IF SLOPE IS >2:12, ROOFING MATERIALS SHALL HAVE A MINIMUM SRI OF 29.
6. NEW ROOFS TO INCLUDE A RADIANT BARRIER WITH AN EMITTANCE OF .05 OR LESS, UNLESS ROOF IS COVERED WITH A MATERIAL HAVING A SOLAR REFLECTANCE OF 0.5 OR GREATER.
7. AIR IMPERMEABLE INSULATION OF R-25 OF GREATER MAY BE USED IF MECHANICAL EQUIPMENT AND AIR DISTRIBUTION SYSTEM ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE. SEE AUSTIN AMENDMENTS TO THE BUILDING CODE. OTHERWISE, ROOFING INSULATION TO BE A MINIMUM OF R-38.
8. SUPPLY AND RETURN DUCTS LOCATED IN ATTICS OR OUTSIDE THE THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-8.
9. PROVIDE NEW GUTTERS AND DOWNSPOUTS TO DRAIN ON SITE. DOWNSPOUTS TO DRAIN AWAY FROM BUILDING.
10. INSTALL ALL BUILDING ENVELOPE ASSEMBLIES AS PER MANUFACTURER'S RECOMMENDATIONS AND STANDARD DETAILS TO ALLOW FOR PROPER FUNCTION, WEATHER PROTECTION AND WARRANTIES (WHERE AVAILABLE). ASSEMBLIES INCLUDE, BUT ARE NOT LIMITED TO, ROOFING, RADIANT BARRIER, SKYLIGHTS, WINDOWS, DOORS, SIDING, FLASHING, INSULATION, WEATHER BARRIERS, SEALANTS, ETC.
11. THE ENTIRE EXTERIOR ENVELOPE TO BE PROPERLY SEALED AND FLASHED TO PREVENT MOISTURE INTRUSION.



1 ROOF PLAN COMPLETE  
1/4" = 1'-0"

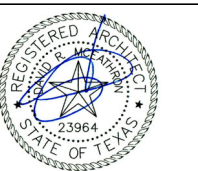


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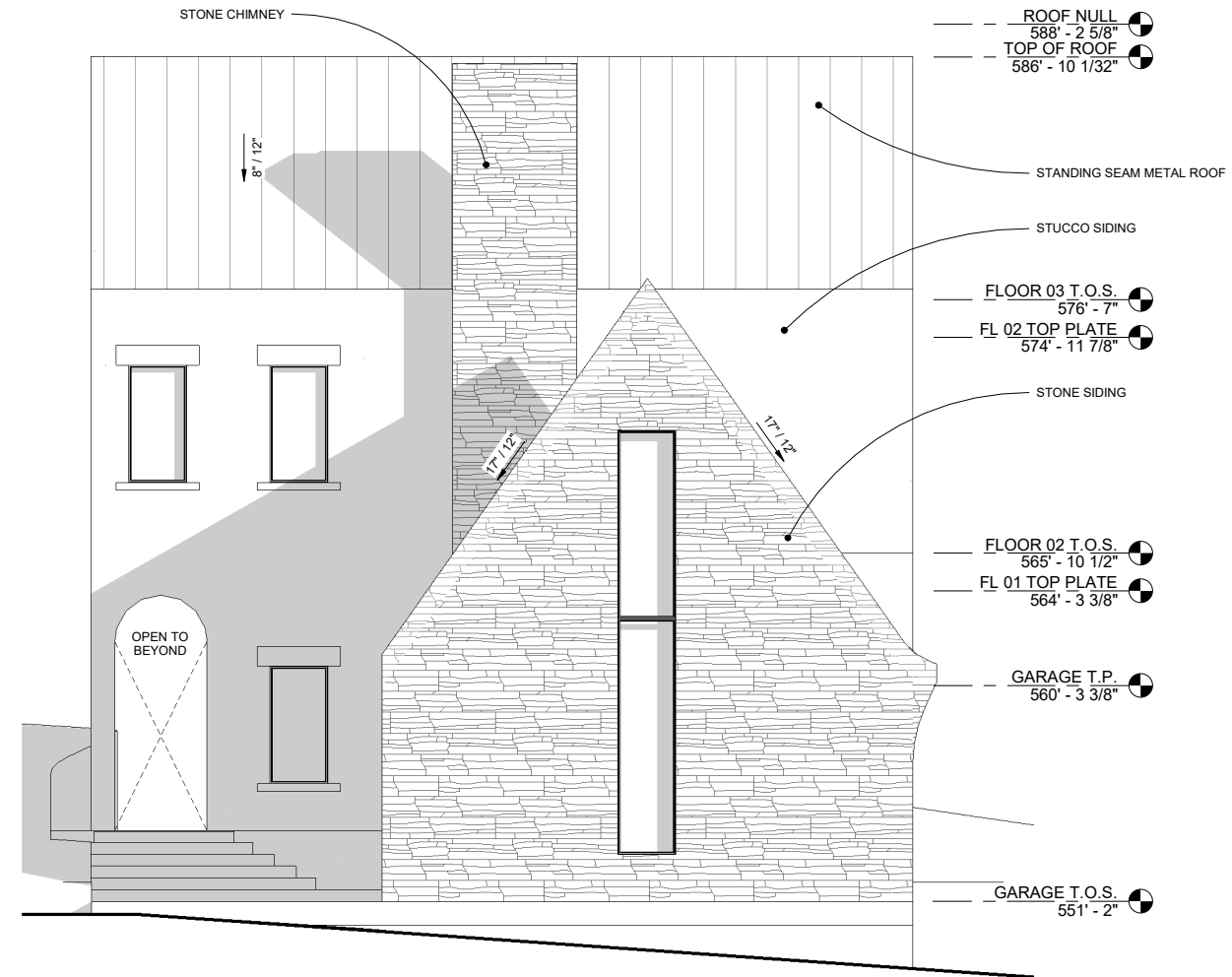
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**ROOF PLAN COMPLETE**

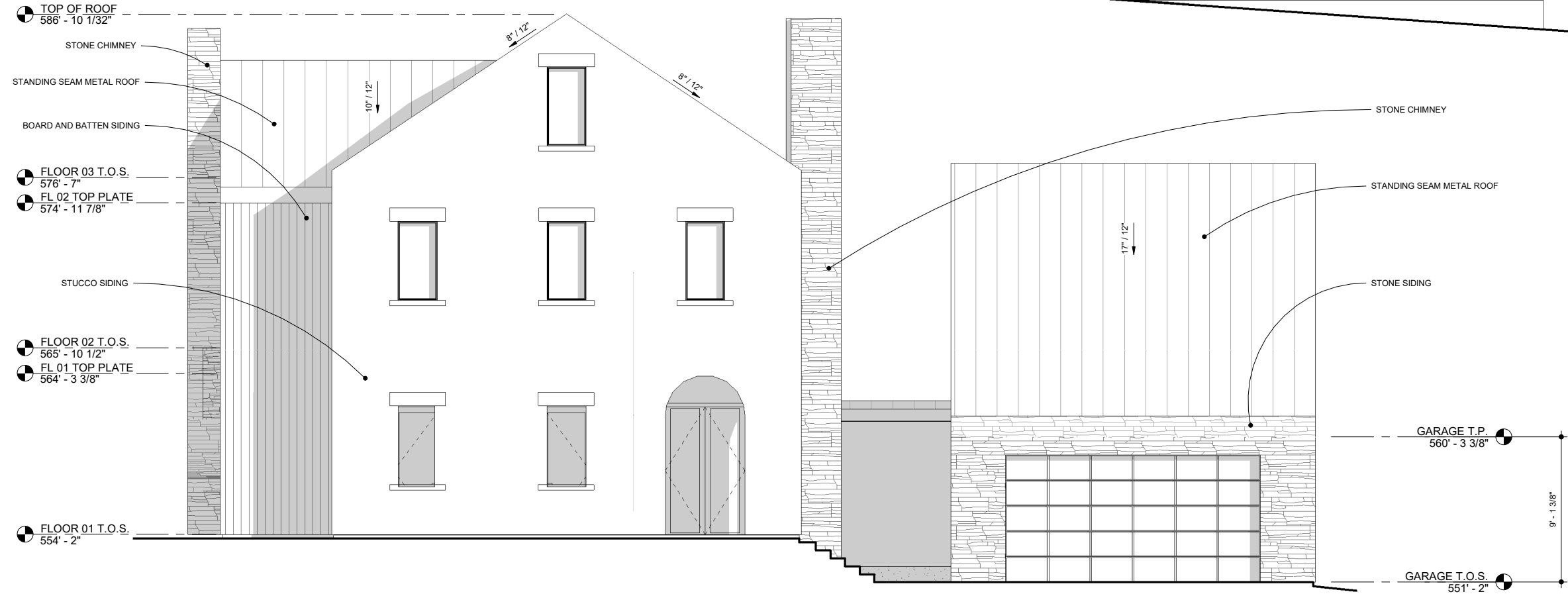
**A140**

GENERAL NOTES - EXTERIOR ELEVATIONS

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- ALL NEW STAIRS, STEPS, AND RAILINGS TO MEET CURRENT CODES AT THE TIME OF CONSTRUCTION.
- PROVIDE 2X6 BLOCKING AT 34" ABOVE FINISH FLOOR IN ALL BATHROOM FOR FUTURE GRAB BAR INSTALLATION, EXCEPT BEHIND VANITIES.
- PROVIDE 2X6 BLOCKING AT 34" ABOVE FINISH FLOOR BEHIND ALL FLOATING VANITIES. SEE BATHROOM ELEVATIONS FOR CONFIRMATION OF VANITY TYPE.
- FRAME FOR ALL SHOWER BENCHES AS NOTED IN BATHROOM ELEVATIONS.
- OVERSIZE NICHES BY 2" DURING FRAMING TO ALLOW TILE INSTALLER TO CUSTOMIZE NICHE TO TILE DIMENSIONS



1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"

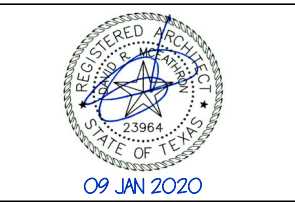
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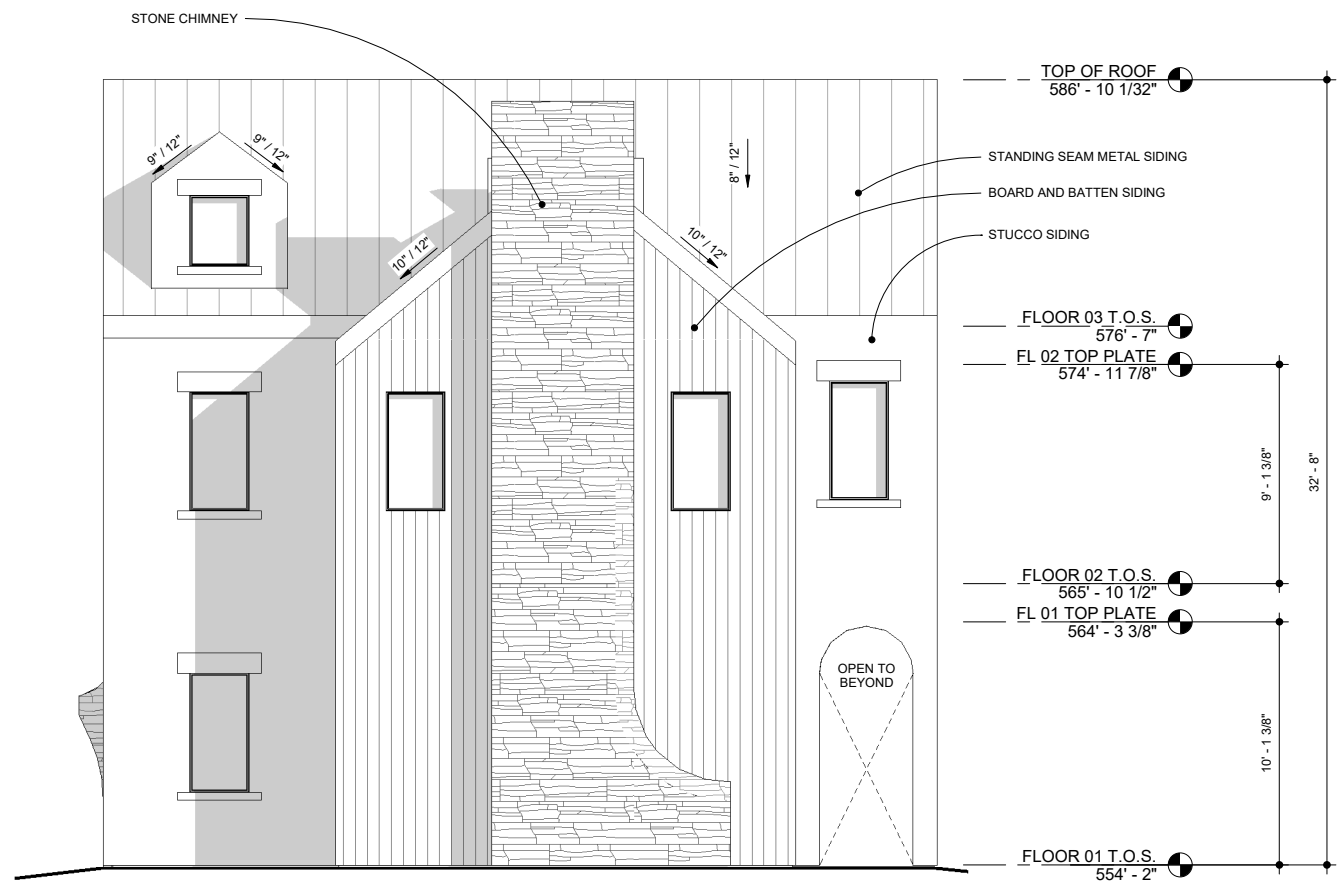
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**EXTERIOR ELEVATIONS**

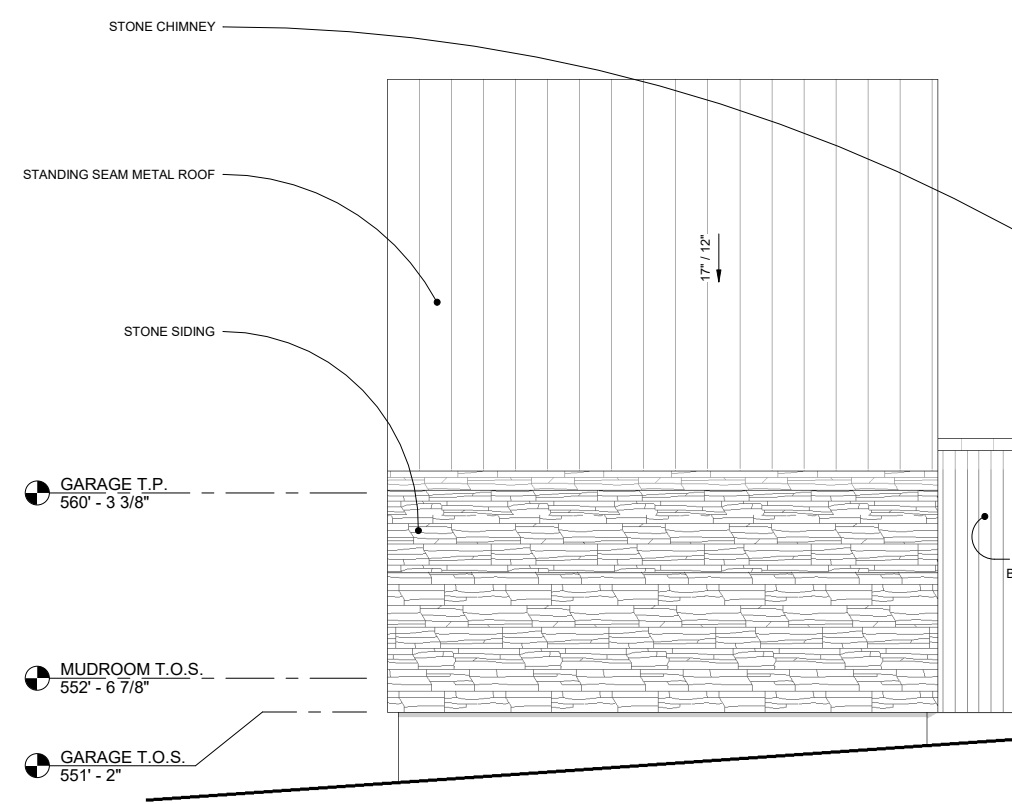
**A200**

GENERAL NOTES - EXTERIOR ELEVATIONS

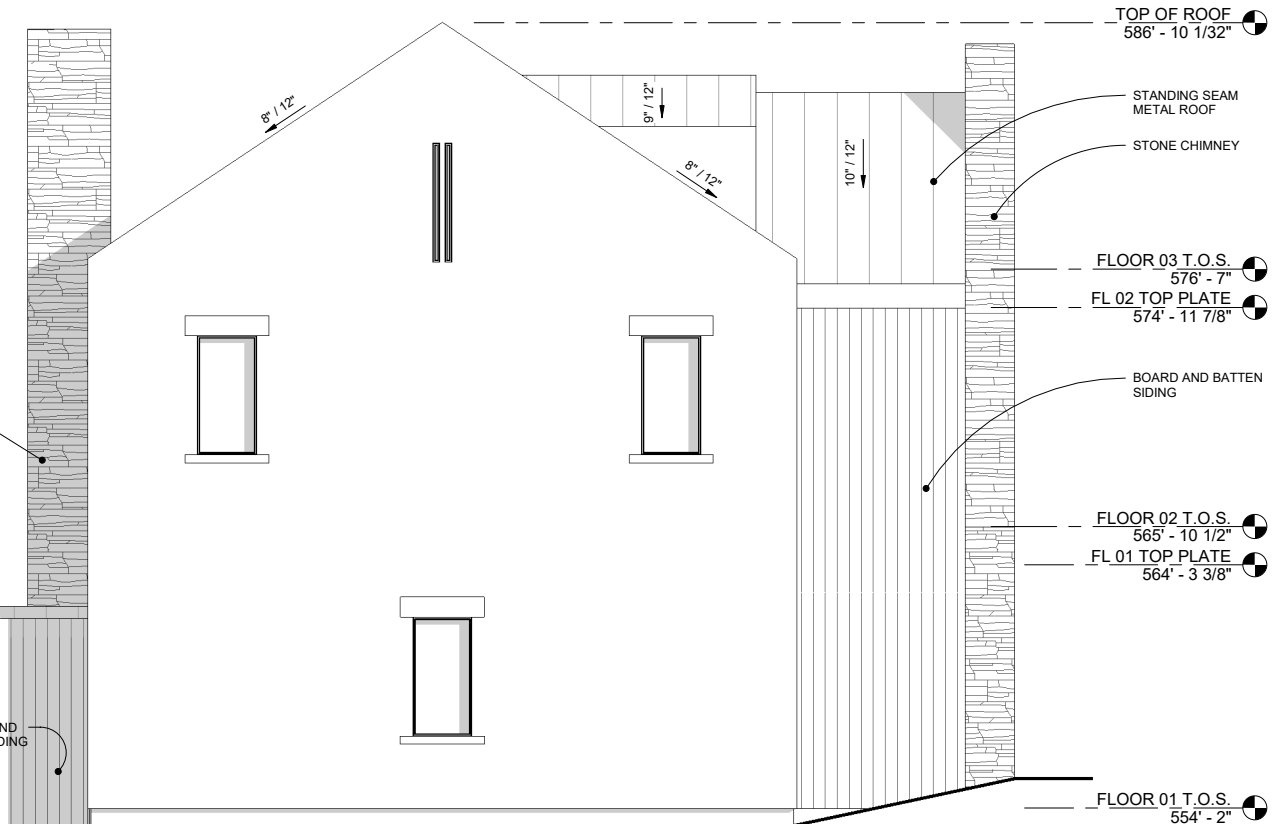
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4. PROVIDE 2X6 BLOCKING AT 34" ABOVE FINISH FLOOR IN ALL BATHROOM FOR FUTURE GRAB BAR INSTALLATION, EXCEPT BEHIND VANITIES.
5. PROVIDE 2X6 BLOCKING AT 34" ABOVE FINISH FLOOR BEHIND ALL FLOATING VANITIES. SEE BATHROOM ELEVATIONS FOR CONFIRMATION OF VANITY TYPE.
6. FRAME FOR ALL SHOWER BENCHES AS NOTED IN BATHROOM ELEVATIONS.
7. OVERSIZE NICHE BY 2" DURING FRAMING TO ALLOW TILE INSTALLER TO CUSTOMIZE NICHE TO TILE DIMENSIONS



1 SOUTH ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"



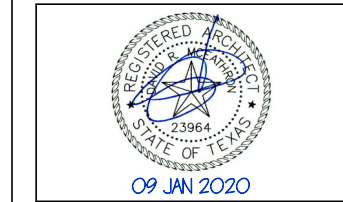
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**EXTERIOR ELEVATIONS**

**A201**