

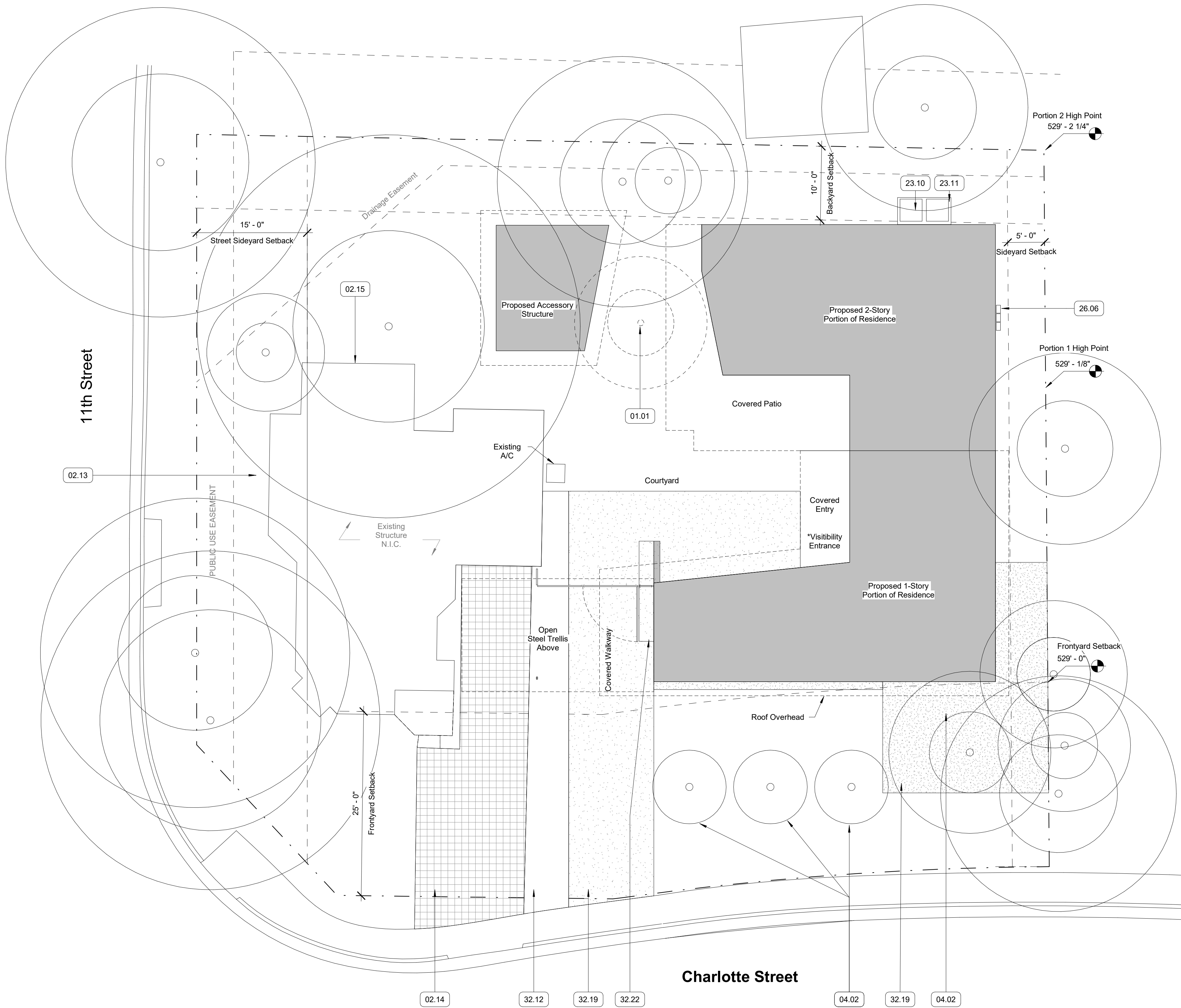


11/15/19

1102 Charlotte St.

Austin, TX 78703

[illegible]



SITE PLAN GENERAL NOTES

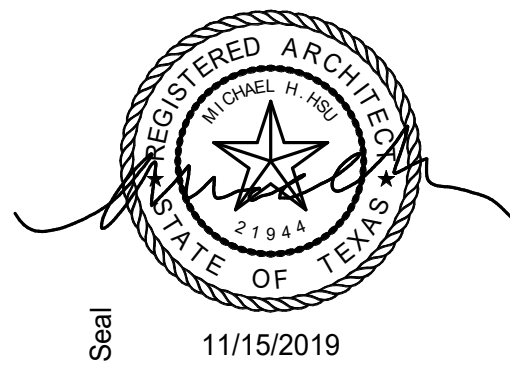
1. All spot elevations to be verified in field prior to construction. Notify MHOA of any discrepancies.
2. Benchmark to be verified with architect prior to construction.
3. Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
4. GC is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.
5. Tree protection fencing is required for all existing trees 19 inches in diameter (60 inches in circumference) within the limits of construction. Fencing should protect the entire critical root zone (CRZ) area. Fencing is required to be chain-link mesh at a minimum height of five feet. A 6-inch layer of mulch within the entire available root zone area is required for trees which have any disturbance indicated within any portion of the critical root zone.
6. Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

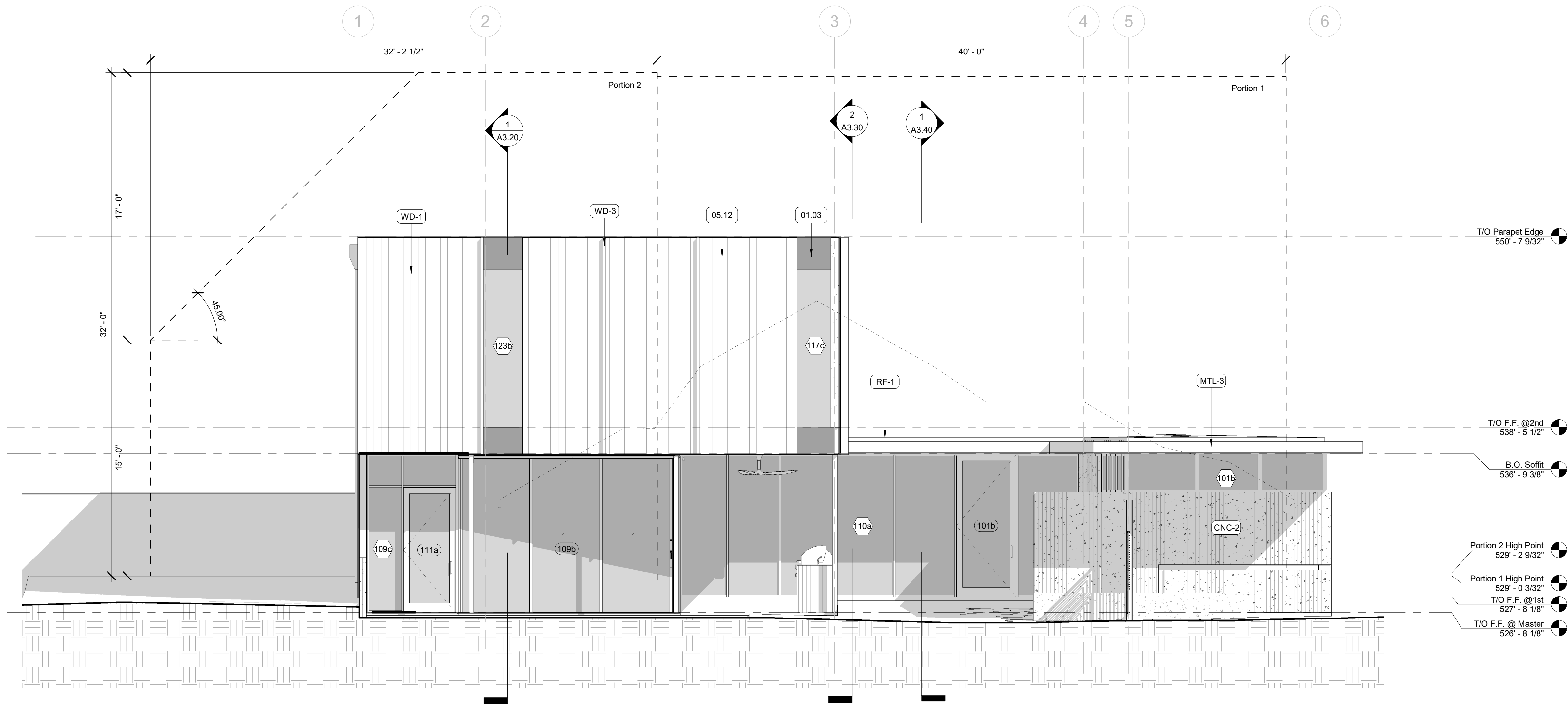
SITE PLAN KEYNOTES

- | | |
|-------|---|
| 01.01 | Existing tree to be removed and replaced with smaller tree to be determined by owner |
| 02.13 | Existing house to remain |
| 02.14 | Existing driveway to remain |
| 02.15 | Existing electrical service |
| 04.02 | Stone river rock pavers |
| 23.10 | Condenser units on concrete pad. |
| 23.11 | Hvac pad |
| 26.06 | Electrical panel |
| 32.12 | New planter with corten steel edging. |
| 32.19 | Fill area with gravel |
| 32.20 | New trees to be chosen by owner |
| 32.22 | Cast in place concrete planter box, general contractor to coordinate plantings and irrigation |

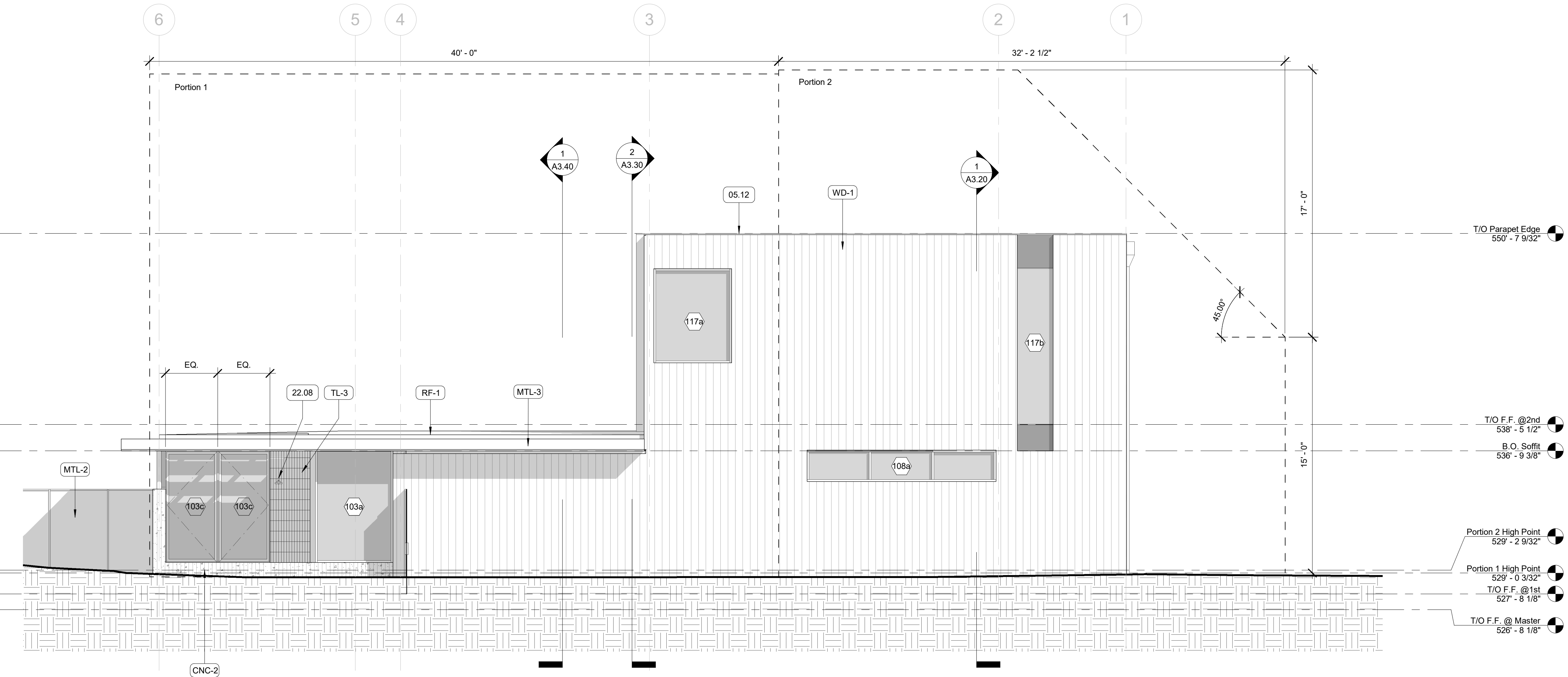
TREE LEGEND

- | | |
|--|-----------------------------|
| | Existing Tree to Be Removed |
| | Existing Tree to Be Removed |





2 West Exterior Elevation
1/4" = 1'-0"



1 East Exterior Elevation
1/4" = 1'-0"

ELEVATION & SECTION GENERAL NOTES

- Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, notify MHOA immediately.
- Elevations and building sections are shown for reference only. Refer to Building Plans, Wall Sections and Window Elevations for additional information.
- Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
- Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

ELEVATION KEYNOTES

- 01.03 Back painted glass per window schedule.
05.12 Steel plate coping on parapet sloping 1/8"=1'0" to perimeter
22.08 Outdoor shower, refer to fixture schedule



Design Team
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Consultant



Seal
11/15/2019

Project
White Residence
1102 Charlotte St.
Austin, TX 78703
Set
Permit Set

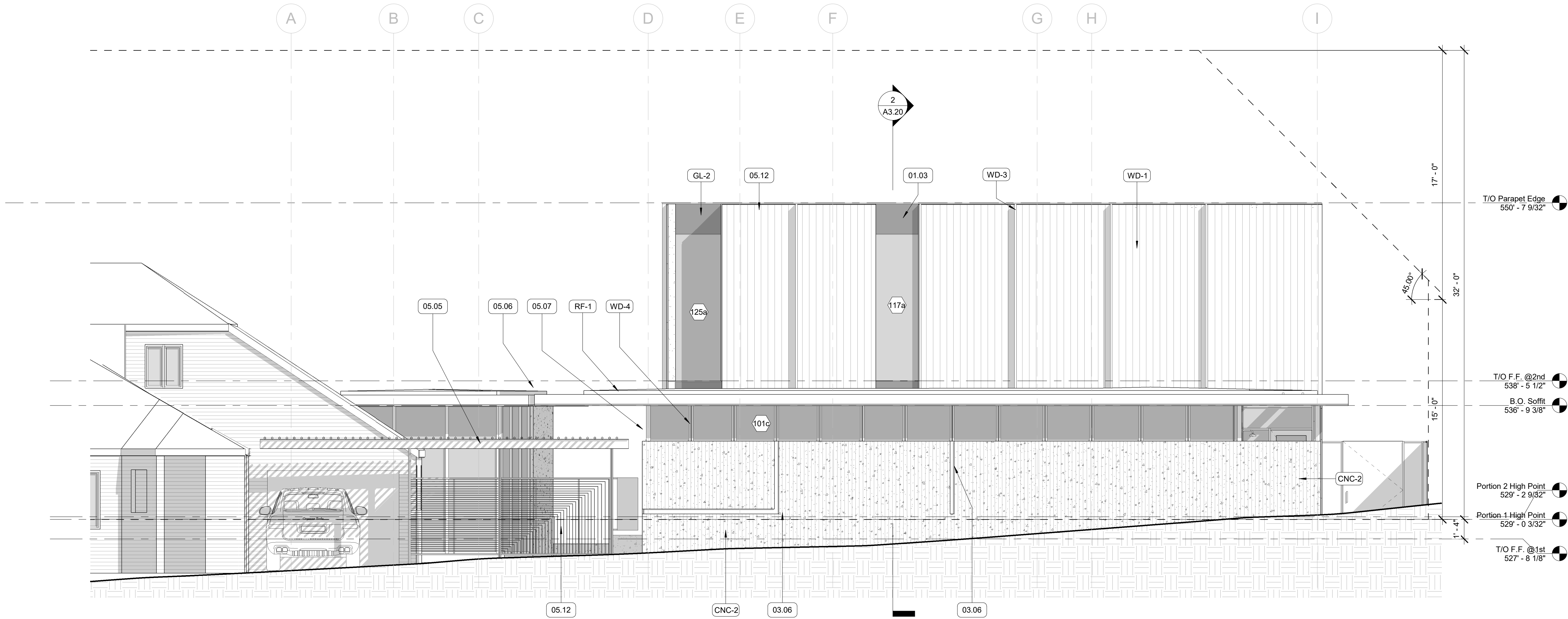
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Drawing Title

Exterior
Elevations
Sheet

A3.00

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2 South Exterior Elevation
1/4" = 1'-0"

ELEVATION & SECTION GENERAL NOTES

- Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, notify MHOA immediately.
- Elevations and building sections are shown for reference only. Refer to Building Plans, Wall Sections and Window Elevations for additional information.
- Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
- Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

ELEVATION KEYNOTES

- 01.03 Back painted glass per window schedule.
03.06 1" concrete relief pattern
05.05 Steel trellis, refer to structural
05.06 Painted steel beam, refer to finish schedule
05.07 Paint-grip breakmetal, 22 ga. Min, to match windows
05.12 Steel plate coping on parapet sloping 1/8"=1'0" to perimeter
07.16 Gutter downsput.



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Issue:
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Revisions:

Drawing Title

**Exterior
Elevations**

Sheet

A3.10

1 North Exterior Elevation
1/4" = 1'-0"

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