



Scott Ginder - Texas Architect
Registration # 21234

1.20.20



ADDITION TO TONER HOUSE

2902 OAKMONT BLVD
AUSTIN, TX 78703

REV DATE DESCRIPTION

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AUSTIN, TX 78703

ISSUE:
PERMIT SET
DATE:
01/22/20
PROJECT NUMBER:
2018
SHEET TITLE:
COVER SHEET

GO.00

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SHEET INDEX

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PROJECT TEAM

Architect of Record
 FORGE CRAFT ARCHITECTURE + DESIGN
 608 W. Monroe Street
 Austin, TX 78704
 Alex@forgecraftarchitecture.com

Structural Engineer
 STRUCTURES - Dante Angelini
 6926 N. Lamar Blvd.
 Austin, Texas 78752
 (512) 499-0919

ZONING: SF-3-NP

LEGAL DESCRIPTION: E 150 FT OF LOT 1 BRYKERWOODS ANNEX NO 2 RESUB OF PT LTS 6-10

STANDARDS	REQUIRED / ALLOWED	PROVIDED
LOT AREA:	2,500 SF MIN.	9,427 SF
FLOOR AREA RATIO:	.40 (3,770.0 SF)	.28 (2,670 SF)
BUILDING COVERAGE:	.40 (3,770.0 SF)	.26 (2,457 SF)
IMPERVIOUS COVER	.45 (4,242 SF)	.42 (3,924 SF)
FRONT SETBACK:	25'	25'
SIDE YARD SETBACK:	5'	5'
REAR SETBACK:	10'	10'

SITE DEVELOPMENT INFORMATION

AREA	EXISTING	REMOVED	ADDED	TOTAL
1ST FLR CONDITIONED (MAIN HOUSE)	1,576	0	0	1,576 SF
1ST FLR CONDITIONED (ADDITION)	0	0	614	614 SF
2ND FLR CONDITIONED (MAIN HOUSE)	0	0	0	480 SF
BASEMENT	0	0	0	0 SF
COVERED PARKING	0	0	163	163 SF
COVERED PATIO, DECKS	140	0	60	200 SF
OTHER COVERED	0	0	0	0 SF
UNCOVERED DECKS/OPEN STAIRS	0	0	0	0 SF
DRIVEWAY, IMP. WALKSWAYS, AC PAD	1,295	0	0	1,295 SF
TOTAL COVERED AREA (.26)				2,457 SF
TOTAL IMPERVIOUS COVER ALLOWED (.45)				4,262.4 SF
TOTAL IMPERVIOUS COVER (.41)				3,924 SF

F.A.R. CALCULATIONS:

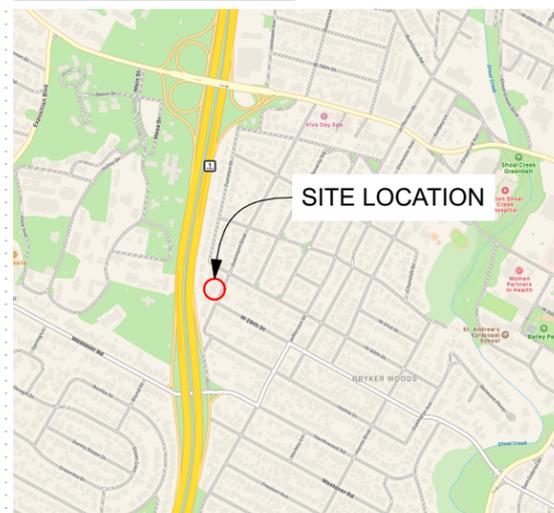
AREA	EXISTING	REMOVED	ADDED	TOTAL
MAIN HOUSE (1ST FLR)	1,576	0	0	1,576 SF
ADDITION (1ST FLR)	0	0	614	614 SF
MAIN HOUSE (2ND FLR)	0	0	492	480 SF
SPACE OVER 15' TALL	0	0	0	0 SF
GARAGE (DETACHED)	0	0	0	0 SF
CARPORT	0	0	0	0 SF
ACCESSORY BUILDINGS	0	0	0	0 SF
TOTAL F.A.R. ALLOWED (.40)				3,770.0 SF
TOTAL ACTUAL F.A.R. (.28)				2,670 SF

PARKING:

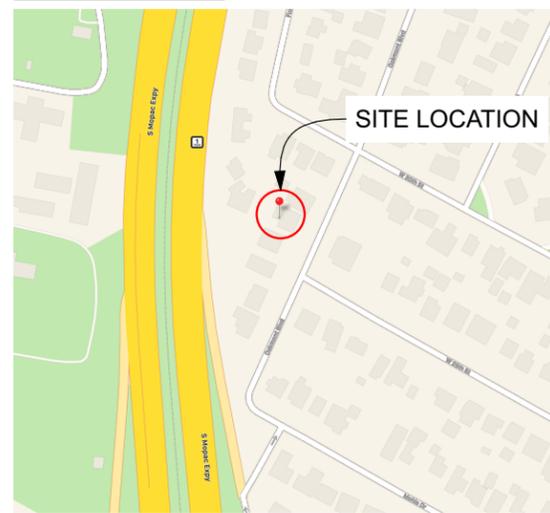
LAND USE	REQUIRED	PROVIDED
MAIN HOUSE	2	2

TOTAL PARKING REQUIRED	2
TOTAL PARKING PROVIDED	2

VICINITY MAP



KEY PLAN



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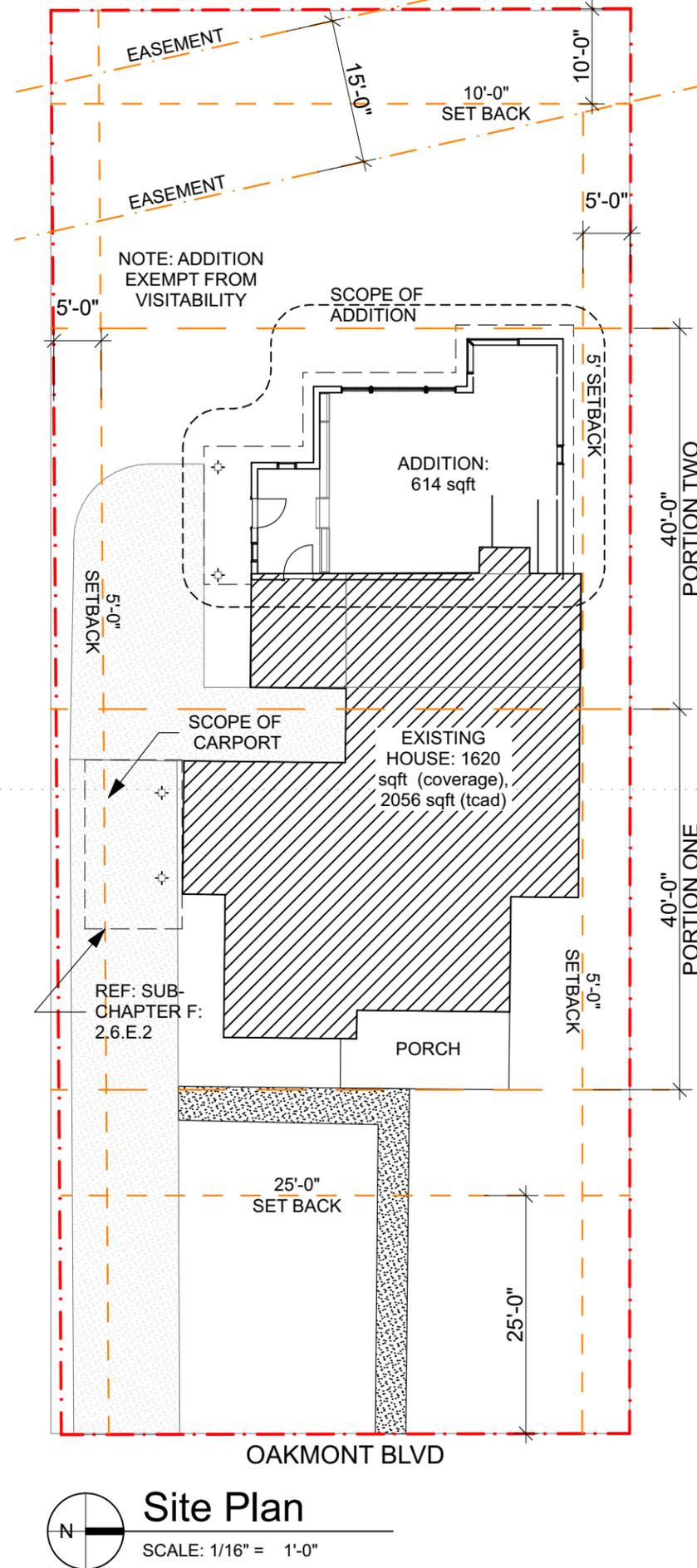
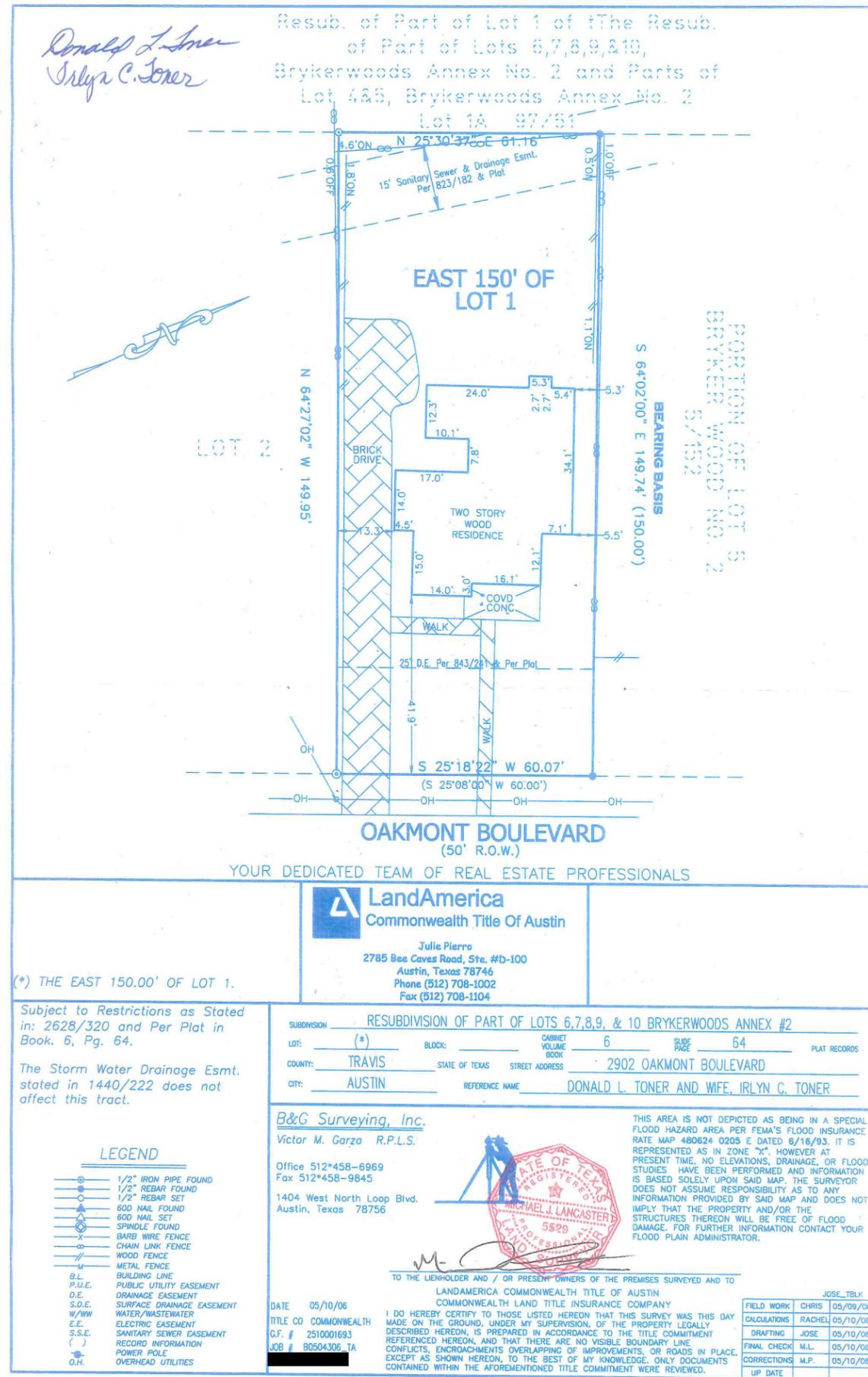
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ROOF PLAN GENERAL NOTES:

1. ROOF ELEVATIONS ARE SET FROM A DATUM OF 0.00' = SCUPPER DRAINAGE PLANE = 52'-2 3/4" (+/-). OVERFLOW SCUPPERS SHALL HAVE OVERFLOW DRAINAGE PLANE @ +2.00'.
2. A BASE LAYER OF 4 INCHES RIGID POLYISOCYANURATE SHALL BE APPLIED OVER ENTIRE SURFACE OF ROOF TO ACHIEVE A MINIMUM R-22. IECC 2012 AND ASHRAE 90.1 (2010) BOTH REQUIRE R-20 CI OR AGGREGATE R-38 IF INSULATING ATTIC SPACES. PROVIDE ADDITIONAL 6 INCHES R-19 GLASS FIBER BATT INSULATION IN ATTIC CAVITY. AVERAGE R-VALUE FROM TAPERED INSULATION OVER BASE LAYER OF RIGID POLYISO SHOULD PLACE AGGREGATE R-VALUE OF ENTIRE ROOF ASSEMBLY OVER R-49.
3. POLYISO RIGID INSULATION SHALL BE INSTALLED IN LAYERS NOT EXCEEDING 2 INCHES IN DEPTH. INITIAL 2 INCH BASE LAYER SHALL BE MECHANICALLY FASTENED TO ROOF DECK UNDERLAYMENT AS WARRANTED BY MANUFACTURER. SUBSEQUENT LAYERS SHALL BE FULLY ADHERED.
4. ALL ROOF COMPONENTS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND WARRANTY. CONTRACTOR SHALL INFORM ARCHITECT OF ANY POTENTIALLY NON-COMPATIBLE COMPONENTS AND INSTALLATION CONFLICTS.
5. ALL ROOF PENETRATIONS SHALL BE SURROUNDED BY PROPERLY FLASHED AND WATERPROOFED CURB EXCEPT PROPRIETARY PIPE PENETRATIONS WHICH SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S WARRANTED METHODS AND WITH COMPATIBLE MATERIALS.
6. ALL ROOF EQUIPMENT SHALL BE SUPPORTED ON CURBS AND/OR ISOLATORS AS WARRANTED BY MANUFACTURER.
8. DEAD LOADS AND LIVE LOADS ASSOCIATED WITH ALL ROOF EQUIPMENT SHALL BE EVALUATED FOR STRUCTURAL LOADING AND SUPPORT DETAILING.
9. ANY SECONDARY SUPPORT STRUCTURE BEARING ON ROOF ASSEMBLY SHALL BE INSTALLED SO AS NOT TO DAMAGE OR DISRUPT IN ANY WAY INSULATING AND WATERPROOFING ENVELOPE PERFORMANCE OF ROOF ASSEMBLY.
10. PROVIDE COMPATIBLE ROOF MATS WHERE REQUIRED. ATTACH TO ROOF ASSEMBLY AS WARRANTED BY ROOF MANUFACTURER. PROVIDE MINIMUM 6 INCH GAPS BETWEEN INDIVIDUAL ROOF MAT PIECES TO ENSURE APPROPRIATE DRAINAGE.
11. ROOFING WITH SLOPE LESS THAN 2 INCHES IN 12 TO MEET ONE OF THE FOLLOWING OPTIONS IN COMPLIANCE WITH IECC SECTION 402.2.1.1:
 - a. THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND THREE-YEAR AGED THERMAL EMITTANCE OF 0.75
 - b. INITIAL SOLAR REFLECTANCE OF 0.70 AND INITIAL THERMAL EMITTANCE OF 0.75
 - c. THREE-YEAR-AGED SOLAR REFLECTANCE INDEX OF 64
 - d. INITIAL SOLAR REFLECTANCE INDEX OF 82



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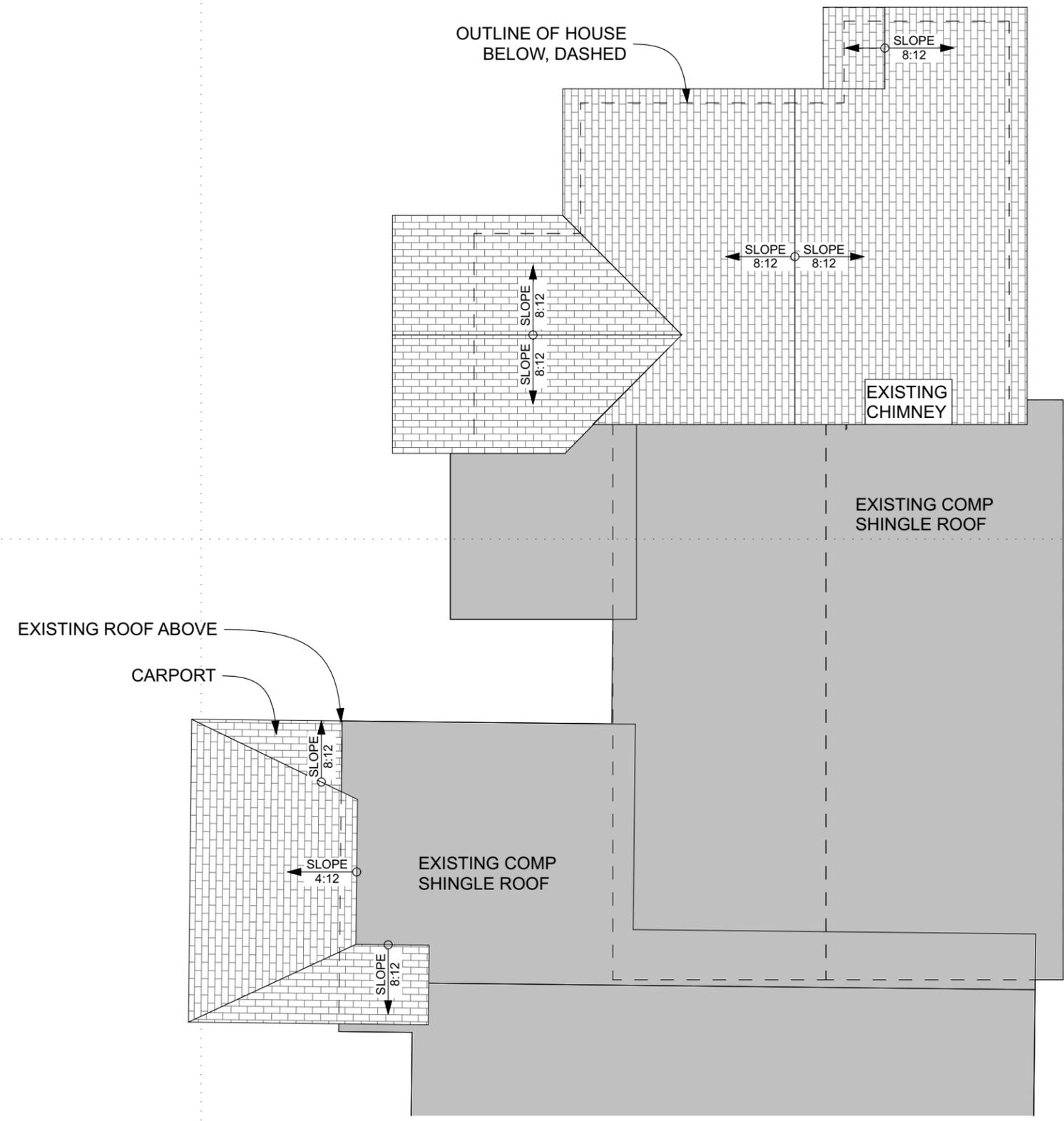
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ROOF PLAN

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3 ROOF PLAN
SCALE: 1/8" = 1'-0"



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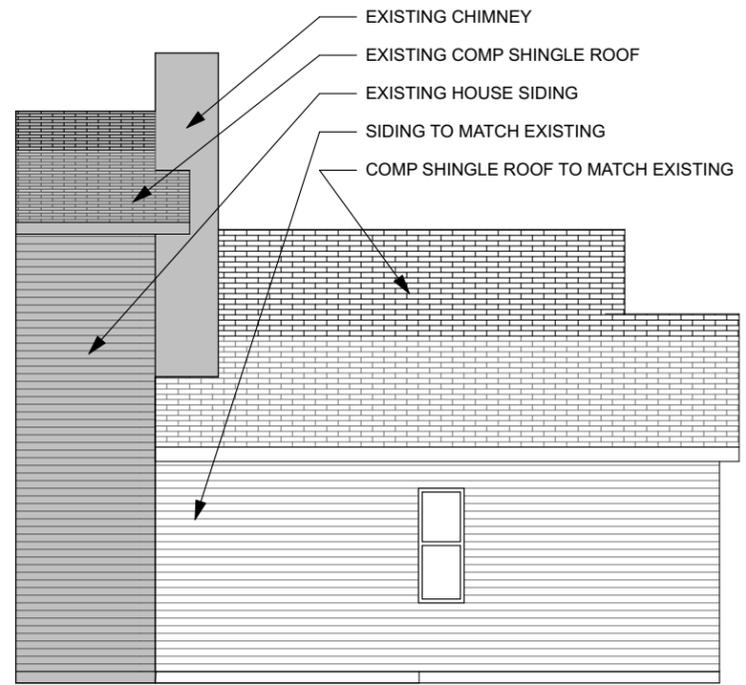
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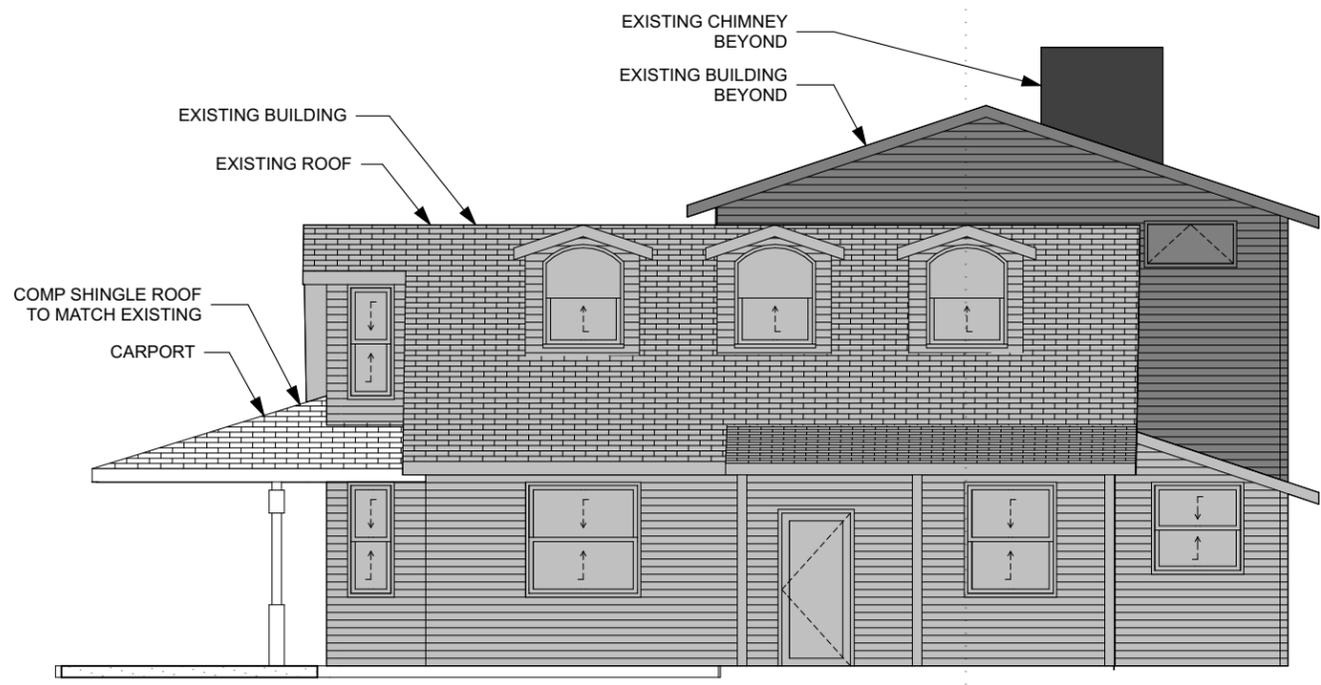
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SHEET TITLE:
BUILDING ELEVATIONS

A2.11

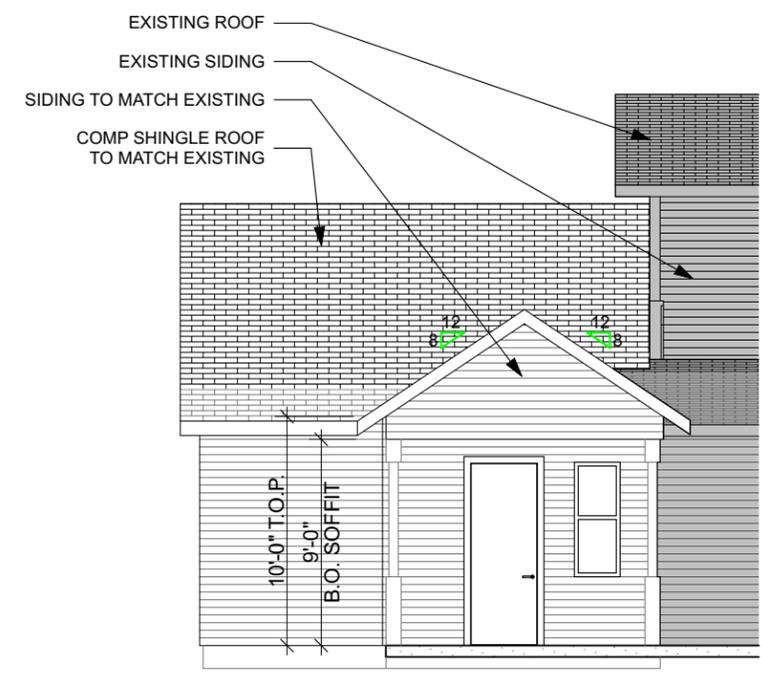
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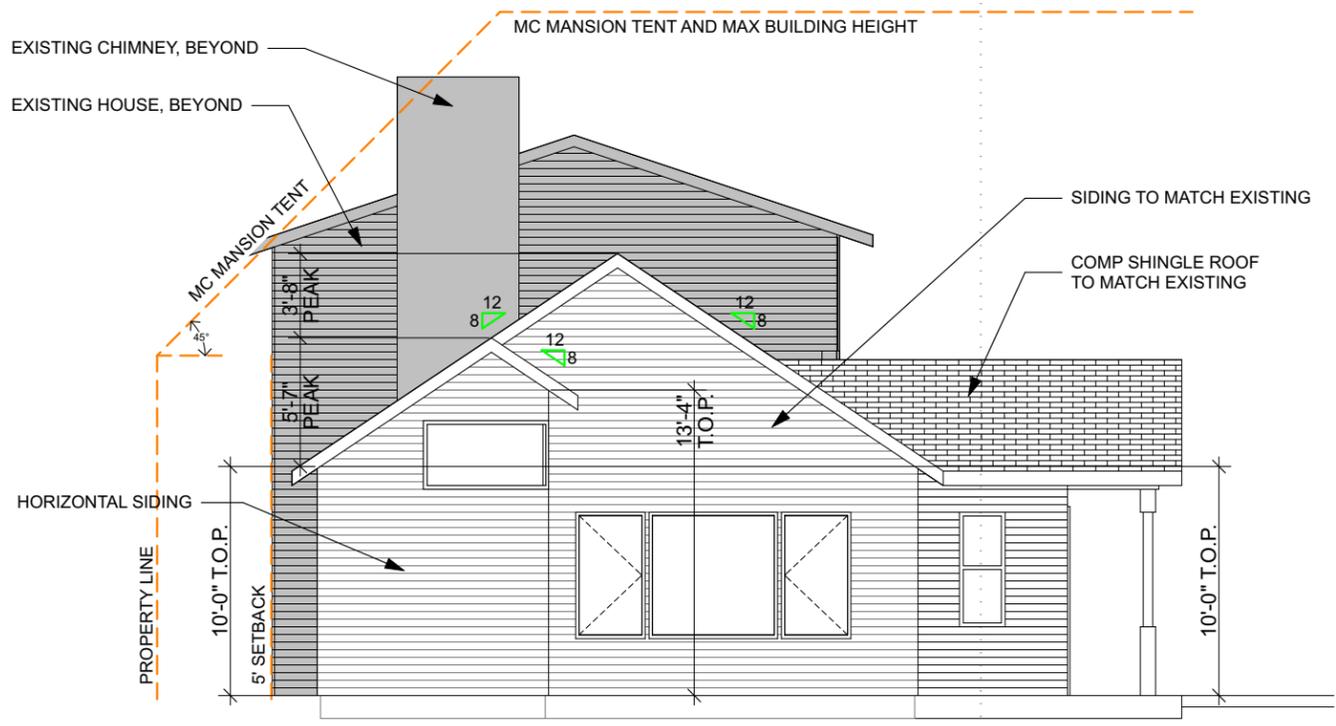
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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