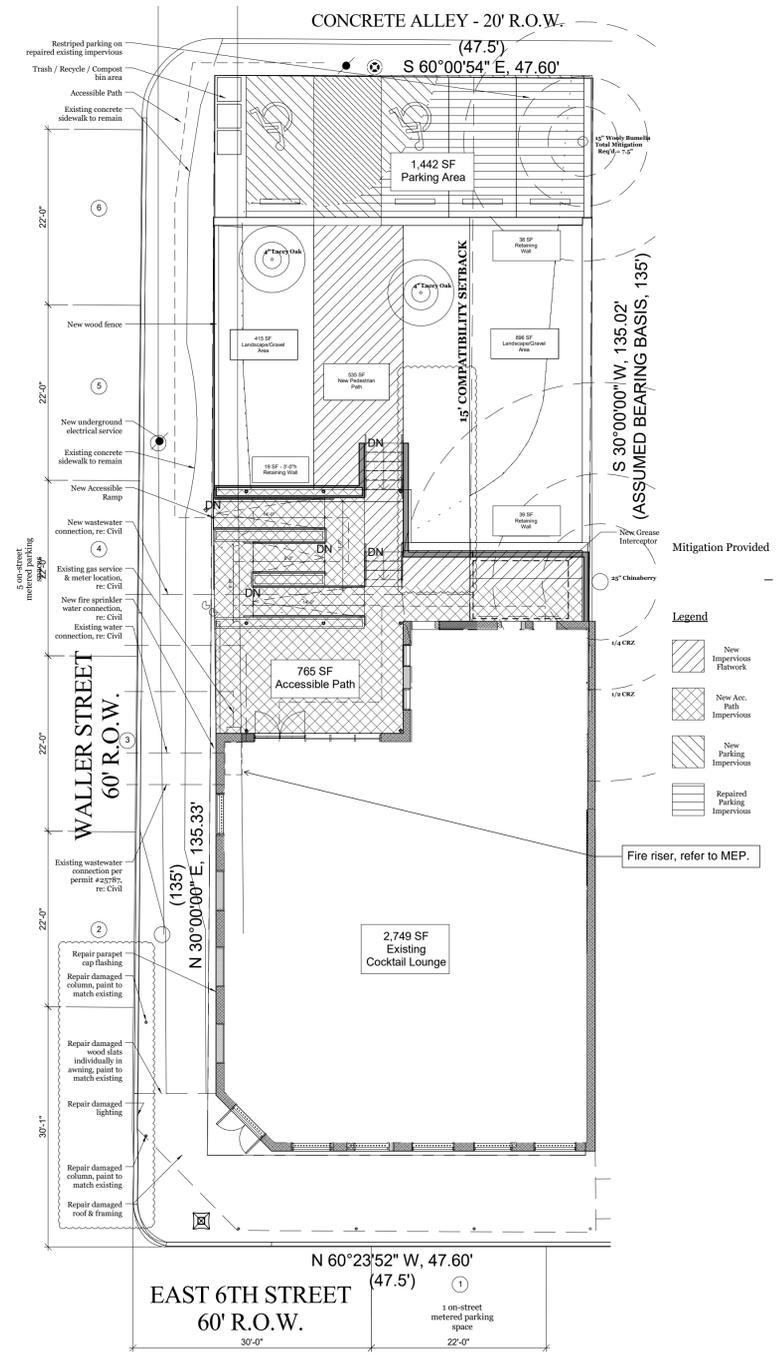




SITE PLAN GENERAL NOTES

- All spot elevations to be verified in field prior to construction. Notify MHOA of any discrepancies.
- Benchmark to be verified with architect prior to construction. Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
- GC is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.
- Tree protection fencing is required for all existing trees 19 inches in diameter (60 inches in circumference) within the limits of construction. Fencing is required to be chain-link mesh at a minimum height of five feet. A 6-inch layer of mulch within the entire available root zone area is required for trees which have any disturbance indicated within any portion of the critical root zone.
- Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

SITE PLAN KEYNOTES



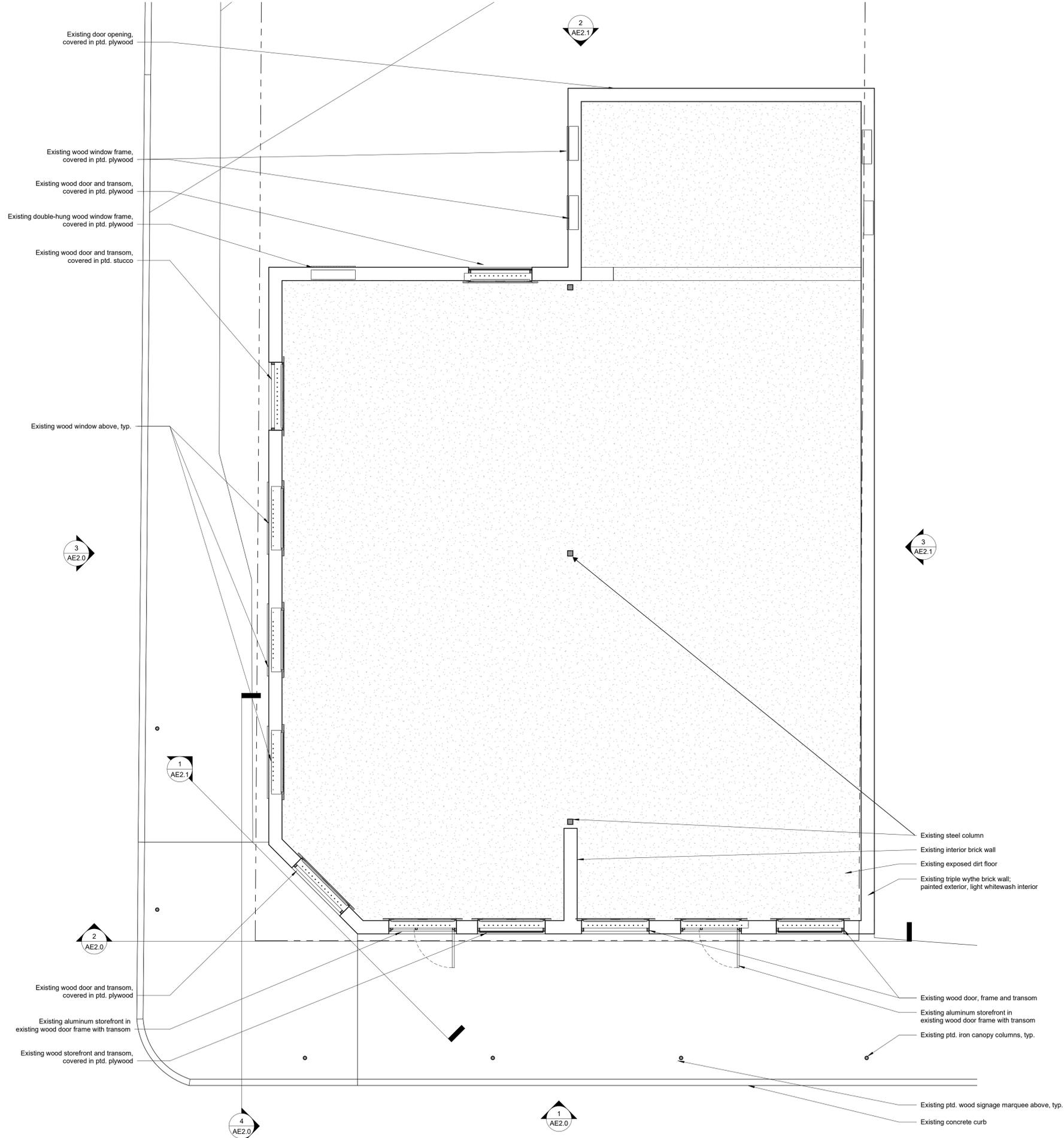
1 Overall Site Plan
 3/32" = 1'-0"

Project
Uptown Sports Club
 1200 E. 6th
 Austin, TX 78702

Issue:
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Drawing Title

Sheet
Site Plan



Existing door opening, covered in ptd. plywood

Existing wood window frame, covered in ptd. plywood

Existing wood door and transom, covered in ptd. plywood

Existing double-hung wood window frame, covered in ptd. plywood

Existing wood door and transom, covered in ptd. stucco

Existing wood window above, typ.

Existing wood door and transom, covered in ptd. plywood

Existing aluminum storefront in existing wood door frame with transom

Existing wood storefront and transom, covered in ptd. plywood

Existing steel column

Existing interior brick wall

Existing exposed dirt floor

Existing triple wythe brick wall, painted exterior, light whitewash interior

Existing wood door, frame and transom

Existing aluminum storefront in existing wood door frame with transom

Existing ptd. iron canopy columns, typ.

Existing ptd. wood signage marquee above, typ.

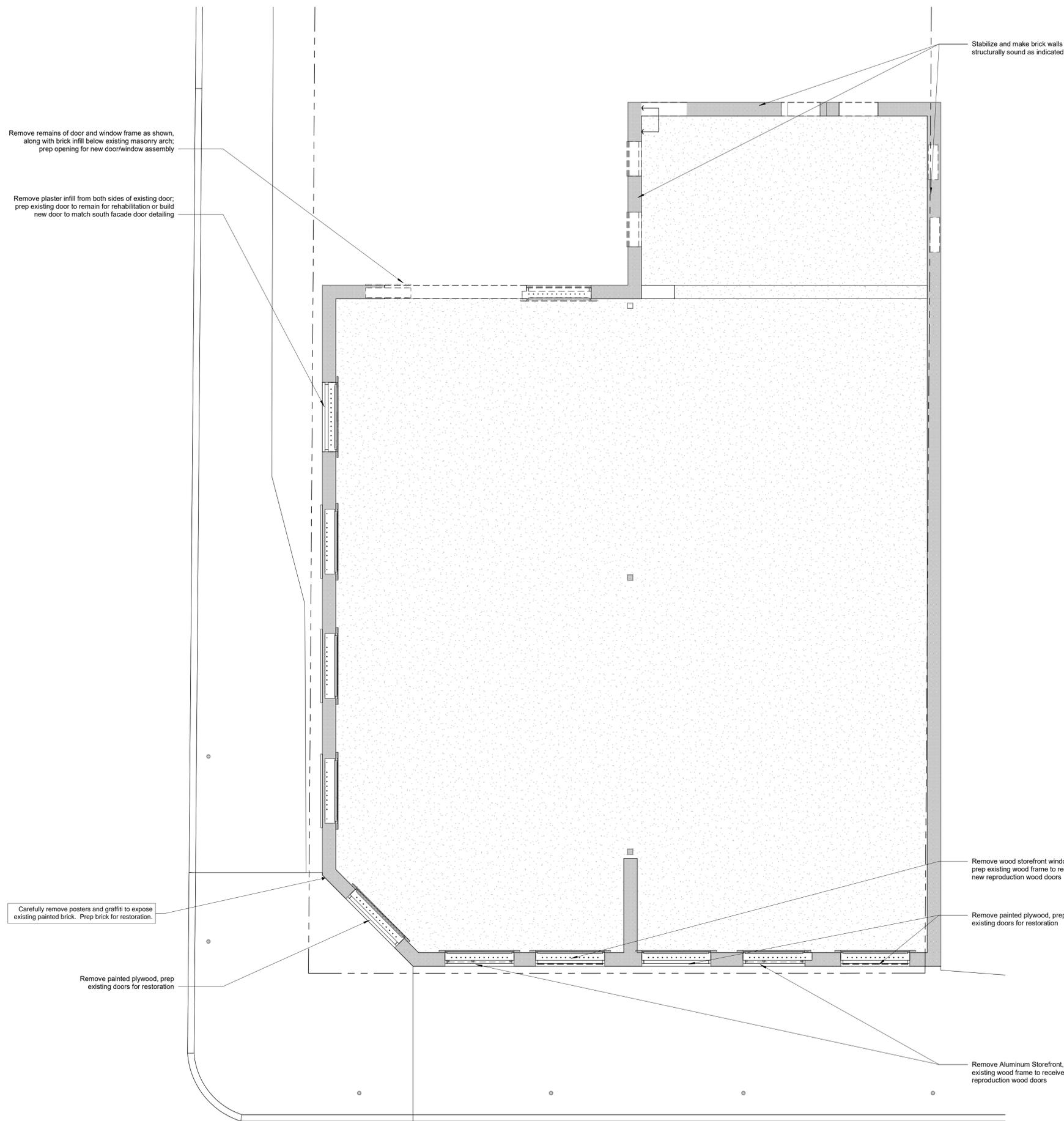
Existing concrete curb

1 Existing First Floor Plan
1/4" = 1'-0"



Issue:

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DEMOLITION GENERAL NOTES

1. The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning, unless noted otherwise.
2. GC to field verify all dimensions prior to demolition to verify extent of demo to accommodate new work. If a discrepancy or unforeseen condition is identified, please notify MHOA immediately.
3. Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
4. GC is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.
5. Items noted to be salvaged are to be returned to the owner unless otherwise noted.
6. Tree protection fencing is required for all existing trees 19 inches in diameter (60 inches in circumference) within the limits of construction. Fencing should protect the entire critical root zone (CRZ) area. Fencing is required to be chain-link mesh at a minimum height of five feet. A 6-inch layer of mulch within the entire available root zone area is required for trees which have any disturbance indicated within any portion of the critical root zone. Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
- 7.

DEMOLITION KEYNOTES

Y/in

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Drawing Title

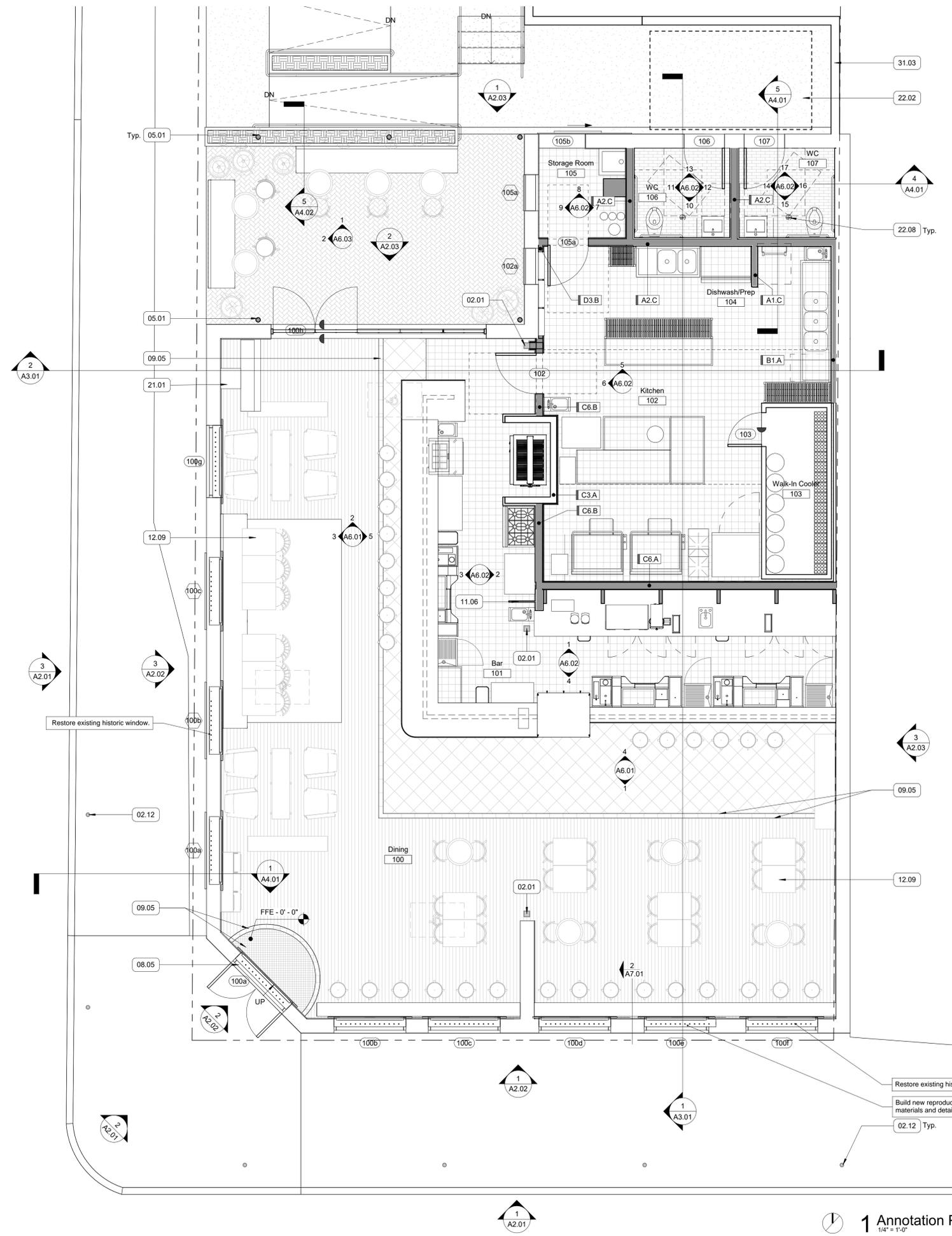
Demolition
Floor Plan

Sheet

AD1.01

1 First Floor Demo Plan
 1/4" = 1'-0"

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FLOOR PLAN GENERAL NOTES

- The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning, unless noted otherwise.
- GC to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify MHOA immediately.
- GC to verify final locations for fire extinguishers with fire marshal and architect prior to installation.
- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
- Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
- GC is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.
- GC to provide portable fire extinguishers per International Fire Code Section 906 and/or local fire code and coordinate a final review of counts and locations with the local fire marshal/inspector.
- Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

FLOOR PLAN KEYNOTES

- 02.01 Existing steel column to remain, paint per Finish Schedule.
- 02.12 Existing exterior steel column. Finish in PT-3.1, refer to Finish Schedule.
- 05.01 New steel column, refer to Structural.
- 08.05 Rebuild existing door to comply with egress requirements. See Door Schedule.
- 09.05 1/2" max. transition between flooring materials per TAS.
- 11.06 Stainless hood end panel per hood selection. Refer to MEP.
- 12.09 Furniture shown for reference only, provided by Owner. NIC.
- 21.01 Fire riser, refer to MEP.
- 22.02 Grease Trap, refer to Civil and MEP.
- 31.03 Retaining wall, per Civil.



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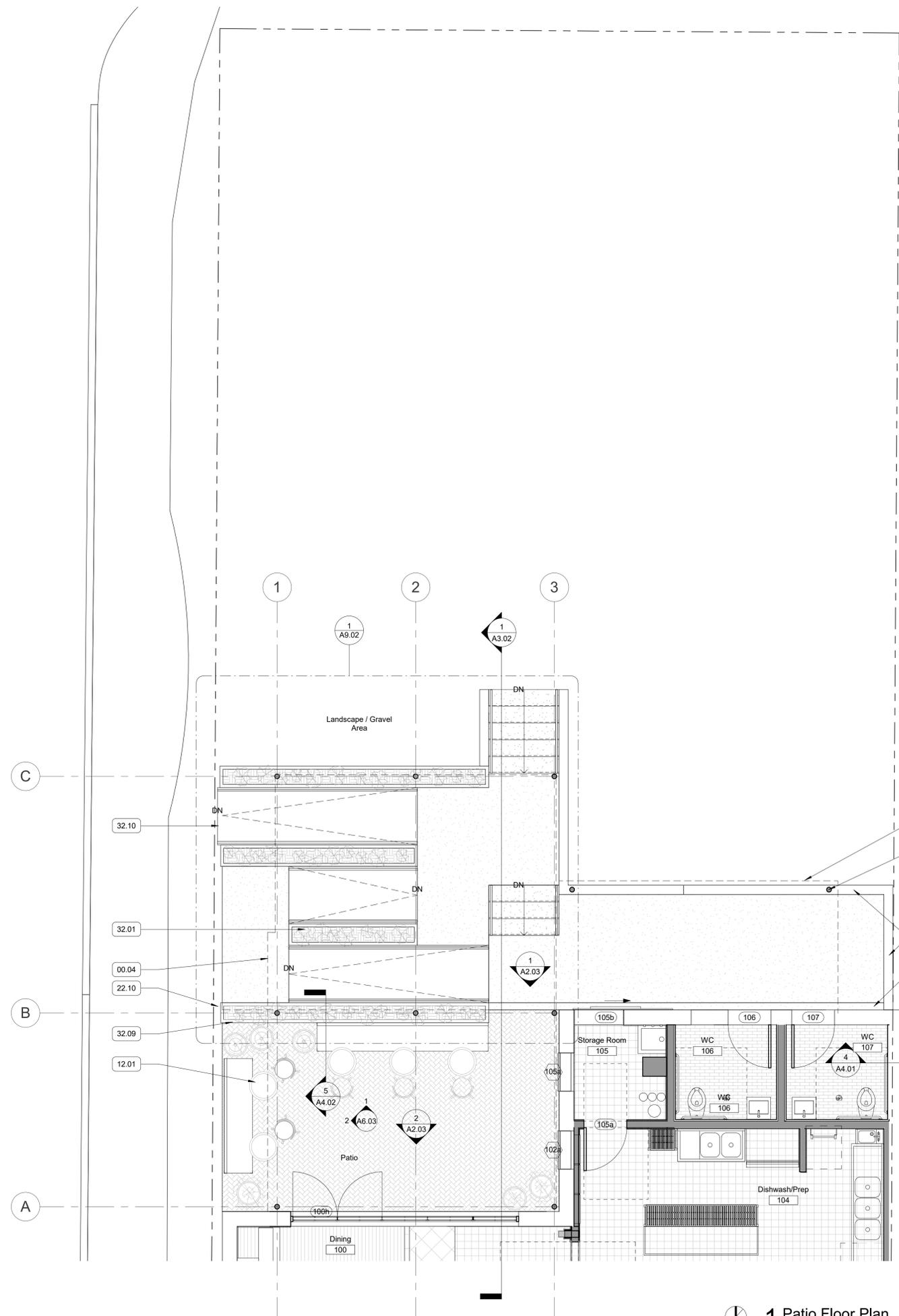
Drawing Title
First Floor
Annotation
Plan

Sheet

A1.01

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1 Annotation Plan
 1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

1. The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning, unless noted otherwise.
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3. GC to verify final locations for fire extinguishers with fire marshal and architect prior to installation.
4. Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
5. Do not scale the drawings. If a specific dimension is not given, contact MHQA for clarification.
6. GC is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.
7. GC to provide portable fire extinguishers per International Fire Code Section 906 and/or local fire code and coordinate a final review of counts and locations with the local fire marshal/inspector.
8. Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

FLOOR PLAN KEYNOTES

- 00.04 Line of roof above.
- 05.01 New steel column, refer to Structural.
- 12.01 Furniture by Owner. NIC.
- 22.09 Trench drain w/ ADA compliant cover per MEP.
- 22.10 Trench drain outlet, refer to Civil and MEP.
- 31.03 Retaining wall, per Civil.
- 32.01 Plantings, refer to Landscape Architect.
- 32.09 Stucco planter box, refer to Landscape.
- 32.10 Align ramp with existing sidewalk at R.O.W. Refer to Civil.

Yin

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Drawing Title
Patio
Annotation
Plan
 Sheet

1 Patio Floor Plan
 1/4" = 1'-0"



3 W Exterior Elevation
1/4" = 1'-0"



2 SW Exterior Elevation
1/4" = 1'-0"



1 S Exterior Elevation
1/4" = 1'-0"

ELEVATION & SECTION GENERAL NOTES

1. Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, notify MHOA immediately.
2. Elevations and building sections are shown for reference only. Refer to Building Plans, Wall Sections and Window Elevations for additional information.
3. Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
4. Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

SECRETARY OF INTERIOR GENERAL NOTES

1. Clean masonry only when necessary to halt deterioration or remove heavy soiling with the gentlest method possible.
2. Avoid using a cleaning or paint-removal method that involves water or liquid chemical solutions when there is any possibility of freezing temperatures.
3. Remove damaged or deteriorated paint only to the next sound layer using the gentlest method possible prior to repainting or refinishing surfaces using compatible paint or other coating systems.
4. Avoid removing paint that is firmly adhered to masonry and/or wood surfaces unless the building was unpainted historically and the paint can be removed without damaging the surface.
5. Avoid stripping paint or other coatings to reveal bare wood, thereby exposing historically-coated surfaces to the effects of accelerated weathering.
6. Apply compatible paint coating systems to historically-painted masonry following proper surface preparation. Repaint historically-painted features with colors appropriate to the historic character of the building.
7. When repointing mortar, avoid removing non-deteriorated mortar from sound joints.
8. Refer to The Secretary of the Interior's Standards for the Treatment of Historic Properties: <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>

ELEVATION & SECTION KEYNOTES

- 02.11 Existing wood sign band structure. Restore to match existing where needed. Finish in PT-1.1/PT1.2, refer to Finish Schedule and historic photos. Refer to Secretary of Interior notes for restoration and cleaning guidelines.
- 02.12 Existing exterior steel column. Finish in PT-3.1, refer to Finish Schedule.
- 02.13 Existing wood rafter w/ decorative end. Restore to match existing where needed. Finish in PT-1.1, refer to Finish Schedule. Refer to Secretary of Interior notes for restoration and cleaning guidelines.
- 05.01 New steel column, refer to Structural.
- 05.06 Steel 42" guardrail at existing parapet. See exterior details. Submit shop drawings for Architect approval.
- 05.08 New prefabricated metal parapet cap. Finish TBD by Architect.
- 06.02 Restore wood canopy structure to match existing. Finish in PT-2, refer to Finish Schedule. See Secretary of Interior notes for restoration guidelines.
- 12.01 Furniture by Owner. NIC.
- 23.02 Mechanical Equipment per MEP.
- 32.01 Plantings, refer to Landscape Architect.
- 32.04 Retaining wall, refer to Civil.
- 32.09 Stucco planter box, refer to Landscape.



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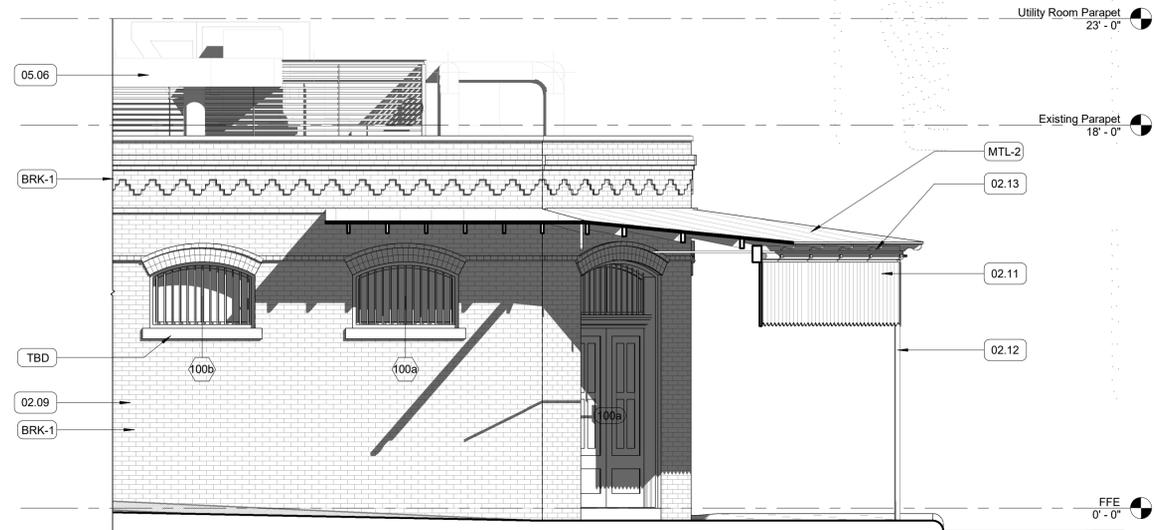
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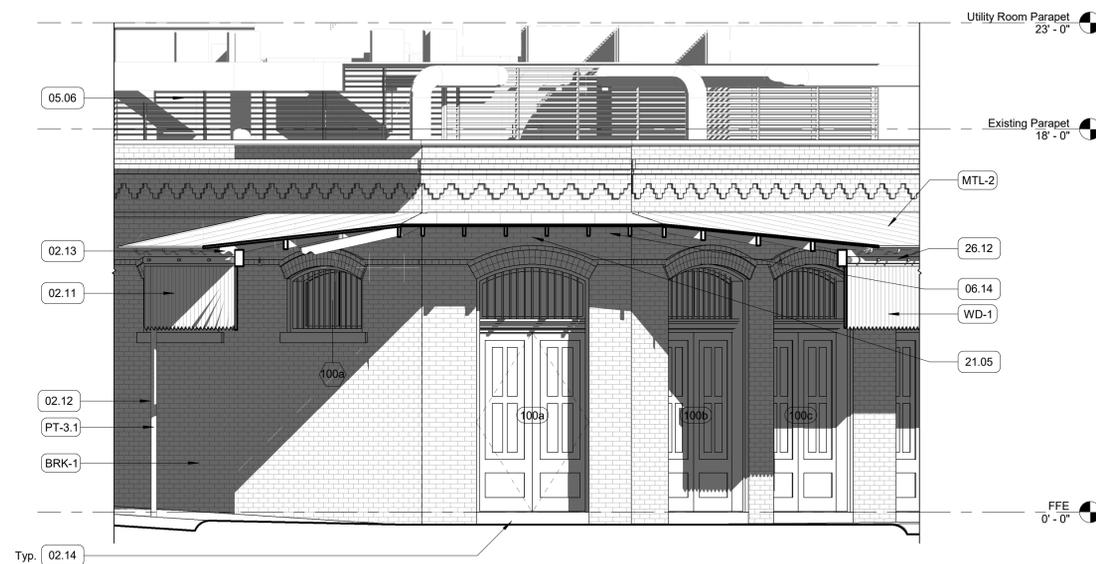
Drawing Title

Exterior Elevations
 Sheet

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3 Partial W Elevation, Patio
1/4" = 1'-0"



2 Partial SW Elevation, Patio
1/4" = 1'-0"



1 South Elevation, Patio
1/4" = 1'-0"

ELEVATION & SECTION GENERAL NOTES

1. Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, notify MHOA immediately.
2. Elevations and building sections are shown for reference only. Refer to Building Plans, Wall Sections and Window Elevations for additional information.
3. Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
4. Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

SECRETARY OF INTERIOR GENERAL NOTES

1. Clean masonry only when necessary to halt deterioration or remove heavy soiling with the gentlest method possible.
2. Avoid using a cleaning or paint-removal method that involves water or liquid chemical solutions when there is any possibility of freezing temperatures.
3. Remove damaged or deteriorated paint only to the next sound layer using the gentlest method possible prior to repainting or refinishing surfaces using compatible paint or other coating systems.
4. Avoid removing paint that is firmly adhered to masonry and/or wood surfaces unless the building was painted historically and the paint can be removed without damaging the surface.
5. Avoid stripping paint or other coatings to reveal bare wood, thereby exposing historically-coated surfaces to the effects of accelerated weathering.
6. Apply compatible paint coating systems to historically-painted masonry following proper surface preparation. Repaint historically-painted features with colors appropriate to the historic character of the building.
7. When repointing mortar, avoid removing non-deteriorated mortar from sound joints.
8. Refer to The Secretary of the Interior's Standards for the Treatment of Historic Properties: <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>

ELEVATION & SECTION KEYNOTES

- 02.09 Existing brick. Finish in PT-2.1/PT-2.2. Refer to Finish Schedule and historic photos. Refer to Secretary of Interior notes for restoration and cleaning guidelines.
- 02.11 Existing wood sign band structure. Restore to match existing where needed. Finish in PT-1.1/PT1.2, refer to Finish Schedule and historic photos. Refer to Secretary of Interior notes for restoration and cleaning guidelines.
- 02.12 Existing exterior steel column. Finish in PT-3.1, refer to Finish Schedule.
- 02.13 Existing wood rafter w/ decorative end. Restore to match existing where needed. Finish in PT-1.1, refer to Finish Schedule. Refer to Secretary of Interior notes for restoration and cleaning guidelines.
- 02.14 Existing limestone sill to remain as is, STN-1. Refer to Secretary of Interior notes for restoration and cleaning guidelines.
- 05.06 Steel 42" guardrail at existing parapet. See exterior details. Submit shop drawings for Architect approval.
- 06.14 New ledger to match existing, refer to Structural. Finish in PT-2, refer to Finish Schedule.
- 21.05 Sidewall sprinkler head, refer to MEP.
- 23.02 Mechanical Equipment per MEP.
- 26.12 Restore existing marquee lights to service.



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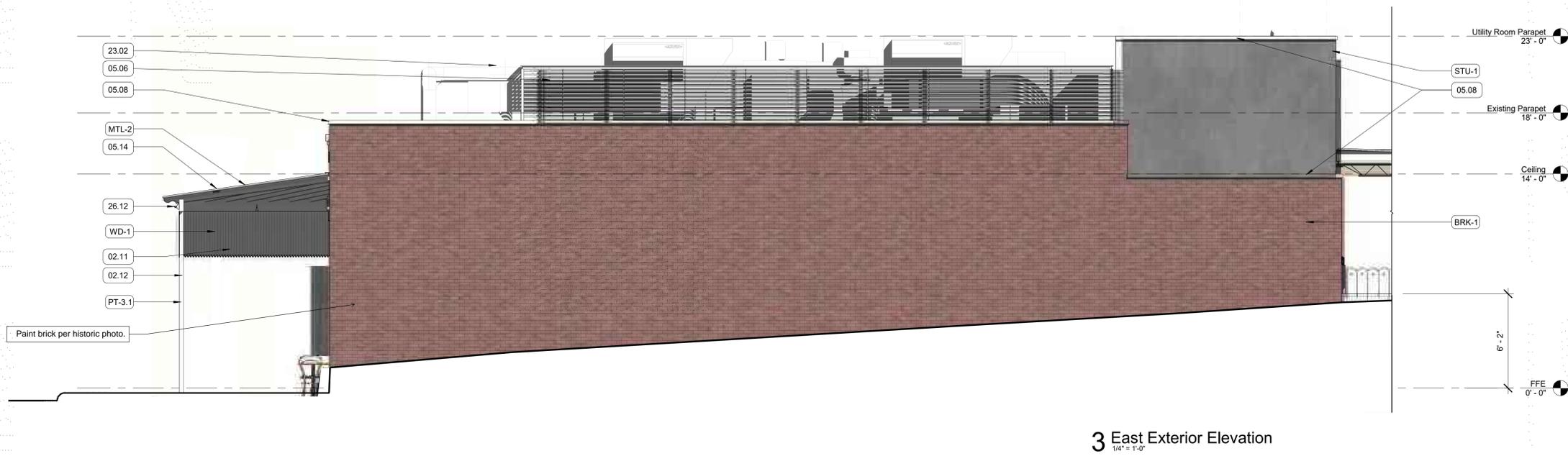
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Exterior Elevations

Sheet

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3 East Exterior Elevation
1/4" = 1'-0"

ELEVATION & SECTION GENERAL NOTES

1. Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, notify MHCA immediately. Elevations and building sections are shown for reference only. Refer to Building Plans, Wall Sections and Window Elevations for additional information.
2. Do not scale the drawings. If a specific dimension is not given, contact MHCA for clarification.
3. Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

SECRETARY OF INTERIOR GENERAL NOTES

1. Clean masonry only when necessary to halt deterioration or remove heavy soiling with the gentlest method possible.
2. Avoid using a cleaning or paint-removal method that involves water or liquid chemical solutions when there is any possibility of freezing temperatures.
3. Remove damaged or deteriorated paint only to the next sound layer using the gentlest method possible prior to repainting or refinishing surfaces using compatible paint or other coating systems.
4. Avoid removing paint that is firmly adhered to masonry and/or wood surfaces unless the building was painted historically and the paint can be removed without damaging the surface.
5. Avoid stripping paint or other coatings to reveal bare wood, thereby exposing historically-coated surfaces to the effects of accelerated weathering.
6. Apply compatible paint coating systems to historically-painted masonry following proper surface preparation. Repaint historically-painted features with colors appropriate to the historic character of the building.
7. When repointing mortar, avoid removing non-deteriorated mortar from sound joints.
8. Refer to The Secretary of the Interior's Standards for the Treatment of Historic Properties: <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>



2 Partial N Elevation, Patio
1/4" = 1'-0"

ELEVATION & SECTION KEYNOTES

- 02.09 Existing brick. Finish in PT-2.1/PT-2.2. Refer to Finish Schedule and historic photos. Refer to Secretary of Interior notes for restoration and cleaning guidelines.
- 02.11 Existing wood sign band structure. Restore to match existing where needed. Finish in PT-1.1/PT1.2, refer to Finish Schedule and historic photos. Refer to Secretary of Interior notes for restoration and cleaning guidelines.
- 02.12 Existing exterior steel column. Finish in PT-3.1, refer to Finish Schedule.
- 05.01 New steel column, refer to Structural.
- 05.06 Steel 42" guardrail at existing parapet. See exterior details. Submit shop drawings for Architect approval.
- 05.08 New prefinished metal parapet cap. Finish TBD by Architect.
- 05.14 Replace metal standing seam roof to match historic description. Refer to Secretary of Interior notes for restoration guidelines.
- 07.02 Existing scupper to remain. Rebuild and connect to new downspout.
- 08.09 Custom storefront per Window Schedule. See Door & Window Details.
- 12.01 Furniture by Owner. NIC.
- 23.02 Mechanical Equipment per MEP.
- 23.08 Roof-mounted mechanical ductwork per MEP. Equipment is to be painted, color TBD.
- 26.12 Restore existing marquee lights to service.
- 26.16 Radiant heater per Fixture Schedule.
- 32.01 Plantings, refer to Landscape Architect.
- 32.04 Retaining wall, refer to Civil.
- 32.09 Stucco planter box, refer to Landscape.



1 North Exterior Elevation
1/4" = 1'-0"



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Drawing Title

Exterior Elevations
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S Elevation at E 6th St



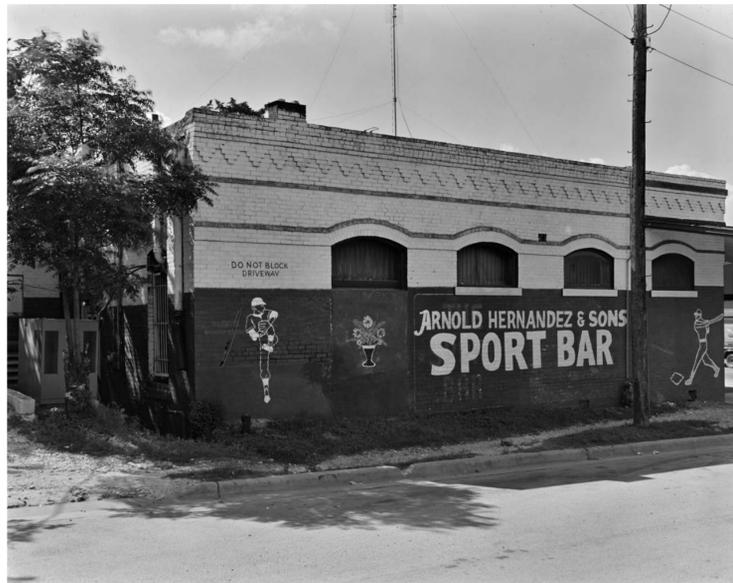
Intersection at E 6th St x Waller



Interior, Butcher Shop



Storefront Added



Mural along Waller



Backyard Addition



Painted Brick Detail

Photographs - Existing Conditions



W Elevation at Waller



S Elevation at E 6th St



N Elevation - Backyard

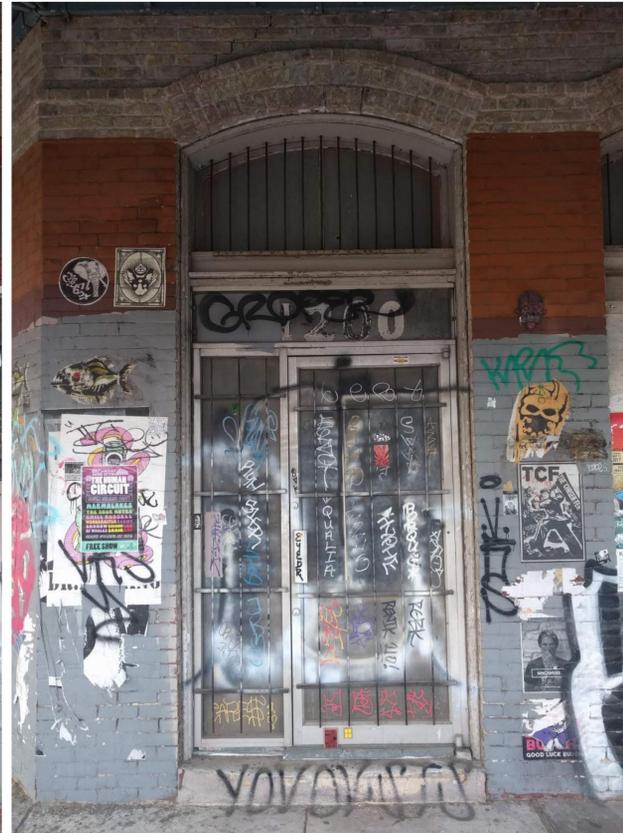


Backyard Addition

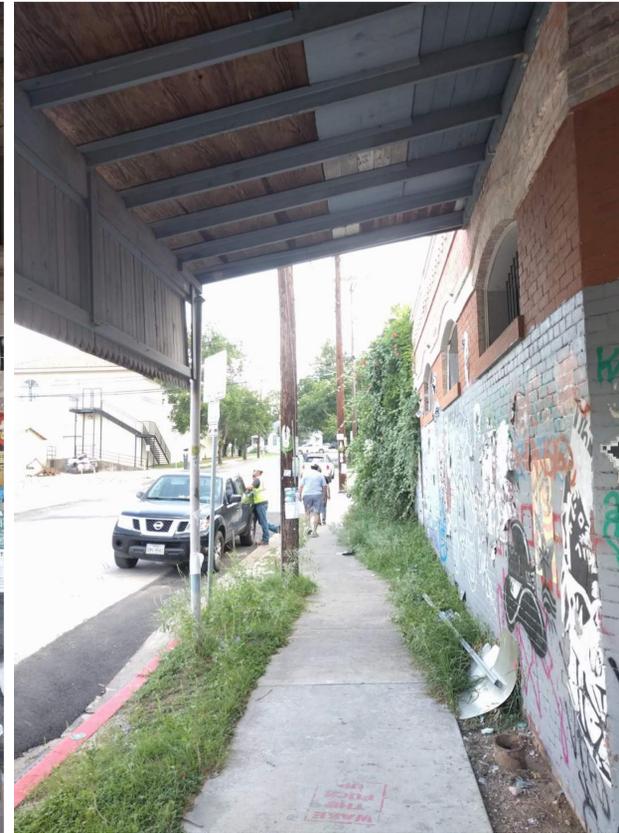
Photographs - Existing Conditions



Existing Door to be Restored, Typ.



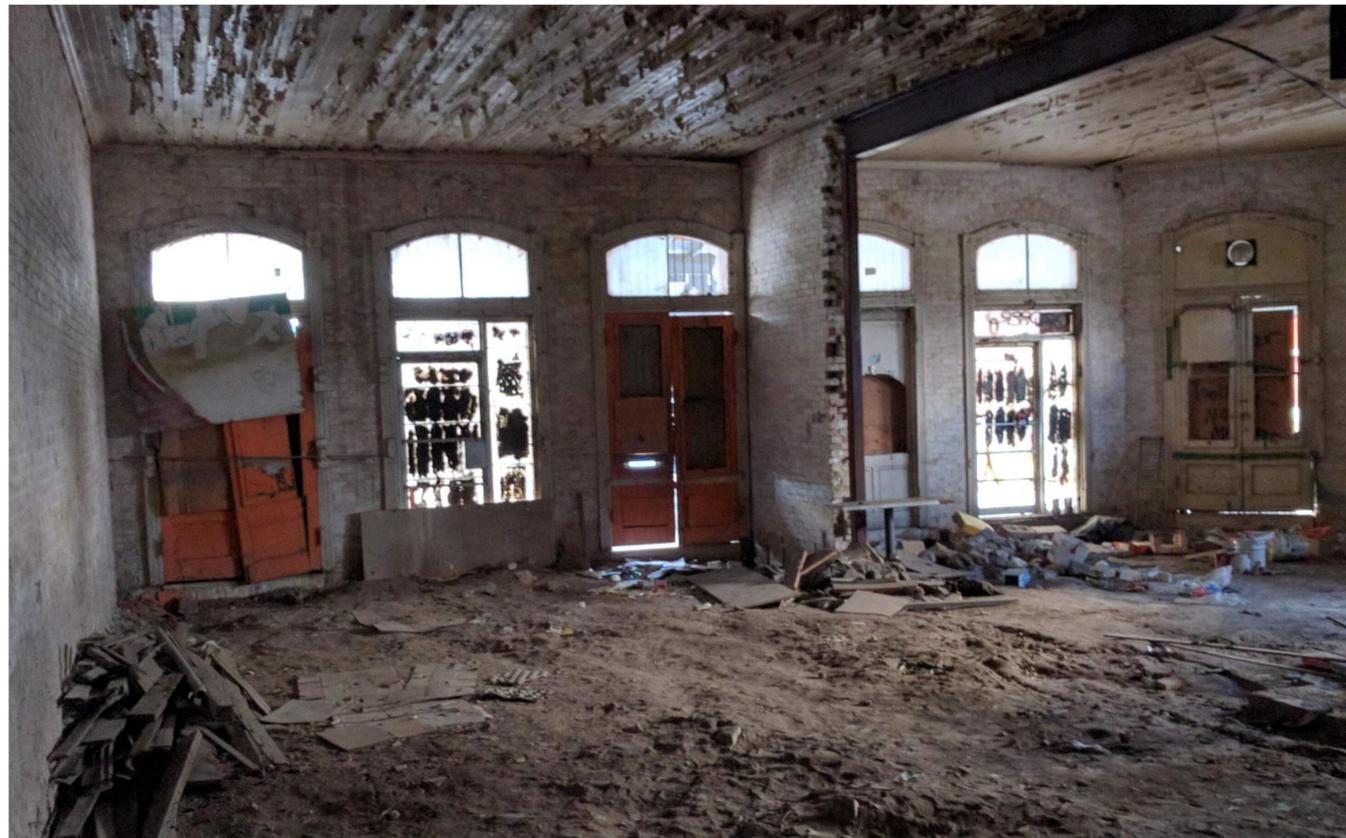
Existing Door to be Replaced to Match Historic Photos



Sidewalk at Waller



Existing Wood Awning to be Restored



Interior View of Doors & Entry



Interior View of Former Archway