

**PLANNING COMMISSION
SITE PLAN VARIANCE REQUEST REVIEW SHEET**

CASE: SP-2018-0472C

PLANNING COMMISSION DATE: January 14, 2020

PROJECT NAME: 44 East

ADDRESS OF SITE: 44 East Avenue

COUNCIL DISTRICT: 9

APPLICANT: LROC Properties Southwest LP

AGENT: The Drenner Group (Leah Bojo) (512) 807-2918

AREA: 0.67 acres

WATERSHED: Lady Bird Lake and Waller Creek (Urban)

WATERSHED ORDINANCE: Comprehensive Watershed Ordinance (Urban)

C.I.P. STATUS: N/A

T.I.A.: N/A

CAPITOL VIEW: N/A

DEVELOPMENT:

A 49-story mixed use building with 322 residential units and 3534 sf of commercial space with associated parking garage and utility improvements.

EXISTING ZONING: CBD.

DESCRIPTION OF VARIANCE: The applicant is seeking approval of a variance from the 20% reflectivity provision related to mirrored or glare producing glass as regulated in the Waterfront Overlay design regulations [Land Development Code 25-2-721(E)(1)] to allow glass with a 30% reflectivity.

LDC Section 25-2-721(E)(1)

This subsection (E) provides design standards for buildings.

(1) Exterior mirrored glass and glare producing glass surface building materials are prohibited.

Mirrored Glass is defined in LDC 25-1-21(67)

“Mirrored Glass means glass with a reflectivity index greater than 20 percent”

SUMMARY STAFF RECOMMENDATION:

Staff recommends approval of this variance with the conditions that the applicant 1) shall work with City staff to determine appropriate and feasible building materials, exterior lighting, and other design elements which comply with the LEED pilot standards for bird collision deterrence, the San Francisco Bird Safe Building standards, and other leading bird deterrence design standards; 2) shall then submit a correction / revision for the site plan to implement such measures, along with a signed letter to DSD by a qualified professional certifying compliance with such standards; and 3) comply with the recommendations of the Small Area Planning Joint Committee to meet LEED bird-friendly standards for the building podium and to work with staff on bird-friendly design for the tower.

SMALL AREA PLANNING JOINT COMMITTEE RECOMMENDATION:

At their December 11, 2019 special called meeting, the Small Area Planning Joint Committee voted (6-0) to recommend their support for a variance to the Waterfront Overlay Combining District section 25-2-

721(E)(1) regulations pertaining to the prohibition of mirrored glass or glare producing glass surface building materials for the 44 East Project, accepting staff’s recommendations as laid out above and with their own added recommendation that the applicant meet LEED bird-friendly standards for the building podium and work with staff on bird-friendly design for the tower..

CASE MANAGER: Anaiah Johnson **PHONE:** 512-974-2932
Anaiah.Johnson@austintexas.gov

PROJECT INFORMATION: 0.67 acres
EXIST. ZONING: CBD
MAX. BLDG. COVERAGE : 100% **PROP. BUILDING CVR:** 24,424 sq. ft. (83.3%)
MAX. IMPERV. CVRG.: 100% **PROP. IMP. CVRG.:** 27,631 sq. ft. (94.3%)
ALLOWED F.A.R.: 15:1 **PROPOSED F.A.R.:** 15:1
HEIGHT: 570’ (49 story)
REQUIRED PARKING: 0 **PROVIDED PARKING:** 559 spaces
PROPOSED ACCESS: Vehicular access from East Avenue.

SURROUNDING CONDITIONS:
Zoning (Land Use)
North: CBD (Office)
South: Cummings Street, then P (Parkland)
East: East Avenue, then CBD (Multifamily)
West: Alley, then CBD (Multifamily)

<u>STREET:</u>	<u>R.O.W.</u>	<u>SURFACING</u>	<u>CLASSIFICATION</u>
East Avenue	120’	45’	Collector
Cummings Street	45’	30’ (varies)	Local

- NEIGHBORHOOD ORGANIZATIONS:**
Austin Independent School District
Austin Inncercity Alliance
Austin Neighborhoods Council
Bike Austin
Black Improvement Association
City of Austin Downtown Commission
Downtown Austin Neighborhood Assn. (DANA)
El Concilio Mexican-American Neighborhoods
Friends of Austin Neighborhoods
Friends of Rainey Street Historic District
Friends of Emma Barrientos MACC
Greater East Austin Neighborhood Association
Homeless Neighborhood Assn.
Neighborhood Empowerment Foundation
Preservation Austin
Rainey Business Coalition
Rainey Neighbors Association, Inc.
SEL Texas
Sierra Club, Austin Regional Group
Tejano Town
Town Lake Neighborhood Association
Waller Creek Conservancy
Waller Creek Staff Liaison

DRENNER
GROUP

November 14, 2019

Ms. Denise Lucas
Development Services Department
City of Austin
505 Barton Springs Road
Austin, TX 78704

Via Electronic Delivery

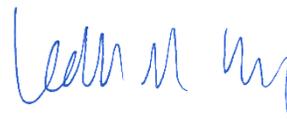
Re: SP-2018-0472C– Reflectivity Variance Request

Dear Ms. Lucas:

I am representing the owner of the property located at 44 East Avenue. Please accept this letter as our request for a variance to LCD §25-2-721(E)(1) to allow glass with 30% reflectivity within the Rainey District of the Waterfront Overlay. Upon approval of the variance request, we will submit a correction to the site development permit application.

Please let me know if you need any more information about this project or this request.

Sincerely,



Leah M. Bojo

cc: Donna Galati, Development Services Department (*via electronic delivery*)
Anayah Johnson, Development Services Department (*via electronic delivery*)

SITE DATA TABLE			
ZONING:	CBD	EXISTING USE:	OFFICE/PARKING LOT
SITE LAND USE:	MIXED-USE	EXISTING IMPERVIOUS COVERAGE:	78.7%/22,971 SF
SITE AREA:	0.6729 AC.		
ALLOWABLE:		PROPOSED:	
BUILDING HEIGHT:	N/A	BUILDING HEIGHT:	570'
# OF STORIES:	N/A	# OF STORIES:	49
F.A.R.:	8:1 (15:1)*	F.A.R.:	15:1
BUILDING COVERAGE:	29,311 SF	BUILDING COVERAGE:	83.3%/24,424 SF
IMPERVIOUS COVERAGE:	100%	IMPERVIOUS COVERAGE:	94.3%/27,631 SF
		FOUNDATION TYPE:	SLAB ON GRADE/ DRILLED PIERS WITH PIER CAP

44 EAST AVENUE - PARKING CALCULATIONS			
USE:	RATIO:	SF/UNITS	PARKING REQUIRED
RESIDENTIAL			
1 BEDROOM	1.5 SPACE PER UNIT	105	158
2 BEDROOMS	2 SPACES PER UNIT	159	318
3 BEDROOMS	2.5 SPACES PER UNIT	58	145
COMMERCIAL			
RETAIL	1 SPACE PER 275 SF	3,534	13
TOTAL PARKING REQUIRED WITHOUT REDUCTION: 634			
CBT REDUCTION (100%): -634			
TOTAL PARKING REQUIRED: 0			
BIKE PARKING REQUIRED (5%): 32			
TOTAL PROVIDED			
ACCESSIBLE PARKING SPACES PROVIDED: 12			
EVCS ACCESSIBLE PARKING SPACES PROVIDED: 3			
STANDARD PARKING SPACES PROVIDED: 415			
COMPACT PARKING SPACES PROVIDED: 84			
EVCS PARKING SPACES PROVIDED: 15			
LEFE PARKING SPACES PROVIDED: 30			
TOTAL PARKING PROVIDED: 559			
BICYCLE PARKING PROVIDED: 32			

SITE AREA		USAGE TABLE	
SITE AREA	29,311 SF	USE	AREA (SF)
FAR 8:1	*234487 SF	PARKING (LEVEL 1-11):	218,896
*194030 SF RESIDENTIAL		RETAIL (LEVEL 1):	3,531
FAR 7:1	205,003 SF	MULTIFAMILY (LEVEL 11-49):	364,135
TOTAL FAR (15:1)	439,490 SF	LOBBY/AMENITY (LEVEL 1, 11, & 37):	14,007
		TOTAL:	600,569

LEGEND

- BOUNDARY / RIGHT OF WAY
- CURB / EDGE OF PAVEMENT
- RETAINING WALL
- ADA
- ACCESSIBLE ROUTE
- LIMITS OF FINISHED FLOOR ELEV. (GRADE BREAK)
- OU
- OVERHEAD UTILITY
- BUILDING AREA
- CONCRETE SIDEWALK / PAVEMENT
- PAVERS PER LANDSCAPE
- HEAVY DUTY ASPHALT PAVEMENT
- FILTRATION MEDIA
- HARDSCAPE PER LANDSCAPE
- SIGN
- BICYCLE PARKING RACK
- FINISHED FLOOR ELEVATION
- ELECTRIC MANHOLE
- WASTEWATER MANHOLE
- WATER METER VAULT
- WATER VALVE
- FIRE HYDRANT
- BACKFLOW PREVENTER
- STORM DRAIN CURB INLET
- STORM DRAIN MANHOLE
- ROD/NAIL FOUND OR SET
- TEMPORARY BENCHMARK
- LIMITS OF TREE CANOPY
- CRITICAL ROOT ZONE
- SHADING INDICATES HERITAGE TREE

TREE LIST

NUM.	SIZE	TYPE
5001	20" (H)	LIVE OAK
5002	20" (H)	LIVE OAK
5003	32" (H)	LIVE OAK
5004	36" (H)	LIVE OAK (24-24)
5005	22"	MAGNOLIA
5006	34" (H)	PECAN
5007	0"	SEBASTIEN
5008	14"	GRAPEVINE (M)
5009	20" (H)	AMERICAN ELM ***
5010	50" (H)	LIVE OAK
5011	49" (H)	AMERICAN ELM

SURVEYED MAY 2018
***TREE #5009 IS PERMITTED TO BE REMOVED BY OTHERS PER SP-2016-0391C

REVIEWED
SEP 22 2019
Austin Water Utility

AUSTIN FIRE DEPARTMENT
SEP 23 2019
APPROVED

- NOTES:**
- REFERENCE SITE NOTES AND CALCULATIONS SHEET FOR BUILDING, SITE, PARKING DATA AND ADDITIONAL SITE PLAN NOTES.
 - ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
 - ALL SITE DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, FACE OF WALL, CENTER OF STRIPING, AND/OR PROPERTY LINE UNLESS OTHERWISE NOTED.
 - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN.
 - EACH COMPACT PARKING SPACE/ISLE WILL BE SIGNED "SMALL CAR ONLY." LDC 25-6-475.
 - NONE OF THE ON-STREET SPACES ARE RESERVED FOR THE DEVELOPMENT AND MAY BE USED BY ANY MEMBER OF THE PUBLIC. THE DEVELOPER MUST BE AWARE THAT THEIR CAR COUNT ON-STREET SPACES AT THEIR OWN RISK. THE SPACES MAY BE REMOVED AT ANY TIME FOR ANY REASON AND THE CITY OF AUSTIN WILL NOT RELOCATE OR DISPLACE ON-STREET PARKING. IN ADDITION, IF THE ADJOINING STREET APPLIES FOR AND RECEIVES RESIDENTIAL PERMIT PARKING, THE PARKING FOR THE DEVELOPMENT WILL NOT COUNT AS RESIDENTIAL PARKING AND THE RESIDENTS WILL NOT RECEIVE RESIDENTIAL PARKING PERMITS.
 - A BUILDING MUST ACHIEVE AT LEAST A ONE STAR RATING UNDER THE AUSTIN GREEN BUILDING PROGRAM, AS PRESCRIBED BY A RULE ADOPTED IN ACCORDANCE WITH CHAPTER 1-2 (ADOPTION OF RULES). (LDC SECTION 25-2-593(B))
 - A CONDITIONAL LETTER OF APPROVAL IS REQUIRED BY AUSTIN ENERGY GREEN BUILDING PROGRAM PRIOR TO BUILDING PERMIT.
 - STORM WATER RUN-OFF SHALL BE DIRECTED TO ROOFTOP CAPTURE SYSTEM AND DIRECTED TO THE WATER QUALITY SYSTEM.
 - THIS SITE IS COMPOSED OF 2 LOTS/TRACTS. IT HAS BEEN APPROVED AS ONE COHESIVE DEVELOPMENT AS DOCUMENT NO. 2019146103 IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TX. IF PORTIONS OF THE LOTS/TRACTS ARE SOLD, APPLICATION FOR SUBDIVISION AND SITE PLAN APPROVAL MAY BE REQUIRED.

SITE PLAN APPROVAL SHEET 14 OF 72
FILE NUMBER: SP-2018-0472C APPLICATION DATE: 10-5-18
APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE
EXPIRATION DATE (25-5-6, LDC): 9/21/18 CASE MANAGER: R. JOHNSON

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT
RELEASED FOR GENERAL COMPLIANCE 9/21/19 ZONING: Cbd

REV. 1 CORRECTION 1
REV. 2 CORRECTION 2
REV. 3 CORRECTION 3

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED) MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

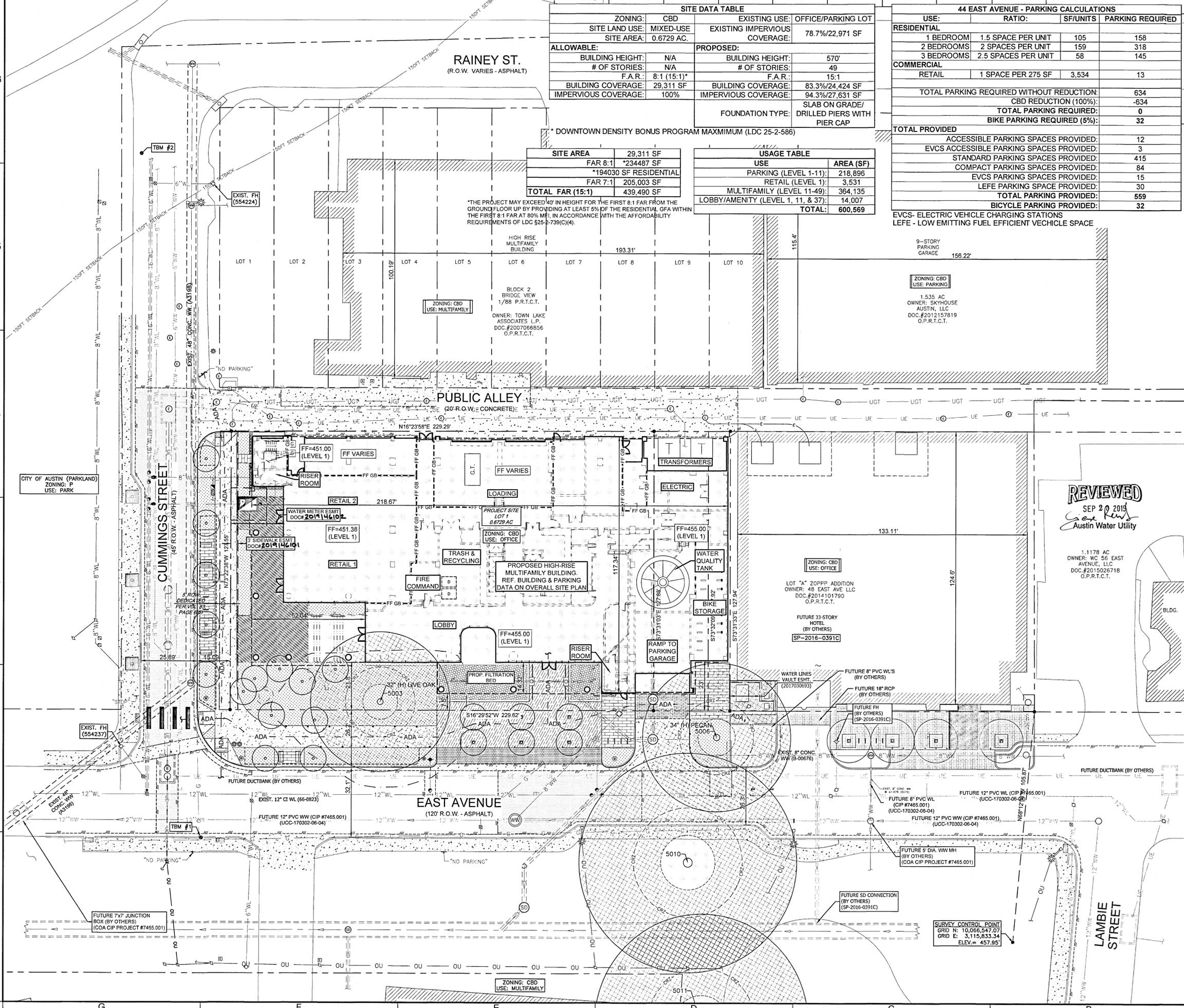
WWW.BIGREDDOG.COM
512-669-5560

BIGREDDOG
ENGINEERING | CONSULTING
2021 EAST 5TH STREET, SUITE 200
AUSTIN, TEXAS 78702

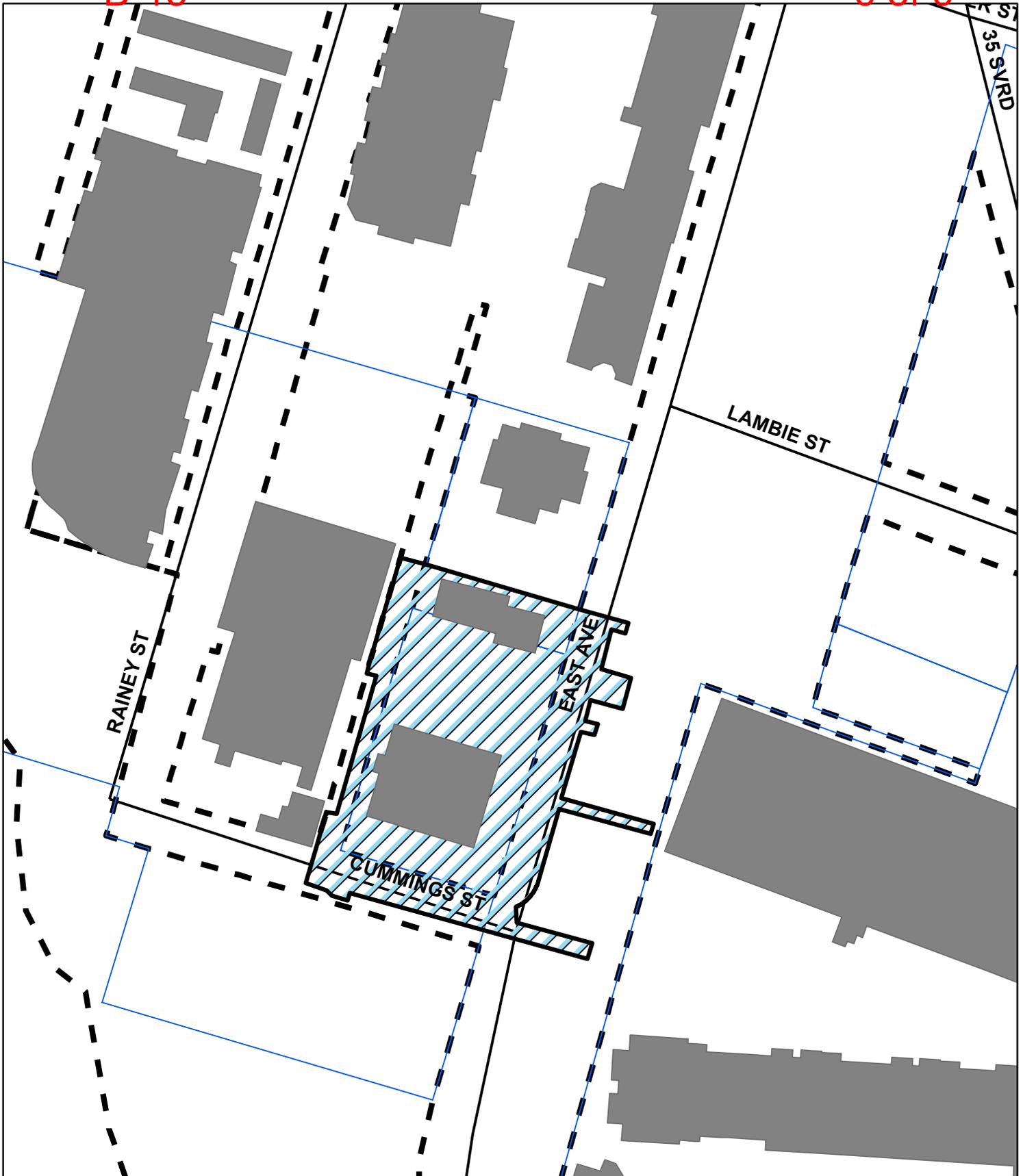
STATE OF TEXAS
GEORGE B. HARRINGTON
114304
LICENSED PROFESSIONAL ENGINEER

44 EAST AVENUE
AUSTIN, TRAVIS COUNTY, TEXAS 78701
OVERALL SITE PLAN

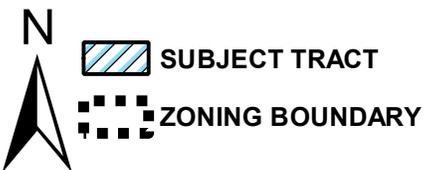
SHEET
CS100
14 OF 72
SP-2018-0472C



FILE NAME: 09/10/2018_CS100 - OVERALL SITE PLAN.DWG
LAST MODIFIED ON: 07/20/2019 5:32:52 PM
PLOT DATE: 07/20/2019 7:45:05 AM
PLOT BY: J. W. W. W.



SITE PLAN



CASE#: SP-2018-0472C
 ADDRESS: 44 East Avenue
 CASE NAME: 44 East
 MANAGER: Anaiah Johnson

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