DEVELOPMENT WEB MAP

1111 W 6TH ST, AUSTIN

Identify Results

Features: H22 (City Grid)

ECTID	1789
_NAME	H22
pe	Polygon

Map Layers

Layers | Legend

- Creeks by Type
- Watershed Boundaries
- Waterway Setbacks
- Spring
- Wetland
- Rock Outcrop
- Grassland
- Biological Resource Bul

UNDEV

CHURCH

SP-02-0301C

SP-02-0116C

SP-02-0376C(XT2)

LO-MU

R86-173

R85-298

R85-334

MF3-CO-NP

GO-NP

GR-NP

SF-2-NP

86-004

02-0089

99-0025

C7A-94-026

SP-2007-0170C

05-0219

1826

FM 1826 RD

W US 290 HWY

290

WILLIAMSON CREEK

DARK RIDGE CV

0.1 Miles

LEGAL DISCLAIMER

H-E-B STORE #10

Exhibit 5 Topographic Map
January 10, 2020

EXHIBIT 5 TOPOGRAPHIC MAP

Slopes Table				
Number	Minimum Slope	Maximum Slope	Area (Acres)	Color
1	0.00%	15.00%	29.2	
2	15.00%	25.00%	1.0	
3	25.00%	35.00%	0.1	
4	35.00%	ABOVE 35.00%	0.0	
		TOTAL	30.3	

Know what's below. Call before you dig. (811)

THE LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND AND OVERHEAD UTILITIES.

FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet ___ of 63
FILE NUMBER: SP-2019-0034C APPLICATION DATE: 1/24/2019
APPROVED BY COMMISSION ON: ________ UNDER SECTION 112 OF
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81,LDC) ________ CASE MANAGER J. SILTALA
PROJECT EXPIRATION DATE (ORD.#970905-A) ________ DWPZ ____ DDZ ____

Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: ________ ZONING: CS & LI
Rev. 1 ________ Correction 1 ________
Rev. 2 ________ Correction 2 ________
Rev. 3 ________ Correction 3 ________

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H-E-B

Revision	By	Appd	YYYY.MM.DD

Issued	By	Appd	YYYY.MM.DD
75 % REVIEW SET			2019.01.11

Permit/Seal

STATE OF TEXAS
TRUNG D. PHO
121923
LICENSED
PROFESSIONAL ENGINEER
11/10/2019

Client/Project
H-E-B, LP
646 S FLORES STREET, SAN ANTONIO, TX 78204

H-E-B STORE #10
7901 WEST HIGHWAY 290
AUSTIN, TEXAS 78703

Project No.: 222010831
File Name: 10831C01_101_SDM
Scale:

AJM	TP	JF	2020.01.02
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Title
EXISTING GROUND SLOPE MAP

Revision: 0 Sheet: 09 of 63
Drawing No.
09

H-E-B STORE #10

Exhibit 6 For Cut/Fill Variances
January 10, 2020

EXHIBIT 6 FOR CUT/FILL VARIANCES

N

0 100' 200'

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE/ (R.O.W.) LINE
(XXX)		RECORD INFORMATION
		LIGHT POLE
		GROUND LIGHT
		POWER POLE
		DOWN GUY
TMH		TELEPHONE MANHOLE
WTRMH		WATER MANHOLE
		WATER LINE MARKER
CMKR		UNDERGROUND CABLE MARKER
GMKR		UNDERGROUND GAS LINE MARKER
UGTM		UNDERGROUND TELEPHONE MARKER
GRSR		GAS RISER
TRSR		TELEPHONE RISER
SPC		SPRINKLER CONTROL BOX
	SW	SWITCH GEAR & PAD
	T	TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER METER VAULT (SIZE VARIES)
		CABLE TV RISER
E	E	ELECTRIC BOX
EM	EM	ELECTRIC METER
G	G	GAS METER
G	G	GAS VALVE
TCB	TCB	TRAFFIC CONTROL BOX
TSP	TSP	TRAFFIC SIGNAL POST
		GRATE INLET
		CURB INLET (SIZE VARIES)
		GREASE TRAP (SIZE VARIES)
SS		STORMSEWER LINE
W		WATER LINE
		FIRE LINE
WW		WASTEWATER LINE
		SINGLE WATER SERVICE
		DOUBLE WATER SERVICE
		SINGLE WW SERVICE
		DOUBLE WW SERVICE
G	G	GAS LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OE	OE	OVERHEAD ELECTRIC
UT	UT	UNDERGROUND TELEPHONE
UC	UC	UNDERGROUND CABLE AND INTERNET
TC	U-COMM	TELECOMMUNICATIONS LINE
EMH		ELECTRIC MANHOLE (SIZE VARIES)
WWMH		WASTEWATER MANHOLE (SIZE VARIES)
SSMH		STORMSEWER MANHOLE (SIZE VARIES)
TMH	TMH	TELEPHONE MANHOLE (SIZE VARIES)
CO	CO	WASTEWATER CLEANOUT
		WIRE FENCE
		WOOD FENCE
		CHAIN LINK FENCE
		CURB & GUTTER
		EDGE OF PAVEMENT
		CONCRETE SIDEWALKS
		HANDICAP ACCESSIBLE ROUTE
		WALL
		SIGN
		WHEELSTOP
		BOLLARD
HC		HANDICAP SPACE
		BIKE PARKING
678	678	CONTOUR
	HP	HIGHPOINT
		SWALE
		DIRECTION OF FLOW
	TW	TOP OF WALL
	TC	TOP OF CURB
	G	GUTTER
	FFE	FINISH FLOOR ELEVATION
100.0 x	100.0 x	SPOT ELEVATION
1111		TREE TO BE SAVED
1111		HERITAGE/MATURE TREE

Elevations Table			
Number	Minimum Elevation	Maximum Elevation	Color
1	−8.000	−4.000	red
2	−4.000	0.000	
3	0.000	4.000	
4	4.000	8.000	light blue
5	8.000	ABOVE 8.00 FEET	blue

Existing Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	0.00%	15.00%	
2	15.00%	25.00%	magenta hatch
3	25.00%	35.00%	green hatch
4	35.00%	ABOVE 35.00%	orange hatch

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Client/Project
H-E-B, LP
646 S FLORES STREET, SAN ANTONIO, TX 78204

H-E-B STORE #10
7901 WEST HIGHWAY 290

AUSTIN, TEXAS 78703

Project No.: 222010831
File Name: 2019-06-13_CUT FILL EXH
Scale: SCALE

AJM	JF	JF	2020.01.03
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Title
CUT/FILL EXHIBIT

Revision: Sheet: 1 of 1
Drawing No.
EXH

\\us1565-f01\workgroup\2220\active\222010831\civil\drawing\exhibits\2019-04-19_cut fill exh\2019-06-13_cut fill exh
2020.01.03 12:21:27 PM

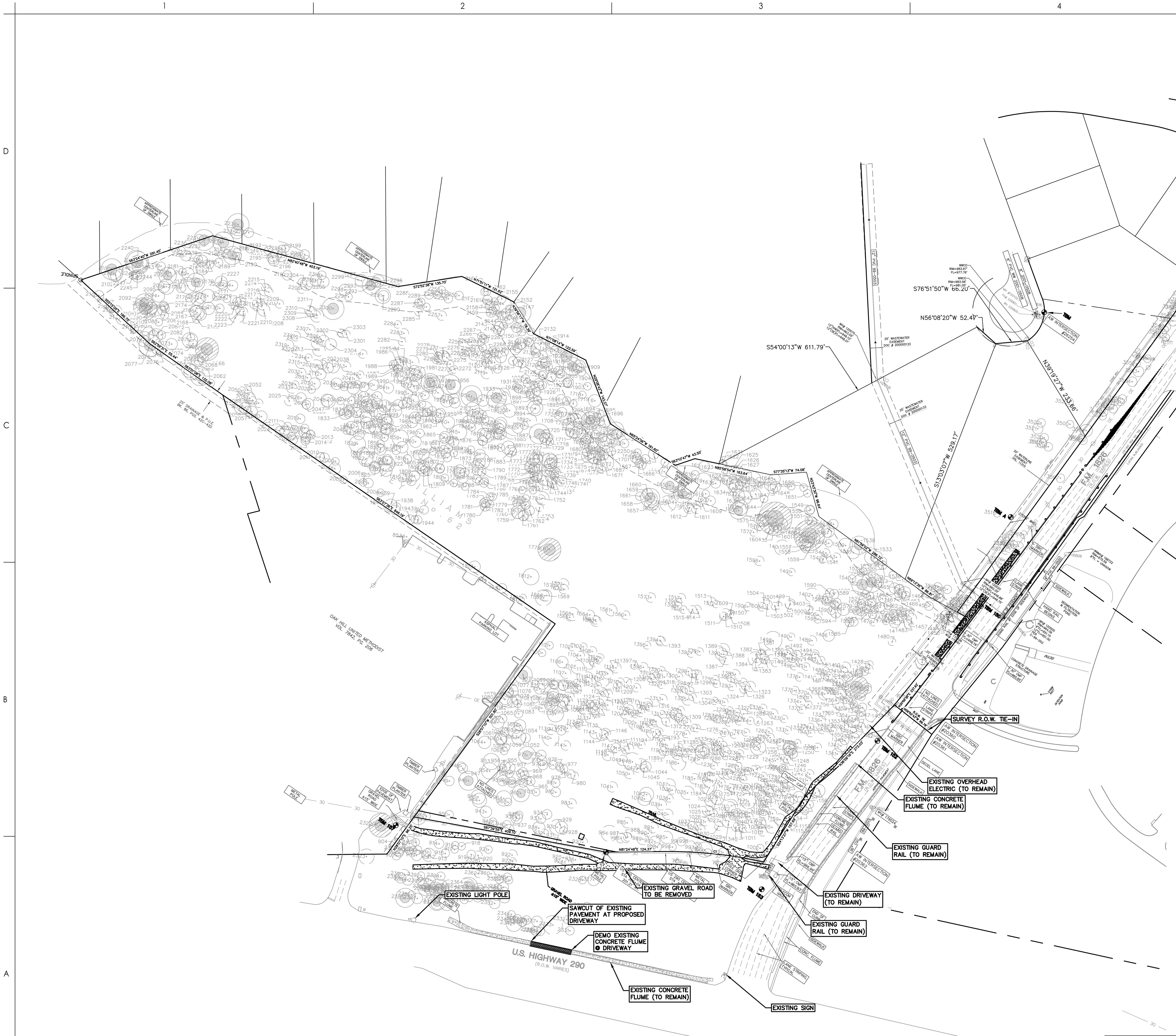
ORIGINAL SHEET - ARCH D

SP-2019-0034C

H-E-B STORE #10

Exhibit 7 Site Plan
January 10, 2020

EXHIBIT 7 SITE PLAN



LEGEND

EXISTING	DESCRIPTION
	PROPERTY (R.O.W.) LINE
•	1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED)
○	1/2" IRON ROD SET w/YELLOW CAP STAMPED "BURY & PARTNERS"
(xxx)	RECORD INFORMATION
	LIGHT POLE
	UTILITY POLE
	DOWN GUY
	FIRE HYDRANT
	WATER VALVE
	WATER METER
WTRMH	WATER MANHOLE
	TELEPHONE RISER
	CABLE TV RISER
	ELECTRIC BOX
	ELECTRIC METER
	GAS METER
	GAS VALVE
TCB	TRAFFIC CONTROL BOX
TSP	TRAFFIC SIGNAL POST
	GRATE INLET
	CURB INLET (SIZE VARIES)
	WIRE FENCE
	WOOD FENCE
	CHAIN LINK FENCE
	SIGN
SS	STORMSEWER LINE
W	WATER LINE
WW	WASTEWATER LINE
G	GAS LINE
E	ELECTRIC LINE
OE	OVERHEAD ELECTRIC
UT	UNDERGROUND TELEPHONE
UC	UNDERGROUND CABLE AND INTERNET
TC	TELECOMMUNICATIONS LINE
EMH	ELECTRIC MANHOLE (SIZE VARIES)
WWMH	WASTEWATER MANHOLE (SIZE VARIES)
SSMH	STORMSEWER MANHOLE (SIZE VARIES)
TMH	TELEPHONE MANHOLE (SIZE VARIES)
CO	WASTEWATER CLEANOUT
	CURB & GUTTER
	EDGE OF PAVEMENT
	CONCRETE SIDEWALKS
678	CONTOUR
100.0 x	SPOT ELEVATION
1111	TREE TO BE REMOVED
1111	TREE TO BE PROTECTED
1111	TREE TO BE PROTECTED GREATER THAN 18"
1111(H)	HERITAGE TREE

NOTES:

REFER TO OVERALL WATER AND WASTEWATER PLAN, WASTEWATER PLAN, WATER PLAN, AND WATERLINE A PLAN AND PROFILE ON SHEET 36–38 FOR EXISTING AUSTIN WATER DETAILS.

NOTES:

1. TREES PROPOSED TO BE PRESERVED. MUST MEET THE FOLLOWING CRITERIA:

   A. A MINIMUM OF 50% OF CRITICAL ROOT ZONE MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER.

   B. CUT OR FILL LIMITED TO 4" FROM THE 1/2 CRITICAL ROOT ZONE TO THE ¼ CRITICAL ROOT ZONE.

   C. NO CUT OR FILL IS PERMITTED WITHIN THE 1/4 CRITICAL ROOT ZONE PER ECM 3.5.2 ECM APPENDIX V FIGURE 3–6.

2. REFER TO SHEET 08 FOR TREE LIST.

3. A PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.

BENCHMARK NOTE:

ELEVATIONS HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) VIA WESTERN DATA SYSTEMS CONTINUALLY OPERATING REFERENCE STATION (CORS) NETWORK AND ADDITIONALLY UTILIZING NGS HYBRID GEOID MODEL GEOID03 (G03).

BENCHMARK A (TBM #7): IRON ROD FOUND AT ANGLE POINT ON THE EAST SIDE OF A STONE WALL, ±50 FEET EAST OF SOUTHWESTERN BELL TELEPHONE MARKER ON THE EAST SIDE OF F.M. 1826, BEING ±175 FEET SOUTH OF THE WASTEWATER MANHOLE NEAR THE SOUTHWESTERLY CORNER OF SUBJECT TRACT.
ELEVATION=973.65' (AS SHOWN)

GRID NORTHING: 10054482.794 GRID EASTING: 3068288.484

BENCHMARK B (TBM #8): SQUARE CUT IN CONCRETE FOUND IN THE NORTHEASTERLY CORNER OF TRANSFORMER PAD, ±15' BEHIND CURB LINE ON THE SOUTHERLY SIDE OF DARK RIDGE COVE CUL–DE–SAC, LOCATED NEAR THE COMMON PROPERTY LINE OF LOTS 5 AND 6, BLOCK "A" OF SHADOWRIDGE CROSSING SECTION 12 SUBDIVISION.
ELEVATION=984.14' (AS SHOWN IN VICINITY MAP)

GRID NORTHING: 10054047.688 GRID EASTING: 3068278.764

TBM 150: COTTON SPINDLE SET IN ASPHALT ±2 FEET BEHIND GUARD RAIL ON THE EAST SIDE OF F.M. 1826 AND ±60 FEET WEST OF THE WASTEWATER MANHOLE NEAR THE SOUTHWESTERLY CORNER OF SUBJECT TRACT.
ELEV=969.24' (AS SHOWN)

TBM 152: COTTON SPINDLE SET IN ASPHALT ±2 FEET BEHIND GUARD RAIL ON THE EAST SIDE OF F.M. 1826, ±25 FEET WEST OF SBC MANHOLE AND MARKER. ELEV=971.30' (AS SHOWN)

TBM 153: 1/2 INCH IRON ROD WITH BLUE CAP SET ON NORTH SIDE OF DRIVEWAY ON THE EASTERLY SIDE OF F.M. 1826, ±50 FEET NORTH OF ANGLE POINT IN POWER LINES AND ±12 FEET NORTH OF TRAFFIC SIGN WITH TURN LANES DIAGRAM.
ELEV=967.51' (AS SHOWN)

TBM 155: TxDOT BRASS DISC (STA 309+04.85_201.2 RT) FOUND ALONG THE NORTHERLY PROPERTY LINE OF SUBJECT TRACT, ±3 FEET SOUTH OF METAL UTILITY POLE AND ±25 FEET SOUTH OF FORK IN GRAVEL ROAD.
ELEV=965.03' (AS SHOWN)

TBM 157: 1/2 INCH IRON ROD WITH BLUE CAP SET ON NORTH SIDE OF GRAVEL ROAD NEAR THE NORTHEASTERLY CORNER OF SUBJECT TRACT, ±35 FEET NORTHEAST OF ANGLE POINT IN POWER LINES AND ±20 FEET WEST OF ASPHALT PARKING LOT.
ELEV=939.15' (AS SHOWN)

811
Know what's below. Call before you dig.

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SITE PLAN APPROVAL Sheet 07 of 63
FILE NUMBER: SP–2019–0034C APPLICATION DATE: 1/24/2019
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PROJECT EXPIRATION DATE (ORD.#970905–A) ________ DWPZ ____ DDZ ____

Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: ________ ZONING: CS & LI
Rev. 1 ________ Correction 1 ________
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LICENSED PROFESSIONAL ENGINEER
11/10/2019

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Project No.: 222010831
File Name: 10831C01_101_TTP

Scale:

AJM	TP	JF	2020.01.02
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Title
EXISTING CONDITIONS, TREE PLAN, DEMOLITION PLAN

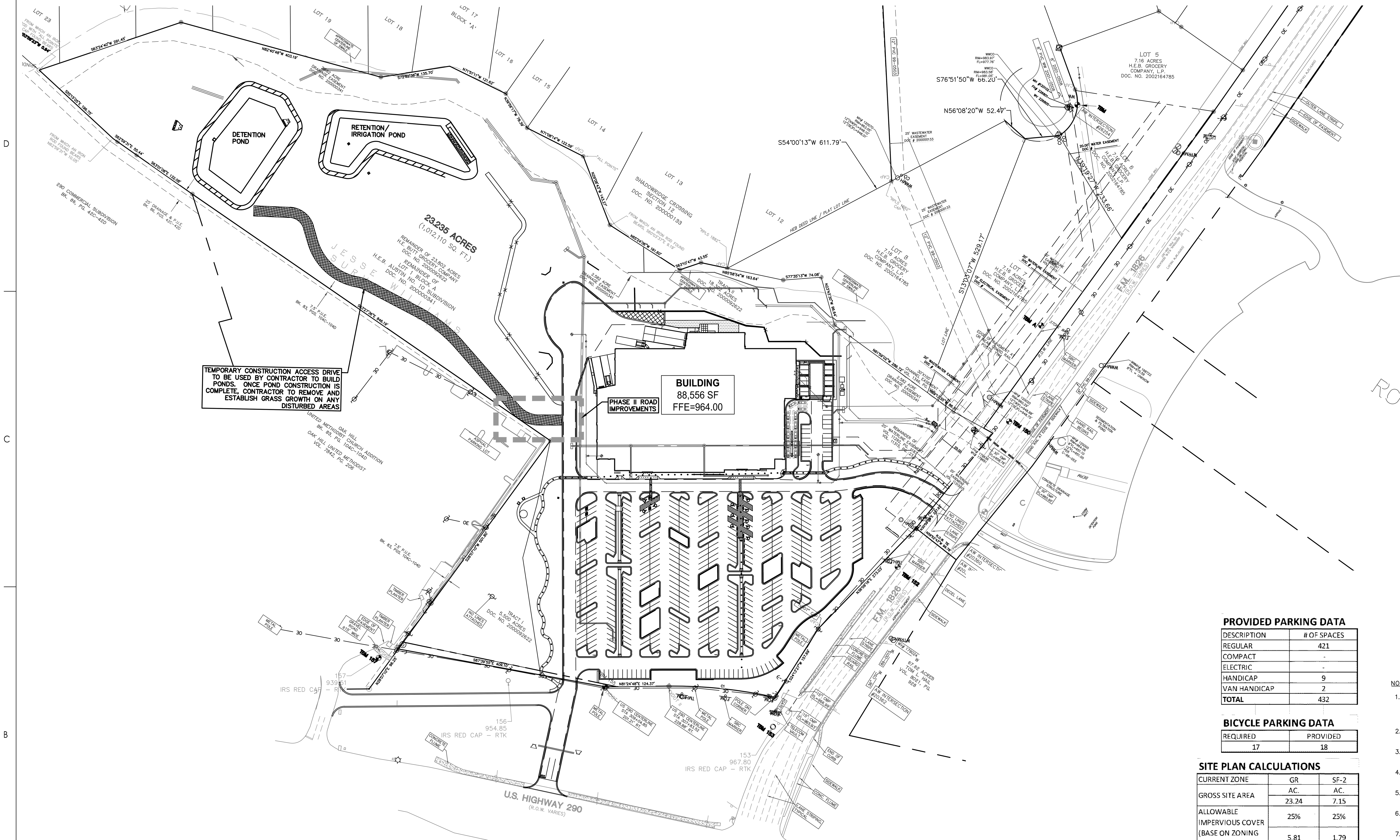
Revision: 0 Sheet: 07 of 63
Drawing No.
07

ORIGINAL SHEET - ARCH D

H-E-B STORE #10

Exhibit 8 Proposed Site Plan
January 10, 2020

EXHIBIT 8 PROPOSED SITE PLAN



LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE/ (R.O.W.) LINE
(XXX)		RECORD INFORMATION
		LIGHT POLE
		GROUND LIGHT
		POWER POLE
		DOWN GUY
TMH		TELEPHONE MANHOLE
WTRMH		WATER MANHOLE
		WATER LINE MARKER
CMKR		UNDERGROUND CABLE MARKER
GMKR		UNDERGROUND GAS LINE MARKER
UGTM		UNDERGROUND TELEPHONE MARKER
GRSR		GAS RISER
TRSR		TELEPHONE RISER
SPC		SPRINKLER CONTROL BOX
	SW	SWITCH GEAR & PAD
	T	TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER METER VAULT (SIZE VARIES)
		CABLE TV RISER
E	E	ELECTRIC BOX
EM	EM	ELECTRIC METER
G	G	GAS METER
G	G	GAS VALVE
TCB	TCB	TRAFFIC CONTROL BOX
TSP	TSP	TRAFFIC SIGNAL POST
		GRATE INLET
		CURB INLET (SIZE VARIES)
		GREASE TRAP (SIZE VARIES)
OE	OE	OVERHEAD ELECTRIC
EMH		ELECTRIC MANHOLE (SIZE VARIES)
WWMH		WASTEWATER MANHOLE (SIZE VARIES)
SSMH		STORMSEWER MANHOLE (SIZE VARIES)
TMH	TMH	TELEPHONE MANHOLE (SIZE VARIES)
CO	CO	WASTEWATER CLEANOUT
		WIRE FENCE
		WOOD FENCE
		CHAIN LINK FENCE
	D	DUMPSTER
		CURB & GUTTER
		EDGE OF PAVEMENT
		FIRE LANE DESIGNATION
		HANDICAP ACCESS ROUTE
		CONCRETE SIDEWALKS
		WALL
		SIGN
		WHEELSTOP
		BOLLARD
	FFE	FINISH FLOOR ELEVATION
25	_R 9.0'	PARKING COUNT (REGULAR SPACES)
	_HC 9.0'	PARKING COUNT (HANDICAP SPACES)
	_P 9.0'	PARKING COUNT (PARALLEL SPACES)
HC		HANDICAP SPACE
		BIKE PARKING
		BARRICADE
1111		TREE TO BE REMOVED
1111		TREE TO BE PROTECTED
1111		TREE TO BE PROTECTED GREATER THAN 18"
1111(H)		HERITAGE TREE

PROVIDED PARKING DATA

DESCRIPTION	# OF SPACES
REGULAR	421
COMPACT	-
ELECTRIC	-
HANDICAP	9
VAN HANDICAP	2
TOTAL	432

BICYCLE PARKING DATA

REQUIRED	PROVIDED
17	18

SITE PLAN CALCULATIONS

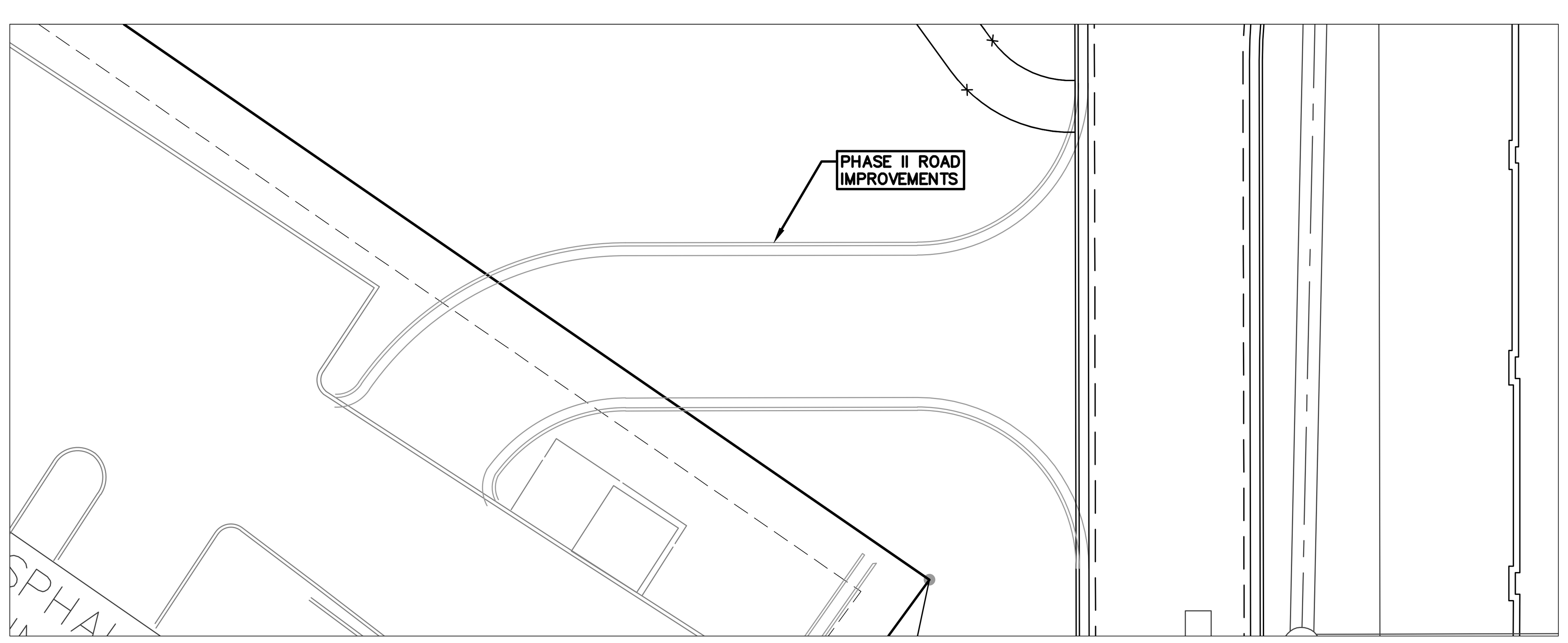
CURRENT ZONE	GR	SF-2
GROSS SITE AREA	AC.	AC.
	23.24	7.15
ALLOWABLE IMPERVIOUS COVER (BASE ON ZONING ONLY)	25%	25%
	5.81	1.79
PROPOSED IMPERVIOUS COVER	7.30	0.00
ALLOWABLE F.A.R.	1:1	N/A
PROPOSED BUILDING COVER	2.03	0
	88,556 SF	
	0.07%	
Open Space	5%	0
	50,714 SF	
55% Natural State	5%	N/A
	50,714 SF	N/A

NOTES:

1. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE DEVELOPMENT SERVICES DEPARTMENT.
2. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING PERMIT OR FIRE CODE APPROVAL.
3. ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE LDC CHAPTER 25-10.
4. ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED IN THE FUTURE.
5. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
6. THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF OR DAMAGE TO UTILITIES.
7. ROW EXCAVATION PERMITS ARE REQUIRED FOR CONSTRUCTION WITHIN CITY OF AUSTIN RIGHT-OF-WAY.

EXTERIOR NOTES:

1. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2 E,"



PHASE II ROAD

VEHICULAR PARKING REQUIRED

USE (PER LDC 25-6 APPENDIX A, SCHEDULE A)	TOTAL BLDG S.F.	RATIO	TOTAL SPACES
FOOD SALE AND GENERAL RETAILS	88,556	1/275 S.F.	323

BUILDING DATA

BLDG.	STORIES	MAX HIEGHT	F.F. ELEV.	FOUNDATION	BLDG. COVER	USE
1	1	32 FT	964	Concrete	330,691	Grocery

FIRE DEMAND

BUILDING FIRE AREA	CONSTRUCTION TYPE	FIRE AREA (S.F.)	*REQUIRED FIRE DEMAN (GPM)	FIRE SPRINKLE	**SPRINKLER REDUCTION	**REDUCED FIRE DEMAN (GPM)
1	1B	88,556	3250	NFPA 13	YES (75%)	1,500 (MIN)

*REQUIRED FIREFLOW DEMAND CALCULATED PER 2015 INTERNATIONAL FIRE CODE (IFC) APPENDIX B TABLE 105.1(2)

**REDUCTION IN FIREFLOWW DEMAND CALCULATED PER 2015 IFC APPENDIX B TABLE B105.2.

IMPERVIOUS COVER

TRACT ID	TOTAL GROSS SITE AREA	ALLOWABLE			PROPOSED		
	AC.	%	AC.	SF.	%	AC.	SF.
H-B-E #10	30.39	25%	7.60	330,947	24.98	7.59	330,691

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SITE PLAN APPROVAL Sheet 17 of 63
FILE NUMBER: SP-2019-0034C **APPLICATION DATE:** 1/24/2019
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CHAPTER 25-5 **OF THE CITY OF AUSTIN CODE.**
EXPIRATION DATE (25-5-81,LDC) ________ **CASE MANAGER** J. SILTALA
PROJECT EXPIRATION DATE (ORD.#970905-A) ________ **DWPZ** ____ **DDZ** ____

Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: ________ **ZONING:** CS & LI
Rev. 1 ________ Correction 1 ________
Rev. 2 ________ Correction 2 ________
Rev. 3 ________ Correction 3 ________

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11/10/2019

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H-E-B, LP
646 S FLORES STREET, SAN ANTONIO, TX 78204

H-E-B STORE #10
7901 WEST HIGHWAY 290

AUSTIN, TEXAS 78703

Project No.: 222010831
File Name: 10831C01_101_MSP
Scale:

AJM	TP	JF	2020.01.02
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Title
OVERALL SITE PLAN

Revision:0 Sheet: 17 of 63
Drawing No.
17

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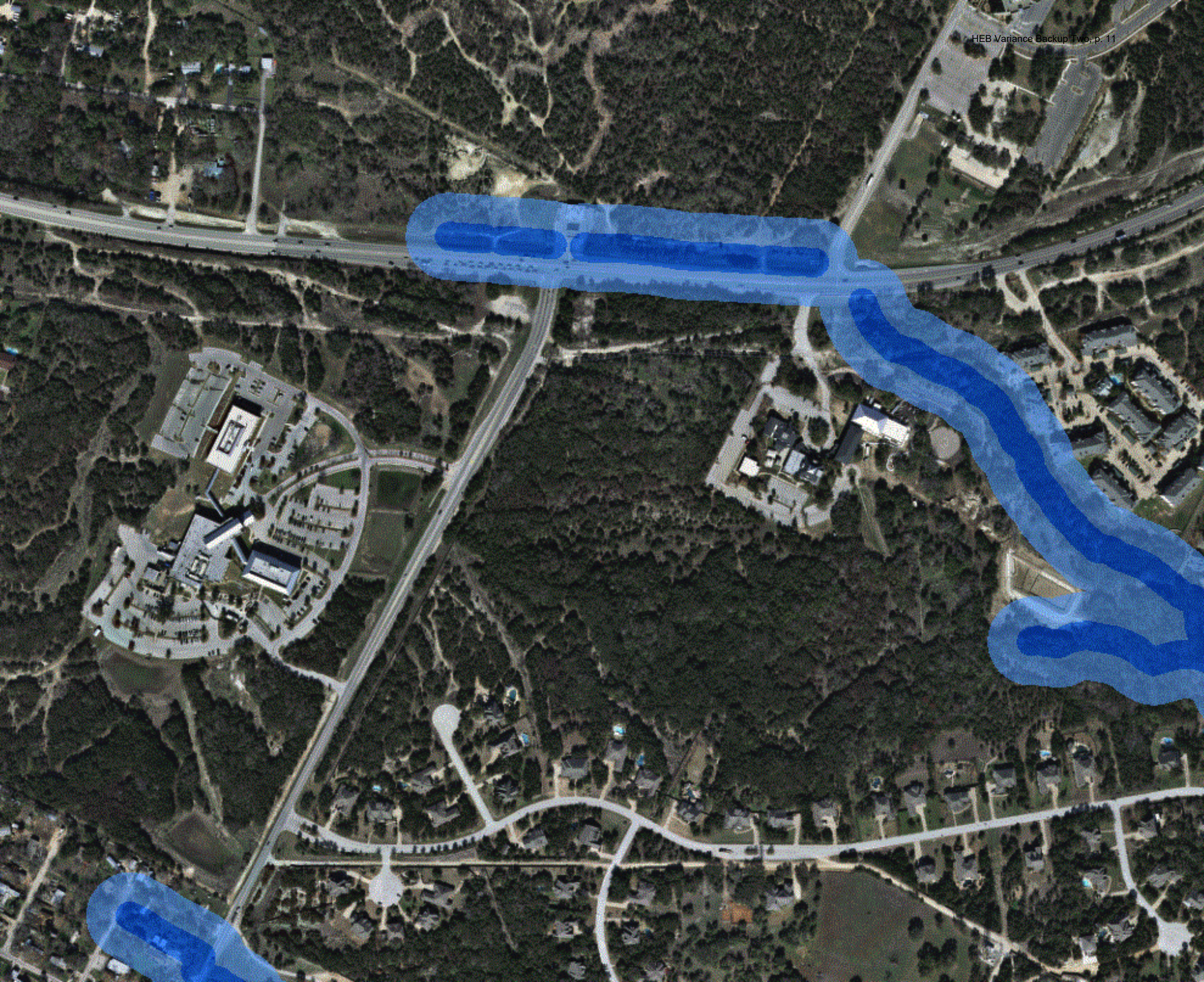
2020.01.02 8:40:50 AM
ORIGINAL SHEET - ARCH D

H-E-B STORE #10

Exhibit 9 Environmental Map
January 10, 2020

EXHIBIT 9 ENVIRONMENTAL MAP



H-E-B STORE #10

Exhibit 10 Environmental Resource Inventory
January 10, 2020

EXHIBIT 10 ENVIRONMENTAL RESOURCE INVENTORY

Environmental Resource Inventory

For the City of Austin
Related to LDC 25-8-121, City Code 30-5-121, ECM 1.3.0 & 1.10.0

The ERI is required for projects that meet one or more of the criteria listed in LDC 25-8-121(A), City Code 30-5-121(A).

1. SITE/PROJECT NAME: HEB Austin # 10

2. COUNTY APPRAISAL DISTRICT PROPERTY ID (#'s): 315313 & 511018

3. ADDRESS/LOCATION OF PROJECT: 7909 FM 1826

4. WATERSHED: Williamson Creek

5. THIS SITE IS WITHIN THE *(Check all that apply)*
   - Edwards Aquifer Recharge Zone* *(See note below)* ..... ☐YES ☑No
   - Edwards Aquifer Contributing Zone* ..... ☑YES ☐No
   - Edwards Aquifer 1500 ft Verification Zone* ..... ☐YES ☑No
   - Barton Spring Zone* ..... ☑YES ☐No

   **(as defined by the City of Austin – LDC 25-8-2 or City Code 30-5-2)*

   Note: If the property is over the Edwards Aquifer Recharge zone, the Hydrogeologic Report and karst surveys must be completed and signed by a Professional Geoscientist Licensed in the State of Texas.

6. DOES THIS PROJECT PROPOSE FLOODPLAIN MODIFICATION?.....☐YES** ☑NO
   If yes, then check all that apply:
   - ☐ *(1) The floodplain modifications proposed are necessary to protect the public health and safety;*
   - ☐ *(2) The floodplain modifications proposed would provide a significant, demonstrable environmental benefit, as determined by a **functional assessment** of floodplain health as prescribed by the Environmental Criteria Manual (ECM), or*
   - ☐ *(3) The floodplain modifications proposed are necessary for development allowed in the critical water **quality zone under LDC 25-8-261 or 25-8-262, City Code 30-5-261 or 30-5-262.***
   - ☐ *(4) The floodplain modifications proposed are outside of the Critical Water Quality Zone in an area determined to be in poor or fair condition by a **functional assessment** of floodplain health.*

   **** If yes, then a functional assessment must be completed and attached to the ERI (see ECM 1.7 and Appendix X for forms and guidance) unless conditions 1 or 3 above apply.**

7. IF THE SITE IS WITHIN AN URBAN OR SUBURBAN WATERSHED, DOES THIS PROJECT PROPOSE A UTILITY LINE PARALLEL TO AND WITHIN THE CRITICAL WATER QUALITY ZONE? ..... ☐YES*** ☑NO

   *****If yes, then riparian restoration is required by LDC 25-8-261(E) or City Code 30-5-261(E) and a functional assessment must be completed and attached to the ERI (see ECM1.5 and Appendix X for forms and guidance).**

8. There is a total of 0 (#'s) Critical Environmental Feature(s)(CEFs) on or within150 feet of the project site. If CEF(s) are present, attach a detailed **DESCRIPTION** of the CEF(s), color **PHOTOGRAPHS**, the **CEF WORKSHEET** and provide **DESCRIPTIONS** of the proposed CEF buffer(s) and/or wetland mitigation. Provide the number of each type of CEFs on or within 150 feet of the site (*Please provide the number of CEFs*):

0 (#'s) Spring(s)/Seep(s) 0 (#'s) Point Recharge Feature(s) 0 (#'s) Bluff(s)
0 (#'s) Canyon Rimrock(s) 0 (#'s) Wetland(s)

Note: Standard buffers for CEFs are 150 feet, with a maximum of 300 feet for point recharge features. Except for wetlands, if the standard buffer is not provided, you must provide a written request for an administrative variance from LDC 25-8-281(C)(1) and provide written findings of fact to support your request. Request forms for administrative variances from requirements stated in LDC 25-8-281 are available from Watershed Protection Department.

9. The following site maps are attached at the end of this report *(Check all that apply and provide):*

All ERI reports must include:

- ☑ **Site Specific Geologic Map with 2-ft Topography**
- ☑ **Historic Aerial Photo of the Site**
- ☑ **Site Soil Map**
- ☐ **Critical Environmental Features and Well Location Map on current Aerial Photo with 2-ft Topography**

Only if present on site *(Maps can be combined):*

- ☐ **Edwards Aquifer Recharge Zone with the 1500-ft Verification Zone**
  (Only if site is over or within 1500 feet the recharge zone)
- ☑ **Edwards Aquifer Contributing Zone**
- ☐ **Water Quality Transition Zone (WQTZ)**
- ☐ **Critical Water Quality Zone (CWQZ)**
- ☐ **City of Austin Fully Developed Floodplains for all water courses with up to 64-acres of drainage**

10. **HYDROGEOLOGIC REPORT –** Provide a description of site soils, topography, and site specific geology below *(Attach additional sheets if needed):*

Surface Soils on the project site is summarized in the table below and uses the SCS Hydrologic Soil Groups*. If there is more than one soil unit on the project site, show each soil unit on the site soils map.

Soil Series Unit Names, Infiltration Characteristics & Thickness		
Soil Series Unit Name & Subgroup**	Group*	Thickness (feet)
Brackett-Rock outcrop complex, 1-12% slopes (BID)	D	2.5
Volente silty clay loam, 1-8% slopes (VoD)	C	4.5

Soil Hydrologic Groups Definitions *(Abbreviated)

A. Soils having a high infiltration rate when thoroughly wetted.

B. Soils having a moderate *infiltration* rate when thoroughly wetted.

C. Soils having a slow infiltration rate when thoroughly wetted.

D. Soils having a very slow infiltration rate when thoroughly wetted.

**Subgroup Classification – See Classification of Soil Series Table in County Soil Survey.

Description of Site Topography and Drainage *(Attach additional sheets if needed)*:

The subject site is located within the Edwards Plateau ecoregion (Gould, 1975) and the Live Oak-Ashe Juniper Parks vegetational area of Texas (McMahan et al., 1984). Elevation on the site ranges from 994 feet above mean sea level (AMSL) to 904 feet AMSL, with surface water flowing west to east towards the Wheeler Branch of Williamson Creek.

List surface geologic units below:

Geologic Units Exposed at Surface		
Group	Formation	Member
Trinity	Upper Glen Rose Limestone	

Brief description of site geology *(Attach additional sheets if needed)*:

The upper member of the Glen Rose Limestone is relatively impermeable and described as the lower confining unit of the Edwards Aquifer. It has a maximum thickness of about 350 to 500 feet. Stair-step topography is characteristic of the upper member of the Glen Rose Limestone. The Upper Glen Rose Limestone is described as yellowish-tan, thinly bedded limestone and marl (Garner and Young, 1976). The upper member of the Glen Rose Limestone is relatively more thinly bedded, more dolomitic, and less fossiliferous than the lower member of the Glen Rose Limestone. The top of the upper member of the Glen Rose Limestone is red-stained, lumpy, irregular, and bored, with oysters cemented onto the surface (Rose, 1972).

Wells – Identify all recorded and unrecorded wells on site (test holes, monitoring, water, oil, unplugged, capped and/or abandoned wells, etc.):

There are _0_(#) wells present on the project site and the locations are shown and labeled

___(#'s)The wells are not in use and have been properly abandoned.

___(#'s)The wells are not in use and will be properly abandoned.

___(#'s)The wells are in use and comply with 16 TAC Chapter 76.

There are _0_(#'s) wells that are off-site and within 150 feet of this site.

11. **THE VEGETATION REPORT** – Provide the information requested below:

Brief description of site plant communities *(Attach additional sheets if needed)*:

Vegetation observed on the Property includes Ashe juniper (Juniperus ashei), plateau live oak (Quercus fusiformis), cedar elm (Ulmus crassifolia), elbow bush (Forestiera angustifolia), (agarita (Berberis trifoliolata), Texas prickly pear (Opuntia engelmannii var. lindheimeri), hackberry (Celtis laevigata), chinaberry (Melia azedarach), evergreen sumac (Rhus virens), various forbs and grasses

There is woodland community on site ……☑YES ☐ NO *(Check one).*
If yes, list the dominant species below:

Woodland species	
Common Name	Scientific Name
Ashe juniper	Juniperus ashei
Plateau live oak	Quercus fusiformis
Cedar elm	Ulmus crassifolia

There is grassland/prairie/savanna on site……..☐YES ☑ NO *(Check one).*
If yes, list the dominant species below:

Grassland/prairie/savanna species	
Common Name	Scientific Name

There is hydrophytic vegetation on site ……..☐YES ☑ NO *(Check one).*
If yes, list the dominant species in table below *(next page):*

Hydrophytic plant species		
Common Name	Scientific Name	Wetland Indicator Status

A tree survey of all trees with a diameter of at least eight inches measured four and one-half feet above natural grade level has been completed on the site.
☑YES ☐ NO *(Check one).*

12. **WASTEWATER REPORT –** Provide the information requested below.

Wastewater for the site will be treated by *(Check of that Apply)*:

☐ On-site system(s)
☑ City of Austin Centralized sewage collection system
☐ Other Centralized collection system

Note: All sites that receive water or wastewater service from the Austin Water Utility must comply with City Code Chapter 15-12 and wells must be registered with the City of Austin

The site sewage collection system is designed and will be constructed to in accordance to all State, County and City standard specifications.
☑YES ☐ NO *(Check one).*

Calculations of the size of the drainfield or wastewater irrigation area(s) are attached at the end of this report or shown on the site plan.
☐YES ☐ NO ☐ Not Applicable *(Check one).*

Wastewater lines are proposed within the Critical Water Quality Zone?
☐YES ☑ NO *(Check one)*. If yes, then provide justification below:

Is the project site is over the Edwards Aquifer?
☐YES ☑ NO *(Check one).*

If yes, then describe the wastewater disposal systems proposed for the site, its treatment level and effects on receiving watercourses or the Edwards Aquifer.

13. One (1) hard copy and one (1) electronic copy of the completed assessment have been provided.

Date(s) ERI Field Assessment was performed: 27 July 2017
Date(s)

My signature certifies that to the best of my knowledge, the responses on this form accurately reflect all information requested.

Jeremy Mantooth	512-328-2430
Print Name	Telephone
Signature	jeremy_mantooth@hroizon-esi.com Email Address
Horizon Environmental Services, Inc.	23 August 2017
Name of Company	Date

For project sites within the Edwards Aquifer Recharge Zone, my signature and seal also certifies that I am a licensed Professional Geoscientist in the State of Texas as defined by ECM 1.12.3(A).

P.G.
Seal

Horizon
Environmental Services, Inc.

ENVIRONMENTAL RESOURCE INVENTORY ATTACHMENTS

HEB AUSTIN # 10
7909 FM 1826
HJN 170141

Horizon
Environmental Services, Inc.

DATA RESOURCES USED IN COMPLETING THIS ERI

(COA) City of Austin. *GIS Data Sets*, Year 2003 2-foot contours of the City of Austin and ETJ only, <ftp://ftp.ci.austin.tx.us/GIS-Data/Regional/coa_gis.html>. Updated by City of Austin 2012.

_____. *GIS Data Sets,* Recharge Zone, Contributing Zone, and Edwards Contributing Zone 1500' Buffer, <ftp://ftp.ci.austin.tx.us/GIS-Data/Regional/ coa_gis.html>. Updated by City of Austin 2007.

_____. *Development Web Map*, <http://www.austintexas.gov/GIS/developmentwebmap/ Viewer.aspx>. Accessed 26 July 2017.

Gould, F.W. *Texas Plants – A Checklist and Ecological Summary*. College Station: Texas A&M University. 1975.

McMahan, Craig A., Roy G. Frye, and Kirby L. Brown. *The Vegetation Types of Texas – Including Cropland*. Austin: Texas Parks and Wildlife Department. 1984.

(NRCS) Natural Resources Conservation Service (formerly Soil Conservation Service), US Department of Agriculture. Web Soil Survey, <http://websoilsurvey.nrcs.usda.gov /app/WebSoilSurvey.aspx>. Accessed 26 July 2017.

Rose, P.R. *Edwards Group, Surface and Subsurface, Central Texas.* Report of Investigations 86. The University of Texas at Austin, Bureau of Economic Geology. 1972.

(TWDB) Texas Water Development Board. Water Information Integration and Dissemination System. TWDB Groundwater Database (ArcIMS), <http://wiid.twdb.state.tx.us/ ims/wwm_drl/viewer.htm?>. Accessed 26 July 2017.

(USDA) US Department of Agriculture. National Agriculture Imagery Program, Farm Service Agency, Aerial Photography Field Office. Travis County, Texas. 2016.

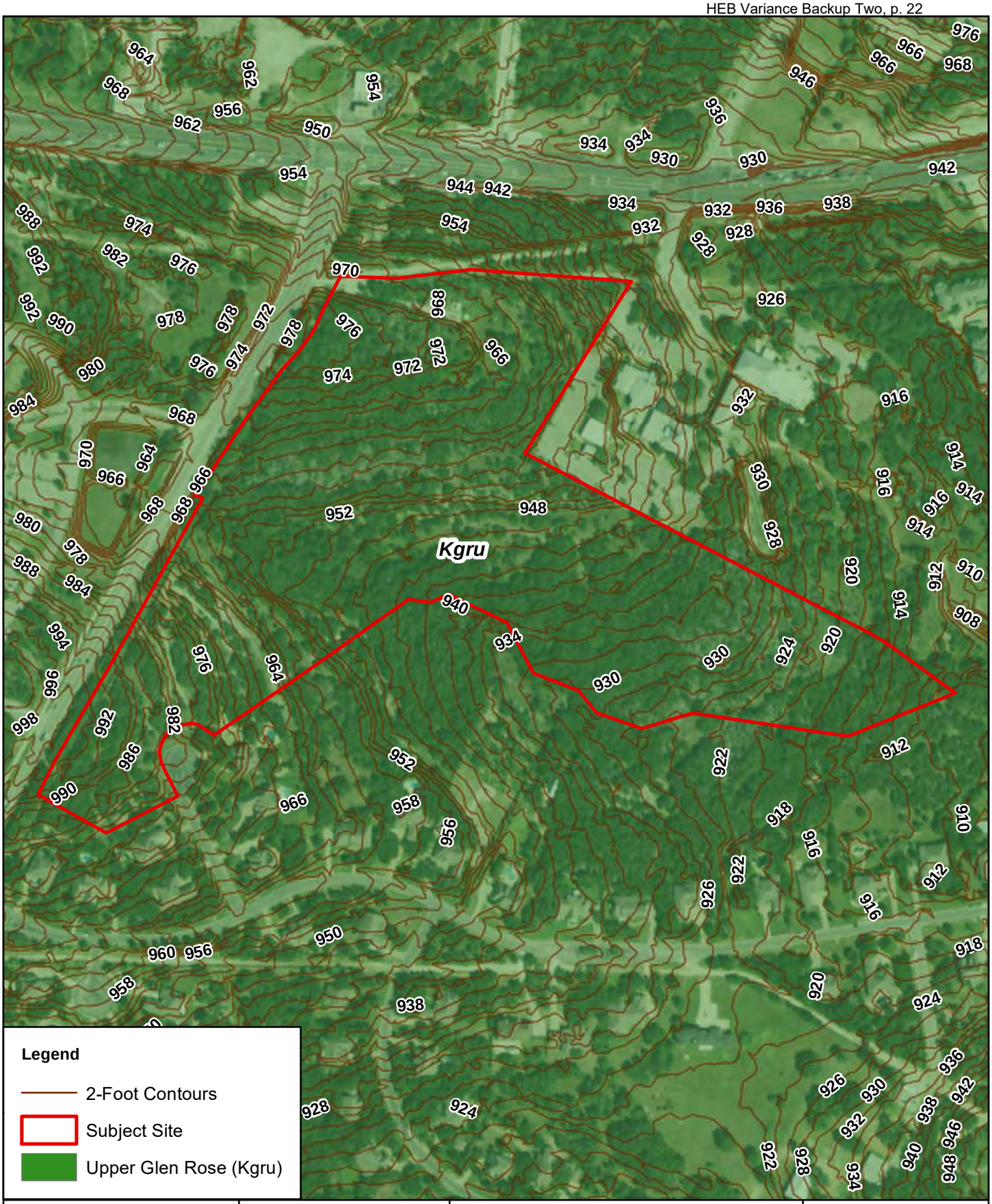
(USGS) US Geological Survey. Digital Orthophoto Quarter-Quadrangle, Signal Hill NE, Texas. 1995.

(UT-BEG) University of Texas Bureau of Economic Geology, C.V. Proctor, Jr., T.E. Brown, J.H. McGowen, N.B. Waechter, and V.E. Barnes. *Geologic Atlas of Texas*, Austin Sheet, Francis Luther Whitney Memorial Edition. 1974; reprinted 1995.

Horizon
Environmental Services, Inc.

ERI WORKSHEET SECTION 9:
SITE MAPS

Figure 1. Site-Specific Geologic Map
Figure 2. Historical Aerial Photo
Figure 3. Site Soil Map
Figure 4. Edwards Aquifer Map



Horizon Environmental Services, Inc.

Date:	07/26/2017
Drawn:	JM
HJN NO:	170141
Source:	COA, 2012; UT-BEG, 1981; USDA, 2016

Figure 1

Site Specific Geologic Map
HEB Austin # 10
7909 FM 1826
Austin, Travis County, Texas

N

0 200 400
Feet

Horizon Environmental Services, Inc.

Date:	07/28/2017
Drawn:	JM
HJN NO:	170141
Source:	USGS, 1995

Figure 2

1995 Historical Aerial Photo
HEB Austin # 10
7909 FM 1826
Austin, Travis County, Texas

N

0 200 400
Feet

170141 - HEB Austin 10 ERI HA\Graphics\170141ERI_02A_1995

Horizon Environmental Services, Inc.

Date:	07/28/2017
Drawn:	JM
HJN NO:	170141
Source:	NRCS, 2017; USDA, 2016

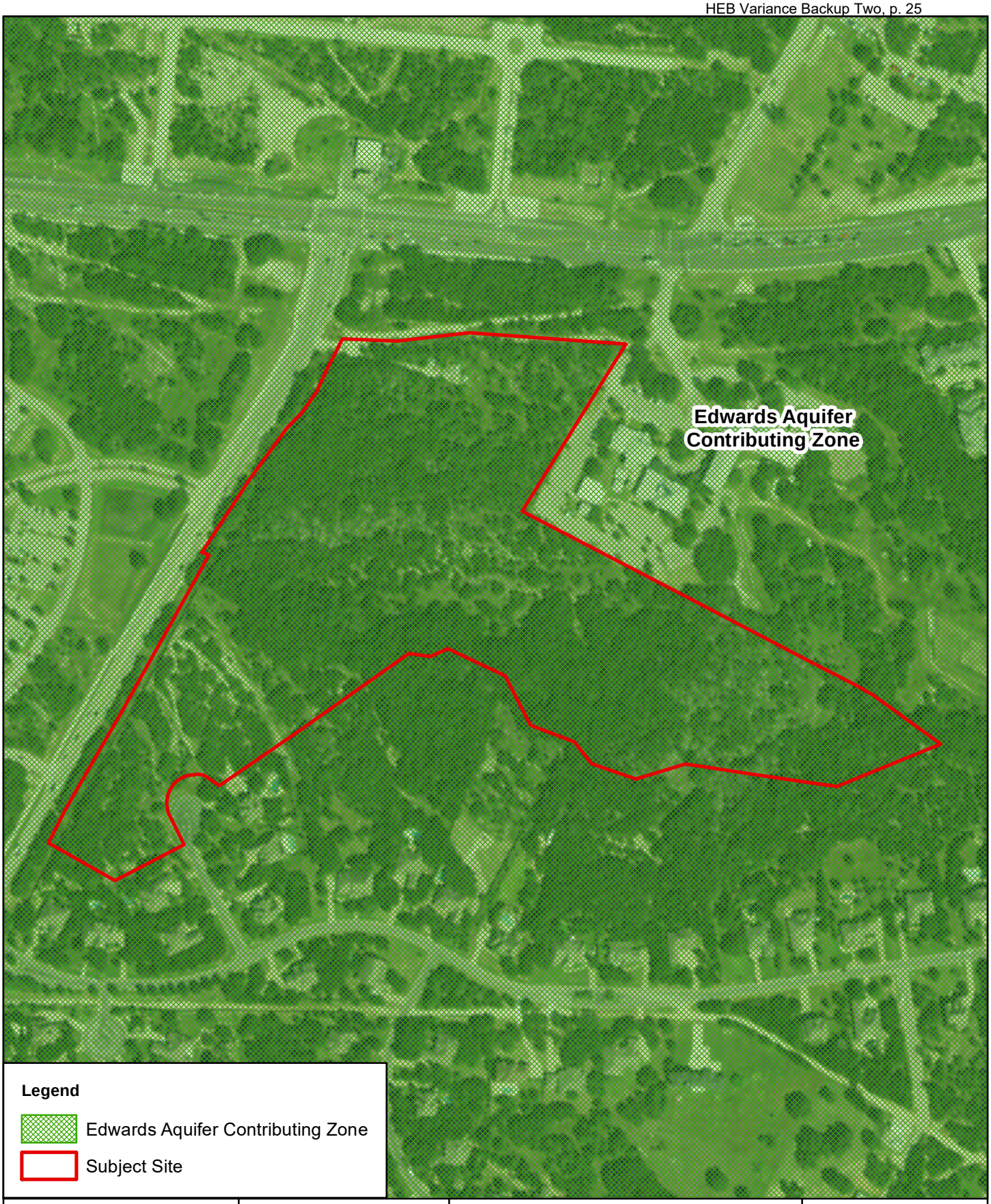
Figure 3

Site Soil Map
HEB Austin # 10
7909 FM 1826
Austin, Travis County, Texas

N

0 200 400
Feet

170141 - HEB Austin 10 ERI HA\Graphics\170141ERI_03A_soil



Horizon Environmental Services, Inc.

Date:	07/28/2017
Drawn:	JM
HJN NO:	170141
Source:	COA, 2007; USDA, 2016

Figure 4

Edwards Aquifer Contributing Zone Map
HEB Austin # 10
7909 FM 1826
Austin, Travis County, Texas

N

0 200 400
Feet

170141 - HEB Austin 10 ERI HA\Graphics\170141ERI_04A_Edwards

H-E-B STORE #10

Exhibit 11 Variance Request Letter
January 10, 2020

EXHIBIT 11 VARIANCE REQUEST LETTER