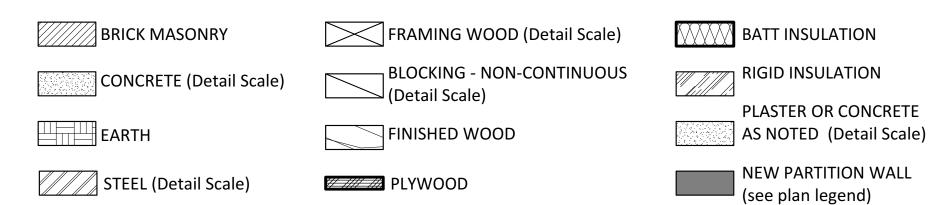


## MATERIALS LEGEND



## **ABBREVIATIONS**

& # @	And Pound At
ADD'L ADJ AFF AHJ AHU APPROX ARCH	Air Conditioning Acoustical Additional Adjacent Above Finish Floor Authority Having Jurisdiction Air Handling Unit Approximately Architect American Society for Testing & Materials
BOR BRD BLDG BDRM BTM BTWN	Bottom of Rafter Board Building Bedroom Bottom Between
CAB CF CJ CLG CLG CLO CLR COL COMP CONC CONST CONST CONT COORD CRZ CVR CW	Cabinet Cubic Feet Control Joint Centerline Ceiling Closet Clear Column Composite Concrete Construction Continuous Coordinate, Coordination Critical Root Zone Cover Cold Water
D DBL DEMO DH DIA DIAG DN DS DW DWG DWR	Deep, Depth, Dryer Double Demolish, Demolition Double Hung Diameter Diagonal, Diagonally Down Downspout Dishwasher Drawing Drawer
E EA EJ EM EQ EQUIP EXST'G EXT	East Each Expansion Joint Electric Meter Equal Spacing, Equivalent Equipment Existing Exterior

EQ EQUIP EXH EXST'G EXT	Equal Spacing, Equivalent Equipment Exhaust Existing Exterior	MA MA ME M/I ME
FAR FF(E) FIN FIXT FLR	Floor-Area Ratio Finished Floor (Elevation) Finish(ed) Fixture Floor	MIN MIS MT MT
FT FTG FV FV HT GA	Feet, Foot Footing Field Verify Field Verify Height	N NA NIC NO NSF
GA GALV GC GFCI GL GM GPM GR	Gauge Galvanized General Contractor Ground Fault Circuit Interrupt Glass Gas Meter Gallons Per Minute Grade	OC OCI OP' OVI OZ
GRND GSF GYP BD	Ground Gross Square Feet	P&I PC PG PL
HB HDR HDWR HORIZ HR HT HTG HVAC	Hose Bib Header Hardware Horizontal Hour Height Heating Heat/Ventilation/ Air Conditioning	PR PSF PSI PTC PVC PVN PW
I.E. IN INAC INCL INFO INSUL INT	Id Est (That Is) Inches Inaccessible Including Information Insulation Interior	QTF R RCF RE/ REII REC
JNT JST KIT	Joint Joist Kitchen	REC REV RFC RM RO
L LAM LAV LB(S) LF LP LT LVR	Length Laminated Lavatory Pound(s) Linear Foot Light Pole or Lightning Protect Light Louver	RO

	MANUF MAX MECH M/E MEP MIN MISC MTD MTL	Manufacturer Maximum Mechanical Mechanical/Electrical Mechanical, Electrical, & Plumbing Minimum Miscellaneous Mounted Metal
	N NA NIC NO NSF NTS	North Not Applicable Not in Contract Number Net Square Feet Not to Scale
rupt	OC OCEW OP'G OVHD OZ	On Center On Center Each Way Opening Overhead Ounce
	P&I PC PG PL	Provide & Install Photo Cell Page Plate or Plateline
	PR PSF PSI PT PTD PVC PVMT PWD	Pair Pounds Per Square Foot Pounds Per Square Inch Pressure Treated Painted Polyvinyl Chloride Pavement Plywood
	QTR	Quarter
		Radius/Refrigerator Reflected Ceiling Plan Reference Reinforced Required S Requirements Revision Roofing Room Rough Opening Right of Way

South
Salvage
Self-Adhering Underlayment
Scheduled
Section
Seperate, Seperated
Square Feet
Sheet
Similar
Sheathing
Sink
A Sheet Metal & Air Conditioning
National Association, Inc.
Specifications
Specified
Square
Stainless Steel
Steel
Structural
Suspended
Switch
Symmetrical
Tongue & Groove
Temporary, Tempered
Thick
Total
Top of Wall
Treated
Typical
Under Counter
Under Counter Refrigerator
Underwriter's Laboratory
Unfinished
Unless Noted Otherwise
Vapor Barrier
Vertical
Verify
Wide, Width, West,
Washing Machine
With
Without
Stackable Washer Dryer
Wood
Window
Water Heater
Water Meter
Waterproofing
Weight
Yards

## **PROJECT INFORMATION**

DRESS:	1105 CASTLE COURT, AUSTIN, 78703
AL DESCRIPTION:	LOT 7 LESS N 5FT OLT 5 DIV Z CASTLE COURT
NING:	GO-HD-NP (Contributing to Castle Hill LHD)
R CONSTRUCTED:	circa 1873
SIZE:	8,649 SF
OR AREA:	1,978 NSF/2,056 GSF NO NEW FLOOR AREA; NO CHANGE OF USE OR OCCUPANCY TYPE
NSTRUCTION TYPE:	III B
CUPANCY TYPE:	B (21 people)

## **DESIGN & CONSTRUCTION TEAM**

#### ARCHITECTURE

O'CONNELL ARCHITECTURE, LLC TERESA O'CONNELL, AIA 702 RIO GRANDE AUSTIN, TEXAS 78701 512|751-1374 HMG & ASSOCIATES INC. TED EIKENBERRY 9606 N MOPAC EXPY #350 AUSTIN, TEXAS 78759 512|794-8234

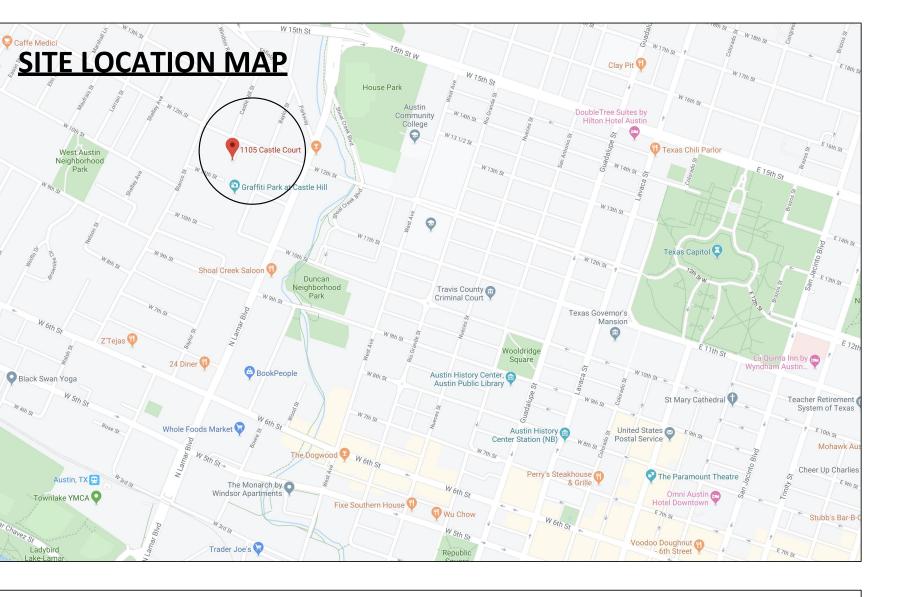
MECHANICAL ENGINEERING

#### **GENERAL CONTRACTOR**

PINNELLI BUILDERS, INC. CHRIS PINELLI PO BOX 401 HUTTO, TX 78634 512 | 844-4968

### INTERIORS

LIZZIE CLARKE INTERIORS 2306 QUARRY ROAD AUSTIN, TEXAS 78703



## **GENERAL NOTES**

 All work shall be performed in accordance with the International Building Code, 2015, related trade codes, and applicable local codes, ordinances and laws.

2. Base drawings used in these documents were prepared with limited access to the site, and may contain dimensional discrepancies. Contractor shall verity critical dimensions before beginning work. Do not scale drawings. Ask Architect for needed dimensions if not provided.

3. Historic designation of this building requires the Contractor and his subcontractors to exercise special caution in executing the work to prevent unnecessary damage to historic features, conditions, or materials. Contractor shall inform all subcontractors and workmen of these requirements.

 The Contractor shall thoroughly example and familiarize himself with the requirements of the Contract Documents. Any conflicts shall be brought to the Architect's attention for resolution prior to the work being installed.

 Perform all work in a safe and conscientious manner to prevent injuries and damage to the building and workers. Contractor shall maintain OSHA Standards for job safety and worker protection, and comply with applicable state and local government requirements.

6. Building permitting will be coordinated by the Owner and Architect. Contractor is responsible for all trade permits, inspections, and compliance requirements.

7. Maintain the building and site in a clean and orderly condition.

8. The Contractor shall coordinate work between all trades in this contract to ensure a smooth and timely workflow.

9. All work to be warranted for one year from the date of Substantial Completion unless otherwise noted.

## **INDEX TO DRAWINGS**

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A-212	EAST AND WEST E
A-401	INTERIOR ELEVATI
A-501	SITE DETAILS
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A-601	SCHEDULES

### ELECTRICAL

E1.0	ELECTRICAL SYMBOLS/
E2.0	FLOOR PLAN - ELECTRIC
E3.0	FLOOR PLAN - ELECTRIC
E3.1	FLOOR PLAN - ELECTRIC
E3.2	ATTIC FLOOR PLAN - EL
E4.0	RISER DIAGRAM
E5.0	ELECTRICAL SPECIFICAT

#### MECHANICAL

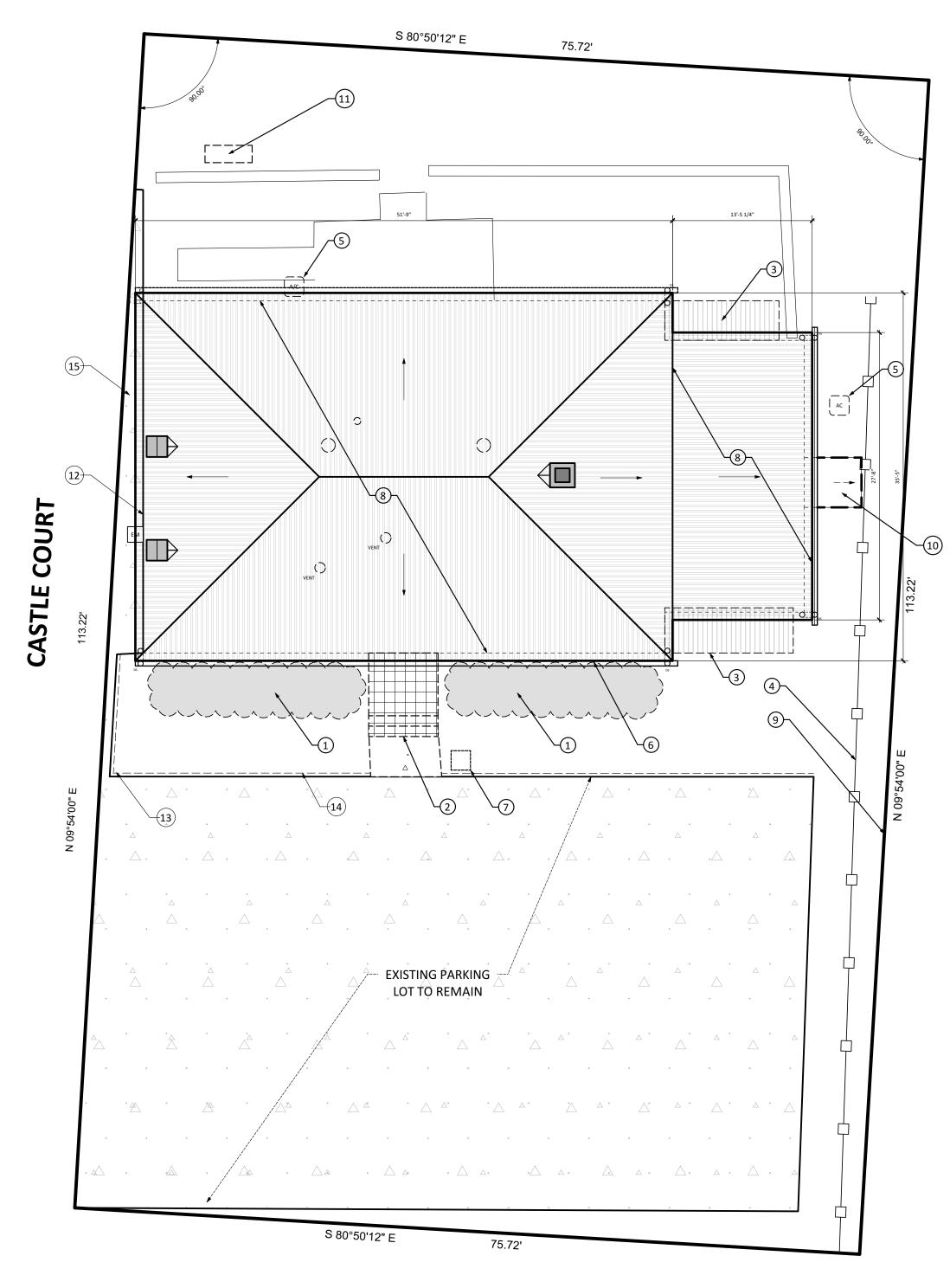
M1.0	MECHANICAL SYMBOLS
M1.1	MECHANICAL SCHEDUL
M2.0	FLOOR PLAN - MECHAN
M3.0	FLOOR PLAN - MECHAN
M3.1	ATTIC FLOOR PLAN - M
M4.0	MECHANICAL DETAILS
M5.0	MECHANICAL SPECIFIC
M5.1	MECHANICAL SPECIFIC

#### PLUMBING

P1.0	PLUMBING SYMBOLS/L
P2.0	UNDERFLOOR PLAN - P
P2.1	FLOOR PLAN - PLUMBII
P3.0	UNDERFLOOR PLAN - P
P3.1	FLOOR PLAN - PLUMBII
P4.0	PLUMBING DETAILS

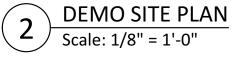
N PLAN SITE DEMO AND RESTORATION PLAN 🖄	O'Connell ARCHITECTURE 702 Rio Grande Street Austin, Texas 78701
N - DEMO MO	512 751-1374
N - NEW 2 N	
ITH ELEVATIONS - DEMO ELEVATIONS - DEMO EXP 10/31/20	
TH ELEVATIONS - RESTORATION	
ΓΙΟΝS	
$\frac{2}{2}$	78703
/LEGEND ICAL - DEMOLITION ICAL - LIGHTING ICAL - POWER LECTRICAL	MESS HALL RENOVATION TIO5 CASTLE COURT, AUSTIN, TEXAS 78
TIONS	1105
LS/LEGEND JLES NICAL - DEMOLITION NICAL MECHANICAL CATIONS CATIONS	
′LEGEND	ISSUE DATE 1/28/2020
PLUMBING - DEMOLITION ING - DEMOLITION PLUMBING ING	2 2/14/2020 Sheet name COVER SHIEET
	SHEET NUMBER
	A-000

# WEST 12TH STREET

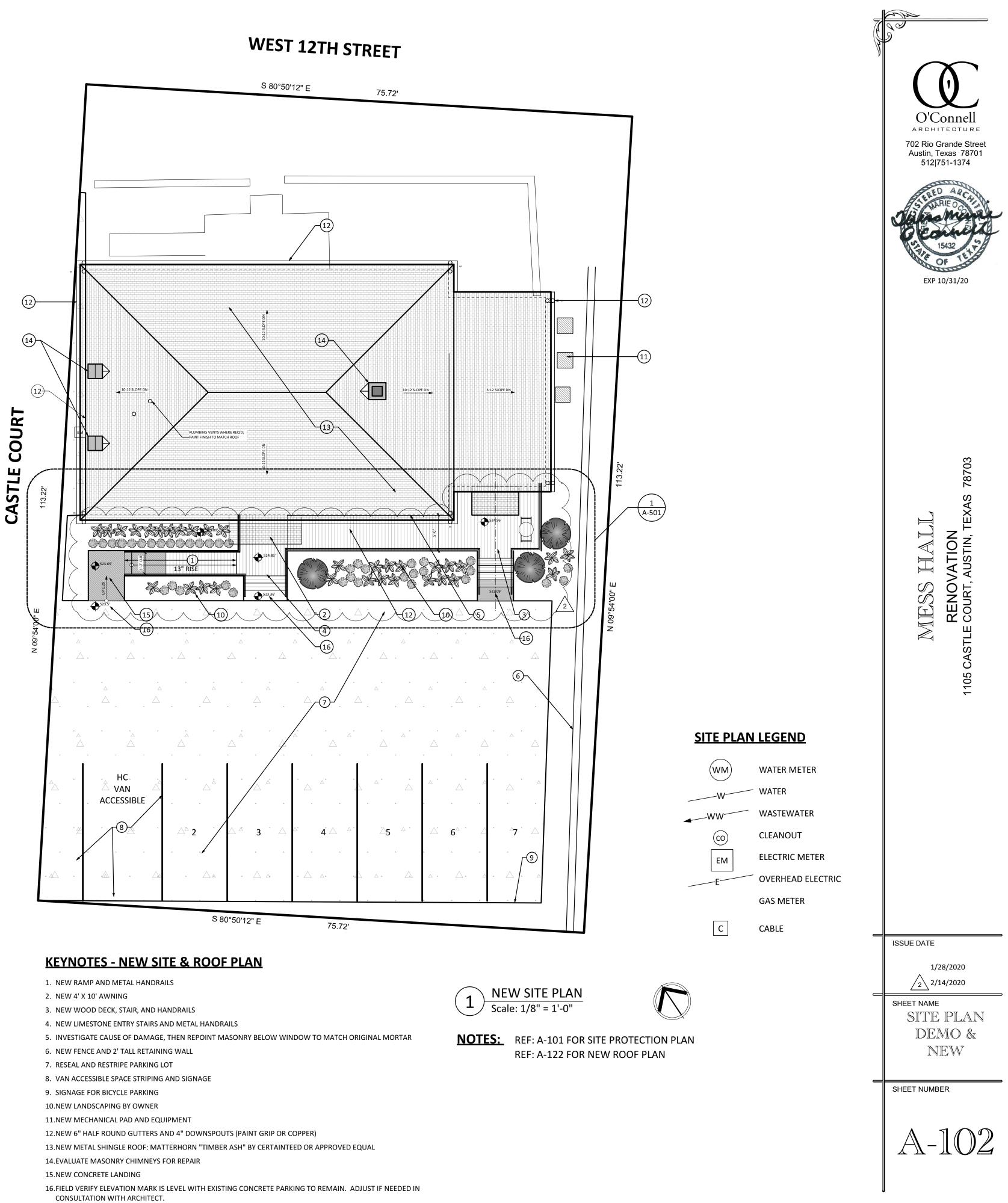


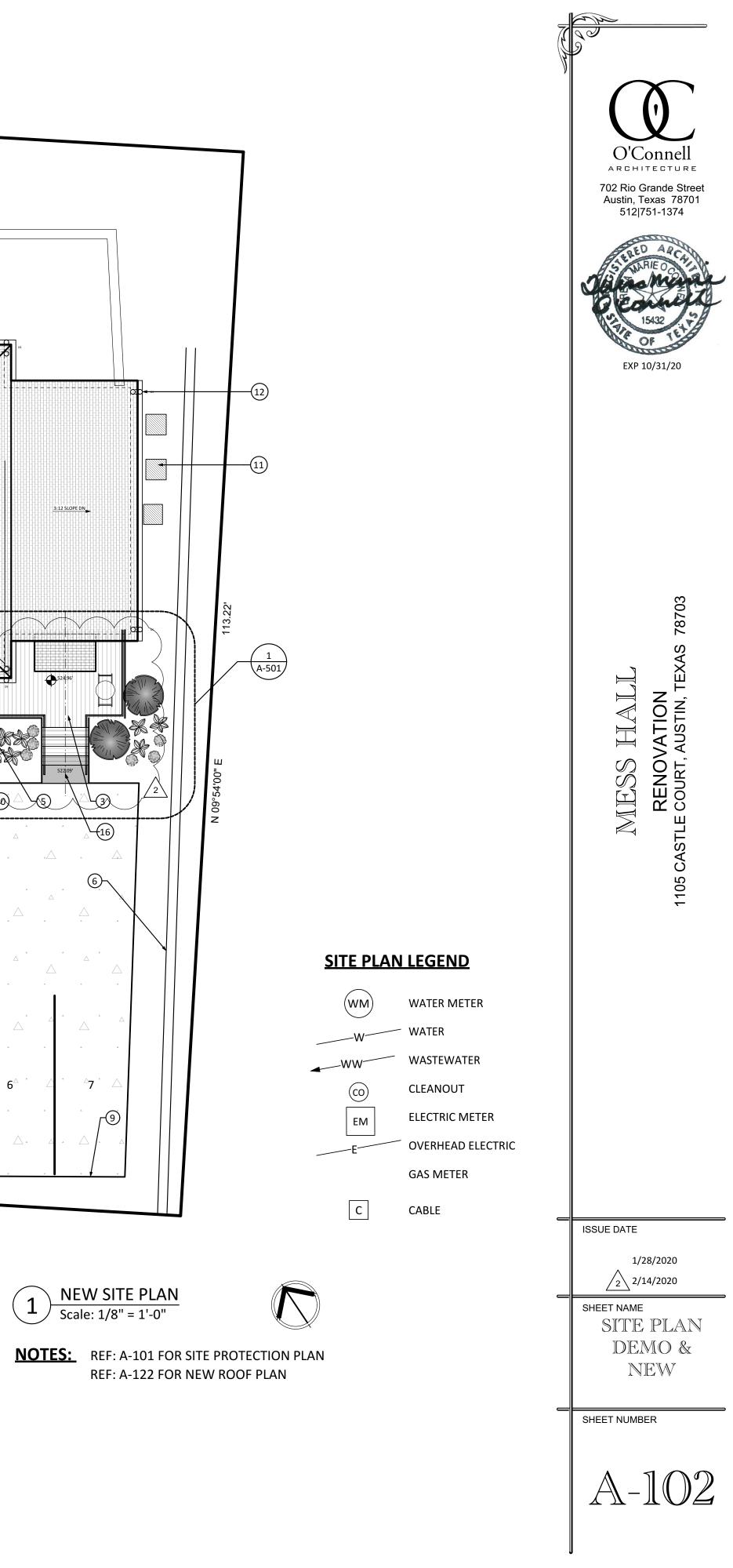
### KEYNOTES - DEMO SITE & ROOF PLAN

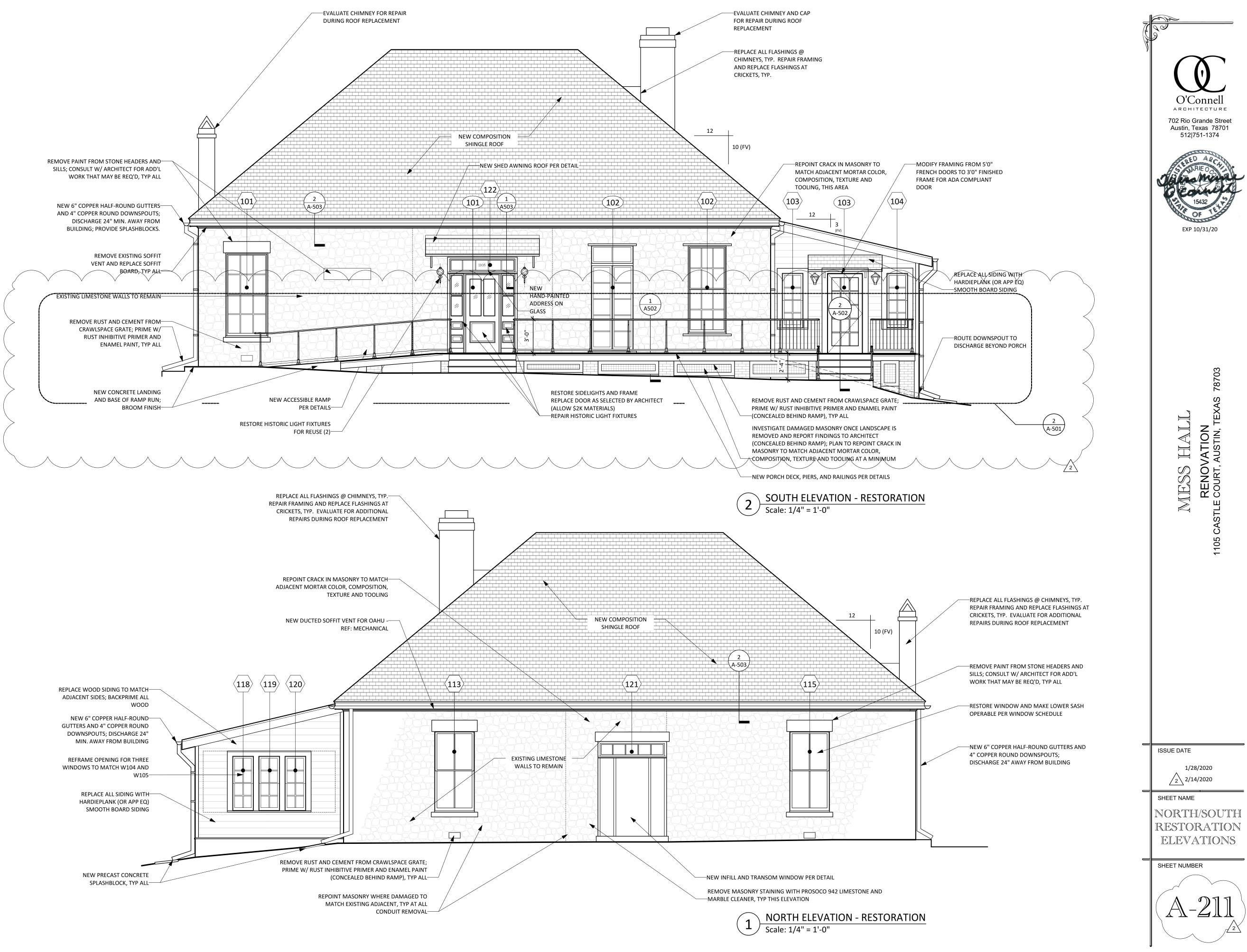
- 1. REMOVE EXISTING SHRUBS
- 2. REMOVE EXISTING STAIRS AND LANDING
- 3. REMOVE EXISTING WOOD AND STONE DECK AND STAIRS
- 4. REMOVE EXISTING FENCE
- 5. REMOVE EXISTING A/C UNIT AND PAD
- 6. PREP AND CLEAR AREA FOR MASONRY REPAIR
- 7. REMOVE METAL BOX
- 8. REMOVE AND PREPARE TO REPLACE ROOF
- 9. REMOVE FAILED RETAINING WALL
- 10.REMOVE EXISTING MECHANICAL BUILDING
- 11.REMOVE SIGN
- 12.REFER TO ELECTRICAL PLANS FOR ELECTRICAL DEMO SCOPE
- 13.REMOVE MAILBOX
- 14.REMOVE DAMAGED STONE CURB
- 15.REMOVE MASONRY STAINING WITH PROSOCO 942 LIMESTONE AND MARBLE CLEANER

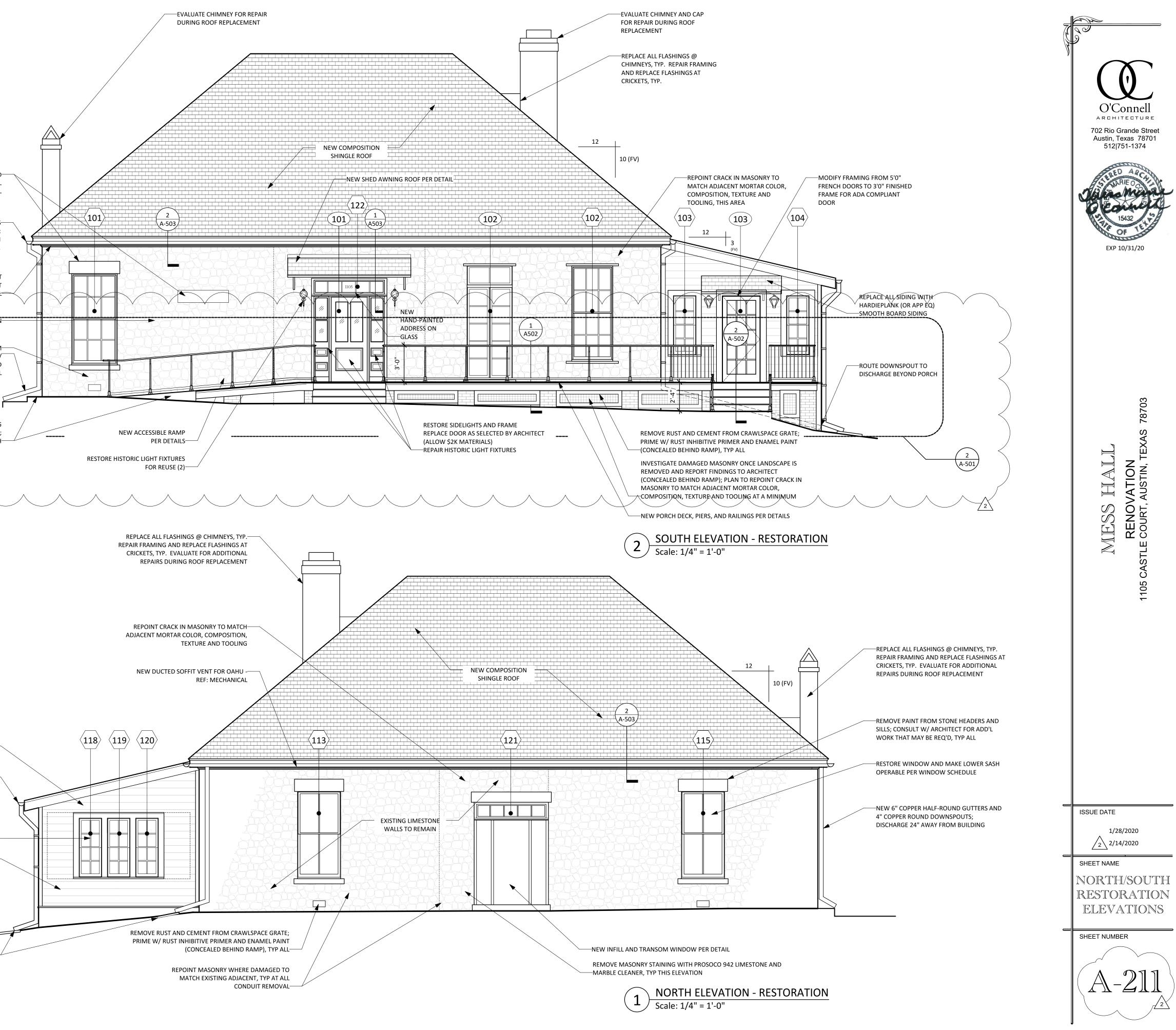


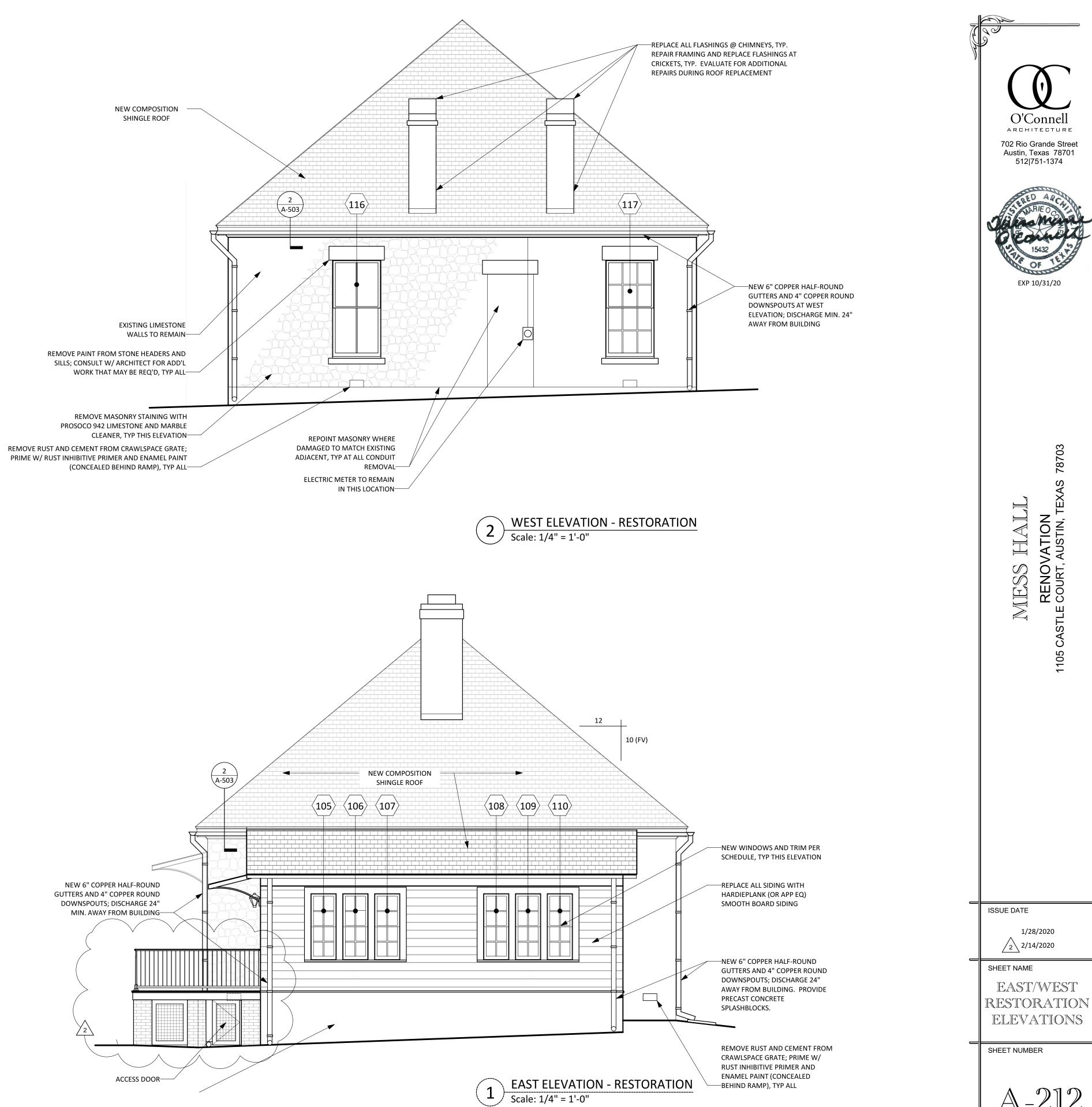
**NOTES:** REF: A-101 FOR SITE PROTECTION PLAN REF: A-121 FOR ROOF DEMO PLAN



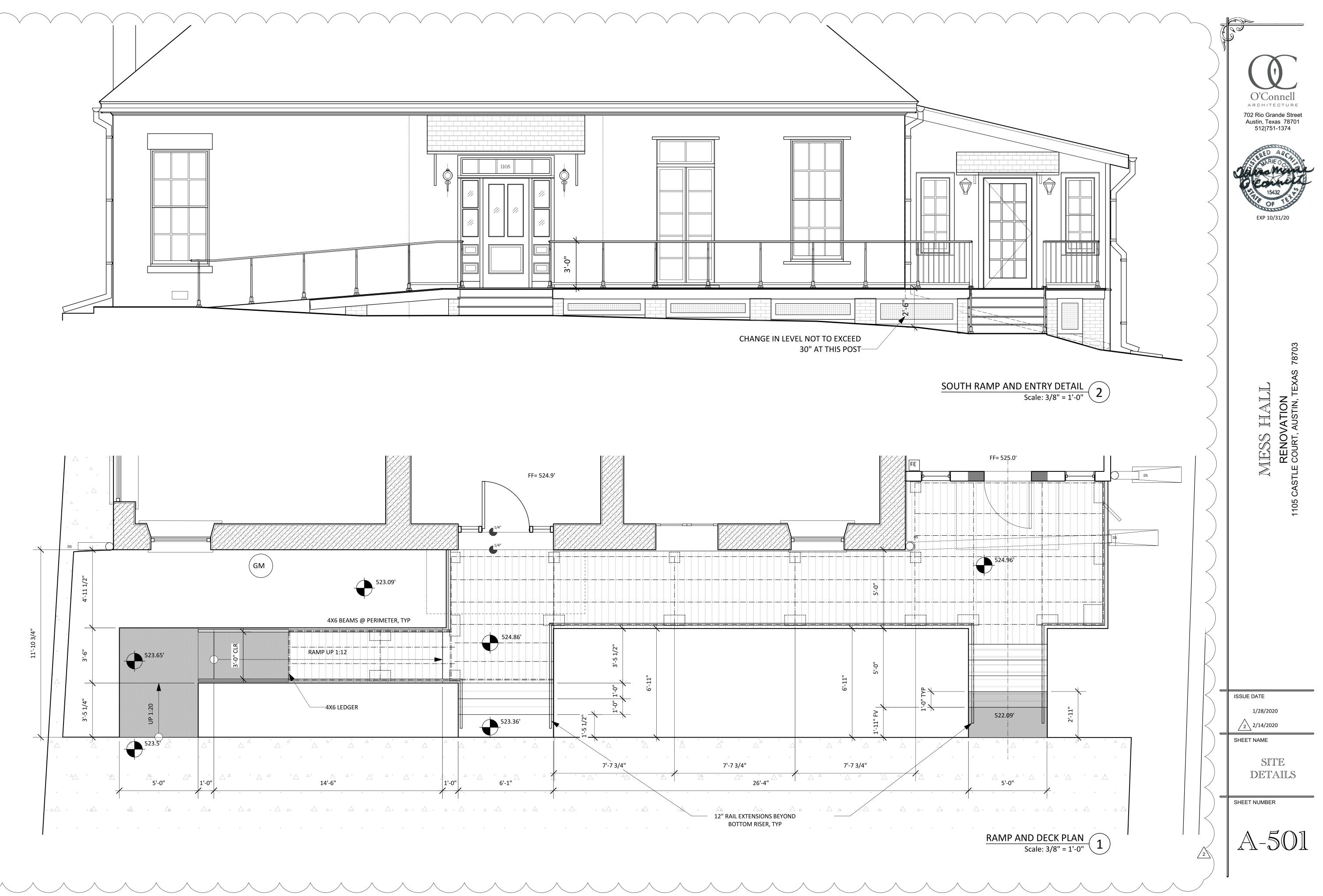


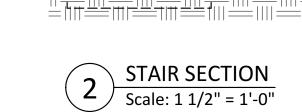


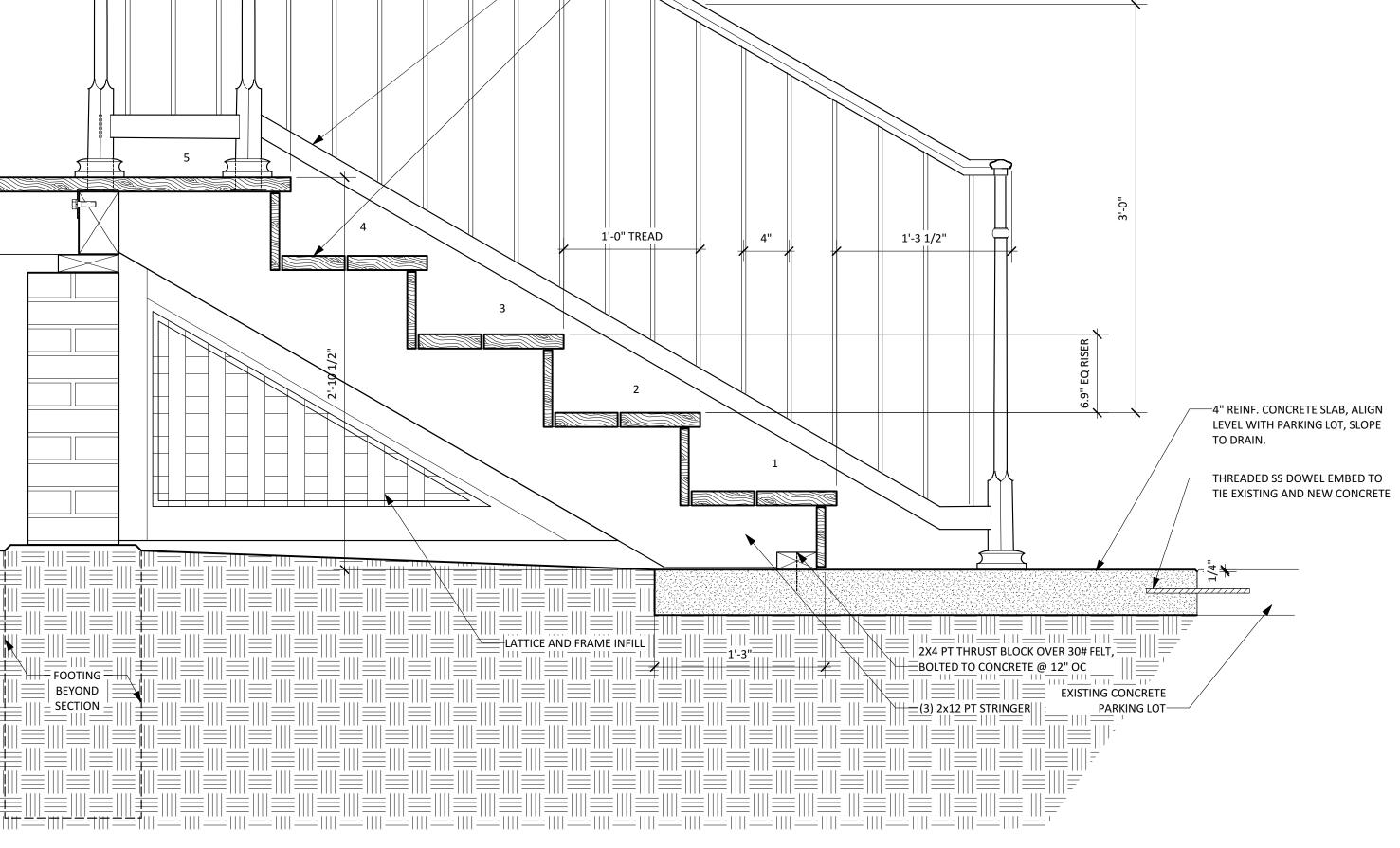


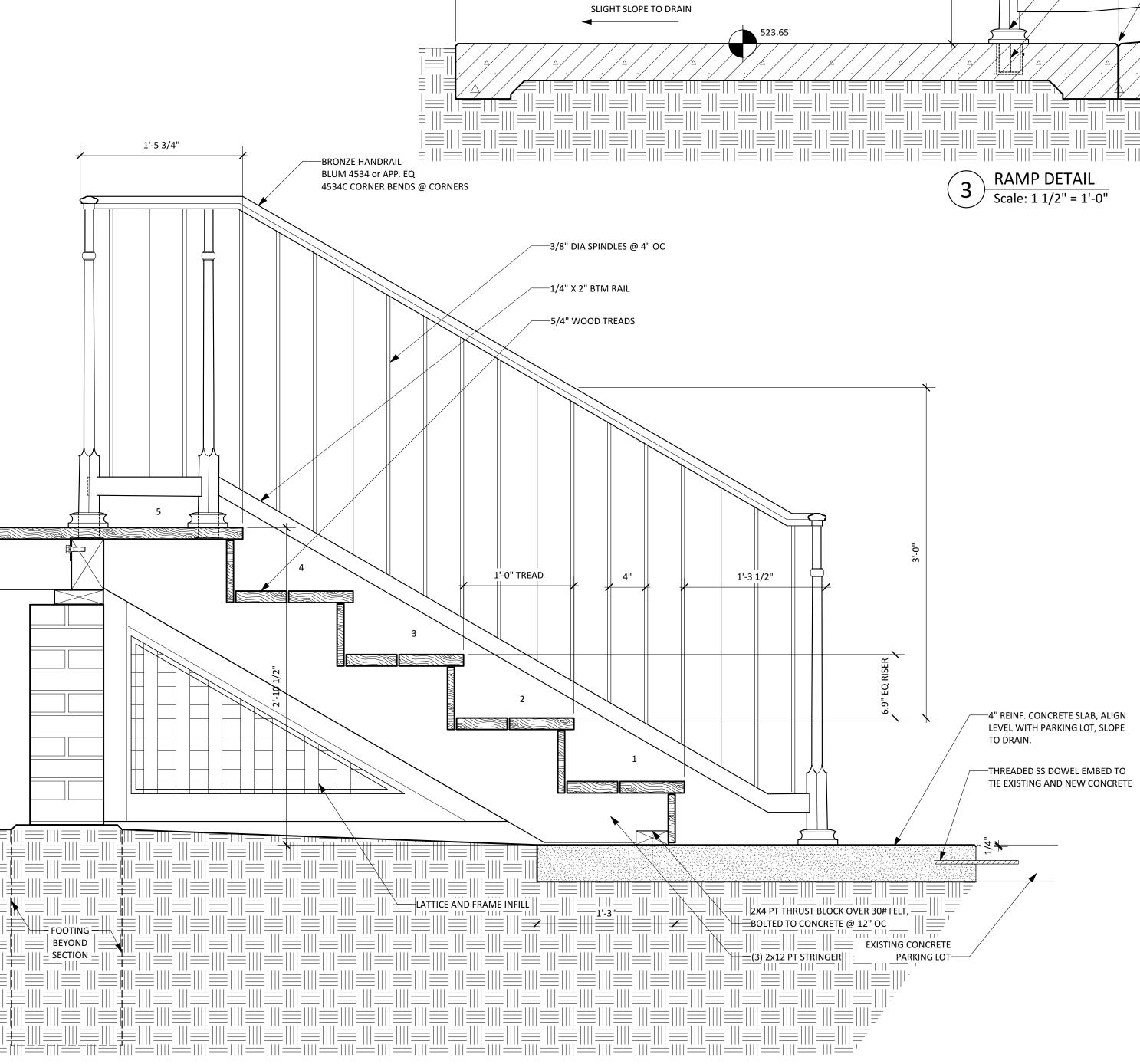


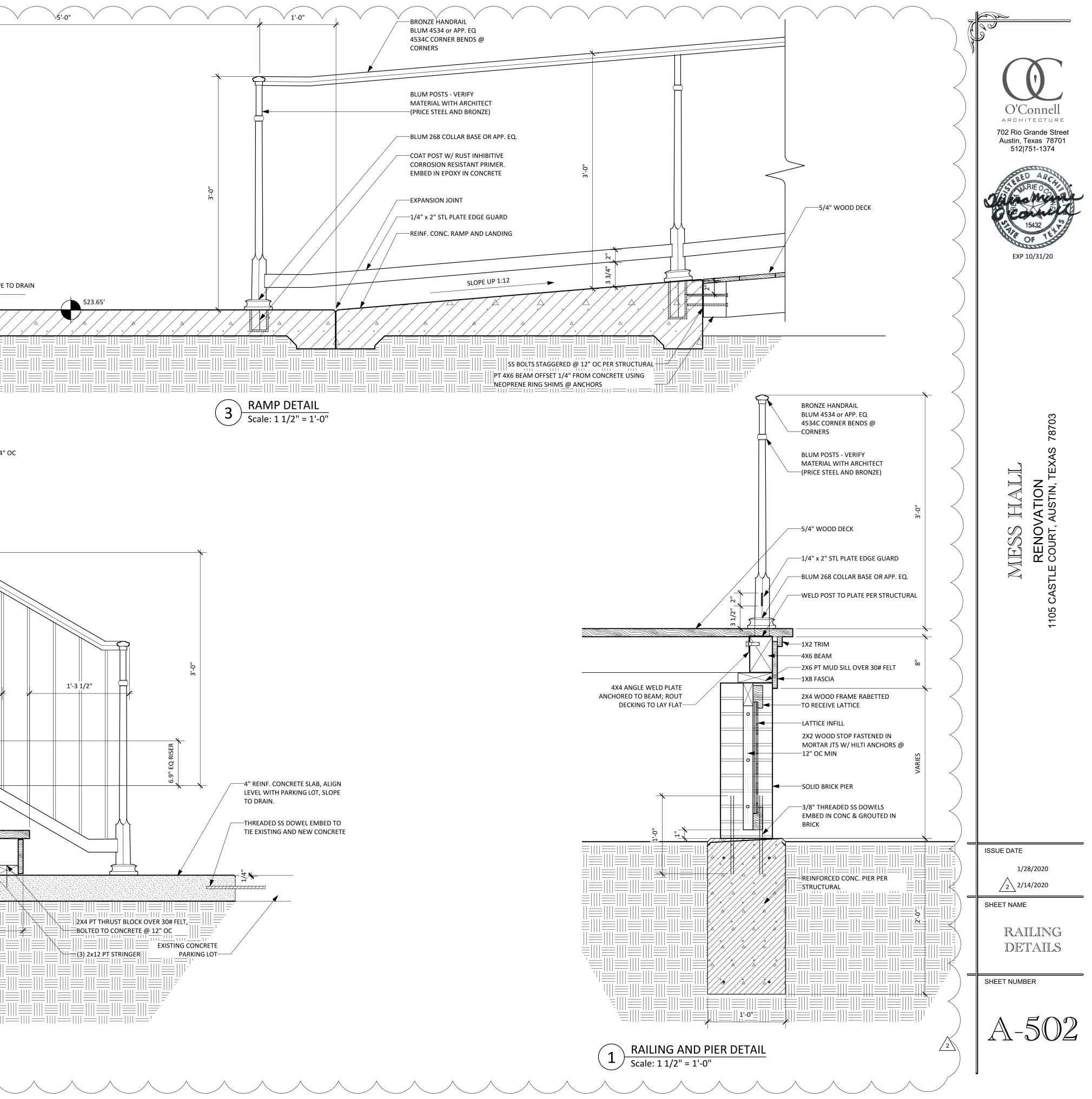
A - 212

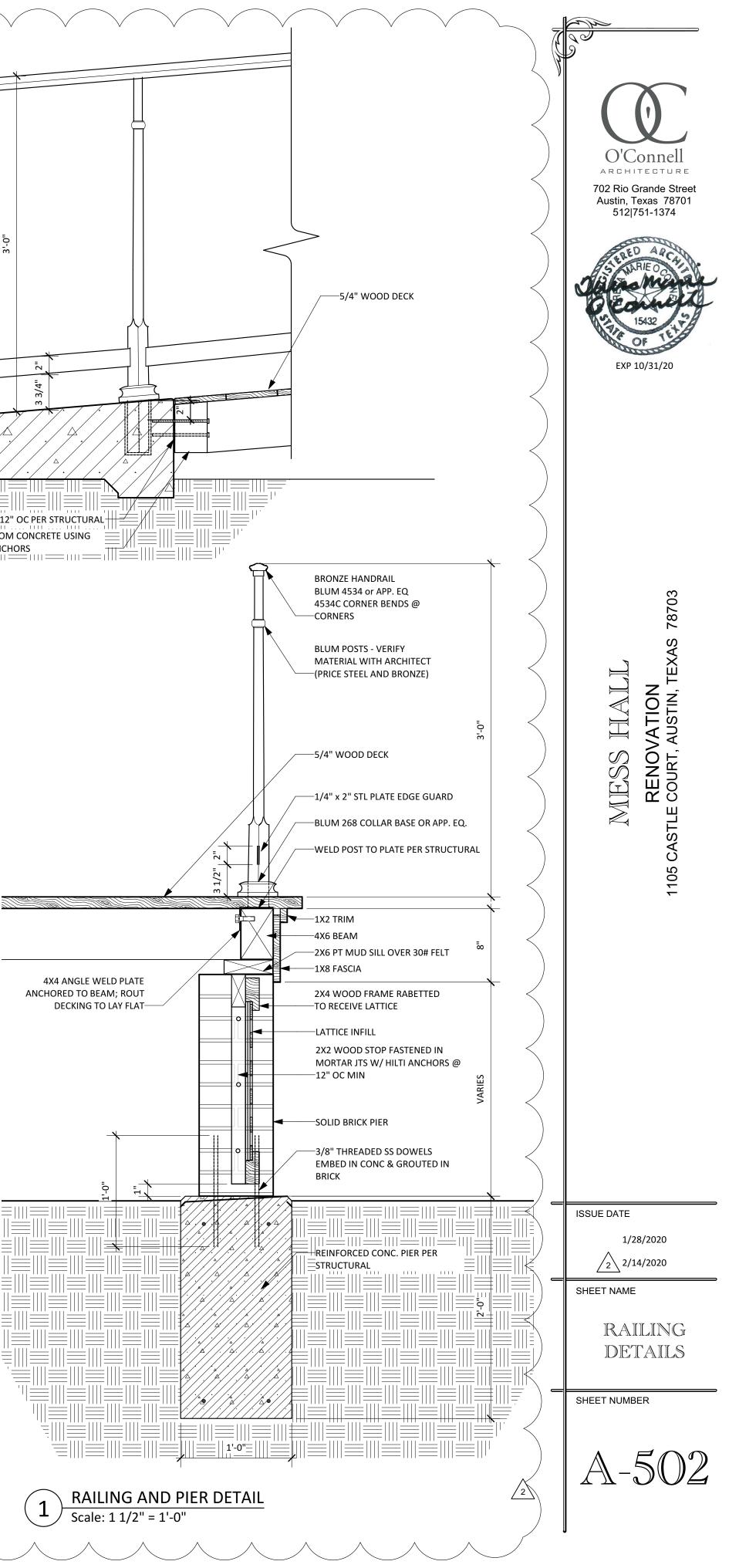


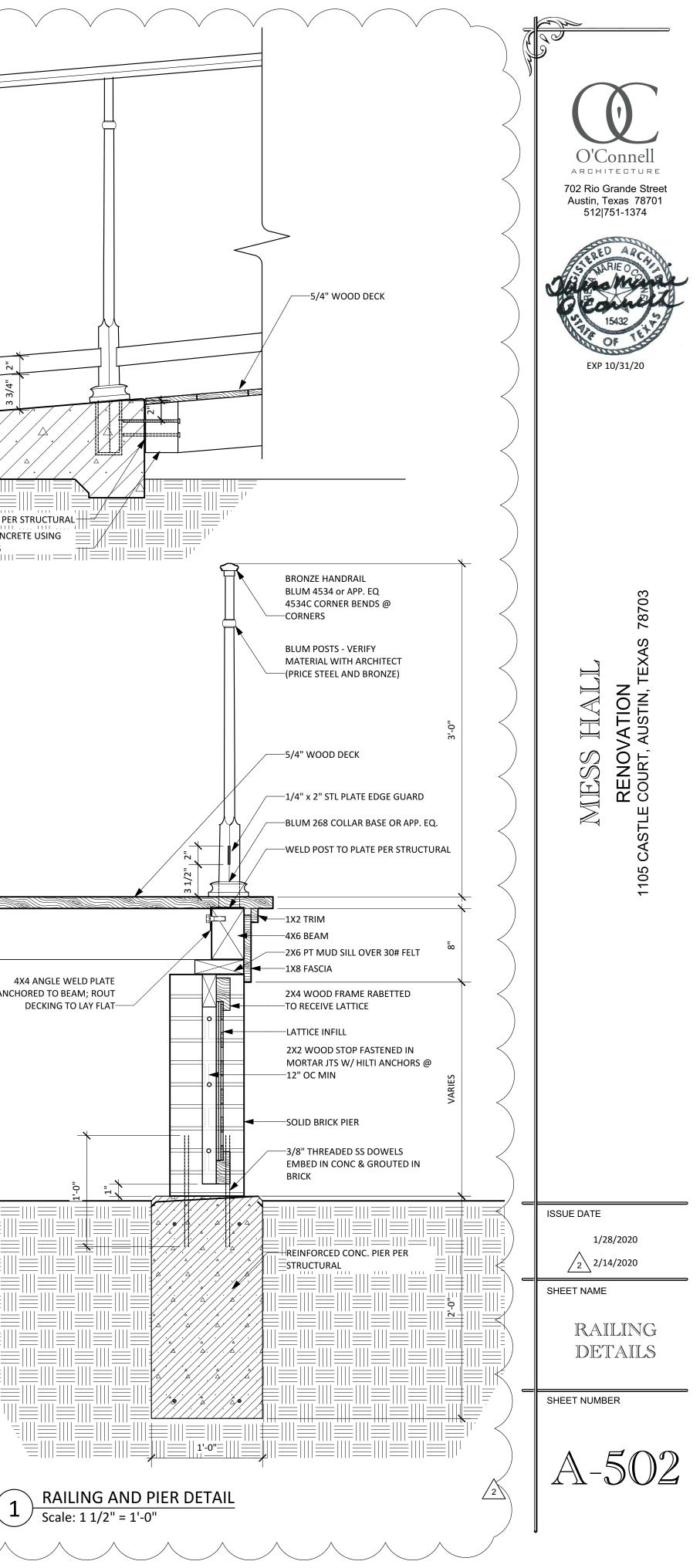


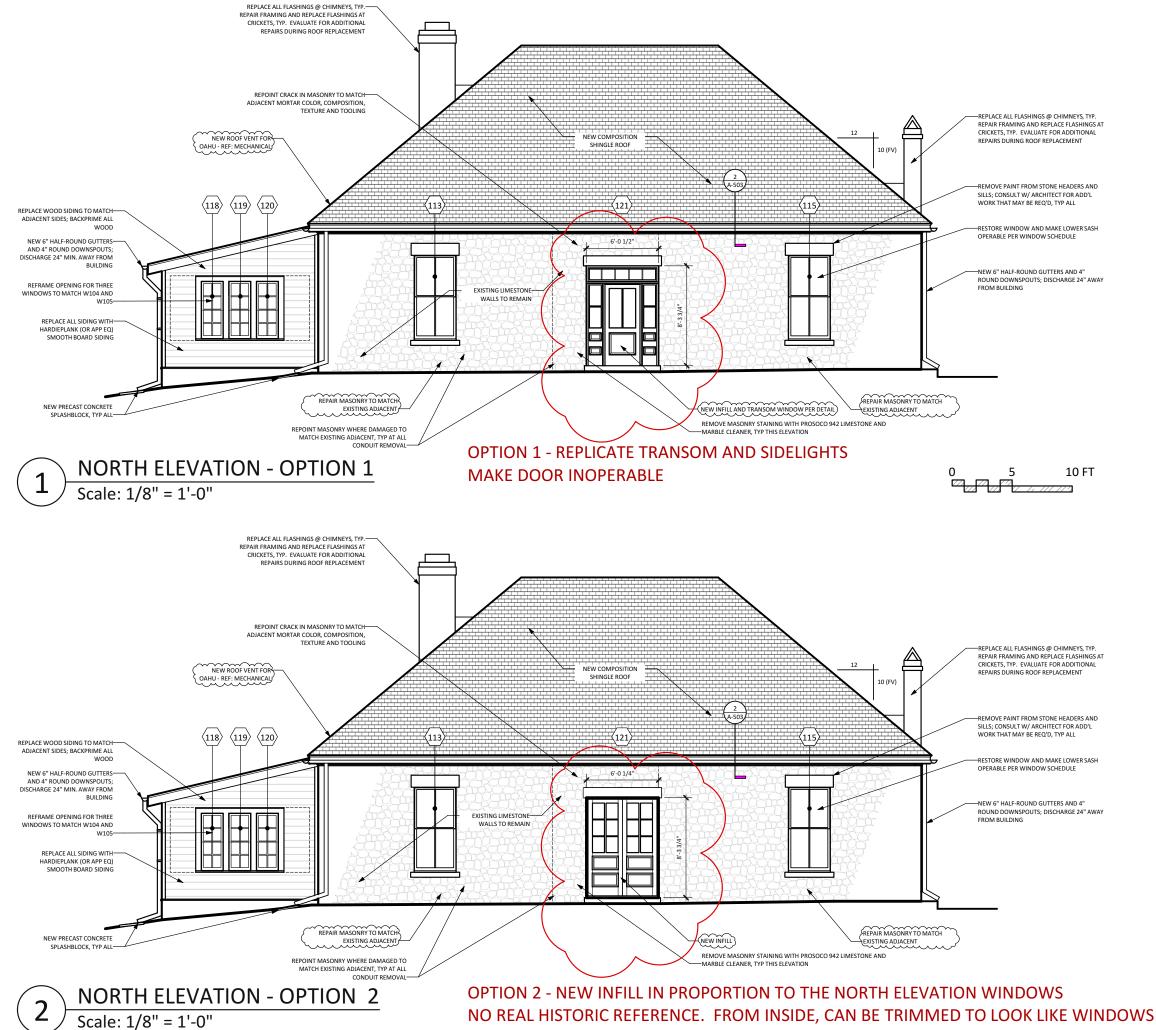












REPLACE ALL FLASHINGS @ CHIMNEYS, TYP. REPAIR FRAMING AND REPLACE FLASHINGS AT CRICKETS, TYP. EVALUATE FOR ADDITIONAL REPAIRS DURING ROOF REPLACEMENT

REMOVE PAINT FROM STONE HEADERS AND SILLS; CONSULT W/ ARCHITECT FOR ADD'L WORK THAT MAY BE REQ'D. TYP ALL

RESTORE WINDOW AND MAKE LOWER SASH OPERABLE PER WINDOW SCHEDULE

10 FT

-REPLACE ALL FLASHINGS @ CHIMNEYS, TYP. REPAIR FRAMING AND REPLACE FLASHINGS AT CRICKETS, TYP. EVALUATE FOR ADDITIONAL REPAIRS DURING ROOF REPLACEMENT

REMOVE PAINT FROM STONE HEADERS AND SILLS; CONSULT W/ ARCHITECT FOR ADD'L WORK THAT MAY BE REO'D. TYP ALL

RESTORE WINDOW AND MAKE LOWER SASH OPERABLE PER WINDOW SCHEDULE

NEW 6" HALF-ROUND GUTTERS AND 4" ROUND DOWNSPOUTS; DISCHARGE 24" AWAY

O'Connell ARCHITECTURE 702 RID GRANDE STREET AUSTIN, TEXAS 78701 512 751-1374 TERESA O'CONNELL NOT FOR CONSTRUCTION #15432 HAI

MESS

RENOVATION 1105 CASTLE COURT, AUSTIN, TEXAS 78703

SUBMITTED TO HLC FOR INPUT 3/17/20

