

Permit Set

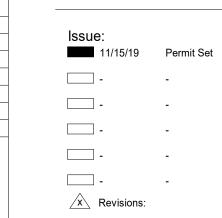
11/15/19



White Residence

1102 Charlotte St. Austin, TX 78703

symbol legend	general notes	general notes cont.		project description		drawing index Pricing Permit Bid
Window Tag Room Tag Room 101 Keynote 05.04 Elevation	All work shall be performed in accordance with all applicable codes; regulations, ordinances and standards having jurisdiction. If there are any questions or conflicts concerning compliance with such codes, ordinances or standards, the contractor is responsible for notifying the designer before proceeding with the work in questions. All necessary permits, licenses, certificates, tests. Etc. shall be procured and paid for by the contractor (or owner if he designates). Refer to specification "General Conditions" section for clarifications on fee responsibilities.	 17. "Typical" or "Typ." as used in these documents shall mean that the condition is the same or representative for all similar conditions throughout, unless otherwise noted. 18. "Similar" or "Sim." As used in these documents shall mean that the condition is similar to a condition detailed for another location. 19. The contractor shall provide updated record documents of as-built conditions on-site when different from construction documents, and shall provide said documents to designer upon completion of construction. 20. This cover sheet is a master index. Not all symbols/items will be included in drawings. 21. Do not disassemble this set or distribute partial sets to subcontractors. Cover sheet contains data pertaining to all sheets. 22. Refer to additional information for additional general notes, if any. 23. All work shall comply with City of Austin visitability requirements per ordinance 2014013-021 		The White Residence is a ground-up 3,500 sq. ft. single family house located at 1102 Charlotte Street. There is an existing single family house on the property that we are leaving untouched by our design and it will be used as a guest house. applicable codes 2015 International Building Code* 2015 International Energy Conservation Code* 2015 International Residential Code* *And all applicable City of Austin Amendments		Architectural A0.01 Cover A0.02 General Requirements A0.03 General Requirements A0.04 General Requirements A0.05 ADA Details A0.06 ADA Details A0.07 Site Plan - Survey A0.08 Site Plan A0.09 Building Coverage A0.10 Floor Area Ratio - Level 1 A0.11 Floor Area Ratio - Level 2 A1.00 Basement Plan A1.01 Partition Types (Wood) A1.02 Foundation Plan A1.11 First Floor Dimension Plan A1.20 Second Floor Dimension Plan A1.21 Second Floor Dimension Plan A1.30 Roof Plan
Door Tag Detail Callout A3.1 Partition Type Level Level 1	 Contractor is responsible for checking all contract documents, field conditions and dimensions for accuracy and confirming that the work is buildable as shown and meets all applicable codes before proceeding with construction. If there are and questions regarding these or other coordination issues, the contractor is responsible for obtaining a clarification from the designer before proceeding with the work in question or related work. The contractor shall certify size and location of all required openings for structural, mechanical, electrical and plumbing work and equipment with trades involved. The general contractor and each subcontractor shall be responsible for checking existing conditions at the job site before submitting proposals. Submissions of proposals shall be taken as evidence that such inspections have been made. Claims for extra compensation for work that could have been foreseen by such inspection, whether shown on contract documents or not, shall not be accepted or 					
Spot Elevation 8' - 0" A.F.F Material Tag Detail Section Interior Elevation Detail Section Ti/AX.X	 5. All materials furnished under this contract shall be new unless otherwise noted. All work shall be guaranteed against defective materials and workmanship for a period of one (1) year after the date of substantial completion or acceptance of the work. The contractor shall repair or replace, at his won expense when ordered to so, all work that may develop defects in material and workmanship within said period of time. 6. All equipment shall be installed in accordance with manufacturer's published recommendations for service intended, as interpreted by the engineer. The installation of all equipment shall be made by experienced craftsmen in a neat, workmanlike manner. All materials, tools, costs and services necessary to completely install all mechanical, electrical, and plumbing work shall be provided by the contractor. 7. Contractor shall be responsible for adequately bracing and protecting all work during construction against damage, collapse and misalignment according to applicable codes, standards, and good construction practices. Contractor shall take proper precautions to protect all existing operations and property adjacent, with which work 	Zoning: Neighborhood Plan Combining District: Land Use: Min. Lot Size: Max. Dwelling Units House) Min. Setbacks: Front Yard: Street Side Yard: Int. Side Yard: Rear Yard: Max. Bldg. Height:	SF-3 Clarksville Single Family Residential 5,750 sf 2 (1 Main + 1 Guest 25 FT. 15 FT. 5 FT. 10 FT. 35 FT.	Design Architect Michael Hsu Office of Architecture 4910 Burnet Rd. Austin, TX 78756 www.hsuoffice.com 512.706.4303 Contact:Joey Rocha Cell #:512.706.4303 Email:hsu@hsuoffice.com	Structural Engineer Bufkin Engineering 2309 W. 8th St. Austin, TX 78703 https://www.bufkinengineering.com/ 512-236-8070 Contact.James Bufkin Cell #.512-914-2659 Email.jamesbufkin@bufkinengineering.com Owner Abode Modern Homes 1713 Bluebonnet Lane #B Austin, TX 78704 abodemodemhomes.com 512.848.4547 Contact.Richard White Cell #.512.401.3030 Email:richard@abodemodernhomes.com	A2.10 First Floor RCP A2.20 Second Floor RCP A3.00 Exterior Elevations A3.10 Exterior Elevations A3.12 Exterior Elevations A3.20 Building Sections A3.30 Building Sections A3.40 Building Sections A4.10 Wall Sections A6.00 Interior Elevations A6.10 Interior Elevations A6.20 Interior Elevations A6.30 Interior Elevations A6.40 Interior Elevations A6.50 Interior Elevations A6.60 Interior Elevations A6.60 Interior Elevations A6.70 Door Schedule A7.10 Window Details A8.00 Finish Schedule
THE ST WITH ST WITH ST WE ST	comes in contact, or over or under which he may transport, hoist, or move materials, equipment, debris, etc. and shall repair satisfactorily all damages caused by him during construction. 8. The contractor shall verify all coordinate sizes, locations and characteristics of all work and equipment to be furnished by the owner, or others with the manufacturer or supplier before any construction is begun. 9. The contractor shall submit to the designer confirmations or orders, including delivery dates, for all materials and equipment whose timely delivery is required to avoid changes in the construction documents or in the construction schedule. 10. The contractor must submit shop drawings to the designer for approval before proceeding with fabrication. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, for selecting fabrication processes, for techniques or assembly, for performing the work in a safe manner, and for adhering to all applicable codes and standards. 11. Location of all ceiling mounted items in the designer's construction documents have precedence over MEP drawings. Designer shall be notified of any conflicts prior to construction. 12. It is the intent and meaning of the contract documents that the contractor shall provide a mechanical, electrical, and plumbing installation that is complete. All items and appurtenances necessary, reasonably incidental, or customarily included, even though each and every item is not specifically called out or shown in the construction documents shall be provided. 13. All MEP related items should be reviewed by the engineer and may be adjusted pending notice to and approval of the designer. 14. Written dimensions shall have precedence. Do not scale dimensions. If no dimension is listed, contact designer for clarification.	Conditioned Floor Area First Floor: Second Floor: Studio Existing: Conditoned Area: Total Conditioned Area: Unconditioned Floor Area Garage: Building Areas Lot Area: Total Building Area: Total Building Coverage: Total Site Impervious: FAR:	1,888 SF 1,361 SF 212 SF 1,312 SF 4,773 SF -200 (Garage) 4,573 SF 459 SF 11,460 SF 4,584 SF 4,489 SF (39%) 5,025 SF (43%) 0.39			

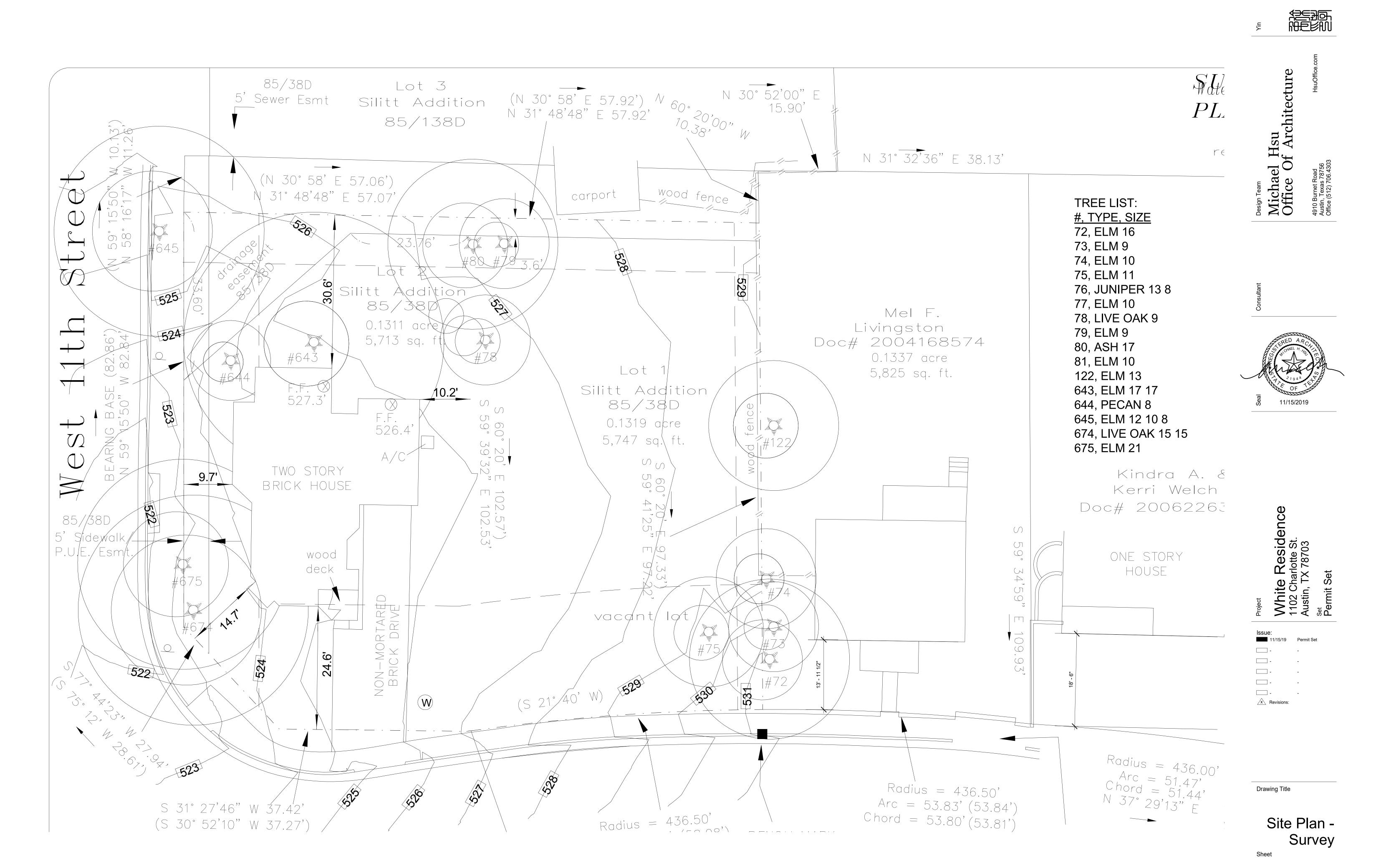


Drawing Title

Cover

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1 Survey

Michael Hsu Office Of Architecture

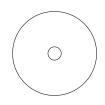
SITE PLAN GENERAL NOTES

- 1. All spot elevations to be verified in field prior to construction. Notify MHOA of any discrepancies.
- Benchmark to be verified with architect prior to construction. Do not scale the drawings. If a specific dimension is not given,
- contact MHOA for clarification. GC is responsible for protecting and repairing additional damage
- arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to Tree protection fencing is required for all existing trees 19 inches in
- diameter (60 inches in circumference) within the limits of construction. Fencing should protect the entire critical root zone (CRZ) area. Fencing is required to be chain-link mesh at a minimum height of five feet. A 6-inch layer of mulch within the entire available root zone area is required for trees which have any disturbance indicated within any portion of the critical root zone.
- Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection

SITE PLAN KEYNOTES

- Existing tree to be removed and replaced with smaller tree to be determined by owner
- 02.13 Existing house to remain 02.14 Existing driveway to remain
- 04.02 Stone river rock pavers
- 32.19 Fill area with gravel
- 32.22

TREE LEGEND



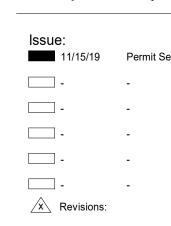
Existing Tree to Be Removed



Existing Tree to Be Removed

- Existing electrical service
- 23.10 Condenser units on concrete pad. 23.11 Hvac pad
- 26.06 Electrical panel 32.12 New planter with corten steel edging.
- 32.20 New trees to be chosen by owner
- Cast in place concrete planter box, general contractor to coordinate plantings and irrigation

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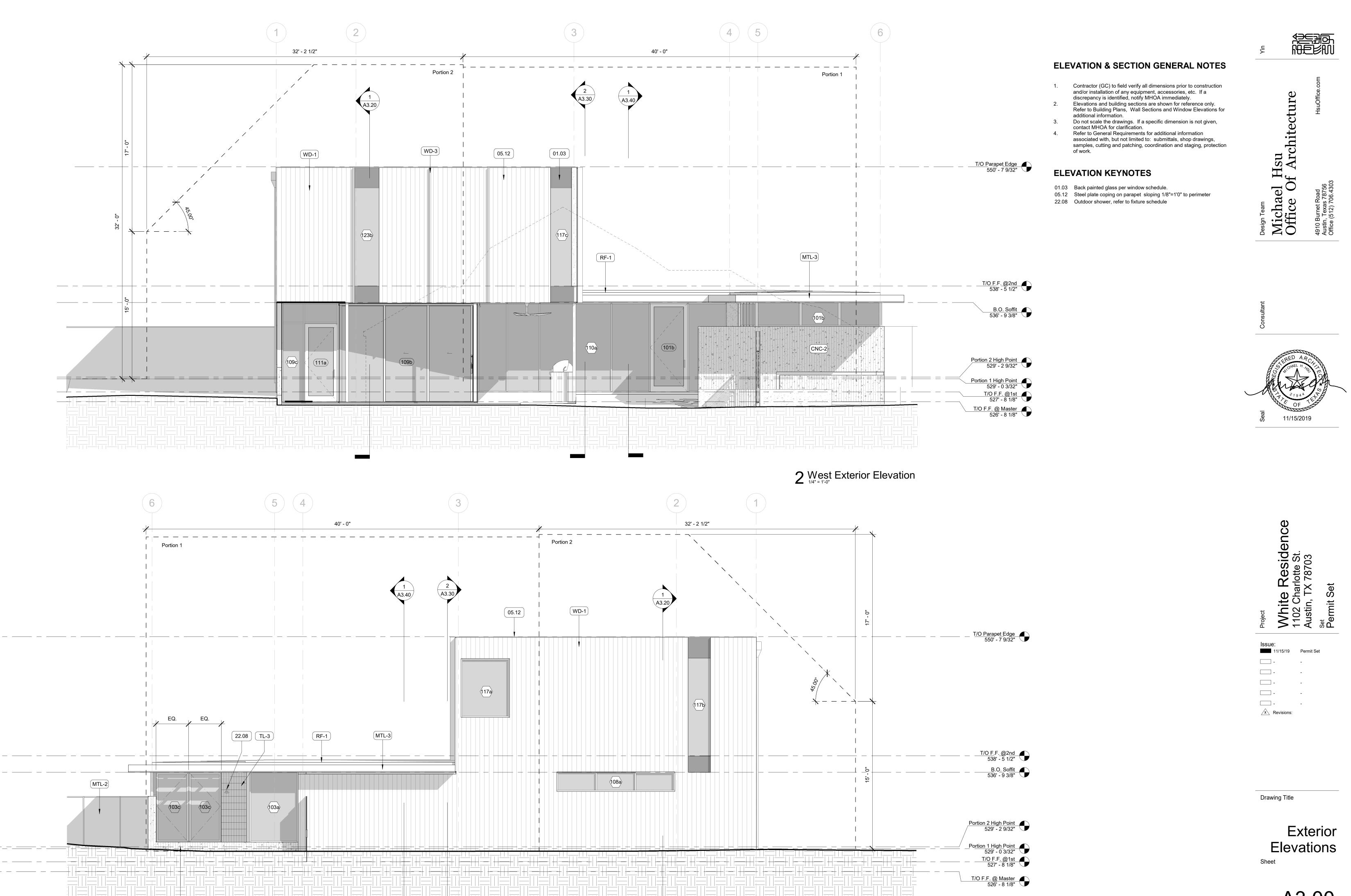


Drawing Title

Site Plan

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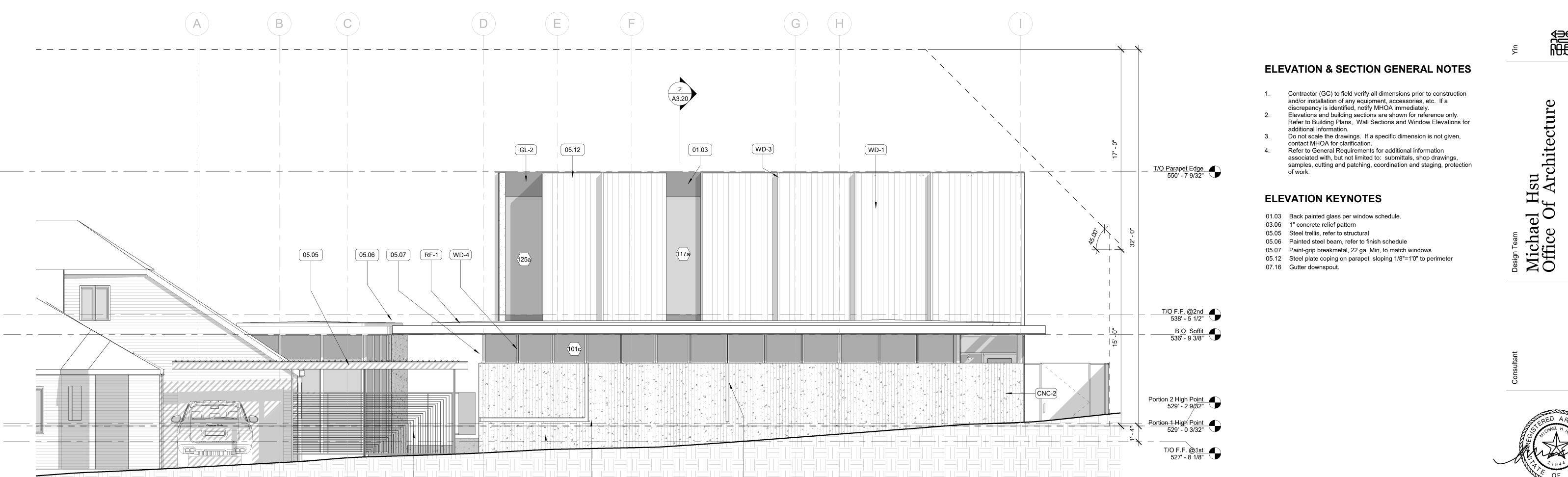


1 East Exterior Elevation

CNC-2

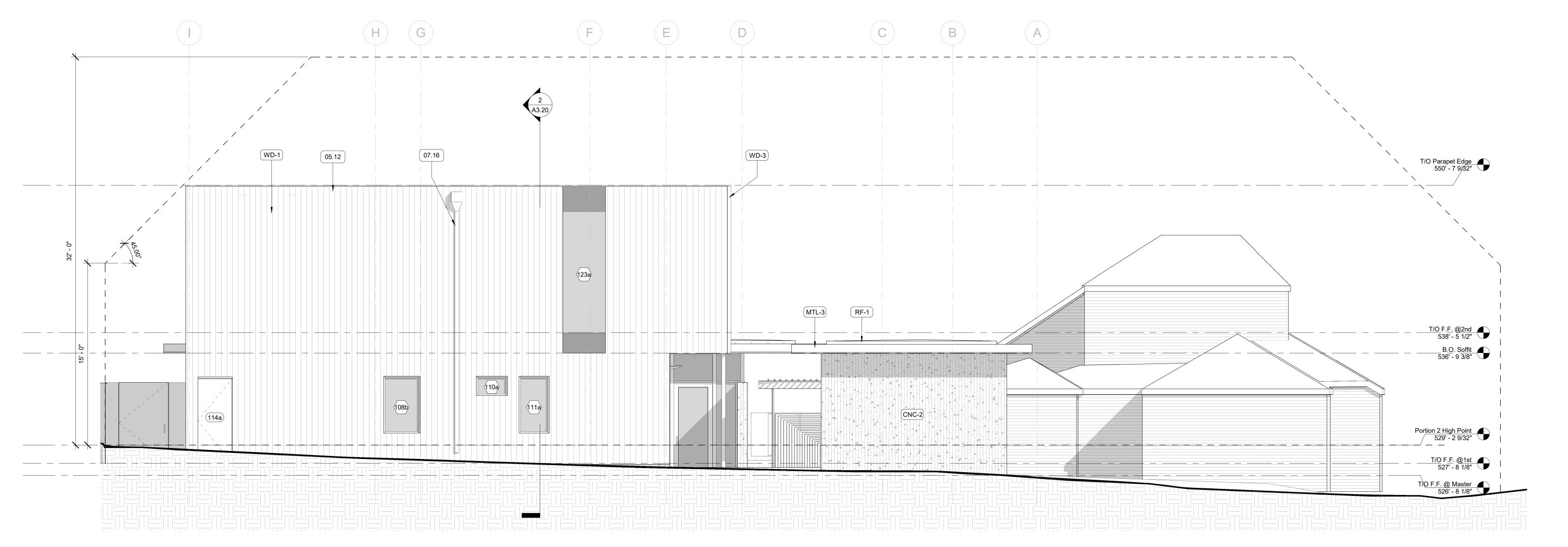
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2 South Exterior Elevation



03.06

CNC-2

(03.06)

05.12

Drawing Title

Exterior Elevations

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