

Issue for Permit Drawings

11/13/2019

Ashcraft/Tu Garage Remodel Addition

4010 Avenue G.
Austin, TX 78751



Yin

HsuOffice.com

Design Team
Michael Hsu
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4810 Burnet Road
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11/13/2019

Project
**Ashcraft/Tu Garage
Renovation**
4010 Ave G.
Austin, TX, 78751

Set
13 Nov 2019 - Permit Corrections

Issue:

- 13 May 2019 - Issue for Permit
- 26 July 2019 - Permit Corrections
- 13 Nov 2019 - Permit Corrections

Drawing Title

Cover Sheet

Sheet

A0.1

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symbol legend		general notes	code analysis / site data	project team	drawing index
<div>window</div> <div>keynote</div> <div>door</div> <div>partition type</div> <div>equipment/ plumbing</div> <div>height elevation</div>	<div>revision</div> <div>room</div> <div>interior elevation</div> <div>detail</div> <div>building/ wall section</div> <div>elevation</div>	<div><div><div><div>1.</div><div>All work shall be performed in accordance with all applicable codes; regulations, ordinances and standards having jurisdiction. If there are any questions or conflicts concerning compliance with such codes, ordinances or standards, the contractor is responsible for notifying the designer before proceeding with the work in questions. All necessary permits, licenses, certificates, tests. Etc. shall be procured and paid for by the contractor (or owner if he designates). Refer to specification "General Conditions" section for clarifications on fee responsibilities.</div></div><div><div>2.</div><div>Contractor is responsible for checking all contract documents, field conditions and dimensions for accuracy and confirming that the work is buildable as shown and meets all applicable codes before proceeding with construction. If there are and questions regarding these or other coordination issues, the contractor is responsible for obtaining a clarification from the designer before proceeding with the work in question or related work.</div></div><div><div>3.</div><div>The contractor shall certify size and location of all required openings for structural, mechanical, electrical and plumbing work and equipment with trades involved.</div></div><div><div>4.</div><div>The general contractor and each subcontractor shall be responsible for checking existing conditions at the job site before submitting proposals. Submissions of proposals shall be taken as evidence that such inspections have been made. Claims for extra compensation for work that could have been foreseen by such inspection, whether shown on contract documents or not, shall not be accepted or paid.</div></div><div><div>5.</div><div>All materials furnished under this contract shall be new unless otherwise noted. All work shall be guaranteed against defective materials and workmanship for a period of one (1) year after the date of substantial completion or acceptance of the work. The contractor shall repair or replace, at his own expense when ordered to so, all work that may develop defects in material and workmanship within said period of time.</div></div><div><div>6.</div><div>All equipment shall be installed in accordance with manufacturer's published recommendations for service intended, as interpreted by the engineer. The installation of all equipment shall be made by experienced craftsmen in a neat, workmanlike manner. All materials, tools, costs and services necessary to completely install all mechanical, electrical, and plumbing work shall be provided by the contractor.</div></div><div><div>7.</div><div>Contractor shall be responsible for adequately bracing and protecting all work during construction against damage, collapse and misalignment according to applicable codes, standards, and good construction practices. Contractor shall take proper precautions to protect all existing operations and property adjacent, with which work comes in contact, or over or under which he may transport, hoist, or move materials, equipment, debris, etc. and shall repair satisfactorily all damages caused by him during construction.</div></div><div><div>8.</div><div>The contractor shall verify all coordinate sizes, locations and characteristics of all work and equipment to be furnished by the owner, or others with the manufacturer or supplier before any construction is begun.</div></div><div><div>9.</div><div>The contractor shall submit to the designer confirmations or orders, including delivery dates, for all materials and equipment whose timely delivery is required to avoid changes in the construction documents or in the construction schedule.</div></div><div><div>10.</div><div>The contractor must submit shop drawings to the designer for approval before proceeding with fabrication. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, for selecting fabrication processes, for techniques or assembly, for performing the work in a safe manner, and for adhering to all applicable codes and standards.</div></div><div><div>11.</div><div>Location of all ceiling mounted items in the designer's construction documents have precedence over MEP drawings. Designer shall be notified of any conflicts prior to construction.</div></div><div><div>12.</div><div>It is the intent and meaning of the contract documents that the contractor shall provide a mechanical, electrical, and plumbing installation that is complete. All items and appurtenances necessary, reasonably incidental, or customarily included, even though each and every item is not specifically called out or shown in the construction documents shall be provided.</div></div><div><div>13.</div><div>All MEP related items should be reviewed by the engineer and may be adjusted pending notice to and approval of the designer.</div></div><div><div>14.</div><div>Written dimensions shall have precedence. Do not scale dimensions. If no dimension is listed, contact designer for clarification.</div></div><div><div>15.</div><div>All work noted "N.I.C." or "Not in Contract" is to be accomplished by a contractor other than the general contractor and is not to be part of the construction agreement.</div></div><div><div>16.</div><div>"Align" as used in these documents shall mean to accurately locate finish faces in the same plane.</div></div><div><div>17.</div><div>"Typical" or "Typ." as used in these documents shall mean that the condition is the same or representative for all similar conditions throughout, unless otherwise noted.</div></div><div><div>18.</div><div>"Similar" or "Sim." As used in these documents shall mean that the condition is similar to a condition detailed for another location.</div></div><div><div>19.</div><div>The contractor shall provide updated record documents of as-built conditions on-site when different from construction documents, and shall provide said documents to designer upon completion of construction.</div></div><div><div>20.</div><div>This cover sheet is a master index. Not all symbols/items will be included in drawings.</div></div><div><div>21.</div><div>Do not disassemble this set or distribute partial sets to subcontractors. Cover sheet contains data pertaining to all sheets.</div></div><div><div>22.</div><div>Refer to additional information for additional general notes, if any.</div></div></div></div> <div><div>Zoning: SF-3</div><div>Land Use: Single Family Residential</div><div>Neighborhood: Hyde Park</div><div>Watershed: Urban</div><div>FEMA Flood Plain: No</div><div>Overlays: Hyde Park Residential Design Standards</div><div>TCAD Parcel: 214843</div><div>Min. Lot Size: 5,750 sqft</div><div>Min. Lot Width: 50 ft</div><div>Max. Dwelling Units per Lot: See Sect. 25-2-559</div><div>Min. Setbacks: Front Yard: 25 ft Street Side Yard: 15 ft Int. side yard: 5 ft Rear Yard: Subchapter F: Article 2.4, 5 ft</div><div>Max. Bldg. Height: 32 ft</div><div>Max. Bldg. Coverage: 40%</div><div>Max. Impervious Cover: 45%</div><div>Site Area: 6,499.75 sqft</div><div>Allowable Bldg Coverage (<.4 FAR): 2,599 sqft</div><div>Allowable Impervious Cover (45%): 2,924 sqft</div></div> <div><div>architect</div><div>Michael Hsu Office of Architecture</div><div>4910 Burnet Rd.</div><div>Austin, TX, 78756</div><div>t:512.706.4303</div><div>contact:</div><div>Ken Johnson, johnson@hsuoffice.com</div><div>Matt Sener, sener@hsuoffice.com</div><div>owner</div><div>Betsy Ashcraft & Larry Tu</div><div>structural</div><div>JM Engineering</div><div>2013 Wells Branch Parkway, Suite 117</div><div>Austin, Texas 78728</div><div>t: 512.614.0226</div><div>general contractor</div><div>Melde Construction</div><div>1112 West Ave, Austin, TX 78701</div><div>t: 512.442.4479</div></div> <div><div>design</div><div>A0.1 Cover Page</div><div>A0.2 Existing Site Photos</div><div>A0.3 Existing Survey</div><div>A1.0 Site Plan</div><div>A1.1 First & Second Floor Plan</div><div>A1.2 Roof Plan</div><div>A2.1 First Floor RCP and Light Fixture Schedule</div><div>A3.1 Exterior Elevations</div><div>A3.2 Exterior Elevations</div><div>A3.3 Building Sections</div><div>A3.4 Building Sections</div><div>A4.1 Wall Sections</div><div>A5.1 Interior Elevations</div><div>A6.1 Details</div><div>A6.2 Interior Millwork Details</div><div>A7.1 Door Schedule & Window Types</div><div>A8.0 Finish Schedule</div><div>A8.1 Finish Floor Plan</div><div>structural</div><div>S0.0 General Notes</div><div>S1.0 Foundation Plan</div><div>S1.1 Framing Plan</div><div>S2.0 Foundation Details</div><div>S3.0 Framing Details</div></div> <div><div>required parking: 2 spaces</div><div>provided parking: 2 spaces (in garage)</div></div> <div><div>Site Area: TCAD- 6,499.75 sqft</div><div>Impervious Cover</div><div>Allowable (45%): 2,924 sqft</div><div>Existing Buildings:</div><div>House: 1,558 sqft</div><div>Porch: 144 sqft</div><div>Garage: 450 sqft</div><div>Existing Bldg Total: 2,152 sqft</div><div>Existing Landscape:</div><div>Landscape: 360 sqft</div><div>Driveway: 1,353 sqft</div><div>Gravel: 198 sqft</div><div>Existing Landscape Total: 1,911 sqft</div><div>Existing IC Total:</div><div>Existing Bldg Total: 2,152 sqft</div><div>Existing Landscape Total: 1,911 sqft</div><div>Existing IC Total: 4,063 sqft (existing over IC max.)</div><div>Proposed:</div><div>Existing Buildings: 1,702 sqft*</div><div>Existing Garage: 0 sqft (non-conforming structure removed)</div><div>Existing Front Walk, Pavers, AC: 162 sqft</div><div>Driveway Ribbons: 120 sqft</div><div>New Garage: 538 sqft</div><div>New Wood Deck: 0 sqft (under overhang)</div><div>New Wood Stairs: 0 sqft (under overhang)</div><div>New Pavers: 40 sqft</div><div>New Drive Ribbons: 60 sqft</div><div>Covered Walkway: 162 sqft</div><div>Total: 2,784 sqft < 2,924 sqft</div><div>Building Cover</div><div>Allowable (40%): 2,599 sqft</div><div>Existing:</div><div>House: 1,558 sqft</div><div>Garage: 450 sqft</div><div>Covered Porch: 144 sqft</div><div>Total: 2,152 sqft</div><div>Proposed:</div><div>Existing House: 1,558 sqft</div><div>Existing Garage: 0 sqft (non-conforming structure removed)</div><div>Existing Covered Porch: 144 sqft</div><div>New Garage: 538 sqft</div><div>Garage Stairs: 0 sqft (under overhang)</div><div>Covered Walkway: 162 sqft</div><div>Total: 2,402 sqft < 2,599 sqft</div><div>FAR</div><div>Allowable (40%): 2,599 sqft</div><div>Existing House: 1,558 sqft</div><div>Existing Garage: 0 sqft (non-conforming structure removed)</div><div>Existing Porch: 0 sqft</div><div>1st Floor Addition: 501 sqft</div><div>2nd Floor Addition: 538 sqft</div><div>Subchapter F Exemption*: -200 sqft</div><div>Total: 2,397 sqft < 2,599 sqft</div></div>			



3 Garage Facing North West
Scale: NTS



2 Garage Facing North
Scale: NTS



1 View from Street
Scale: NTS



5 Garage Facing South East
Scale: NTS



4 Garage Facing South West
Scale: NTS





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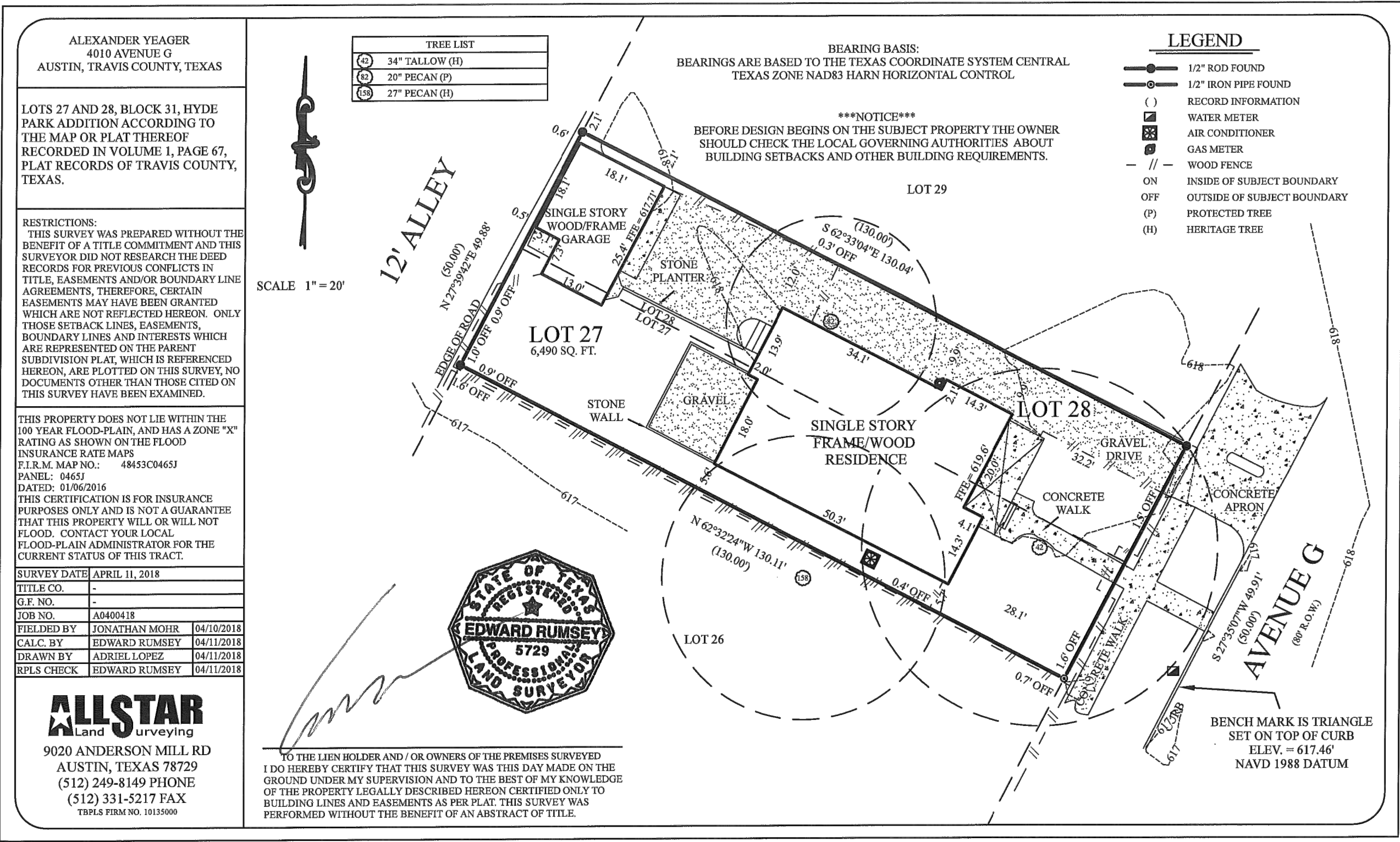
26 July 2019 - Permit Corrections

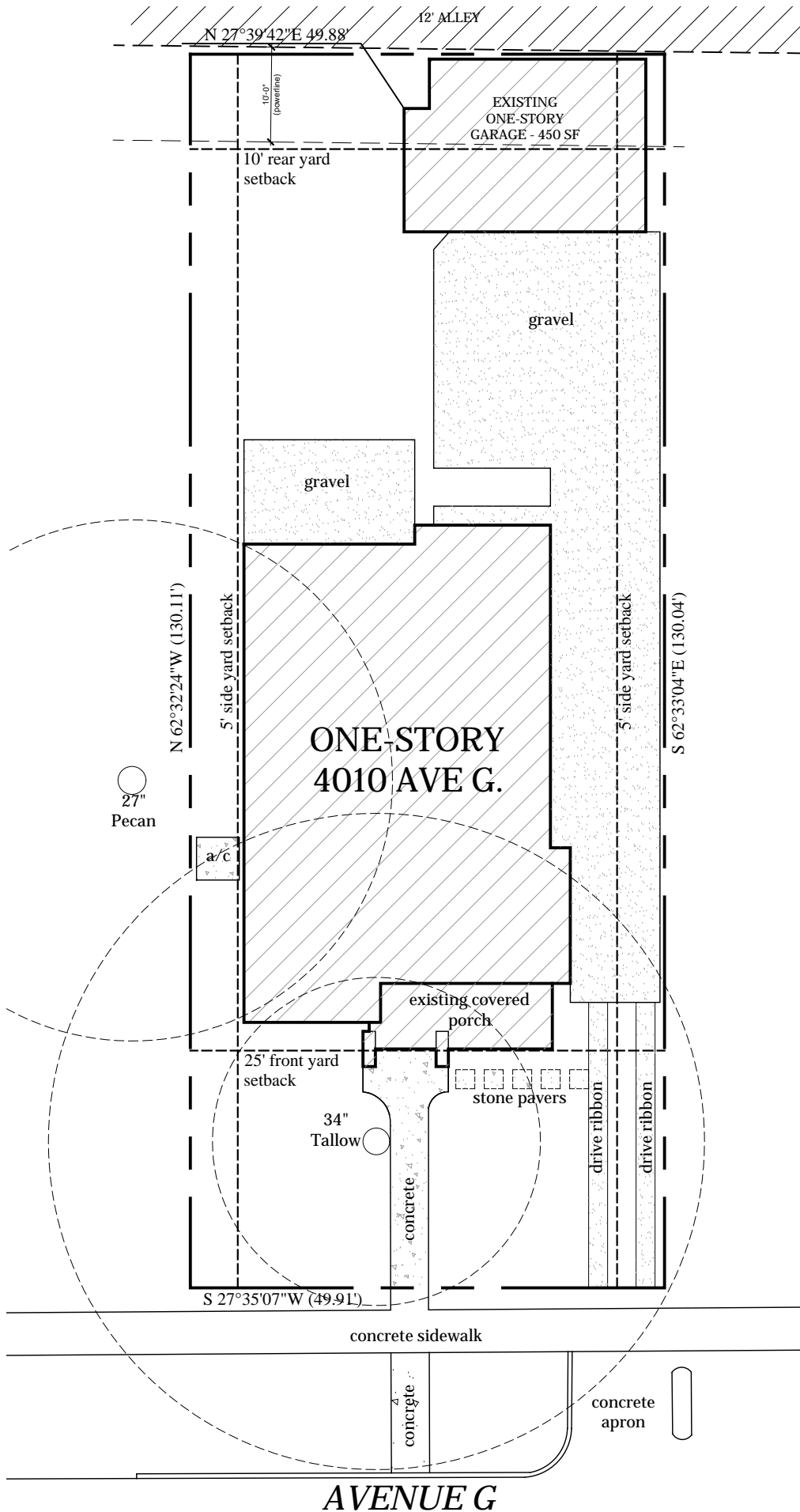
13 Nov 2019 - Permit Corrections

Drawing Title

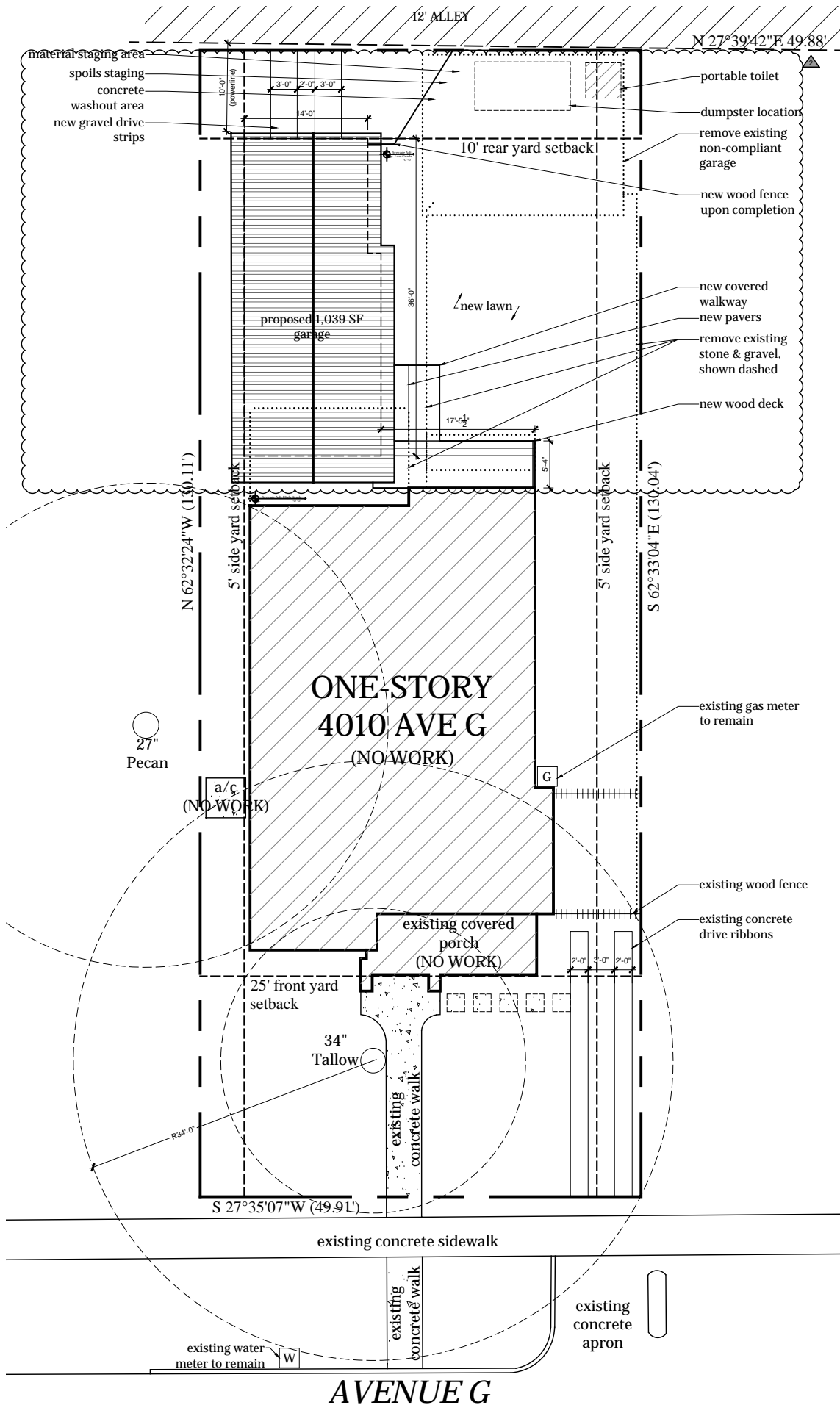
Existing Survey

Sheet



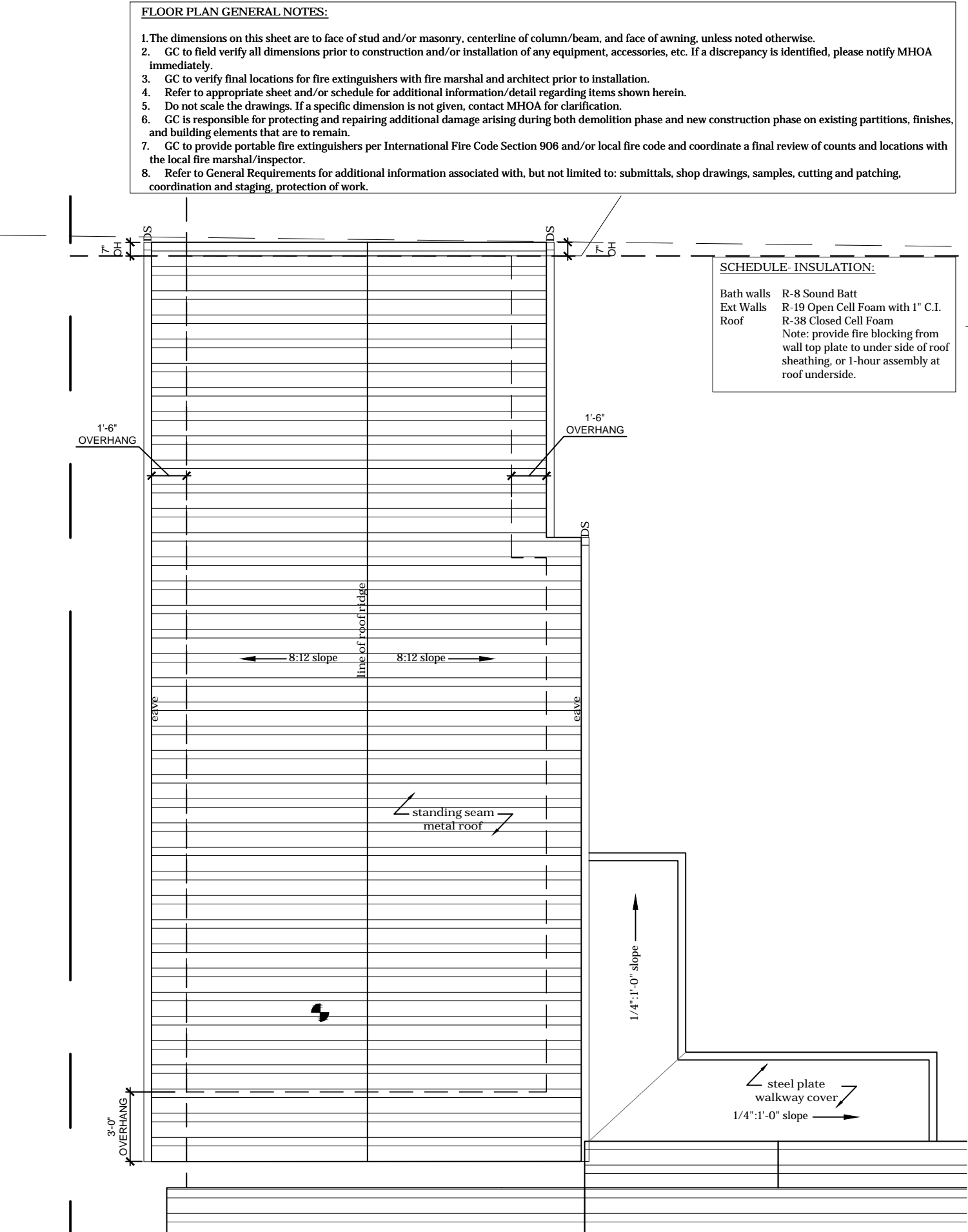


2 Existing Site Plan
Scale: 1/16"=1'-0"



1 Proposed Site Plan
Scale: 1/16"=1'-0"





1 Proposed Roof Plan

Scale: 3/16"=1'-0"



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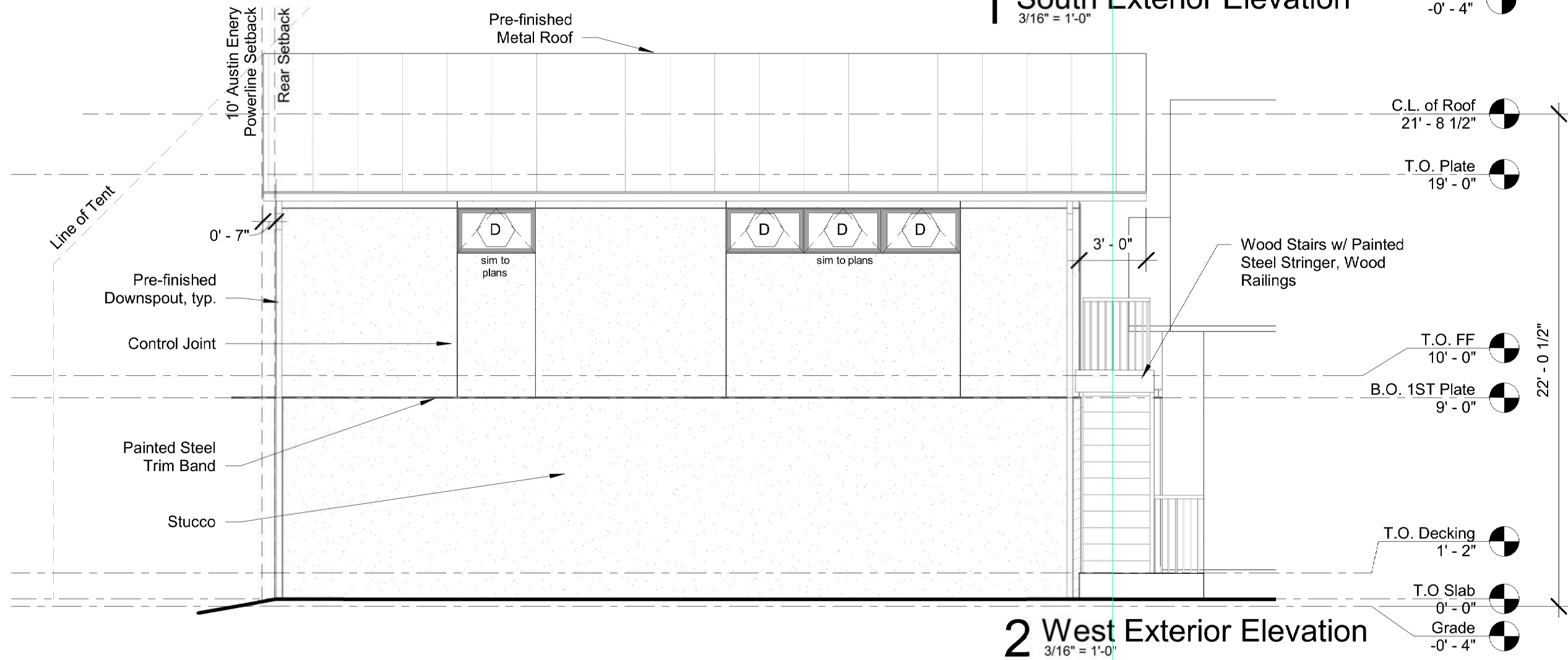
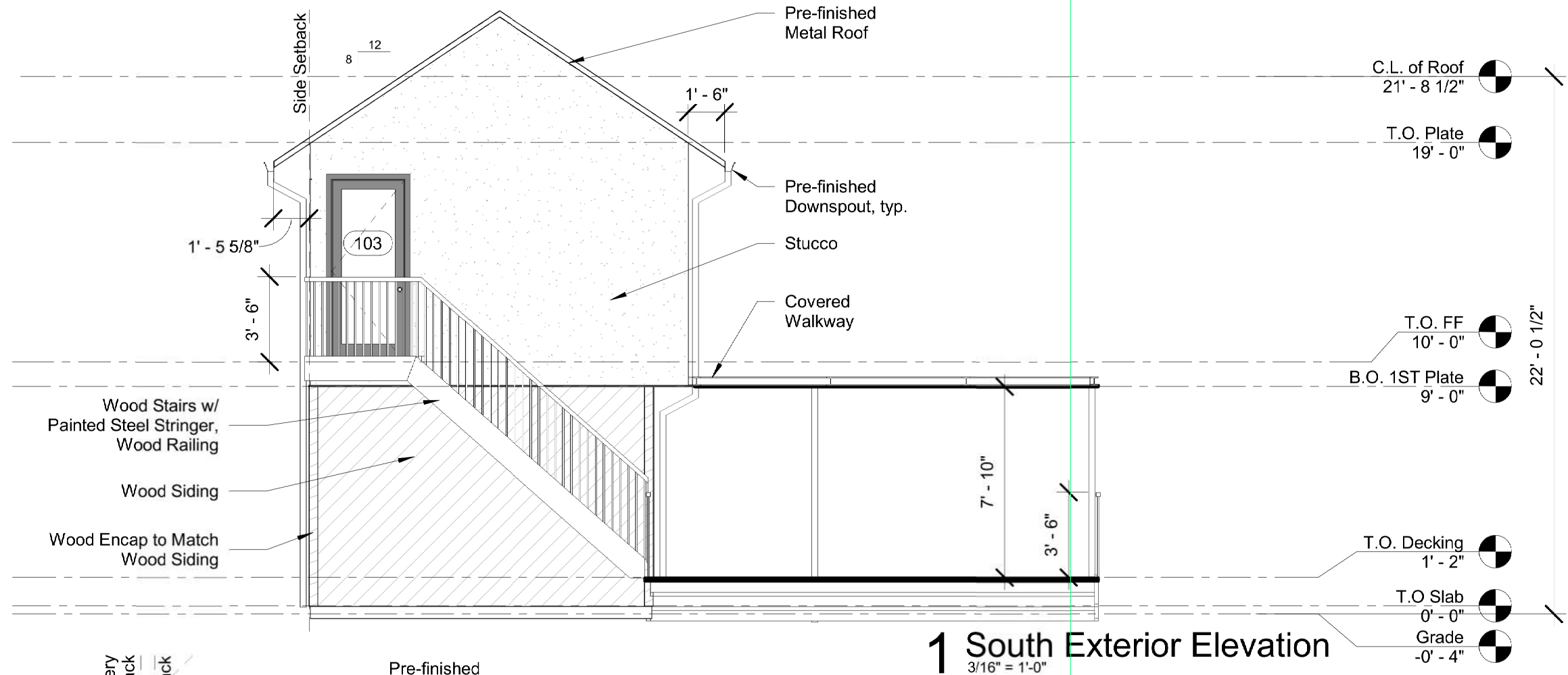
Roof Plan

Sheet



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Exterior Elevations

Sheet

A3.2

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