



For Office Use Only

Date of Submission: \_\_\_\_\_

Plan Review #: \_\_\_\_\_

## Historic Review Application

Property Address: 2411 Pemberton Place

Historic Landmark ☐

Historic District (Local) ☒

National Register Historic District ☐

Historic Landmark or  
Historic District Name: Old West Austin

Applicant Name: Robet Featherston, AIA Phone #: 5124500820 Email: robert@cuppetchitects.co

Applicant Address: 2815 Exposition Blvd City: Austin State: TX Zip: 78703

Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) <u>Remodel Interior. Brick to be removed and</u> <u>reinstalled or replaced for new weather barrier.</u> <u>Historic wood windows to be restored. All</u> <u>exterior wood trim to be restored.</u>	<u>Main House Wing</u> _____ _____	<u>Brick, Painted wood,</u> <u>slate roof</u> _____ _____
2) <u>reconstructed 2 story wing with new attic</u> <u>addition to create 3rd floor guest room, new</u> <u>chimney, new wood windows, trim to match</u> <u>existing.</u>	<u>Recontstructed 2 story</u> <u>wing</u> _____ _____	<u>brick to match main</u> <u>house, new wood</u> <u>windows, slate roof</u> _____ _____
3) <u>addition behind house</u> _____ _____ _____	<u>rear addition</u> _____ _____ _____	<u>matching brick and</u> <u>wood trim, wood</u> <u>windows, steel doors,</u> <u>slate roof, lap siding</u> _____ _____

### Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing and proposed conditions for alterations and additions.

Site Plan ☒

Elevations ☒

Floor Plan ☒

Roof Plan ☒

2. Color photographs of building and site:

Elevation(s) proposed to be modified ☒

Detailed view of each area proposed to be modified ☒

Any changes to these plans must be reviewed and approved by the Historic Preservation Office and/or Historic Landmark Commission.

Applicant Signature: \_\_\_\_\_

Date: \_\_\_\_\_





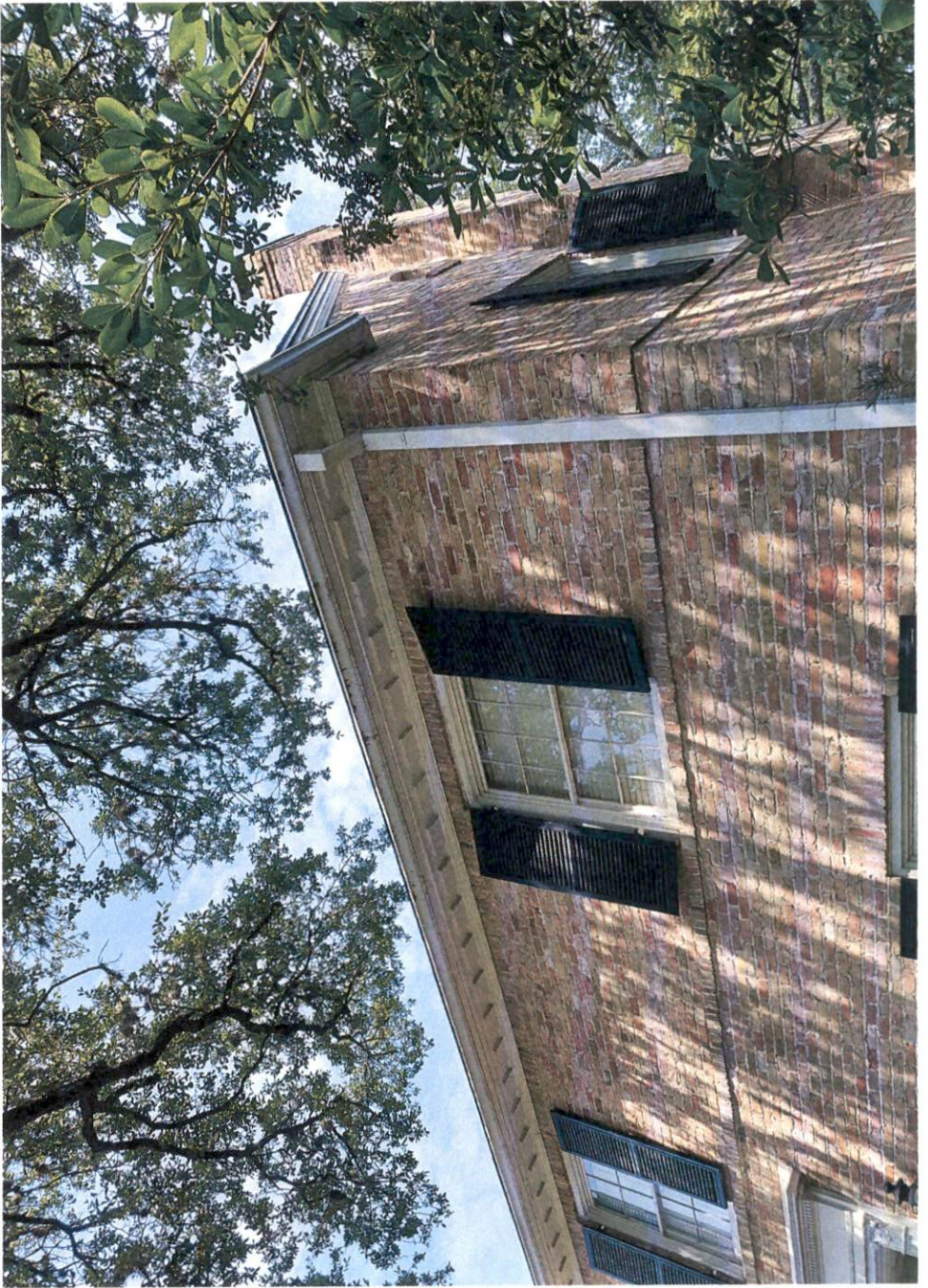
2411 PEMBERTON PLACE - FRONT ELEVATION (WEST)





2411 PEMBERTON PLACE - RIGHT ELEVATION (SOUTH)











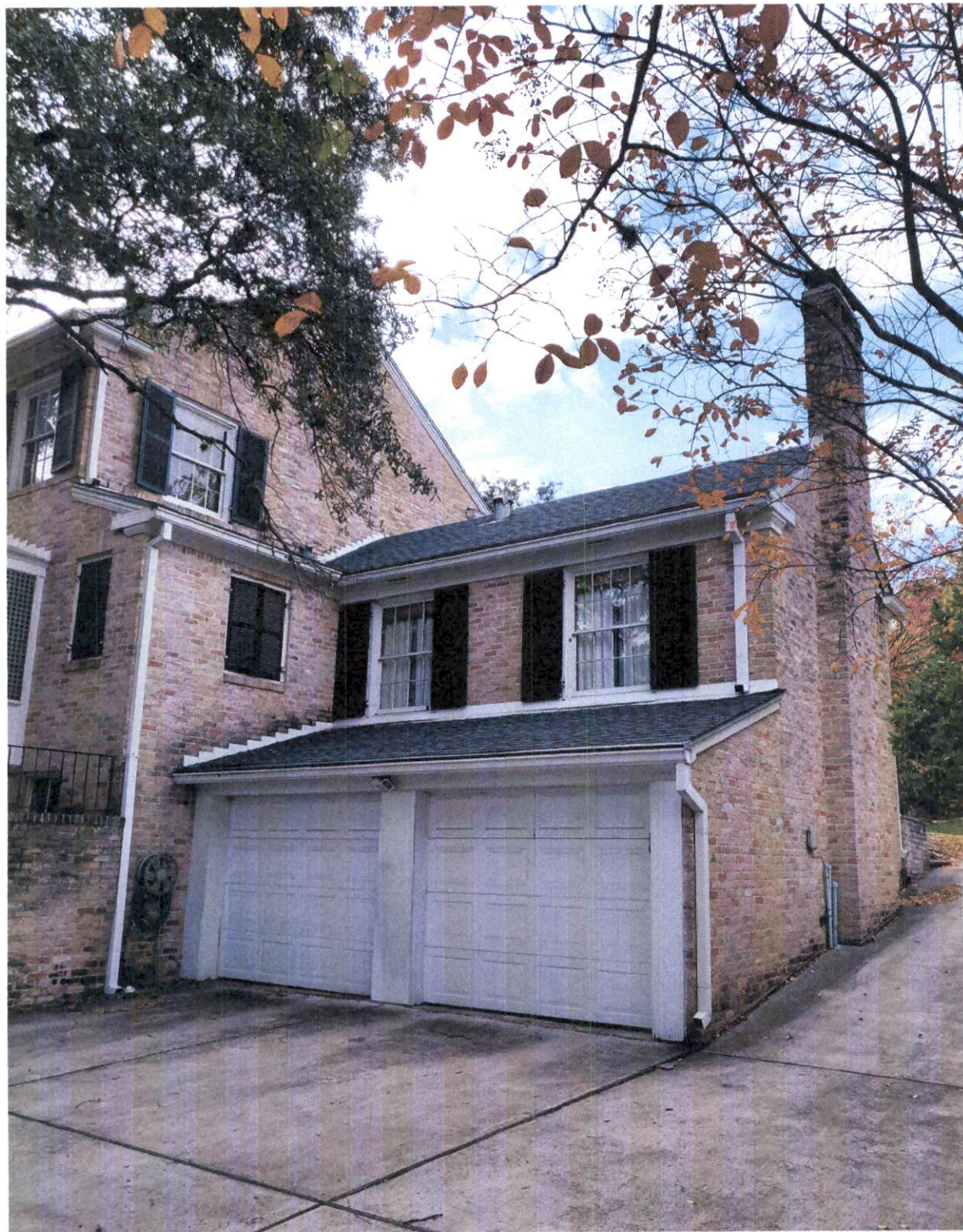






2411 PEMBERTON PLACE - REAR ELEVATION (EAST)





2411 PEMBERTON PLACE - LEFT ELEVATION (NORTH)





BRANCH TO BE REMOVE FROM T88

PEMBERTON PLACE

(50' R.O.W.)

R=1137.75'  
N 36°58'21" E C=100.15'  
A=100.18' R=1137.75'

DEMO DRIVE

DEMO WALK

EXISTING THREE  
STORY WOOD  
FRAME  
RESIDENCE  
F.F.= 101.00

DEMO DRIVE

DEMO &  
RECONSTRUCT  
2 STORY WING

BRANCH TO  
BE REMOVED  
FOR ADDITION

DEMO PORCH  
AND  
STEPS

EXISTING PATIO

DEMO PORCH  
AND  
STEPS

DEMO WALK

N 52°10'00" W 181.55' (181.60')

LOT 15

LOT 8

LOT 14

LOT 13

LOT 7

PEMBERTON HEIGHTS SECTION 12

5/23

(S 51°57'00" E 189.14')  
S 51°54'00" E 189.20'

(S 41°18'00" W 99.40')  
S 41°22'14" W 99.45'

LEGEND

- LOT LINE
- BUILDING LINE / SETBACK
- EXISTING TOPOGRAPHY
- 1/2" REBAR FOUND
- 1/2" IRON PIPE FOUND
- CAPPED REBAR FOUND
- "X" FOUND IN CONCRETE
- POWER LINE
- POWER POLE
- METAL FENCE
- WOOD FENCE
- WM WATER METER
- EM ELEC METER
- GM GAS METER
- TBM TEMPORARY BENCHMARK
- P.U.E. PUBLIC UTILITY EASEMENT
- S.S.E. SANITARY SEWER EASEMENT
- F.F. FINISHED FLOOR ELEVATION
- ( ) PER PLAT
- C.M. CONTROL MONUMENT
- R.O.W. RIGHT OF WAY
- AC AIR CONDITIONER
- [Hatched Box] = TO BE DEMOLISHED STRUCTURE
- [Dotted Box] = TO BE DEMOLISHED FLATWORK

TREE PROTECTION NOTES:  
ALL DEMOLITION IN THE 1/4 AND 1/2 CRITICAL ROOT ZONE OF PROTECTED TREES TO BE DONE WITH HAND TOOLS

DEMOLITION SITE PLAN

SCALE: 3/32" = 1'-0"

LEGAL DESCRIPTION

LOT 14 PEMBERTON HEIGHTS SEC. 12

ZONING

5F-3

LOT SIZE

18,409 SF

TREE SCHEDULE

TREE #	SIZE/TYPE
T88	39" OAK
T89	16" OAK
T90	9" ELM
T1223	43" OAK
T2759	35" OAK M.S.
T2760	29" OAK
T2762	15" OAK --- REMOVE
T2763	16" ELM --- REMOVE
T2764	17" ELM --- REMOVE
T2765	14" ELM --- REMOVE
T2767	14" ELM
T2768	25" OAK

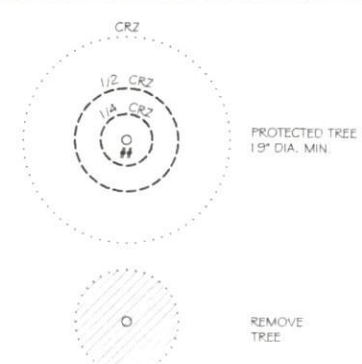
PROTECTED TREE NOTES:

- DRIP LINE CALCULATION 1"-0" PER 0'-1" OF TRUNK
- ALL TREES & NATURAL AREAS SHOWN ON PLAN TO BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. FENCING SHALL BE FRICTED ACCORDING TO CITY OF AUSTIN STANDARDS OF TREE PROTECTION.
- CONTRACTOR RESPONSIBLE FOR PERMIT APPROVAL FOR REMOVAL OF TREES WITH A DIAMETER OF 19" OR MORE.
- ALL EXCAVATION UNDER TREE DRIP LINE TO BE DONE BY HAND. CUT NO ROOTS WITHOUT ARBORIST CONSULTATION.
- ALL NECESSARY PRUNING BY CERTIFIED ARBORIST
- 2X4 PLANKS REQUIRED AT TRUNKS WHERE 1/2 CRZ IS NOT FENCED COMPLETELY
- PROVIDE 8" OF MULCH AT EXPOSED CRZ
- TRENCHING WITHIN 1/2 CRZ TO BE AVOIDED. IF REQ'D, CERTIFIED ARBORIST TO AIRSPADE FOR TOP 30" TO AVOID CUTTING ROOTS 1 1/2" OR GREATER

SITE PLAN NOTES:

- PERFORM ALL WORK IN ACCORDANCE WITH THE CITY OF AUSTIN CODES, REGULATIONS & ORDINANCES.
- SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY PROVIDED BY OWNER.
- CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
- CIVIL ENGINEERING BY OTHERS.
- TAKE PRECAUTIONS TO MAINTAIN ALL EXISTING UTILITY SERVICES.
- TAKE MEASURES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- LANDSCAPING BY OTHERS (N.I.C.)
- PROVIDE PVC PIPE SLEEVES BENEATH ALL PAVED SURFACES TO ACCOMMODATE LANDSCAPE LIGHTING, IRRIGATION & DRAINAGE

TREE LEGEND



SITE PLAN

A.100

A RENOVATION FOR  
MICHELLE & ROBERT STRAUSS  
2411 PEMBERTON PLACE  
AUSTIN, TX 78703

ISSUE  
12.13.19

PERMIT



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PEMBERTON PLACE

(50 R.O.W.)

1

PROPOSED SITE PLAN

SCALE: 3/32" = 1'-0"



LEGEND

- LOT LINE
- BUILDING LINE / SETBACK
- EXISTING TOPOGRAPHY
- ORIGINAL TOPOGRAPHY
- NEW TOPOGRAPHY
- 1/2" REBAR FOUND
- 1/2" IRON PIPE FOUND
- CAPPED REBAR FOUND
- "X" FOUND IN CONCRETE
- POWER LINE
- POWER POLE
- METAL FENCE
- METAL TRELLIS / FENCE
- WOOD FENCE
- WM WATER METER
- EM ELEC METER
- GM GAS METER
- TBM TEMPORARY BENCHMARK
- P.U.E. PUBLIC UTILITY EASEMENT
- S.S.E. SANITARY SEWER EASEMENT
- F.F. FINISHED FLOOR ELEVATION
- ( ) PER PLAT
- C.M. CONTROL MONUMENT
- R.O.W. RIGHT OF WAY
- AC AIR CONDITIONER
- NEW CONSTRUCTION
- STONE PAVERS ON REINFORCED CONCRETE SLAB
- GRAVEL

LEGAL DESCRIPTION

LOT 14 PEMBERTON HEIGHTS SEC 11

ZONING

5F-3

LOT SIZE

18,409 SF

TREE SCHEDULE

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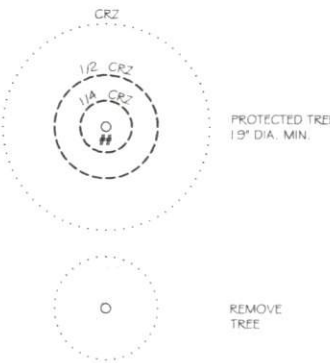
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TREE LEGEND



SITE PLAN

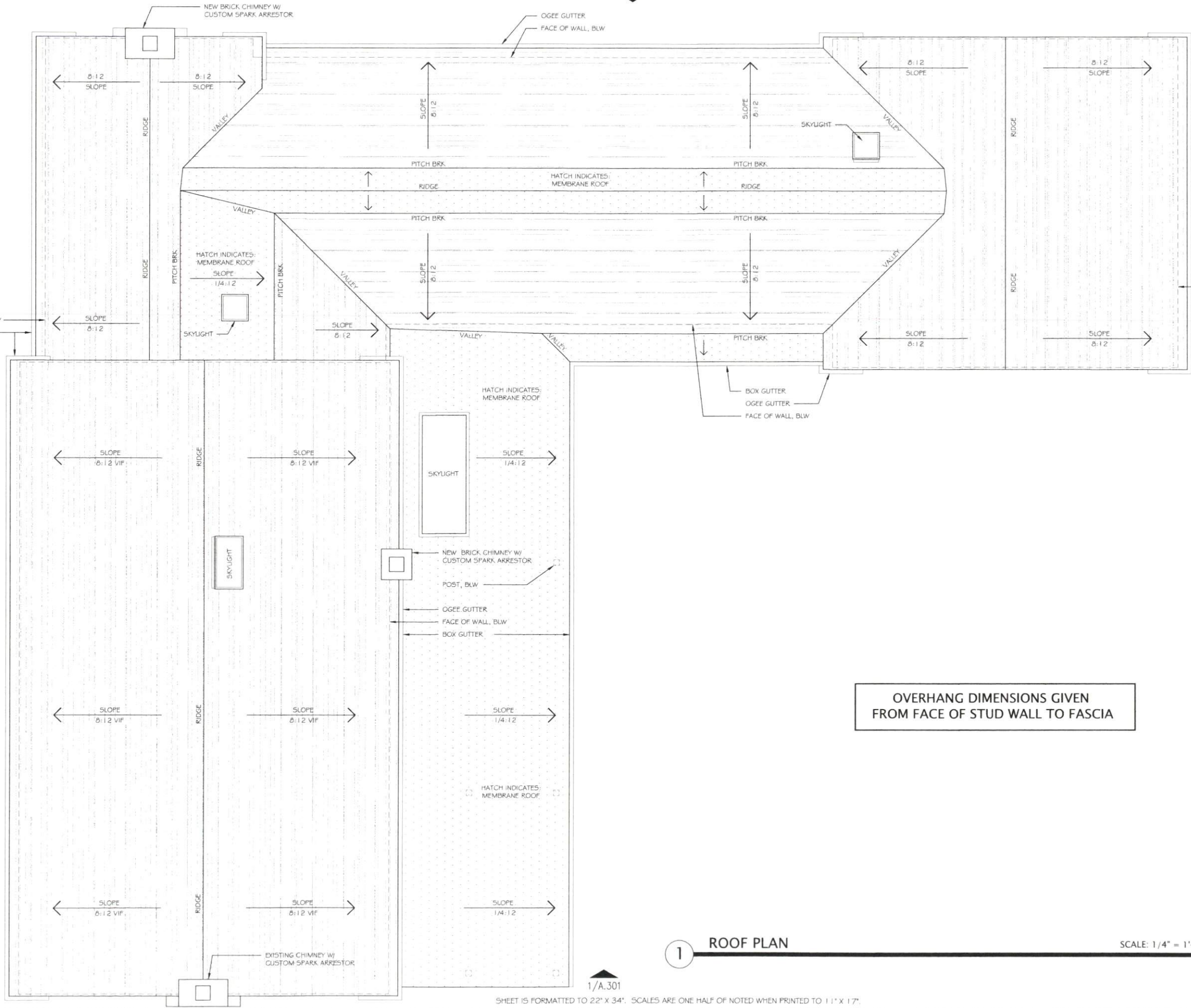
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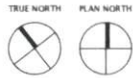
A.101





1 ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN NOTES:

- PROVIDE & INSTALL COMPLETE ROOF SYSTEM WITH ALL FLASHING & MISC TRIM AS REQUIRED.
- ROOF PENETRATIONS TO BE GROUPED AND ORGANIZED. COORDINATE ALL ROOF PENETRATIONS WITH ARCHITECT PRIOR TO INSTALL.
- ROOF PENETRATIONS SHALL BE INSTALLED PLUMB AND FINISHED TO MATCH ROOF.

ROOF SPEC:

- WHOLE HOUSE TO RECEIVE NEW SLATE ROOF, UNO
- SLATE ROOF: TO BE DETERMINED - SUBMIT SAMPLE FOR APPROVAL
- MEMBRANE ROOFING: TO BE DETERMINED - SUBMIT SAMPLE FOR APPROVAL
- REINFORCE EXISTING TO REMAIN ROOF AS REQUIRED TO SUPPORT SLATE.

SEMI-CONDITIONED ATTIC, SPRAY FOAM INSULATION UNDER ROOF DECK.  
WATER HEATER(S) IN ATTIC. EXACT LOCATION TBD.







2 EXISTING FRONT ELEVATION (WEST)

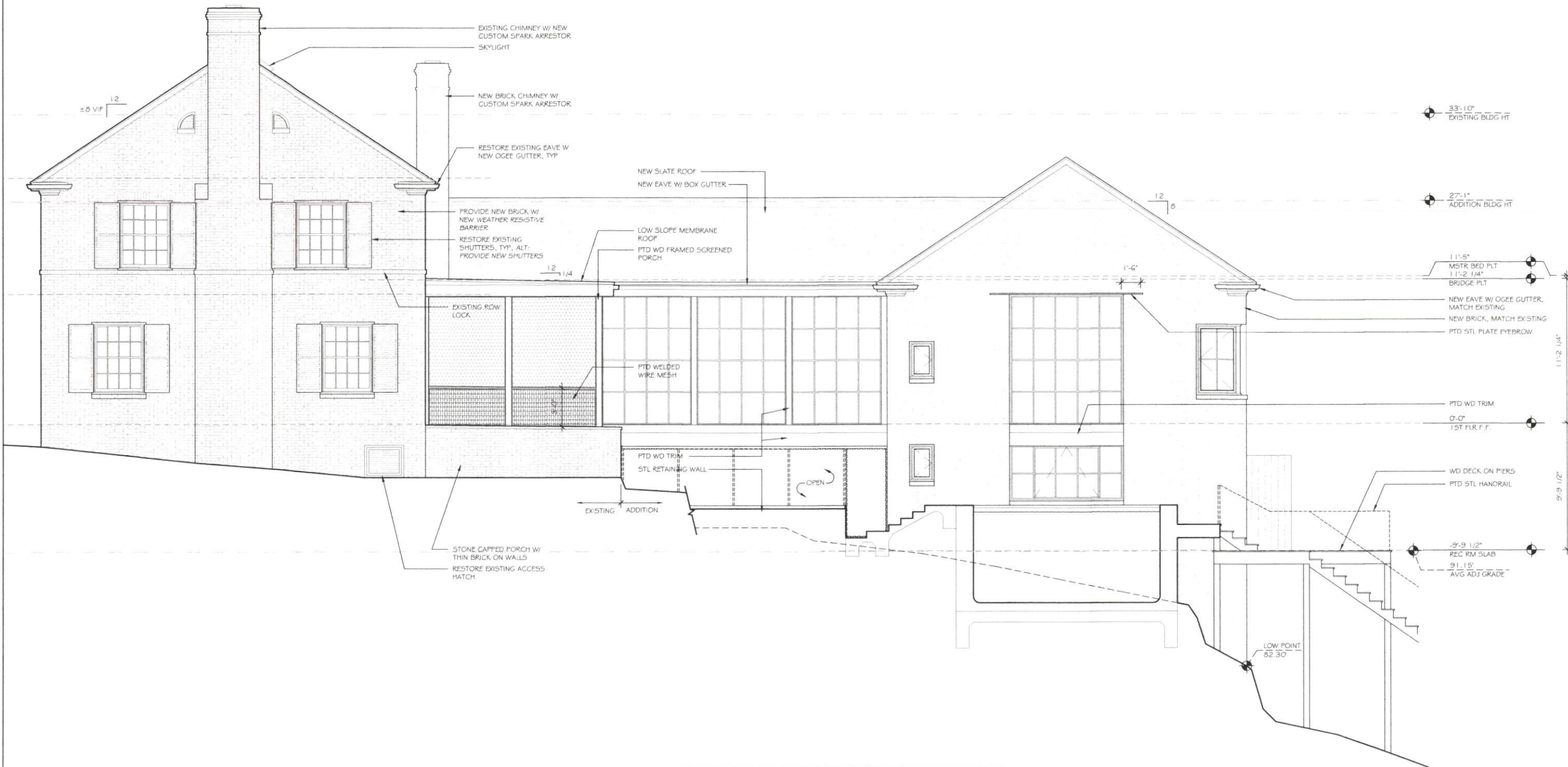
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION (WEST)

SCALE: 1/4" = 1'-0"





1

PROPOSED RIGHT ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

ELEVATION

A.301

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1 PROPOSED REAR ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

ELEVATION

A.302

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RESTORATION NOTE:  
ALL EXISTING TO REMAIN TRIM, WINDOWS, DOORS AND SHUTTERS  
TO BE RESTORED TO WELL-MAINTAINED CONDITION, REPAINT.

1 PROPOSED LEFT ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"

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ELEVATION

A.303

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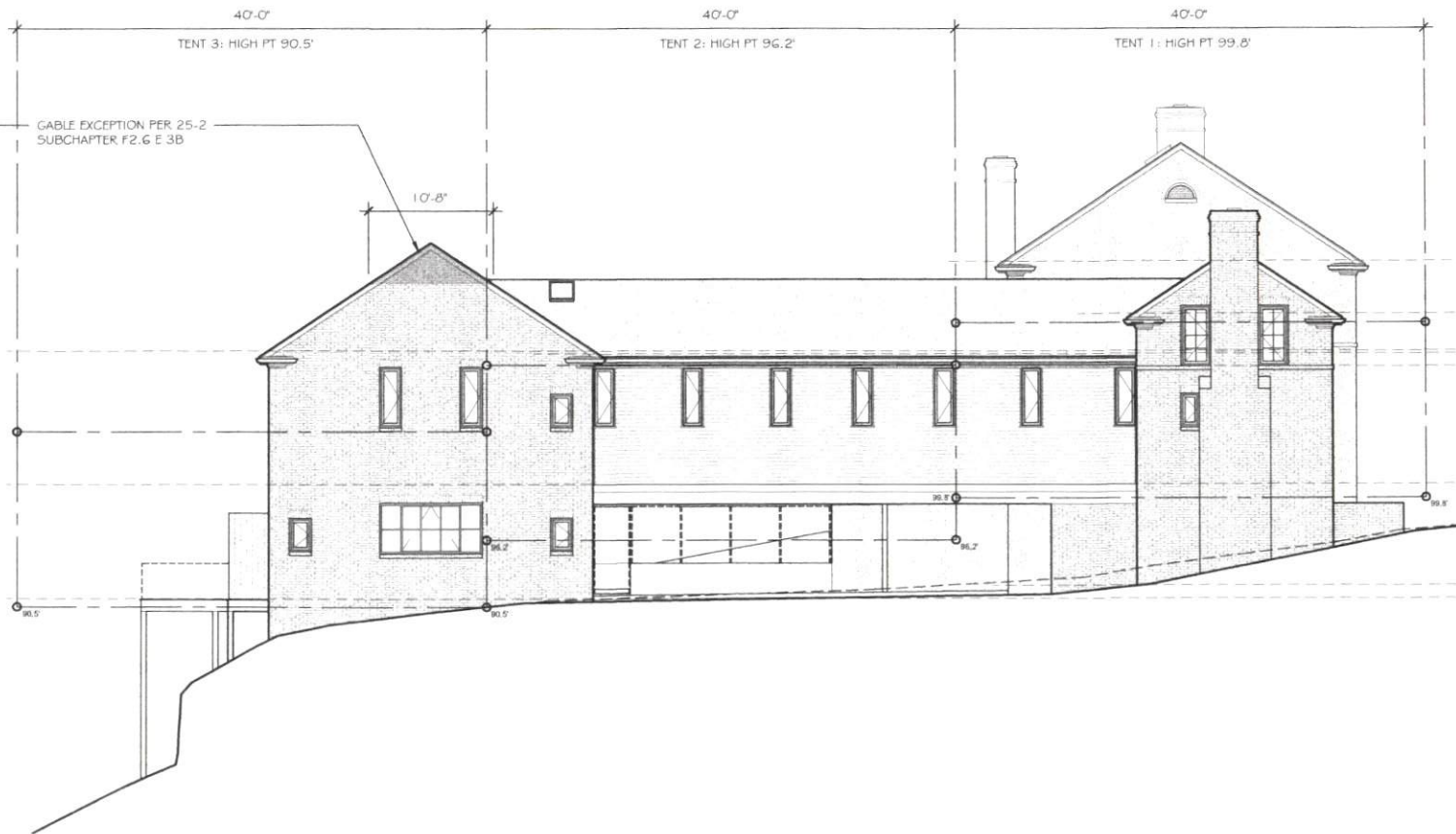
FRONT ELEVATION (WEST)



RIGHT ELEVATION (SOUTH)



REAR ELEVATION (EAST)



LEFT ELEVATION (NORTH)

1

MCMANSION ELEVATIONS

SCALE: 1/8" = 1'-0"

MCMANSION ELEVATIONS

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