

1215 W 9th St : *West Line NRHD* - Proposed Partial Demolition / New Addition



1215 W 9th St : Exterior Overview - Existing Conditions



Vinyl replacement window

Wood framing (varies)

Original siding

Metal flashing in lieu of



Original siding

OSB replacement material

New fiber cement siding



Original siding

Siding transition

Non-original siding

New framing at corners

Original siding

New fiber cement board

New steel framing

New steel framing

Siding transition





1215 W 9th St : Material Alterations Over Time

98	4"x6" TMN PECAN
97	8" PECAN
141	10"x4" TMN PECAN
142	9" ELM
158	7" OAK
179	13" ELM

TREE LEGEND

NOTE:
T.B.M. = " X " CUT IN CONC. DRIVE = 528.20'
T.B.M. # 1



ANDREA L. MARCH
TRACT
DOC. NO. 2004090552

TIMOTHY MORGAN
TRACT
VOL. 13047, PG. 1766

NOTE:
NO RESTRICTIVE COVENANTS OF RECORD WERE FOUND.
NOTE:
Bearings and Elevation Info. shown hereon are based on actual GPS Observations, Texas State Plane Coordinates, Central Zone, Grid.

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 48453C, Panel No. 0445 J, which is dated 01/06/2016. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X. Because this is a boundary survey, the survey did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tree's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <https://www.fema.gov/portal>.

Property Address:
1215 W. 9TH STREET
Property Description:
Being 0.126 acres of land, more or less, out of the T.J. Chambers Survey, Abstract No. 7, Travis County, Texas, being that same property described in a Trustee's Deed recorded in Document Number: 2013156661, Official Public Records, Travis County, Texas, said 0.126 acres being more particularly described by notes and bounds attached hereto.

Owner:
KEVIN S. SIMS

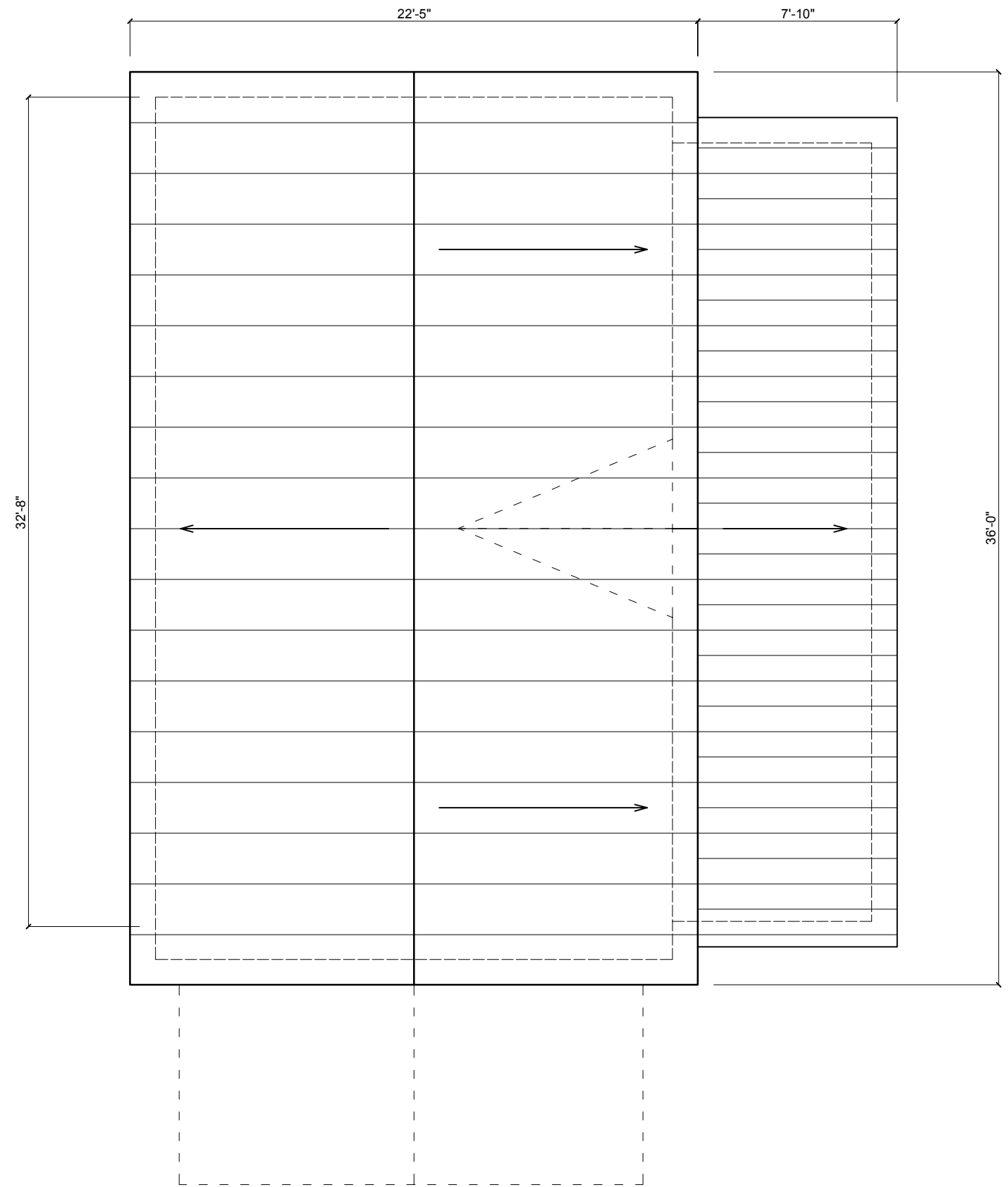
I, MARK J. EWALD, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above plot represents an actual survey made on the ground under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachment or overlapping of improvements, to the best of my knowledge and belief, except as shown herein.

WESTAR
Alamo
LAND SURVEYORS, LLC.
P.O. BOX 1645 BOERNE, TEXAS 78006
PHONE (210) 372-9500 FAX (210) 372-9898

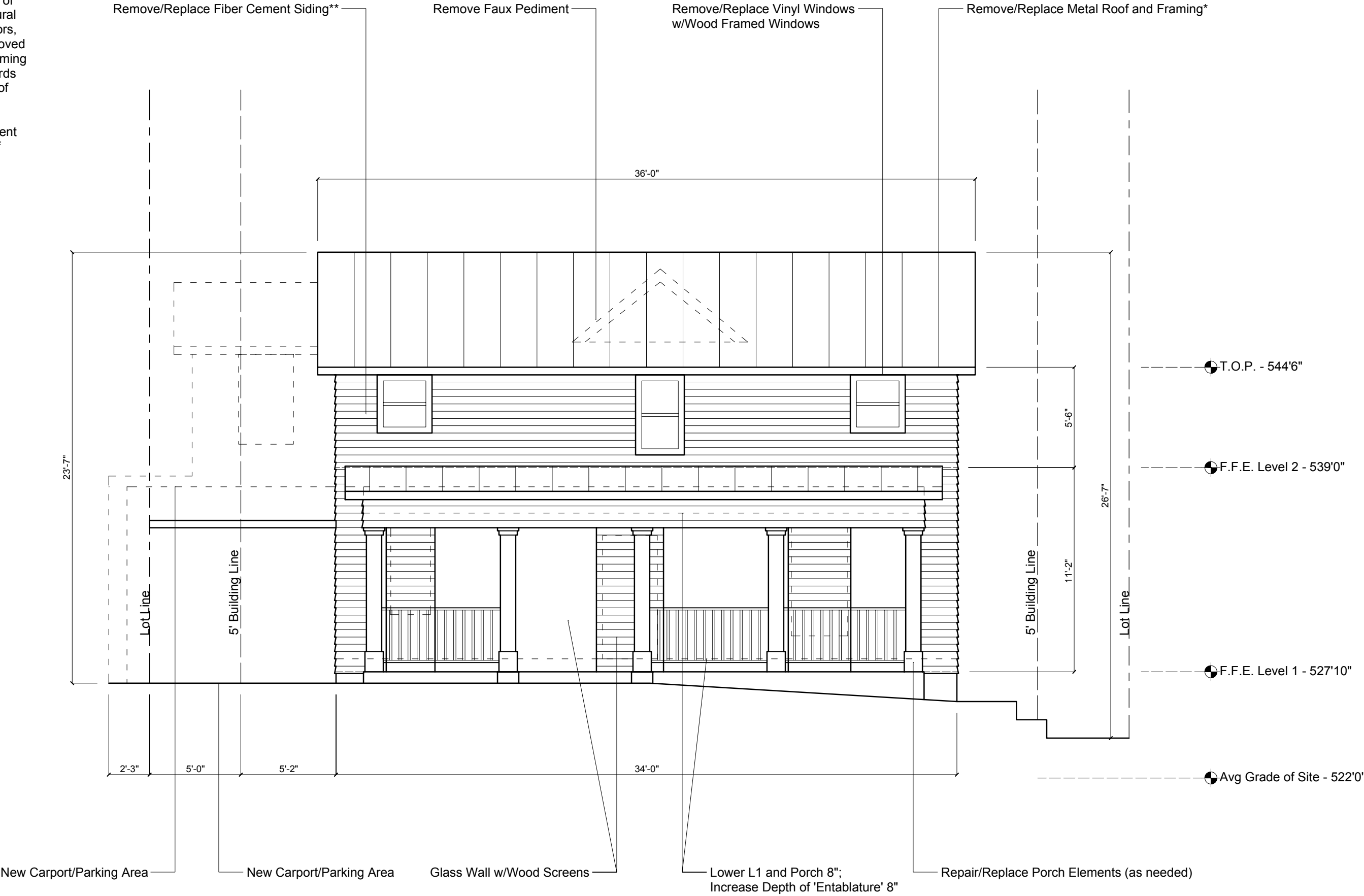
LEGEND
-- CATERED ROAD
-- RND 1/2" IRON ROD
-- RECORD INFORMATION
-- B.S. BUILDING SETBACK
-- R.D. RECORD DIGNITY MONUMENT
-- WATER METER
-- GAS METER
-- POWER POLE
-- OVERHEAD ELECTRIC
-- WOOD FENCE
-- SET "X" ON CONCRETE
-- WIRE FENCE

STATE OF TEXAS
REGISTERED
MARK J. EWALD
5095
LAND SURVEYOR

MARK J. EWALD
Registered Professional Land Surveyor
Texas Registration No. 5095

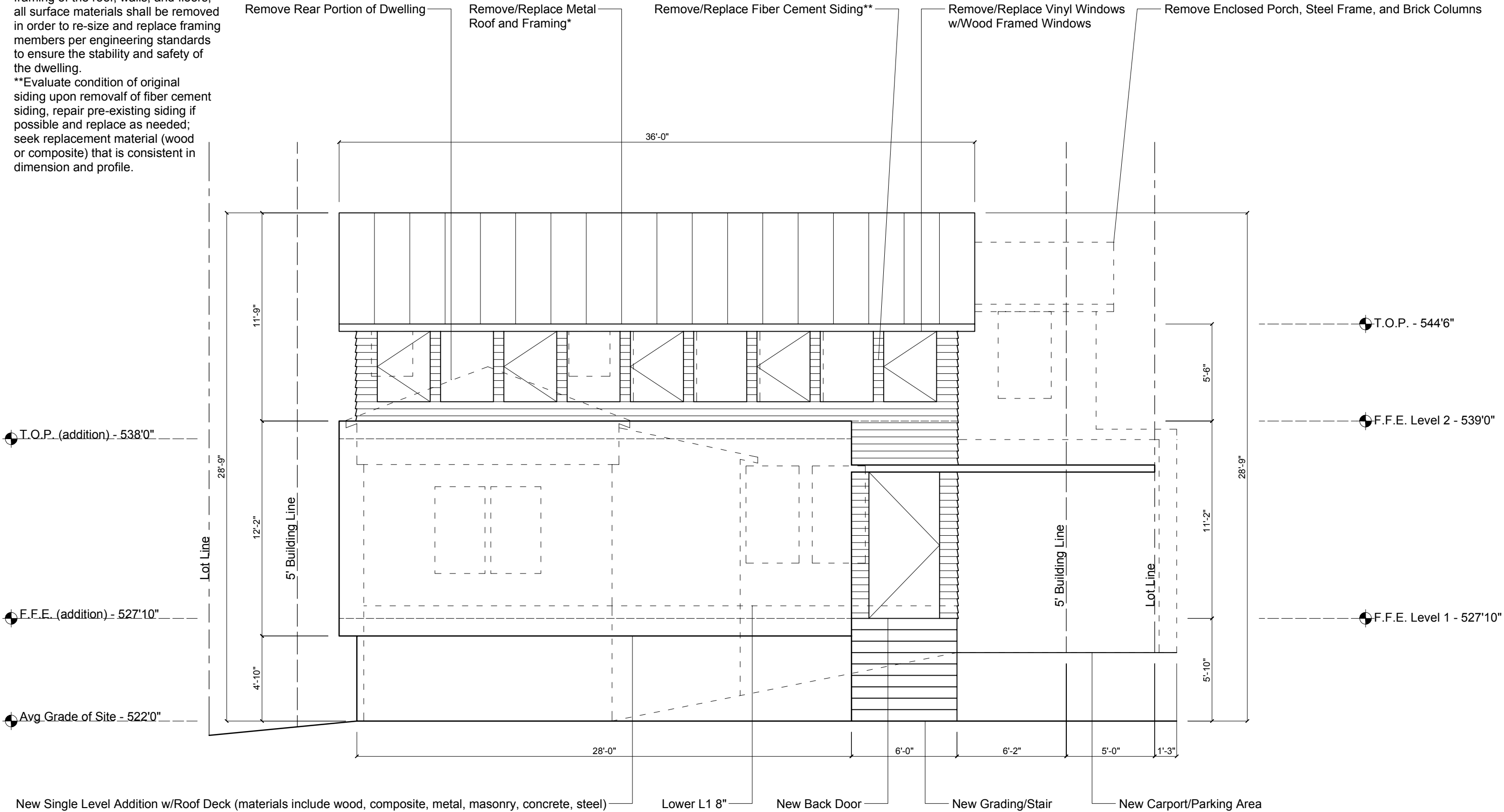


*Due to the extreme deterioration of and termite damage to the structural framing of the roof, walls, and floors, all surface materials shall be removed in order to re-size and replace framing members per engineering standards to ensure the stability and safety of the dwelling.
**Evaluate condition of original siding upon removal of fiber cement siding, repair pre-existing siding if possible and replace as needed; seek replacement material (wood or composite) that is consistent in dimension and profile.



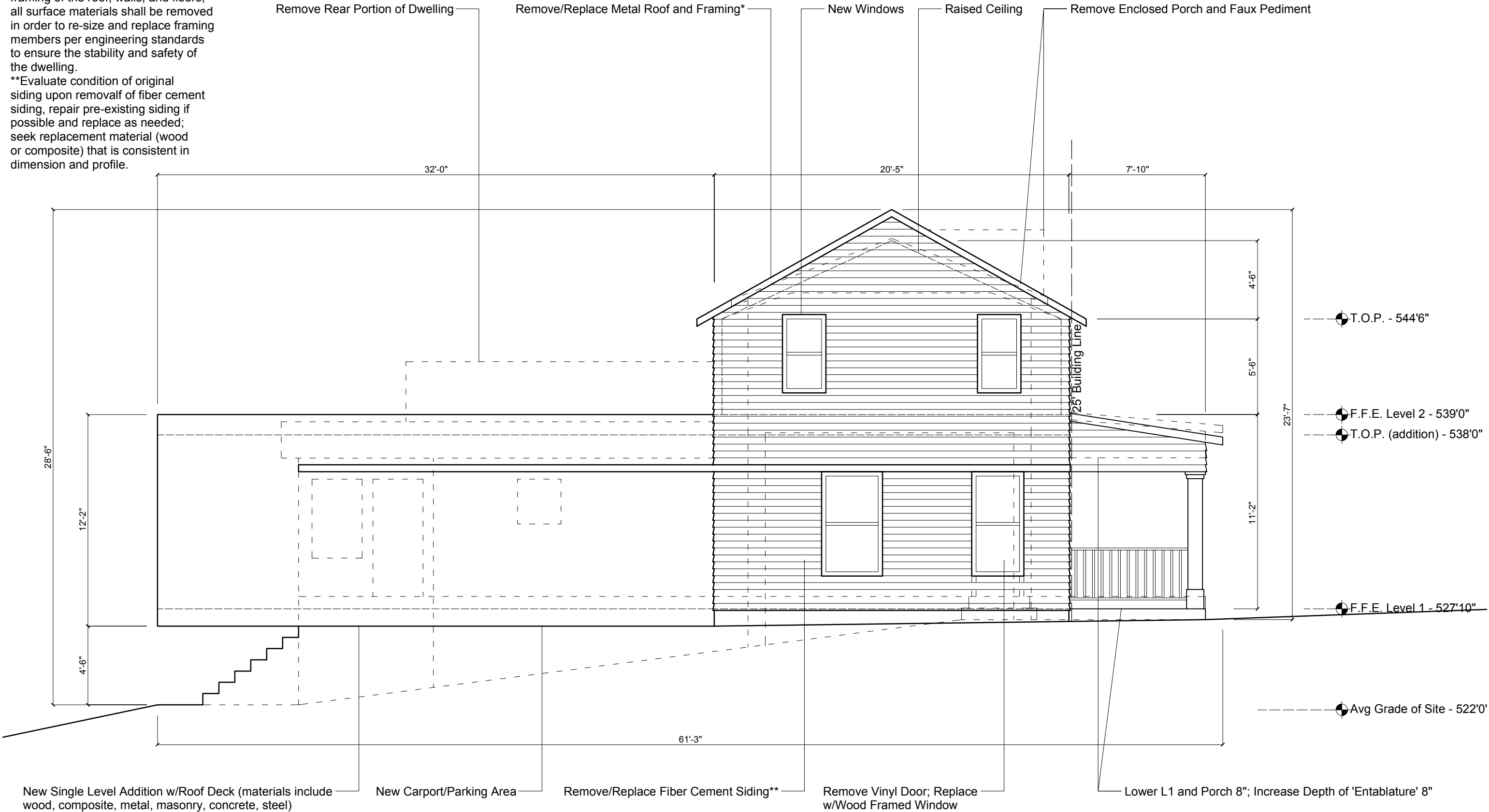
1215 W 9th St : A201 - North Elevation (3/16" = 1')

*Due to the extreme deterioration of and termite damage to the structural framing of the roof, walls, and floors, all surface materials shall be removed in order to re-size and replace framing members per engineering standards to ensure the stability and safety of the dwelling.
**Evaluate condition of original siding upon removal of fiber cement siding, repair pre-existing siding if possible and replace as needed; seek replacement material (wood or composite) that is consistent in dimension and profile.



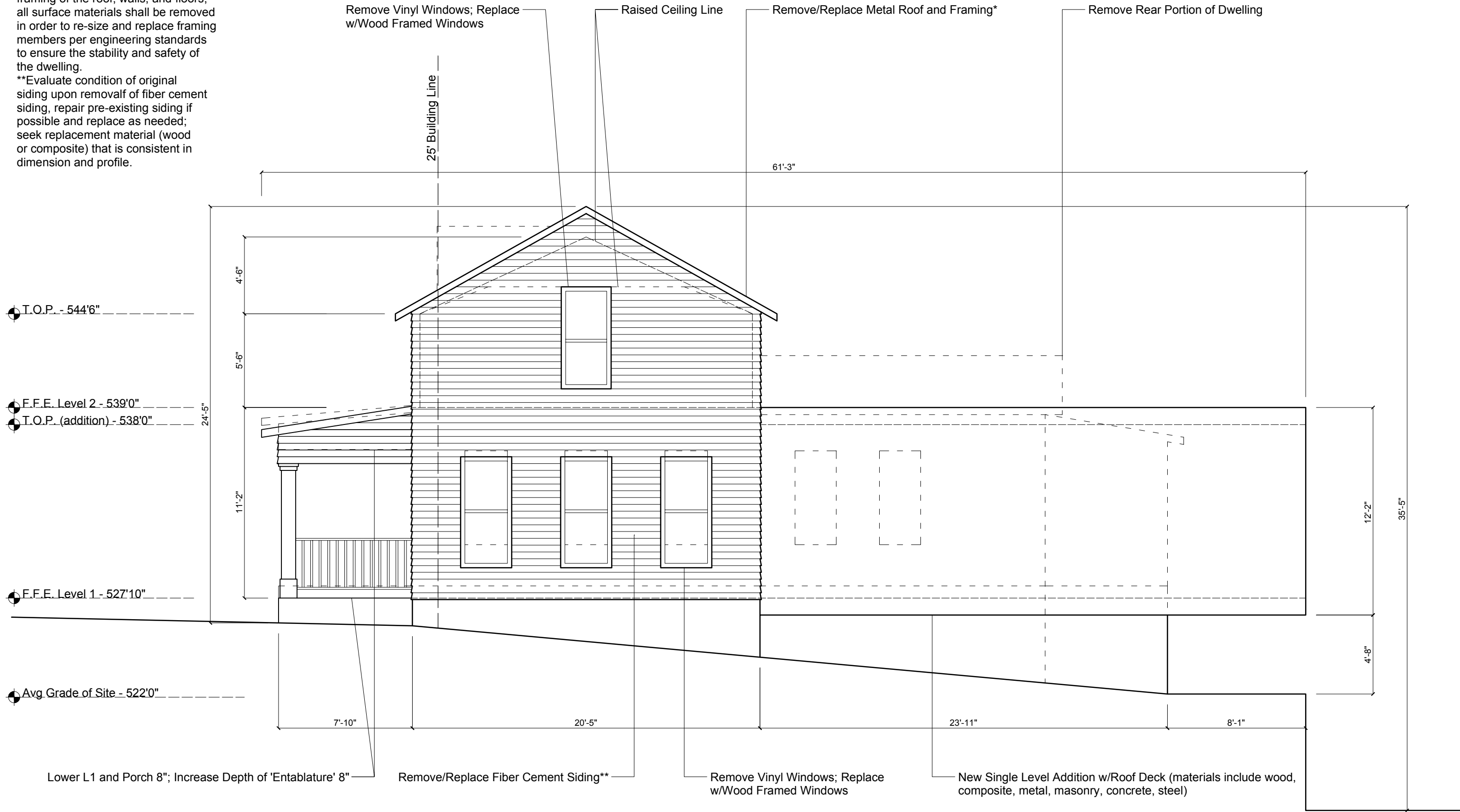
1215 W 9th St : A202 - South Elevation (3/16" = 1')

*Due to the extreme deterioration of and termite damage to the structural framing of the roof, walls, and floors, all surface materials shall be removed in order to re-size and replace framing members per engineering standards to ensure the stability and safety of the dwelling.
**Evaluate condition of original siding upon removal of fiber cement siding, repair pre-existing siding if possible and replace as needed; seek replacement material (wood or composite) that is consistent in dimension and profile.



1215 W 9th St : A203 - East Elevation (3/16" = 1')

*Due to the extreme deterioration of and termite damage to the structural framing of the roof, walls, and floors, all surface materials shall be removed in order to re-size and replace framing members per engineering standards to ensure the stability and safety of the dwelling.
**Evaluate condition of original siding upon removal of fiber cement siding, repair pre-existing siding if possible and replace as needed; seek replacement material (wood or composite) that is consistent in dimension and profile.



1215 W 9th St : A204 - West Elevation (3/16" = 1')