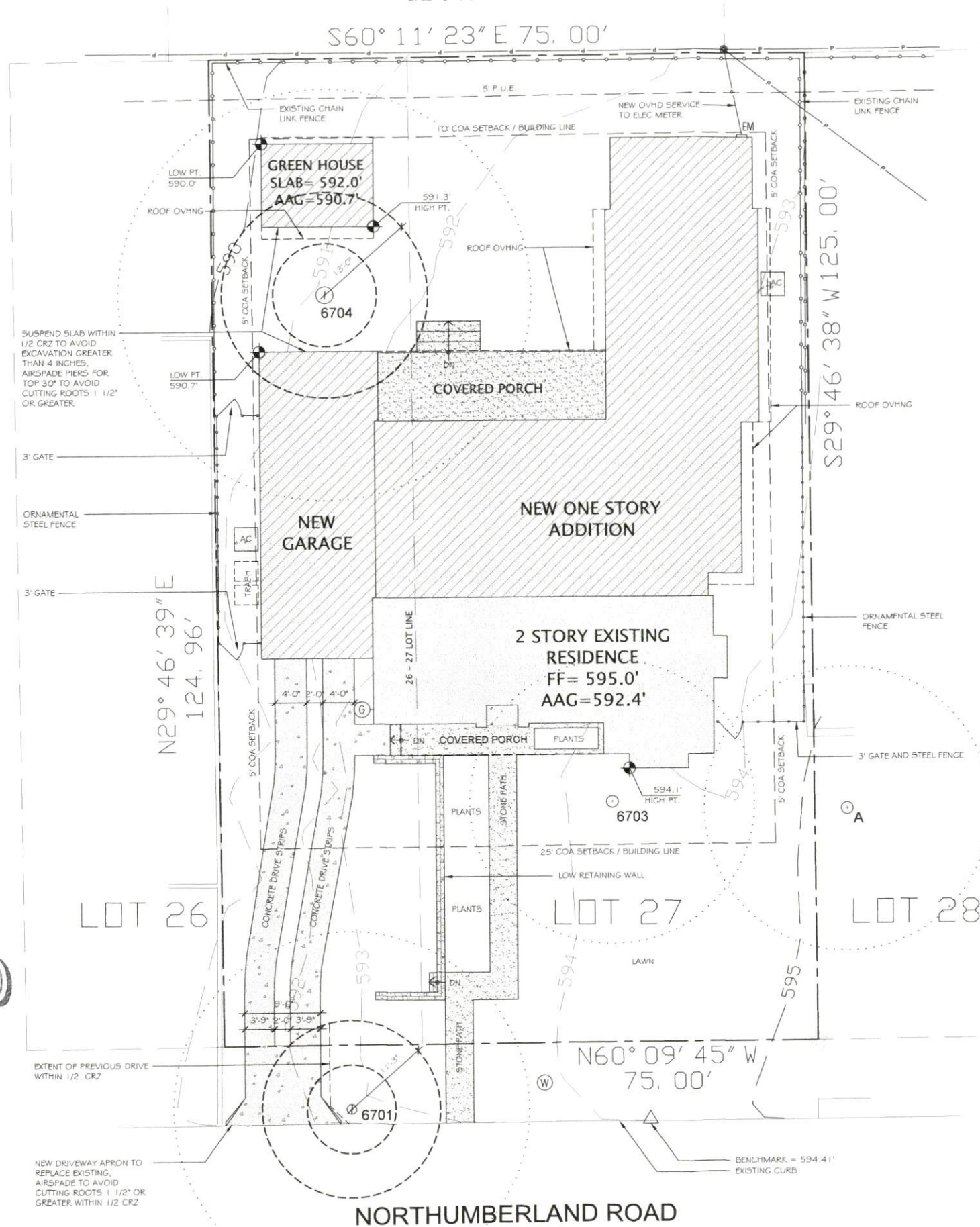


SHEET IS FORMATTED TO 22" X 34". SCALES ARE ONE HALF OF NOTED WHEN PRINTED TO 11" X 17".

S60° 11' 23" E 75.00'



REVIEWED

MAR 13 2020

Austin Water Utility

1

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

SHEET IS FORMATTED TO 22" X 34". SCALES ARE ONE HALF OF NOTED WHEN PRINTED TO 11" X 17".

### LEGAL DESCRIPTION

LOT 27 1/4 E 25 FT OF LOT 26 PEASE ESTATES SEC 3

### ZONING

5F-3

### LOT SIZE

9,374 SF

### TREE SCHEDULE

TREE #	SIZE/TYPE
G701	(2) 15" CEDAR ELM
G702	18" CEDAR ELM REMOVE
G703	18" BARDFORD PEAR
G704	26" CEDAR ELM
A	18" LIVE OAK

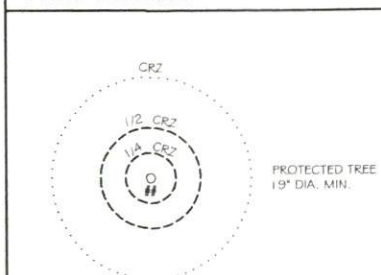
### PROTECTED TREE NOTES:

1. DRIP LINE CALCULATION: 1'-0" PER 0'-1" OF TRUNK
2. ALL TREES & NATURAL AREAS SHOWN ON PLAN TO BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. FENCING SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN STANDARDS OF TREE PROTECTION.
3. CONTRACTOR RESPONSIBLE FOR PERMIT APPROVAL FOR REMOVAL OF TREES WITH A DIAMETER OF 19" OR MORE.
4. ALL EXCAVATION UNDER TREE DRIP LINE TO BE DONE BY HAND. CUT NO ROOTS WITHOUT ARBORIST CONSULTATION.
5. ALL NECESSARY PRUNING BY CERTIFIED ARBORIST.
6. 2X4 PLANKS REQUIRED AT TRUNKS WHERE 1/2 CRZ IS NOT FENCED COMPLETELY.
7. PROVIDE 8" OF MULCH AT EXPOSED CRZ.
8. TRENCHING WITHIN 1/2 CRZ TO BE AVOIDED. IF REQ'D, CERTIFIED ARBORIST TO AIRSPADE FOR TOP 30" TO AVOID CUTTING ROOTS 1 1/2" OR GREATER.

### SITE PLAN NOTES:

1. PERFORM ALL WORK IN ACCORDANCE WITH THE CITY OF AUSTIN CODES, REGULATIONS & ORDINANCES.
2. SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY PROVIDED BY OWNER.
3. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
4. CIVIL ENGINEERING BY OTHERS.
5. TAKE PRECAUTIONS TO MAINTAIN ALL EXISTING UTILITY SERVICES.
6. TAKE MEASURES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
7. LANDSCAPING BY OTHERS (N.I.C.).
8. PROVIDE PVC PIPE SLEEVES BENEATH ALL PAVED SURFACES TO ACCOMMODATE LANDSCAPE LIGHTING, IRRIGATION & DRAINAGE.

### TREE LEGEND



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SITE PLAN

A.101

A RENOVATION FOR

CHERYL & JOHN SAUDER  
1616 NORTHUMBERLAND RD  
AUSTIN, TX 78703

PERMIT

ISSUE  
03.13.20



tim cuppett  
architecture + interiors  
512.459.0820 cuppettarchitects.com





All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines.

[illegible]

timcuppet  
architecture + interiors  
312.450.0820 cuppetarchitects.com



A RENOVATION FOR  
CHERYL & JOHN SAUDER  
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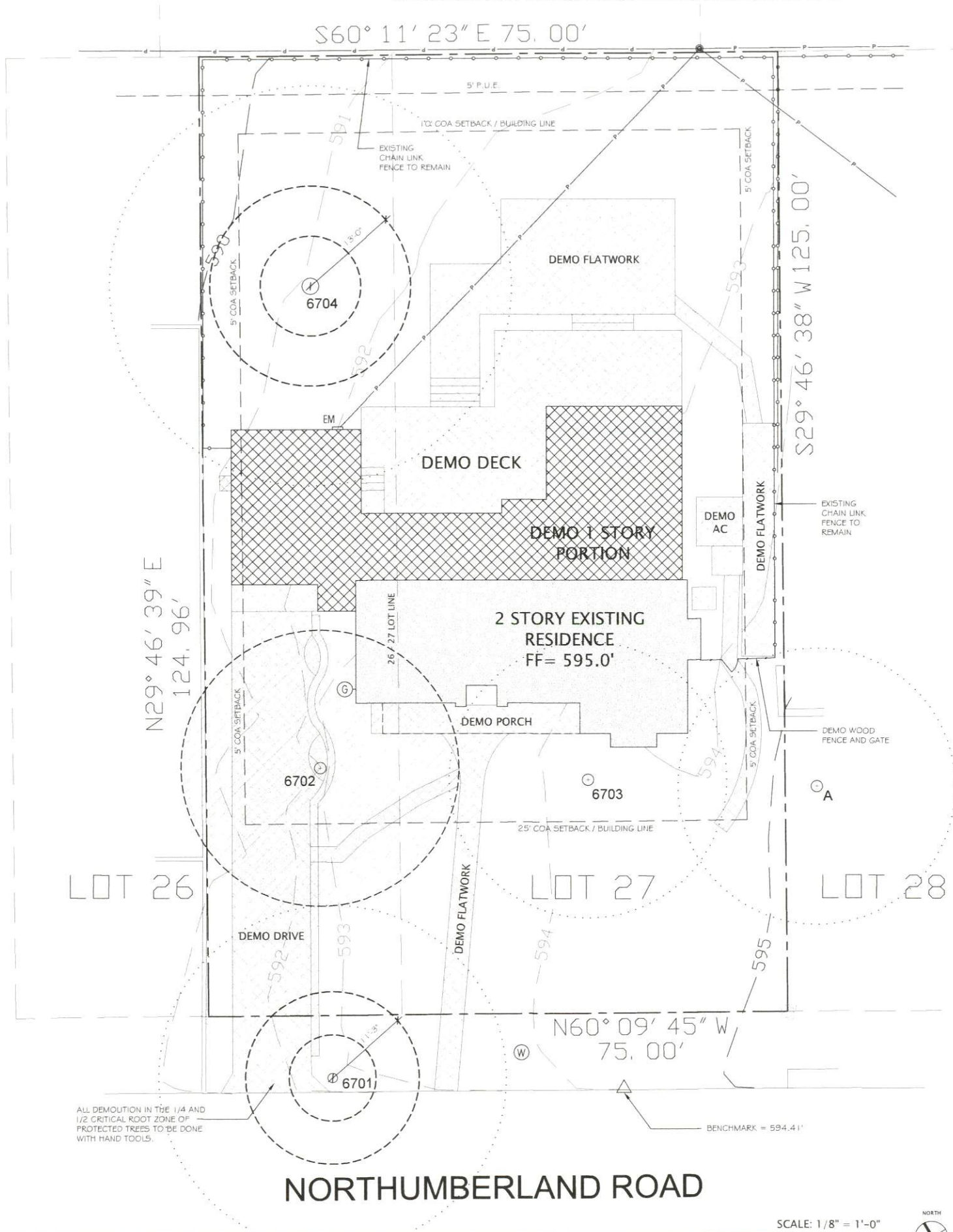
ISSUE  
03. | 3.20

# SITE PLAN

## A.101







1 DEMO SITE PLAN

SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION

LOT 27 \* E 25 FT OF LOT 26 PEASE ESTATES SEC 3

ZONING

5F-3

LOT SIZE

9,374 SF

TREE SCHEDULE

TREE #	SIZE/TYPE
6701	(2) 15" CEDAR ELM
6702	18" CEDAR ELM REMOVE
6703	18" BARDFORD PEAR
6704	26" CEDAR ELM
A	18" LIVE OAK

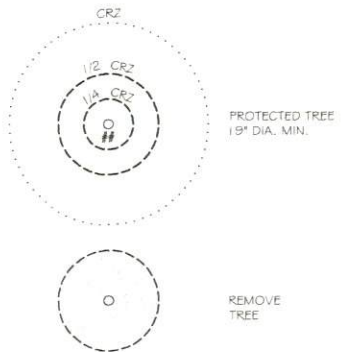
PROTECTED TREE NOTES:

1. DRIP LINE CALCULATION 1'-0" PER 0'-1" OF TRUNK.
2. ALL TREES & NATURAL AREAS SHOWN ON PLAN TO BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. FENCING SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN STANDARDS OF TREE PROTECTION.
3. CONTRACTOR RESPONSIBLE FOR PERMIT APPROVAL FOR REMOVAL OF TREES WITH A DIAMETER OF 19" OR MORE.
4. ALL EXCAVATION UNDER TREE DRIP LINE TO BE DONE BY HAND. CUT NO ROOTS WITHOUT ARBORIST CONSULTATION.
5. ALL NECESSARY PRUNING BY CERTIFIED ARBORIST.
6. 2X4 PLANKS REQUIRED AT TRUNKS WHERE 1/2 CRZ IS NOT FENCED COMPLETELY.
7. PROVIDE 8" OF MULCH AT EXPOSED CRZ.
8. TRENCHING WITHIN 1/2 CRZ TO BE AVOIDED. IF REQ'D. CERTIFIED ARBORIST TO AIRSPADE FOR TOP 30" TO AVOID CUTTING ROOTS 1 1/2" OR GREATER.

SITE PLAN NOTES:

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4. CIVIL ENGINEERING BY OTHERS.
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6. TAKE MEASURES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
7. LANDSCAPING BY OTHERS (N.I.C.).
8. PROVIDE PVC PIPE SLEEVES BENEATH ALL PAVED SURFACES TO ACCOMMODATE LANDSCAPE LIGHTING, IRRIGATION & DRAINAGE.

TREE LEGEND



LEGEND

- - - LOT LINE
- - - BUILDING LINE / SETBACK
- - - EXISTING TOPOGRAPHY
- - - ORIGINAL TOPOGRAPHY
- - - NEW TOPOGRAPHY
- - - WD FENCE
- - - STL FENCE
- - - CHAIN LINK FENCE
- W WATER METER
- G GAS METER
- EM ELECTRIC METER
- PUE PUBLIC UTILITY EASEMENT
- AC AIR CONDITIONER
- [Hatched Box] TO BE DEMOLISHED STRUCTURE
- [Dotted Box] TO BE DEMOLISHED FLATWORK



S60° 11' 23" E 75.00'



- LEGAL DESCRIPTION

LOT 27 \*4 E 25 FT OF LOT 26 PEASE ESTATES SEC 3

## ZONING

SF-3

LOT SIZE

9,374 SF

### TREE SCHEDULE

TREE #	SIZE/TYPE	
G701	(2) 15' CEDAR, ELM	
<del>G702</del>	<del>18' CEDAR, ELM</del>	<del>REMOVE</del>
G703	18' BARDFORD PEAR.	
G704	26' CEDAR, ELM	
A	18' LIVE OAK	

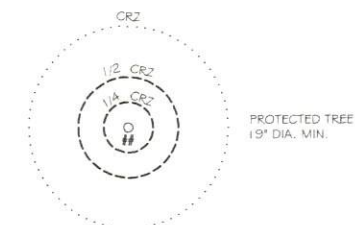
#### PROTECTED TREE NOTES:

1. DRIP LINE CALCULATION: 1'-0" PER 0'-1" OF TRUNK
2. ALL TREES & NATURAL AREAS SHOWN ON PLAN TO BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. FENCING SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN STANDARDS OF TREE PROTECTION.
3. CONTRACTOR RESPONSIBLE FOR PERMIT APPROVAL FOR REMOVAL OF TREES WITH A DIAMETER OF 19" OR MORE.
4. ALL EXCAVATION UNDER TREE DRIP LINE TO BE DONE BY HAND. CUT NO ROOTS WITHOUT ARBORIST CONSULTATION.
5. ALL NECESSARY PRUNING BY CERTIFIED ARBORIST
6. 2X4 PLANKS REQUIRED AT TRUNKS WHERE 1/2 CRZ IS NOT FENCED COMPLETELY
7. PROVIDE 8" OF MULCH AT EXPOSED CRZ
8. TREES WITHIN 1/2 CRZ TO BE AVOIDED. IF REQ'D. CERTIFIED ARBORIST TO AIRSPRAY FOR TOP 30' TO AVOID CUTTING ROOTS 1/2" OR GREATER

SITE PLAN NOTES:

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### TREE LEGEND



PROTECTED TREE  
19" DIA. MIN.

## PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

SHEET IS FORMATTED TO 22" X 34". SCALES ARE ONE HALF OF NOTED WHEN PRINTED TO 11" X 17".

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# SITE PLAN

CHERYL & JOHN SAUDER  
1616 NORTHUMBERLAND RD  
AUSTIN, TX 78703

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ISSUE 03. | 3.20

# A.101

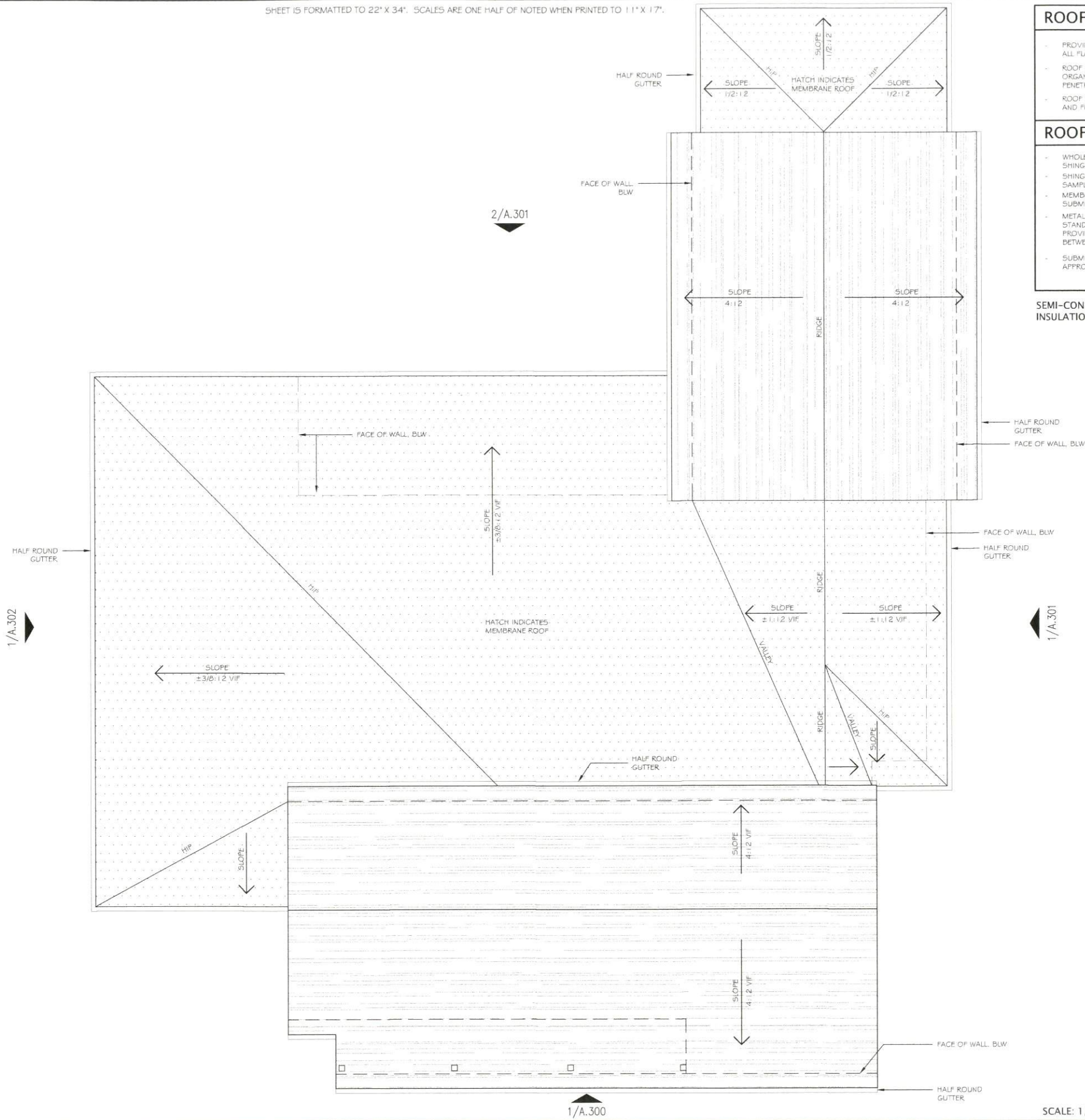
tim cuppet  
architecture + interiors  
312.450.0820 [cuppetaarchitects.com](http://cuppetaarchitects.com)

03/13/20



OVERHANG DIMENSIONS GIVEN  
FROM FACE OF STUD WALL TO FASCIA

SHEET IS FORMATTED TO 22" X 34". SCALES ARE ONE HALF OF NOTED WHEN PRINTED TO 11" X 17".



ROOF PLAN NOTES:

- PROVIDE & INSTALL COMPLETE ROOF SYSTEM WITH ALL FLASHING & MISC TRIM AS REQUIRED.
- ROOF PENETRATIONS TO BE GROUPED AND ORGANIZED. COORDINATE ALL ROOF PENETRATIONS WITH ARCHITECT PRIOR TO INSTALL.
- ROOF PENETRATIONS SHALL BE INSTALLED PLUMB AND FINISHED TO MATCH ROOF.

ROOF SPEC:

- WHOLE HOUSE TO RECEIVE NEW COMPOSITION SHINGLE ROOF, UND.
- SHINGLE ROOF: TO BE DETERMINED - SUBMIT SAMPLE FOR APPROVAL.
- MEMBRANE ROOFING: TO BE DETERMINED - SUBMIT SAMPLE FOR APPROVAL.
- METAL ROOFING: 24 GAUGE DOUBLE LOCK STANDING SEAM METAL ROOF, FACTORY FINISH. PROVIDE CONTINUOUS VENTED AIRSPACE BETWEEN ROOF PANEL & ICE & WATER SHIELD.
- SUBMIT METAL ROOFING & GUTTER SAMPLES FOR APPROVAL.

SEMI-CONDITIONED ATTIC, SPRAY FOAM INSULATION UNDER ROOF DECK.

1 ROOF PLAN

SHEET IS FORMATTED TO 22" X 34". SCALES ARE ONE HALF OF NOTED WHEN PRINTED TO 11" X 17".

SCALE: 1/4" = 1'-0"



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FLOOR PLAN

A.205

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03.13.20

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A RENOVATION FOR

CHERYL & JOHN SAUDER  
1616 NORTHBERLAND RD  
AUSTIN, TX 78703



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03/13/20





2 EXISTING FRONT ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

RESTORATION NOTE: ALL EXISTING TO REMAIN. TRIM, WINDOWS, DOORS AND SHUTTERS TO BE RESTORED TO WELL MAINTAINED CONDITION, REPAINT.



1 PROPOSED FRONT ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

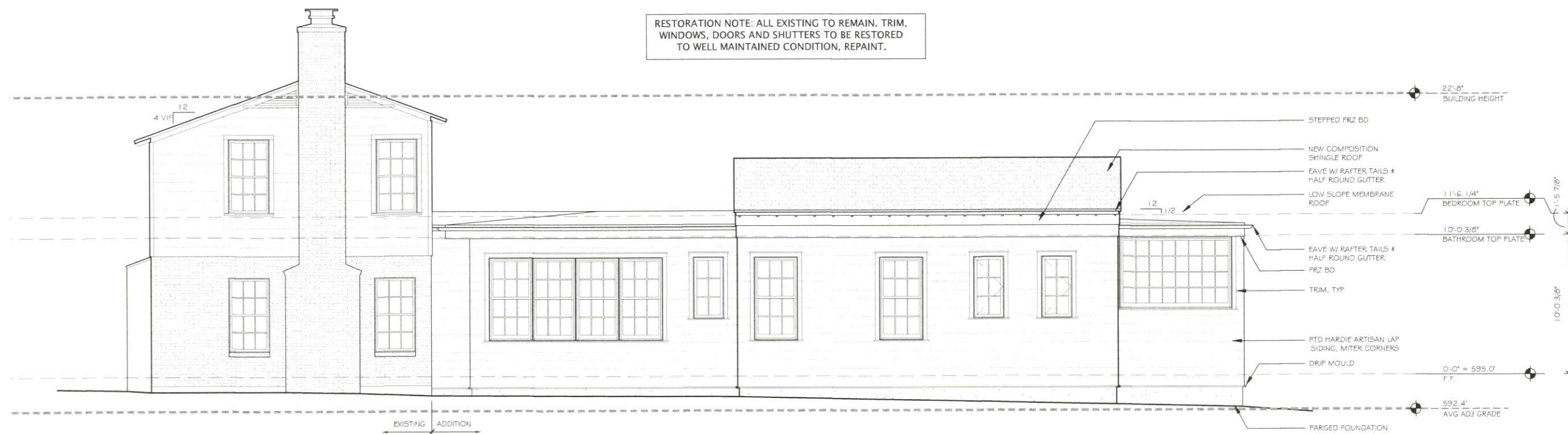




2 PROPOSED REAR ELEVATION (NORTH)

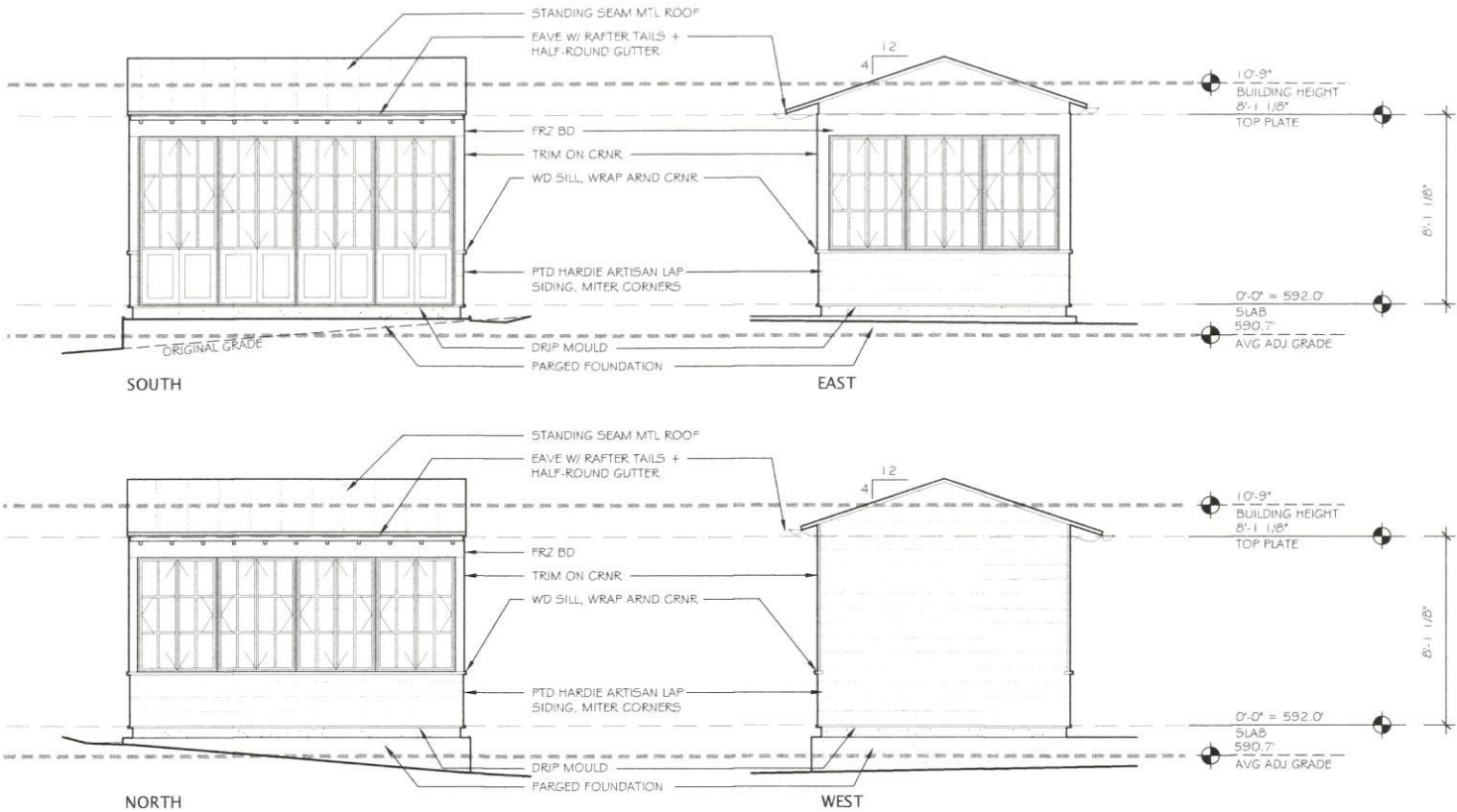
SCALE: 1/4" = 1'-0"

RESTORATION NOTE: ALL EXISTING TO REMAIN. TRIM, WINDOWS, DOORS AND SHUTTERS TO BE RESTORED TO WELL MAINTAINED CONDITION, REPAINT.



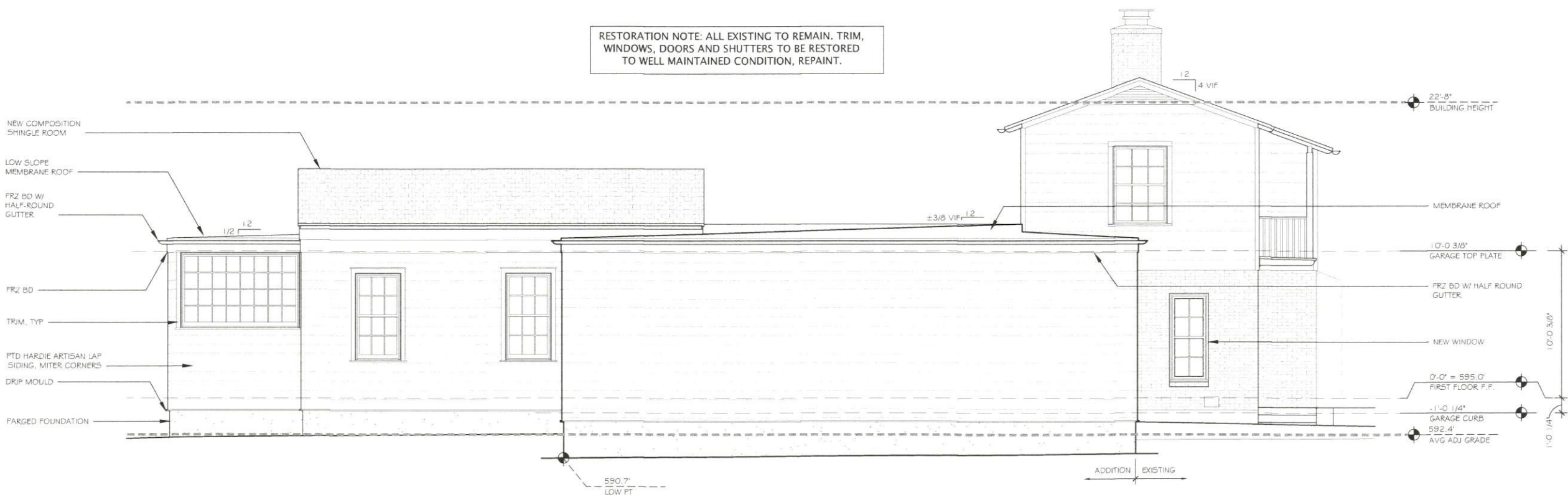
1 PROPOSED RIGHT ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



2 GREEN HOUSE ELEVATIONS SCALE: 1/4" = 1'-0"

RESTORATION NOTE: ALL EXISTING TO REMAIN. TRIM, WINDOWS, DOORS AND SHUTTERS TO BE RESTORED TO WELL MAINTAINED CONDITION, REPAINT.



1 PROPOSED LEFT ELEVATION (WEST) SCALE: 1/4" = 1'-0"

**tim cuppett**  
architecture + interiors  
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ARCHITECT'S SEAL  
TIMOTHY D. CLIPPETT  
AIA# 1464

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ELEVATION  
**A.302**