

SUBDIVISION REVIEW SHEET**CASE NO.:** C8-2020-00038.0A**COMMISSION DATE:** April 28, 2020**SUBDIVISION NAME:** Charro Estates**ADDRESS:** 694 Mesa Drive**OWNER/APPLICANT:** Jocelyn Fuentes**AGENT:** ATX Permit & Consulting, LLC (Lila Nelson)**EXISTING ZONING:** None**JURISDICTION:** 5-Mile ETJ**GRIDS:** S-9**COUNTY:** Bastrop**AREA:** 5.46 acres**LOT(S):** 5**WATERSHED:** Cedar Creek**DISTRICT:** N/A**PROPOSED LAND USE:** Single Family

SIDEWALKS: Sidewalks along Mesa Drive are required to be constructed after the abutting roadway is improved and concrete curbs are in place.

DEPARTMENT COMMENTS:

The request is for the approval of Charro Estates, a resubdivision of Lot 15, Charro Estates, comprised of 5 lots on 5.46 acres.

The plat does not comply with the criteria for approval in LDC 25-4-84(B) and staff recommends disapproval for the reasons listed in the attached comment report, **EXHIBIT A**. An application that has been disapproved with reasons may be updated to address those reasons until the application expires.

If the applicant submits an update to address the reasons for disapproval, that update will be presented to the Land Use Commission within fifteen days of submittal.

STAFF RECOMMENDATION:

Staff recommends disapproval of the plat for the reasons listed in the comment report dated April 22, 2020, and attached as **EXHIBIT A**.

CASE MANAGER: Sylvia Limon
E-mail: Sylvia.Limon@austintexas.gov

PHONE: 512-974-2767**ATTACHMENTS**

First Attachment: Vicinity map

Second Attachment: Proposed plat (see sheet 2 of the plan set)

Third Attachment: Comment report dated April 22, 2020

EXHIBIT ACITY OF AUSTIN –DEVELOPMENT SERVICES DEPARTMENT
SUBDIVISION APPLICATION – MASTER COMMENT REPORT

CASE NUMBER: **C8-2020-0038.0A**
 REVISION #: **00** UPDATE: U0
 CASE MANAGER: Sylvia Limon PHONE #: 512-974-2767

PROJECT NAME: **Charro Estates** (W/R C8-2019-0031.0A)
 LOCATION: 694 MESA DR

SUBMITTAL DATE: March 30, 2020
 REPORT DUE DATE: April 24, 2020
 FINAL REPORT DATE: April 22, 2020

STAFF REPORT:

This report includes all staff comments received to date concerning your most recent subdivision application submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated submittal. The subdivision application will be approved when all requirements from each review discipline have been addressed. If you have any questions, concerns or if you require additional information about this report, please contact your case manager at the phone number listed above or by using the contact information listed for each reviewer in this report.

Any change to the plan/plat shall not cause noncompliance with any applicable code or criteria. In addition, any change to the plat may trigger new comments.

UPDATE DEADLINE INFORMATION (LDC 25-4-56; 25-4-82):

All comments must be addressed by filing an updated submittal prior to the update deadline of **June 29, 2020**. Otherwise, the application will expire. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

Extension of Review Period, Extension of Update Deadline and Tolling of Application Period do not apply to applications for preliminary plan, plat or subdivision construction plans (LDC 25-1-88; 25-1-89; 25-1-90).

UPDATE SUBMITTAL INSTRUCTIONS (LDC 25-1-83):

1. Applicants must make an appointment with Intake Staff (974-1770) in order to submit an update.
2. Your update must include the following items:
 - a. This report
 - b. The revised plat/plan in pdf format
 - c. A letter that addresses each comment in the master comment report
3. Updates must be submitted on an approved submittal date, between the hours of 8:30 am and 4:00 pm. Refer to the submittal calendar for a list of approved submittal dates.

REVIEWERS:

Planner 1: Cindy Edmond
 PARD / Planning & Design: Thomas Rowlinson
 Drainage Engineering: David Marquez
 Subdivision: Sylvia Limon
 Water Quality: David Marquez



Electric Review - Andrea Katz - 512-322-6957

Cleared. Out of Austin Energy service area.

911 Addressing Review - Cathy Winfrey - 512-974-2398

AD1: This plat review is cleared; however, any changes to street names, street name labels, or street layouts will require a new review.

NOTE: This proposed Subdivision is located inside Bastrop County.
Please note that any address assignments to resulting lots or changes to existing addresses will be enacted by Bastrop County 911 Addressing.

ATD Engineering Review - Amber Mitchell - 512-974-5646

No comment.

Drainage Engineering Review - David Marquez - 512-974-3389

Release of this application does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the application is reviewed for code compliance by city engineers.

- DE1. Construction plans, or an approved site plan prior to the plat, will be required for the proposed construction if the proposed construction does not meet LDC 25-5-2. If construction plans are to be proposed, the case number will need to be changed to .1A.
- DE2. Per the fiscal policy ordinance, the pond and its grading associated for compliance will need to be included in the fiscal estimate.
- DE3. To demonstrate compliance with DCM 1.2.2 for no adverse impact, submit the drainage model and associated exhibits to demonstrate no adverse impact for the proposed pond will be required per DCM section 2. This will include taking Atlas 14 into consideration. The first link is to our recent code and criteria changes and the second is specifically for Atlas 14. Included in the calculations should be a demonstration of no increase of point discharge which will mean the flows will need to spread to match existing conditions. 1
http://austintexas.gov/cityclerk/postings/land_dev_rules_notices.htm
<http://www.austintexas.gov/edims/document.cfm?id=332437>
- DE4. Per DCM 1.2.oA drainage easement with required maintenance will be required for the water quality and detention pond.

Environmental Review - Jonathan Garner - 512-974-1665

- EV 1. Erosion and sedimentation control fiscal surety is not required for a Final Plat application without a Preliminary Plan. Remove this amount from the Fiscal Estimates worksheet.

- SR 9. (FYI) Original (crimped) tax certificates showing all taxes having been paid for the past year must be provided at the time the plat is cleared for approval. Bastrop County will NOT record the plat without them. [LDC 25-1-83]
- SR 10. Recording fees will be calculated after the plat is approved. [LDC 25-1-83]
- SR 11. Two mylar copies of the plat will be needed after the plat has been cleared for approval and prior to the Land Use Commission hearing. [LDC 25-1-83]
- SR 12. This plat is required to have action no later than 30 days after the application is accepted. If the plat is determined to not meet all applicable subdivision regulations – the plat will be presented to Land Use Commission for disapproval with reasons. The application will be required to file an update to clear any remaining issues and then re-presented to Land Use Commission for approval. [LDC 25-4-32]
- SR 13. The following items will be needed to record the plat [LDC 25-1-83]:
- Plat containing original signatures, with appropriate seals and dates. The seals must be legible.
 - Original tax certificate(s) showing all taxes paid for the previous year.
 - Check for the plat recordation fee and any document to be recorded with the plat.

Transportation Planning - Martin Laws - 512-974-6351

TR1. Transportation Planning has no comments.

AW Utility Development Services - Bradley Barron - 512-972-0078

- WW1. The landowner intends to serve each lot with a connection to Aqua Water Supply Company water utilities and an On-Site Sewage Facility. No Austin Water review is required.
- WW2. The landowner must obtain plat approval from Bastrop County for on-site sewage facilities. No Austin Water review is required.
- WW3. Bastrop County must approve the plan for fire protection. Austin Water will not verify fire protection availability.

Water Quality Review - David Marquez - 512-974-3389

Release of this application does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the application is reviewed for code compliance by city engineers.

- WQ1. To demonstrate compliance with ECM section 1.6.5.A, submit cross sections and details to demonstrate the proposed pond will be in compliance.
- WQ2. Per appendix R-2 of ECM, submit an R table that demonstrates the pond is in compliance and sized for ECM standards. If construction plans are to be provided, an R-1 table will be required for the plat.
- WQ3. Per ECM 1.6.2B2 pertaining to stacked detention, outlet structures are recommended to be on the sedimentation side of the pond to prevent erosion.

- WQ4. Demonstrate erosion control per ECM 1.4.0 and ECM 1.6.2B1, a splitter box is typically required. For stacked detention we allow designs to demonstrate that a splitter is not needed if velocity of flows and erosion control are taken into consideration.
- WQ5. Provide Certification of Compliance 25-1-83 – Applications Related to a Closed Municipal Solid Waste Landfill. The certification form can be found at the following website:

http://www.ci.austin.tx.us/watershed/downloads/engineers_cert_form.pdf

Site Plan Plumbing - Cory Harmon - 512-974-2882

NO SITE PLAN PLUMBING REVIEW REQUIRED

The proposed resubdivision (C8-2020-0038.0A) is outside of the zoning jurisdiction of the City of Austin and will not receive water or wastewater service from Austin Water Utility, therefore the Austin Plumbing Code is not applicable per Chapter 25-1.

End of report

CHARRO ESTATES SUBDIVISION RESUBDIVISION PLAT OF LOT 15



CIVIL CONSTRUCTION PLANS 694 MESA DRIVE DEL VALLE, BASTROP COUNTY, TEXAS

FEBRUARY 2020

OWNER / DEVELOPER:

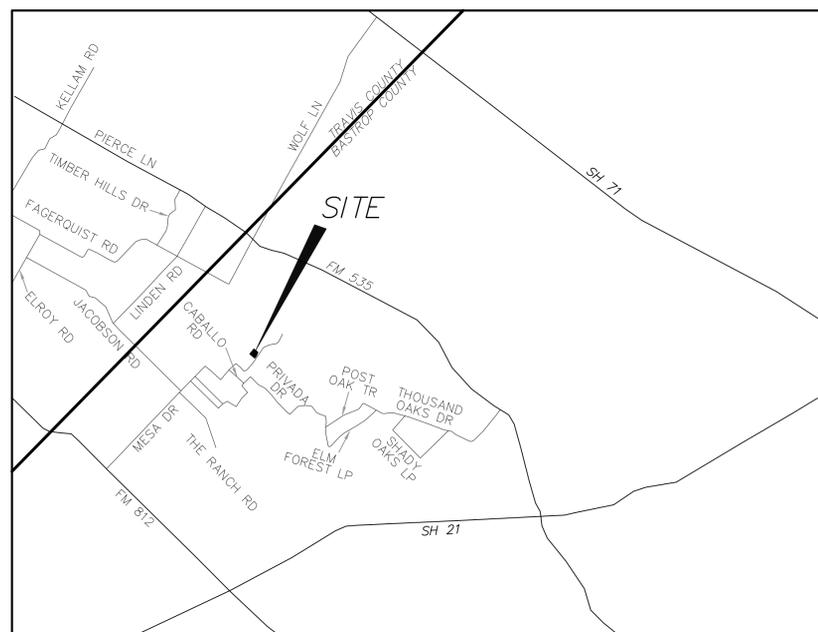
JOCELYN FUENTES
1908 BOBBYWOODS LN
MANCHACA, TX 78652

LEGAL DESCRIPTION:

CHARRO ESTATES, LOT 15, 5.460 ACRES

SUBDIVISION CASE NO.:

C8-2019-0031.0A



LOCATION MAP

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WATERSHED STATUS

THIS SITE IS LOCATED IN THE CEDAR CREEK WATERSHED, WHICH IS CLASSIFIED AS A SUBURBAN WATERSHED BY THE CITY OF AUSTIN. THIS SITE IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.

FLOODPLAIN INFORMATION:

THE TRACT SHOWN HEREON LIES WITHIN ZONE "X" UNSHADED (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, AS SHOWN ON MAP NO. 48021C0325E, DATED JANUARY 19, 2006 FOR BASTROP COUNTY, TEXAS.

I, RICHARD M. GALLEGOS, P.E., CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.



SAN ANTONIO, TEXAS www.gallegoseng.com PH: 210.641.0812
FIRM REGISTRATION # F-003084

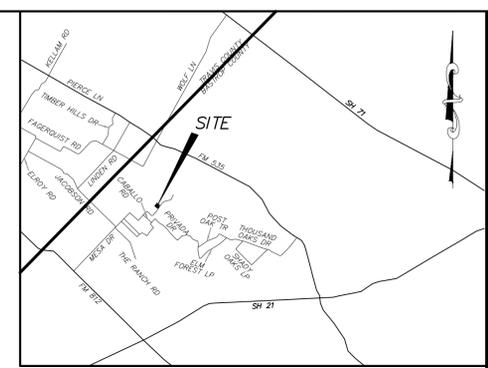
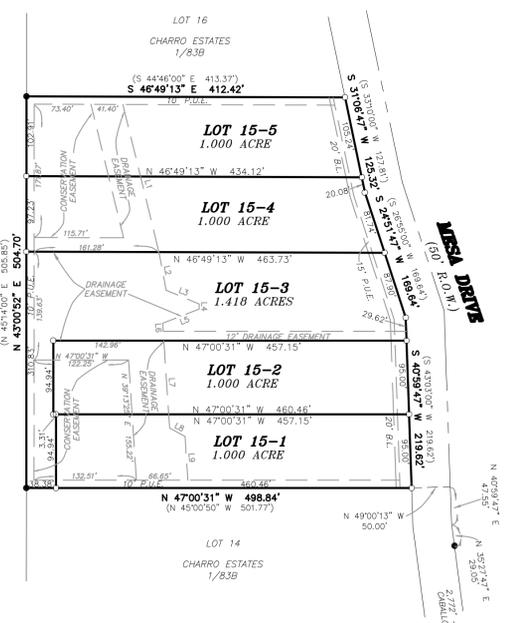


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RICHARD M. GALLEGOS, P.E. 86916 FEBRUARY 15, 2020 ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT

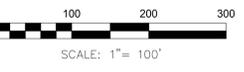
CHARRO ESTATES RESUBDIVISION PLAT OF LOT 15

CHARRO ESTATES RESUBDIVISION PLAT OF LOT 15

LINE BEARING	DISTANCE
L1 S 29°11'46" W 115.50	
L1 S 42°20'39" W 150.00	
L1 S 24°26'59" E 126.43	
L4 S 43°00'22" W 116.37	
L5 N 68°15'53" W 50.74	
L7 S 39°13'59" W 113.01	
L7 S 39°13'59" W 113.01	
L8 S 18°37'22" E 122.72	
L8 S 39°13'59" W 116.44	



LOCATION MAP
NOT TO SCALE



LEGEND

- 1/2" REBAR FOUND (UNLESS NOTED)
- 1/2" REBAR SET W/CAP
- STAMPED J.E. GARON RPLS 4303
- 60d NAIL FOUND
- WIRE FENCE
- POWER POLE
- OVERHEAD ELECTRIC LINE
- RECORD CALL (BRG-DIST.)

BEARING BASIS: NAD83 STATE PLANE
TEXAS CENTRAL ZONE.

LOT SUMMARY

LOT 15-1 1.000 ACRE
LOT 15-2 1.000 ACRE
LOT 15-3 1.418 ACRES
LOT 15-4 1.000 ACRE
LOT 15-5 1.000 ACRE

TOTAL 5.418 ACRES

FLOOD PLAIN NOTE:

NO PORTION OF THIS SUBDIVISION LIES WITHIN THE 100 YEAR SPECIAL FLOOD HAZARD AREA (1% ANNUAL CHANCE OF FLOODING AREA) AS IDENTIFIED BY THE FLOOD INSURANCE RATE MAP, PANEL NO. 480210025E, EFFECTIVE JANUARY 19, 2006 FOR THE COMMUNITY BASTROP COUNTY, COMMUNITY NUMBER 481193.

FLOOD WARNING: THE DEGREE OF FLOOD PROTECTION REQUIRED BY THE BASTROP COUNTY FLOOD DAMAGE PREVENTION ORDER IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES AND IS BASED ON SCIENTIFIC AND ENGINEERING CONSIDERATIONS. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. ACCEPTANCE OF THIS PLAT BY THE COMMISSIONERS COURT DOES NOT IMPLY THAT LAND OUTSIDE THE AREAS OF SPECIAL FLOOD HAZARDS OR USES PERMITTED WITHIN SUCH AREAS WILL BE FREE FROM FLOODING OR FLOOD DAMAGES. NOR SHALL ACCEPTANCE OF THIS PLAT GREATE LIABILITY ON THE PART OF BASTROP COUNTY OR ANY OFFICIAL OR EMPLOYEE, THEREOF FOR ANY FLOOD DAMAGES THAT RESULT FROM RELIANCE ON THE INFORMATION CONTAINED WITHIN THIS PLAT OR ANY ADMINISTRATION DECISION LAWFULLY MADE THEREUNDER.

EROSION AND SEDIMENTATION CONTROLS ARE REQUIRED FOR CONSTRUCTION ON EACH LOT, INCLUDING SINGLE-FAMILY, DUPLEX, AND MULTI-FAMILY CONSTRUCTION.

UTILITY SERVICE PROVIDERS:

WATER SERVICE IS PROVIDED BY: AQUA WATER SUPPLY CORPORATION
WASTEWATER SERVICE IS PROVIDED BY: INDIVIDUAL ON-SITE SEWAGE FACILITIES
ELECTRIC SERVICE IS PROVIDED BY: BLUEBONNET ELECTRIC COOPERATIVE

STATE OF TEXAS COUNTY OF BASTROP

I, JAMES E. GARON, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN WERE PROPERLY PLACED, UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF BASTROP COUNTY, TEXAS.

JAMES E. GARON DATE
REGISTERED PROFESSIONAL LAND SURVEYOR
REG. NO. 4303
FIRM REG. #10058400
185 McAllister Road
Bastrop, Texas 78602
PH. 512-303-4185 FAX 512-321-2107
JAMESGARON.COM

AQUA WATER NOTE:

AS OF THE DATE INDICATED BELOW, AQUA WATER SUPPLY CORPORATION HAS NOT AGREED TO PROVIDE WATER SUPPLY SERVICE TO THIS SUBDIVISION BECAUSE THE SUBDIVISION HAS NOT COMPLIED WITH THE TARIFF OF AQUA WATER SUPPLY CORPORATION, INCLUDING SPECIFICALLY THE RULES AND REGULATIONS CONCERNING AQUA'S SERVICE TO SUBDIVISIONS. UNDER THE AQUA TARIFF, RETAIL WATER SERVICE IS NOT AVAILABLE TO ANY LOT IN A SUBDIVISION THAT IS NOT IN COMPLIANCE WITH ALL SUCH RULES AND REGULATIONS, INCLUDING THE PAYMENT OF APPLICABLE FEES. NO LOT IN THIS SUBDIVISION WILL BE ELIGIBLE TO RECEIVE RETAIL WATER SERVICE FROM AQUA'S DISTRIBUTION SYSTEM UNTIL THE SUBDIVISION FULLY COMPLIES WITH ALL OF THE PROVISIONS OF AQUA'S TARIFF, INCLUDING THE RULES AND REGULATIONS CONCERNING AQUA'S SERVICE TO SUBDIVISIONS.

ALAN DAVID MEMURRY DATE
GENERAL MANAGER
AQUA WATER SUPPLY CORPORATION

ON-SITE SEWAGE

AN INDIVIDUAL ON-SITE SEWAGE FACILITY CURRENTLY EXISTS ON LOT 15-3. INDIVIDUAL ON-SITE SEWAGE FACILITY DESIGNS MUST BE SUBMITTED FOR APPROVAL FOR EACH VACANT LOT AND BUILT TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND THE REQUIREMENTS OF THE BASTROP COUNTY ORDER FOR ON-SITE SEWAGE FACILITIES PRIOR TO OCCUPATION OF THE RESIDENCE. THIS SUBDIVISION PLAT RECOMMENDED FOR APPROVAL ON THIS _____ DAY OF _____, 20____.

TROY WALTERS, D.R. #0534100 DATE
DESIGNATED REPRESENTATIVE

PLAT NOTES:

- NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE AQUA WATER SUPPLY CORPORATION WATER UTILITY SYSTEM AND ELECTRIC DISTRIBUTION SYSTEMS AND WASTEWATER COLLECTION FACILITIES APPROVED BY BASTROP COUNTY.
- THE WATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY OF AUSTIN UTILITY DESIGN CRITERIA. THE WATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE AUSTIN WATER UTILITY. ALL WATER CONSTRUCTION MUST BE INSPECTED BY THE CITY OF AUSTIN. THE LAND OWNER MUST PAY THE CITY INSPECTION FEE WITH THE UTILITY CONSTRUCTION.
- THE OWNER OF THE SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF AUSTIN.
- ALL STREETS, DRAINAGE, SIDEWALKS AND EROSION CONTROLS ARE REQUIRED TO BE CONSTRUCTED AND INSTALLED TO BASTROP COUNTY STANDARDS.
- BY APPROVING THIS PLAT, NEITHER BASTROP COUNTY NOR THE CITY OF AUSTIN ASSUMES ANY OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE LOTS IN THIS SUBDIVISION IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO CITY STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS AND/OR CERTIFICATES OF OCCUPANCY.
- THE LAND OWNER IS RESPONSIBLE FOR PROVIDING THE SUBDIVISION INFRASTRUCTURE, INCLUDING THE WATER UTILITY IMPROVEMENTS.
- EROSION AND SEDIMENTATION CONTROLS ARE REQUIRED FOR CONSTRUCTION ON EACH LOT, INCLUDING SINGLE-FAMILY AND DUPLEX CONSTRUCTION.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRICAL SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
- SIDEWALKS ALONG MESA DRIVE ARE REQUIRED TO BE CONSTRUCTED BY THE PROPERTY OWNER AFTER THE ABUTTING ROADWAY IS IMPROVED AND CONCRETE CURBS ARE IN PLACE. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
- A FEE-IN-LIEU OF PARKLAND DEDICATION AND PARK DEVELOPMENT HAS BEEN PAID FOR 2 RESIDENCES. NO FEE WAS CHARGED FOR THE EXISTING 3 RESIDENCES.

BASTROP COUNTY PLAT NOTES:

- THIS PLAT DOES NOT ATTEMPT TO AMEND OR REMOVE ANY COVENANTS OR RESTRICTIONS FROM THE PREVIOUS SUBDIVISION, CHARRO ESTATES AS RECORDED IN CABINET NO. 1, PAGE 838, PLAT RECORDS BASTROP COUNTY, TEXAS.
- PERMITS: PROPERTY IN THIS SUBDIVISION SHALL BE DEVELOPED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING, BUT NOT LIMITED TO: BASTROP COUNTY 9-1-1 ADDRESSING ASSIGNMENT, DRIVEWAY/CULVERT, DEVELOPMENT, FLOODPLAIN, AND ON-SITE SEWAGE FACILITY. COUNTY PERMITS ARE OBTAINED AND ISSUED THROUGH THE BASTROP COUNTY DEVELOPMENT SERVICES DEPARTMENT.
- NO ON-SITE WATER WELL MAY BE PLACED WITHIN 100' (50' IF ENCASED) OF AN ON-SITE SEWAGE DISPOSAL AREA, NOR CAN ANY ON-SITE SEWAGE DISPOSAL AREA BE PLACED WITHIN 100' (50' IF ENCASED) OF AN ON-SITE WELL.
- EACH LOT SHALL HAVE A 50' WATER WELL SETBACK ADJACENT TO PROPERTY LINES. PROPERTY OWNERS AND/OR REGISTERED WATER WELL INSTALLERS ARE RESPONSIBLE TO DETERMINE APPROPRIATE LOCATIONS FOR SAME, IF NOT SPECIFIED HEREIN.
- INDIVIDUAL ON-SITE SEWAGE FACILITY DESIGNS MUST BE SUBMITTED FOR APPROVAL FOR EACH LOT AND BUILT TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND THE REQUIREMENTS OF THE BASTROP COUNTY ORDER FOR ON-SITE SEWAGE FACILITIES PRIOR TO OCCUPATION OF THE RESIDENCE.
- NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE APPROVED WATER AND ELECTRIC DISTRIBUTION SYSTEMS AND WASTEWATER COLLECTION FACILITIES.
- NO STRUCTURES MAY BE BUILT IN ANY EASEMENT. ANY EXISTING STRUCTURES LOCATED IN A PUBLIC UTILITIES EASEMENT MUST BE REMOVED AT UTILITY COMPANY DISCRETION.
- ALL DRIVEWAYS IN THIS SUBDIVISION MUST BE CONSTRUCTED TO FACILITATE DRAINAGE ALONG THE ROW. THE DEVELOPER AND/OR PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF DRIVEWAYS IN ACCORDANCE WITH BASTROP COUNTY SPECIFICATIONS, WHICH MAY INCLUDE CULVERT PIPE INSTALLATION. A PERMIT MUST BE OBTAINED FROM BASTROP COUNTY PRIOR TO THE CREATION OF A DRIVEWAY. ACCESS TO STATE HIGHWAYS IS REGULATED BY TxDOT AND THEREFORE MUST BE APPROVED AND CONSTRUCTED TO ITS STANDARDS.

STATE OF TEXAS COUNTY OF BASTROP

KNOW ALL MEN BY THESE PRESENTS:

THAT JOCELYN FUENTES, BEING OWNER OF LOT 15, CHARRO ESTATES, A SUBDIVISION OF RECORD IN PLAT CABINET NO. 1, PAGE 838 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS, CONVEYED BY DEED OF RECORD INSTRUMENT NO. 201711080 OF THE REAL PROPERTY RECORDS OF BASTROP COUNTY, TEXAS, AND SAID SUBDIVISION HAVING BEEN APPROVED FOR RESUBDIVISION PURSUANT TO THE PUBLIC NOTIFICATION AND HEARING PROVISIONS OF CHAPTER 212.014 OF THE LOCAL GOVERNMENT CODE, DO HEREBY RESUBDIVIDE LOT 15, CHARRO ESTATES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS:

CHARRO ESTATES, RESUBDIVISION PLAT OF LOT 15

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS THE _____ DAY OF _____, 20____ A.D.

JOCELYN FUENTES
694 MESA DRIVE
DEL VALLE, TEXAS 78617

STATE OF TEXAS COUNTY OF BASTROP

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOCELYN FUENTES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____ A.D.

NOTARY PUBLIC IN AND FOR
THE STATE OF TEXAS

JAMES E. GARON 11-08-2020
PRINTED NAME OF NOTARY / EXPIRES

STATE OF TEXAS COUNTY OF BASTROP

I, RICHARD M. GALLEGOS, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF TITLE 25 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

RICHARD M. GALLEGOS, P.E. DATE
PROFESSIONAL ENGINEER NO. 86916
P.O. BOX 690067
SAN ANTONIO, TEXAS 78269
210-641-0812

THIS SUBDIVISION PLAT IS LOCATED WITHIN THE _____ OF THE CITY OF AUSTIN ON THIS THE _____ DAY OF _____, 20____.

ACCEPTED AND AUTHORIZED FOR RECORD BY THE DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT, CITY OF AUSTIN, COUNTY OF TRAVIS, THIS THE _____ DAY OF _____, 20____.

SYLVIA LIMON, FOR:
DENISE LUCAS, ACTING DIRECTOR
DEVELOPMENT SERVICES DEPARTMENT

ACCEPTED AND AUTHORIZED FOR RECORD BY THE ZONING & PLATTING COMMISSION OF THE CITY OF AUSTIN, TEXAS, THIS, THE _____ DAY OF _____, 20____.

JOLENE KIOLBASSA, CHAIR ANA AGUIRRE, SECRETARY

STATE OF TEXAS COUNTY OF BASTROP

I, ROSE PIETSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____ A.D., AT _____ O'CLOCK _____ M., IN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT CABINET _____, PAGE _____.

FILED FOR RECORD ON THE _____ DAY OF _____, 20____ A.D.

DEPUTY ROSE PIETSCH
COUNTY CLERK
BASTROP COUNTY, TEXAS

CHARRO ESTATES RESUBDIVISION PLAT OF LOT 15

FIELD BOOK: B-555/54
FILE: Server\Co\Bastrop\Sub\Charro Estates\83217.dwg

JAMES E. GARON & ASSOC.
PROFESSIONAL LAND SURVEYORS
Firm Reg. #10058400
185 McAllister Road
Bastrop, Texas 78602
(512) 303-4185
jgaron@austin.rr.com
www.jamesgaron.com

PLAT PREPARATION DATE: JANUARY 2, 2018
PLAT SUBMITTAL DATE: FEBRUARY 22, 2019
CASE NO. CB-2019-0031.0A

JAMES E. GARON & ASSOC.
PROFESSIONAL LAND SURVEYORS
Firm Reg. #10058400
185 McAllister Road
Bastrop, Texas 78602
(512) 303-4185
jgaron@austin.rr.com
www.jamesgaron.com

NO.	DATE	DESCRIPTION	BY

FIRM REGISTRATION # F-10000
RICHARD M. GALLEGOS, P.E.
REGISTERED PROFESSIONAL ENGINEER
PH: 210-641-0812
SAN ANTONIO, TEXAS www.rmgallegos.com

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORED BY RICHARD M. GALLEGOS, P.E. 08916 ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE REGISTERING ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT

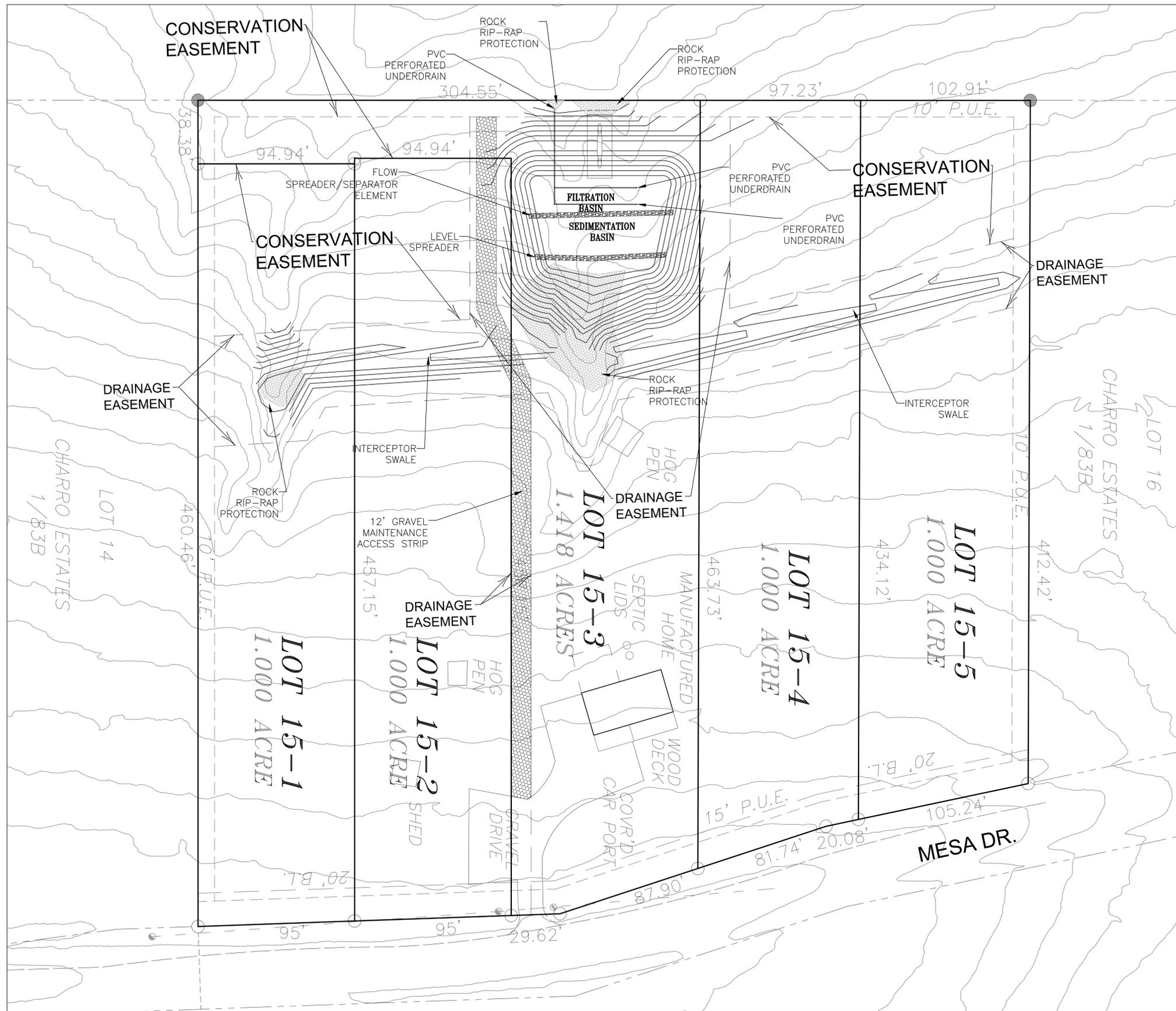
SEAL OF TEXAS PROFESSIONAL ENGINEER RICHARD M. GALLEGOS 08916

CHARRO ESTATES SUBDIVISION
FINAL PLAT
694 MESA DR., DEL VALLEY, TX 78617

SHEET 02
OF 11

PLAT IS FOR REFERENCE PURPOSES ONLY AND IS NOT TO SCALE

SITE PLAN



LEGEND	
1020	PROPOSED CONTOUR ELEVATIONS
1018	EXISTING CONTOURS

REVISIONS	
NO.	DESCRIPTION

FIRM REGISTRATION # F40004

GALLEGOS ENGINEERING, INC.

SAN ANTONIO, TEXAS www.gallegoseng.com PH: 210.641.0812
 00-CHARRO 01/31/20 S.G.

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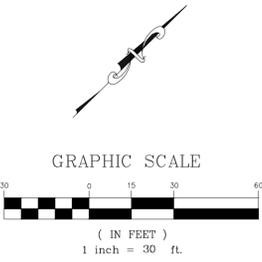
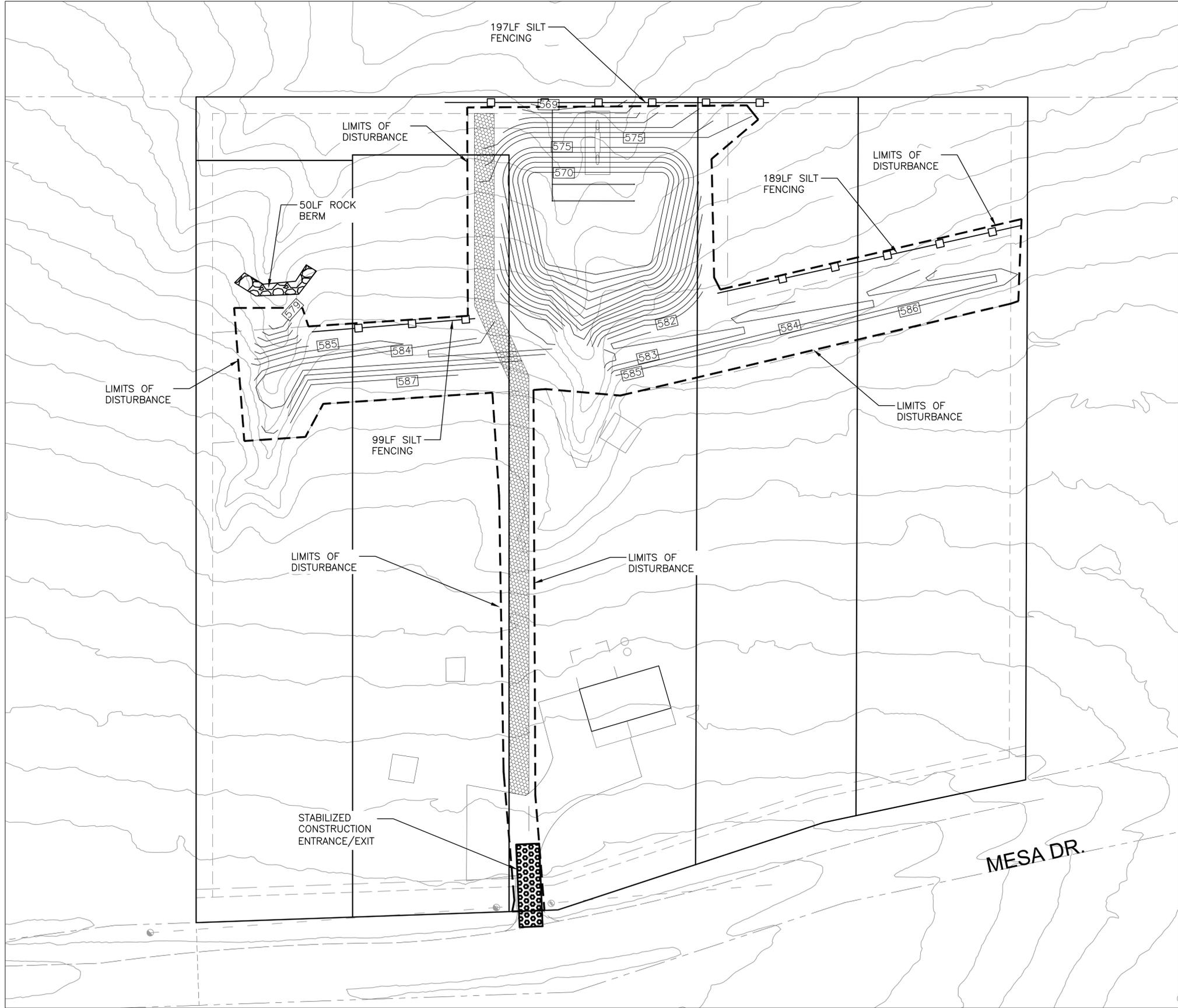
CHARRO ESTATES SUBDIVISION

SITE PLAN

694 MESA DR., DEL VALLEY, TX 78617

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TEMPORARY EROSION CONTROL PLAN



LEGEND	
	PROPOSED CONTOUR ELEVATIONS
	EXISTING CONTOURS

REVISIONS		BY
NO.	DATE	DESCRIPTION

FIRM REGISTRATION # F40004

GALLEGOS ENGINEERING, INC.

SAN ANTONIO, TEXAS www.gallegoseng.com PH: 210.641.0812

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CHARRO ESTATES SUBDIVISION

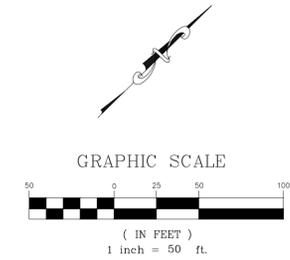
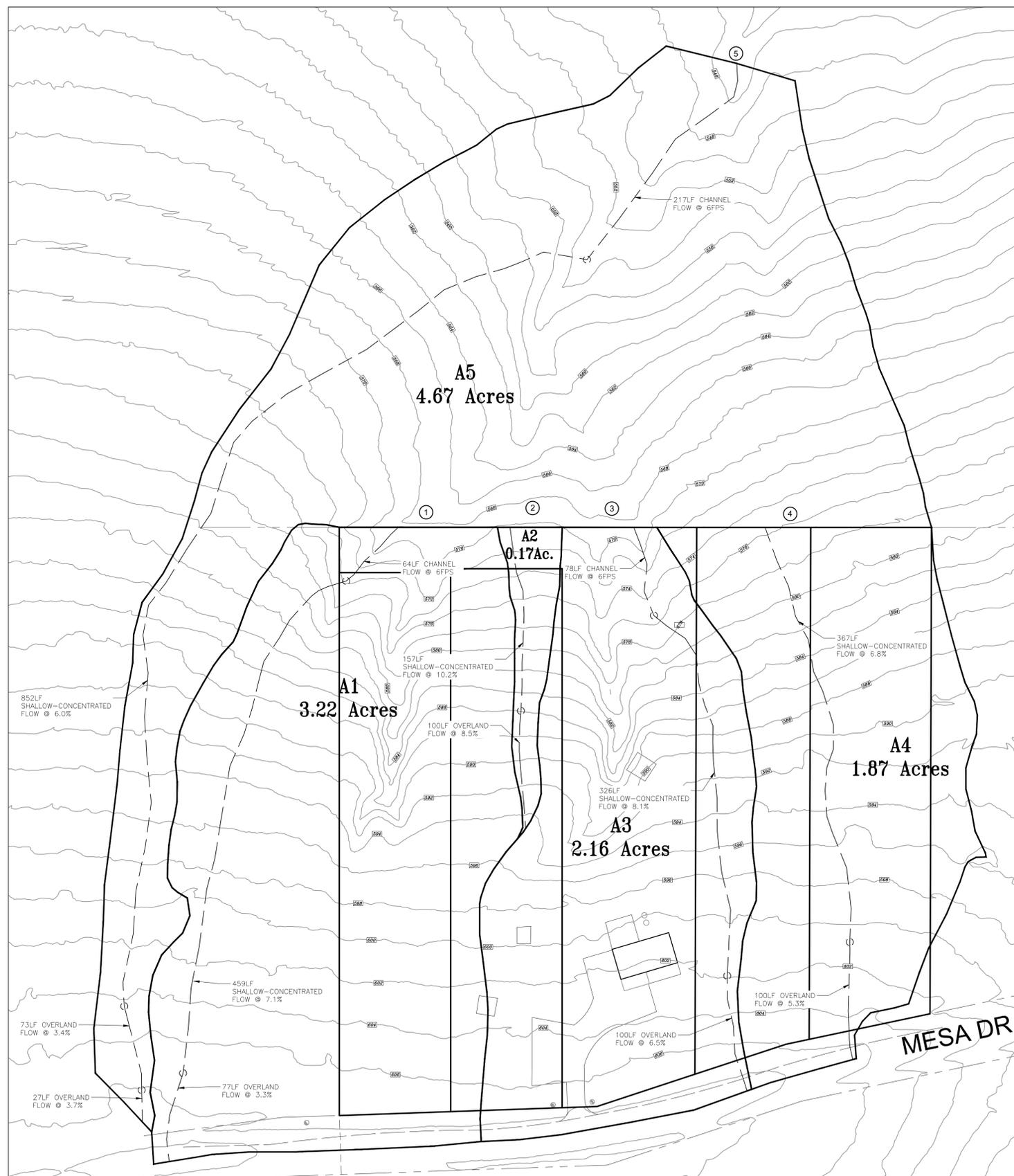
TEMPORARY EROSION CONTROL PLAN

694 MESA DR., DEL VALLEY, TX 78617

- NOTES**
- 1) BMPs CALLED OUT IN THIS SHEET ARE TEMPORARY, AND SHALL BE REMOVED BY THE CONTRACTOR AFTER FINAL SITE STABILIZATION.
 - 2) SEE SHEET 5 FOR TEMPORARY BMP DETAILS.
 - 3) SEE SHEET 9 FOR PERMANENT BMP DETAILS.

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EXISTING DRAINAGE AREA MAP & CALCULATIONS



LEGEND	
	EXISTING CONTOURS
	TIME-OF-CONCENTRATION FLOWPATHS
A1	SUB-BASIN LABEL AND AREA
3.22 Acres	
	HYDROLOGIC COMPUTATION NODES

SUB-BASIN	IMPERVIOUS COVER AREA (AC.)	UN-DEVELOPED AREA (AC.)	% IMPERVIOUS COVER
A1	0.15	3.07	4.66%
A2	0	0.17	0.00%
A3	0.24	1.92	11.11%
A4	0	1.87	0.00%
A5	0.02	4.65	0.43%

PEAK DISCHARGES (CFS) - EXISTING CONDITIONS				
NODE	2-YR	10-YR	25-YR	100-YR
1	6.2	14.2	18.9	26.7
2	0.4	0.8	1.1	1.6
3	4.4	9.8	13	18.3
4	3.5	8.1	10.9	15.4
1+2+3	11	24.8	33	46.6
1+2+3+4	14.5	32.9	43.9	62
5	22.1	50.6	67.5	95.5

REVISIONS				
NO.	DATE	DESCRIPTION	BY	CHKD. BY

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GALLEGOS ENGINEERING, INC.

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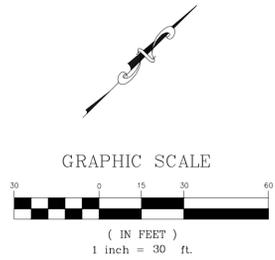
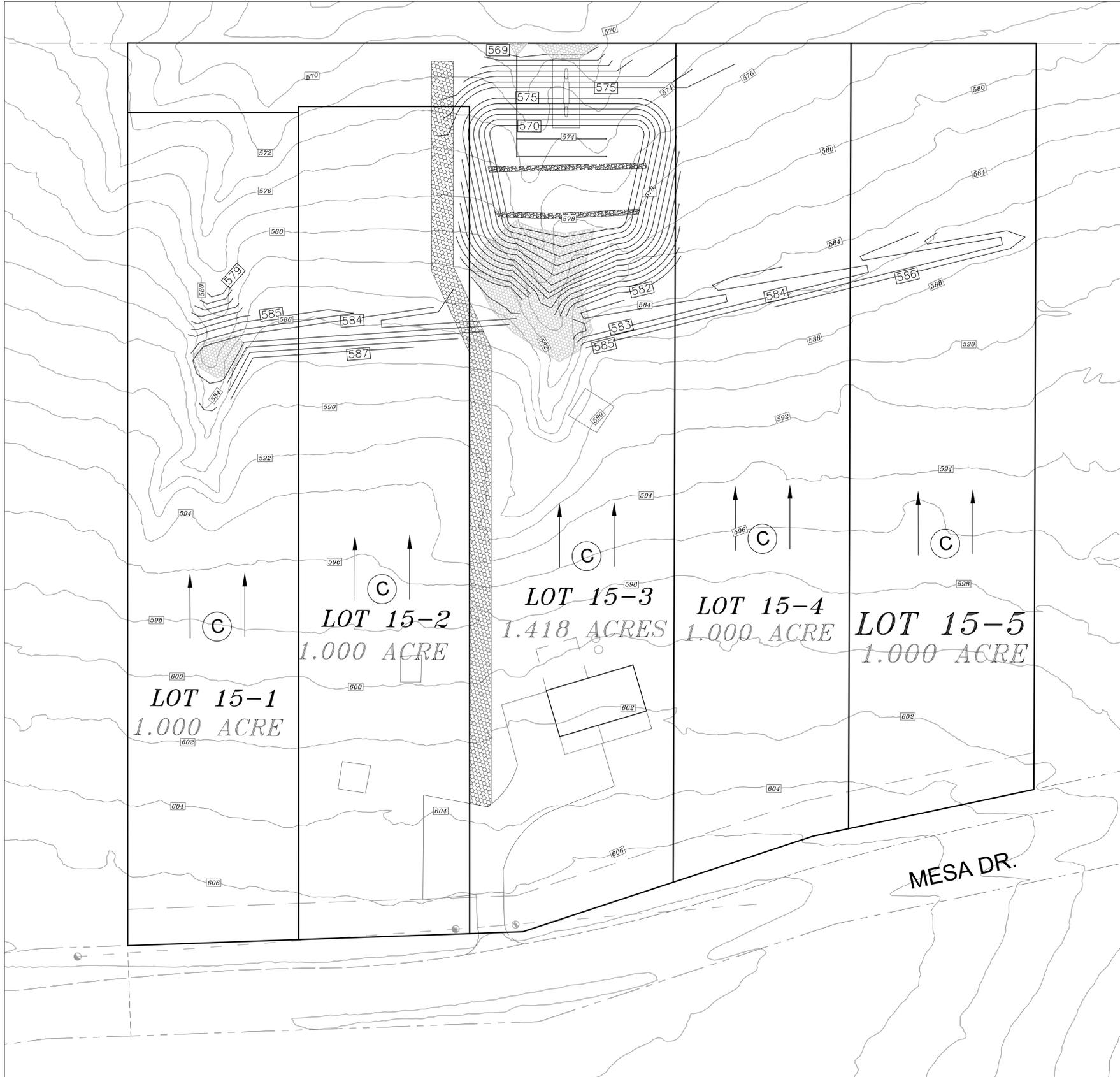
CHARRO ESTATES SUBDIVISION

EXISTING DRAINAGE AREA MAP AND CALCULATIONS

694 MESA DR., DEL VALLEY, TX 78617

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GRADING PLAN



LEGEND	
1020	PROPOSED CONTOUR ELEVATIONS
1018	EXISTING CONTOURS
(C) ↑	LOT GRADING TYPE "C" DRAINS FROM FRONT TO BACK

- GENERAL NOTES:**
- IF AN ELEVATION DISCREPANCY IS FOUND, CONTRACTOR MUST NOTIFY ENGINEER IMMEDIATELY BEFORE COMMENCING CONSTRUCTION; OTHERWISE PROCEEDING WITHOUT GEI NOTIFICATION/COORDINATION WILL CONSTITUTE CONTRACTOR PROCEEDING AT OWN RISK. OWNER NOT RESPONSIBLE FOR PAYING TO REWORK AREAS THAT CONTRACTOR PROCEEDED WITHOUT GEI NOTIFICATION/COORDINATION.
 - CONTRACTOR MUST ENSURE THAT ALL DISTURBED AREAS ARE GRADED TO DRAIN PROPERLY AFTER CONSTRUCTION HAS BEEN COMPLETED.
 - ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH THE CITY OF AUSTIN STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - CONTRACTOR TO CALL TEXAS 811 AT 1-800-669-8344 PRIOR TO CONSTRUCTION FOR UTILITY LOCATES.

!!CAUTION!!
 Contractor to Verify
 Exact Location &
 Depth of Exist
 Facilities Prior to any
 Construction Activities

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

- NOTES**
- SEE GENERAL DETAILS FOR FILL COMPACTION REQUIREMENTS OUTSIDE THE RIGHT-OF-WAY; AREAS TO BE COMPACTED TO 90% PROCTOR MAX. DRY DENSITY.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

NO.	DATE	DESCRIPTION	BY

PROJ. #:	DATE:	DGN. BY:	DWN. BY:	CHKD. BY:	P.C.
00-CHARRO	07/31/20				

FIRM REGISTRATION # F40004

GALLEGOS ENGINEERING, INC.

SAN ANTONIO, TEXAS www.gallegoseng.com PH: 210.641.0812

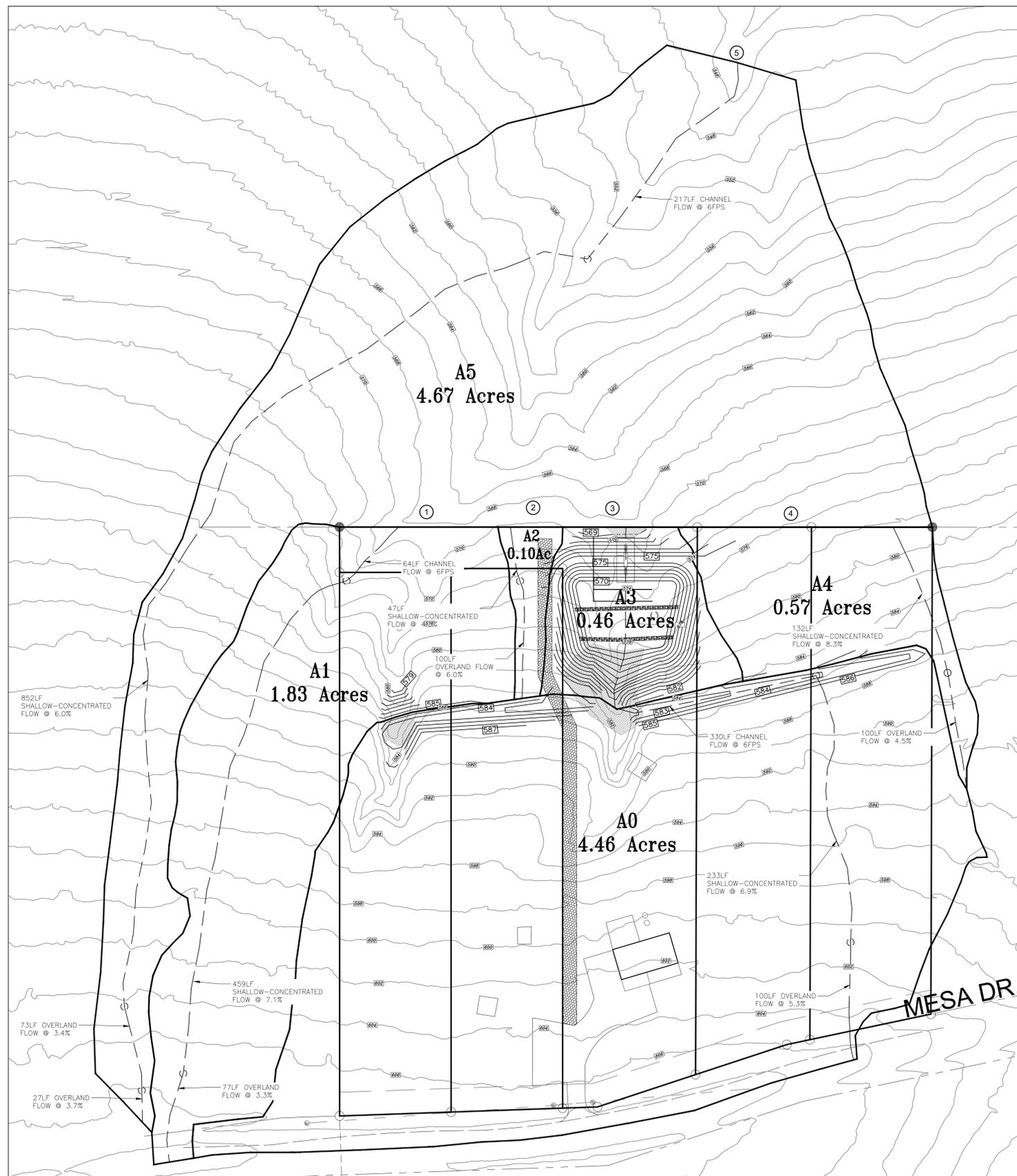
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STATE OF TEXAS
 ENGINEERING
 RICHARD M. GALLEGOS
 88916
 PROFESSIONAL

CHARRO ESTATES SUBDIVISION
GRADING PLAN
 694 MESA DR., DEL VALLEY, TX 78617

SHEET **07**
 OF **11**

FULLY-DEVELOPED DRAINAGE AREA MAP & CALCULATIONS



LEGEND

- 1020 PROPOSED CONTOUR ELEVATIONS
- 1018 — EXISTING CONTOURS
- TIME-OF-CONCENTRATION FLOWPATHS
- A1** SUB-BASIN LABEL AND AREA
3.22 Acres
- ① HYDROLOGIC COMPUTATION NODES

SUB-BASIN	IMPERVIOUS COVER AREA (AC.)	UN-DEVELOPED AREA (AC.)	% IMPERVIOUS COVER	TOTAL AREA (AC)
A1	0.15	1.68	8.20%	1.83
A2	0	0.1	0.00%	0.1
A3	0.75	4.17	15.24%	4.92
A4	0	0.57	0.00%	0.57
16	0.02	4.65	0.43%	4.67

PEAK DISCHARGES (CFS) - POST CONDITIONS (WITH DETENTION)

NODE	2-YR	10-YR	25-YR	100-YR
1	3.7	8.3	11	15.6
2	0.2	0.5	0.7	1
3	5.8	14.1	19	29.6
4	1.1	2.5	3.3	4.7
1+2+3	9.7	22.9	30.7	46.2
1+2+3+4	10.8	25.4	34	50.9
5	17.8	42.4	56.9	83.1

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROD. # : 01/31/20
 DOK. BY : S.G.
 DATE : 01/31/20
 DWN. BY : S.G.
 CHKD. BY : P.G.
 00-CHARRO

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SAN ANTONIO, TEXAS www.gallegoseng.com PH: 210.641.0812

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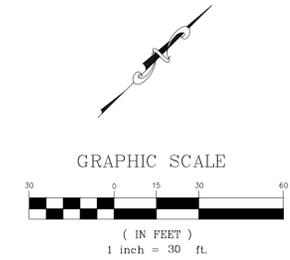
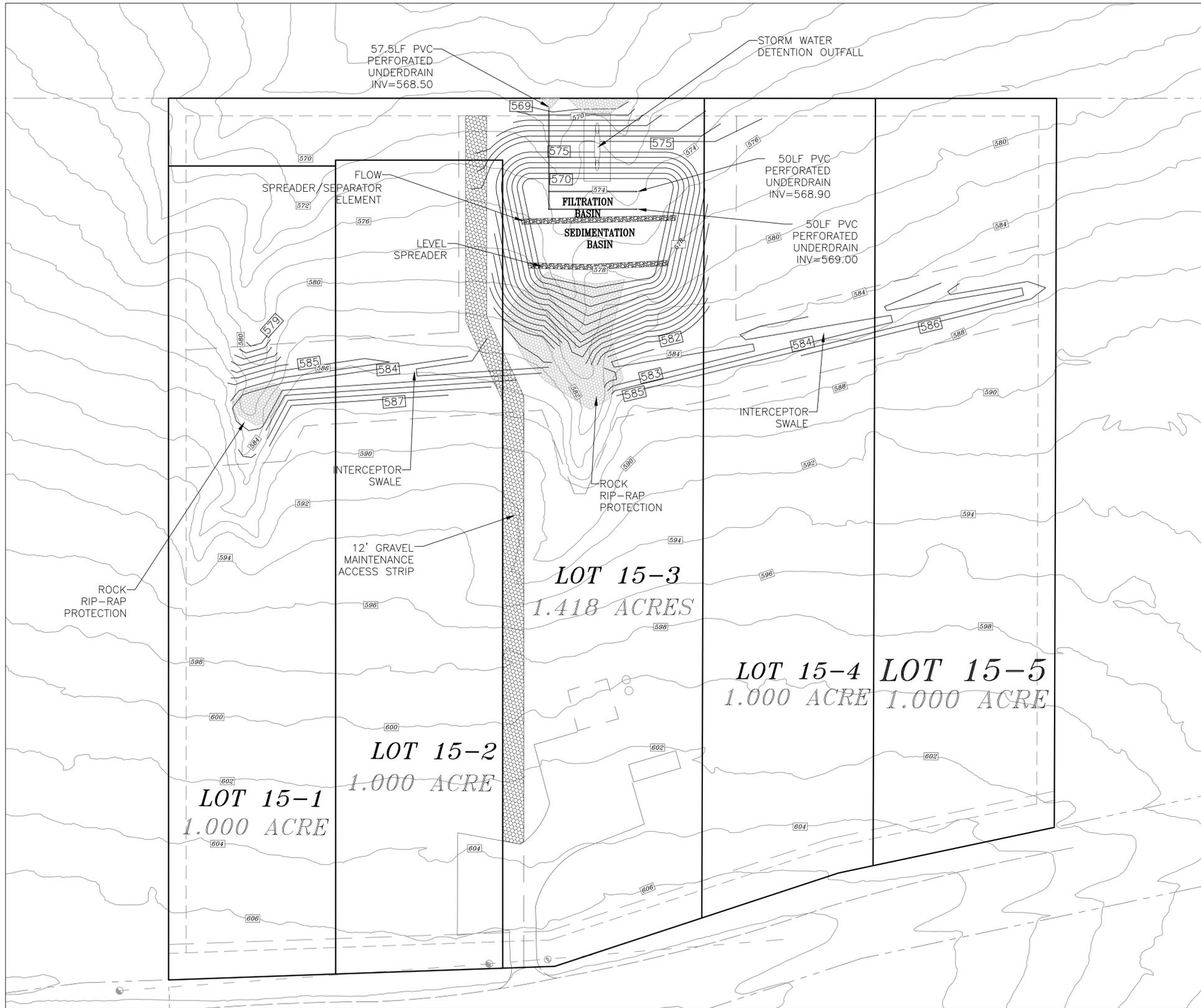
CHARRO ESTATES SUBDIVISION

FULLY-DEVELOPED DRAINAGE AREA MAP AND CALCULATIONS

694 MESA DR., DEL VALLEY, TX 78617

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WATER QUALITY CONTROL PLAN



!!CAUTION!!
Contractor to Verify
Exact Location &
Depth of Exist
Facilities Prior to any
Construction Activities

LEGEND	
1020	PROPOSED CONTOUR ELEVATIONS
-1018	EXISTING CONTOURS

CAUTION!!!
CONTACT:
1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTES

- 1) PROPOSED BASIN WILL "STACK" REQUIRED STORMWATER DETENTION VOLUME ABOVE THE REQUIRED WATER QUALITY TREATMENT VOLUME.
- 2) EMBANKMENT SLOPES FOR ALL CUT/FILL AREAS TO BE 3 FT HORIZONTAL TO 1 FT VERTICAL.
- 3) ALL EMBANKMENT AREAS TO BE COMPACTED VIA 8" LIFTS TO 90% MAXIMUM DRY PROCTOR DENSITY.
- 4) SEE SHEET 10 FOR STORM WATER DETENTION OUTFALL, LEVEL SPREADER, ROCK RIP-RAP PROTECTION, INTERCEPTOR SWALE, AND PVC UNDERDRAIN DETAILS.
- 5) SEE SHEET 11 FOR POND GRAVEL MAINTENANCE ROAD DETAILS.

APPENDIX B-3
PARTIAL SEDIMENTATION/FILTRATION POND CALCULATIONS
FOR DEVELOPMENT PERMITS
CHARRO ESTATES, CB-2013-86931.0A

	Required	Provided
DRAINAGE AREA DATA:		
Drainage Area to Control (DA)	4.46 ac	
Drainage Area from Inlet to Control (DA _{IC})	0.000 ac	
Catchment Depth (CD)	0.000 ft	
WATER QUALITY CONTROL CALCULATIONS:		
The Water Quality Control is to be PARTIAL SEDIMENTATION/FILTRATION		
25 year Peak Flow Rate to Control (Q ₂₅)	25.70 cfs	25.70 cfs
100 year Peak Flow Rate to Control (Q ₁₀₀)	41.32 cfs	41.32 cfs
Water Quality Volume (WQV)=Q ₂₅ *DA*30/24	8885 cu ft	8885 cu ft
Maximum Ponding Depth above Sand Bed (D)	3.77 ft	3.77 ft
Sedimentation Pond Area (SA)	2368 sq ft	2368 sq ft
Sedimentation Pond Volume (SA*WQV/2)	9320 cu ft	9320 cu ft
Filtration Pond Area (SA)=WQV/4	2221 sq ft	2221 sq ft
Filtration Pond Volume	884 cu ft	884 cu ft
Water Quality Elevation:		
Elevation of Outlet/Overflow Water	571.60 ft	571.60 ft
Elevation of Sand Bed	571.60 ft	571.60 ft
Height of Gravel Wall	571.50 ft	571.50 ft
Gravel Wall under 4 ft (ft)	4 ft	4 ft
Length of Gravel Wall	0 ft	0 ft
Required Head to Peak Flow	0 ft	0 ft
Pond Footcandle Footcandle to Peak Flow	0 ft	0 ft
48 Hour Drawdown Time (Dr) (See Appendix B-3)	3.25 hrs	3.25 hrs
Drawdown Time (Dr) (See Appendix B-3)	48 hrs	48 hrs

(See Next Sheet for Storage Calculations)

Drawdown point	Stage (ft)	Area (sq ft)	Storage (cu ft)	Elevation (ft)	Combined Pond Volume (cu ft)
	571.00	2,488.00	0	571.00	0
	571.25	3,521.00	3,710	571.25	3,710
	571.50	4,441.00	5,910	571.50	9,620

*In one foot or less increments

NO.	DATE	DESCRIPTION	BY

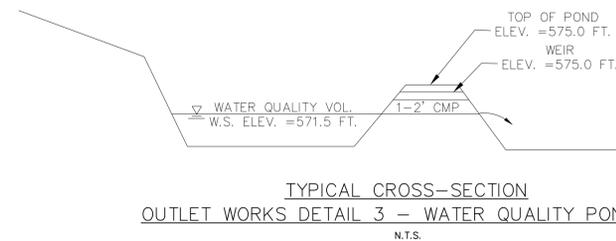
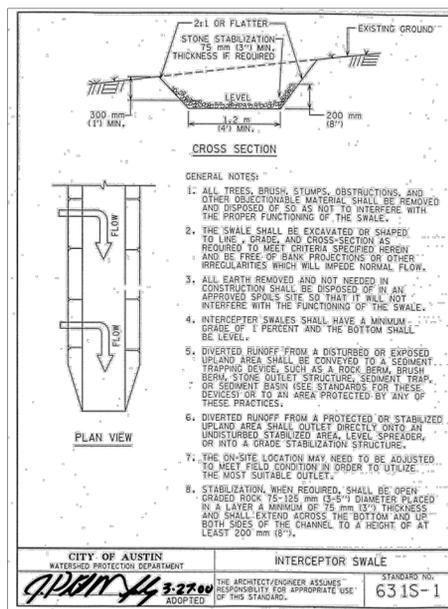
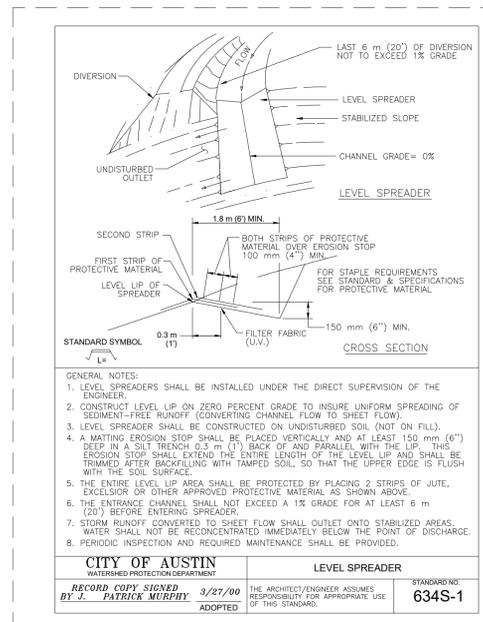
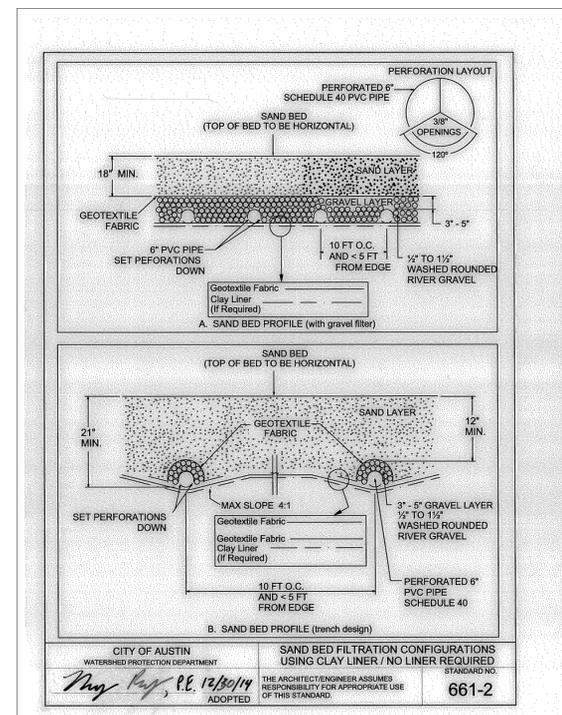
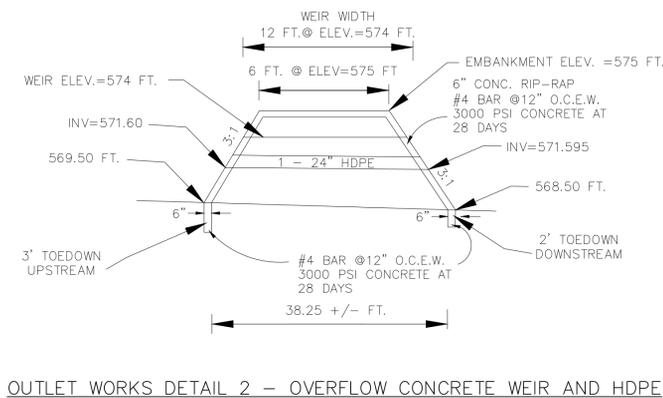
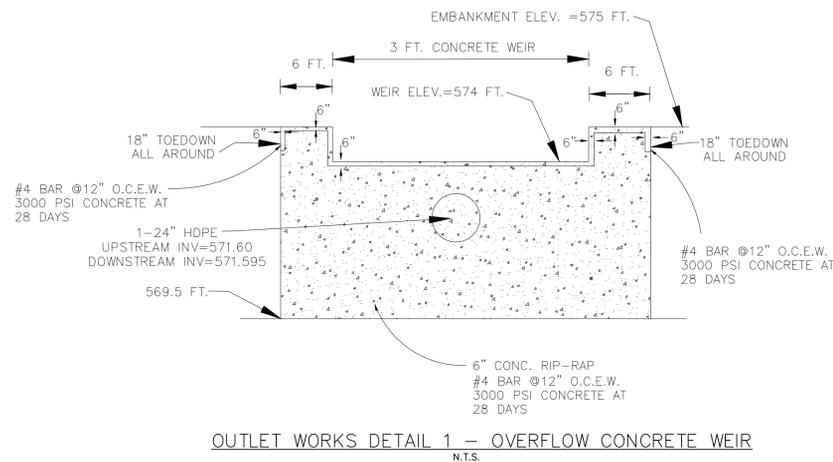
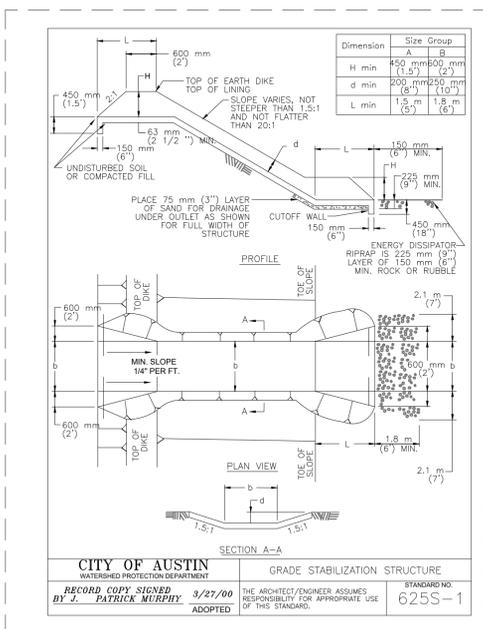
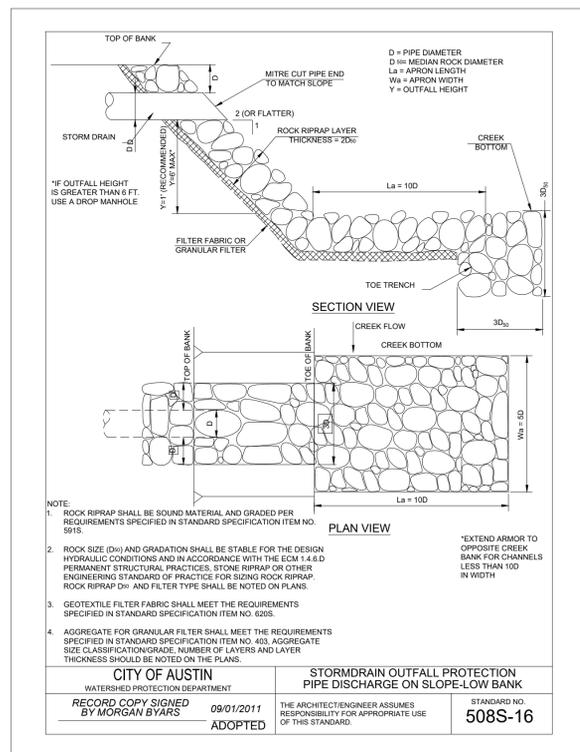
FIRM REGISTRATION # F40004
GALLEGOS ENGINEERING, INC.

 SAN ANTONIO, TEXAS www.gallegoseng.com PH: 210.641.0812
 PROD. # 01/31/20
 DOK. BY: S.C.
 DWN. BY: S.C.
 CHKD. BY: S.C.
 P.C.

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CHARRO ESTATES SUBDIVISION
WATER QUALITY CONTROL PLAN
 694 MESA DR., DEL VALLEY, TX 78617

WATER QUALITY CONTROL PLAN DETAILS



TRENCH EXCAVATION SAFETY PROTECTION

Contractor and/or Contractor's independently retained employee or structural design/geotechnical/safety/equipment consultant, if any, shall review these plans and available geotechnical information and the anticipated installation site(s) within the project work area in order to implement contractor's trench excavation safety protection systems, programs and/or procedures for the project described in the contract documents. The Contractor's implementation of these systems, programs and/or procedures shall provide for adequate trench excavation safety protection that comply with as a minimum, OSHA standards for trench excavations. Specifically, Contractor and/or Contractor's independently retained employee or safety consultant shall implement a trench safety program in accordance with OSHA standards governing the presence and activities of individuals working in and around trench excavation.

NOTE:
 CONTRACTOR TO COMPACT DETENTION BASIN EMBANKMENT FILL TO 90% STANDARD PROCTOR DENSITY.

NO.	DATE	DESCRIPTION	BY

FIRM REGISTRATION # F40804
GALLEGOS ENGINEERING, INC.

 SAN ANTONIO, TEXAS www.gallegoseng.com PH: 210.641.0812
 PROD. # 017/31/20
 DOK. BY: S.G.
 DWG. BY: S.G.
 CHKD. BY: S.G.
 P.G.

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CHARRO ESTATES SUBDIVISION
WATER QUALITY CONTROL PLAN DETAILS
 694 MESA DR., DEL VALLEY, TX 78617

GENERAL NOTES AND DETAILS

GENERAL CONSTRUCTION NOTES:

- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- CONTRACTOR SHALL CALL THE ONE CALL CENTER (472-2822) FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN THE CITY EASEMENTS OR STREET R.O.W.
- CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION OF THE CITY'S ONE STOP SHOP (OSS) AT 974-6360 OR 974-7034 AT LEAST 24 HOURS PRIOR TO THE INSTALLATION OF ANY DRAINAGE FACILITY WITHIN A DRAINAGE EASEMENT OR STREET R.O.W. THE METHOD OF PLACEMENT AND COMPACTION OF BACKFILL IN THE CITY'S R.O.W. MUST BE APPROVED PRIOR TO THE START OF BACKFILL OPERATIONS.
- FOR SLOPES OR TRENCHES GREATER THAN FIVE FEET IN DEPTH, A NOTE MUST BE ADDED STATING: "ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION." (OSHA STANDARDS MAY BE PURCHASED FROM OSHA, 611 EAST 6TH STREET, AUSTIN, TEXAS.)
- ALL SITE WORK MUST ALSO COMPLY WITH ENVIRONMENTAL REQUIREMENTS.
- UPON COMPLETION OF THE PROPOSED SITE IMPROVEMENTS AND PRIOR TO THE FOLLOWING, THE ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DRAINAGE, FILTRATION, AND DETENTION FACILITIES WERE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS:
 *RELEASE OF THE CERTIFICATE OF OCCUPANCY BY THE PLANNING AND DEVELOPMENT REVIEW DEPARTMENT (INSIDE THE CITY LIMITS); OR
 *INSTALLATION OF AN ELECTRIC OR WATER METER (IN THE FIVE-MILE ETJ).

DEVELOPER INFORMATION:

OWNER: THOUSAND OAKS VENTURES, LLC PHONE: (512) 912-4232
 2206 TOWER DR
 AUSTIN, TX 78703

OWNER'S REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS:

JAMES E. GARON & ASSOCIATES, INC PHONE: (512) 303-4185

PERSON OR FIRM RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL MAINTENANCE:

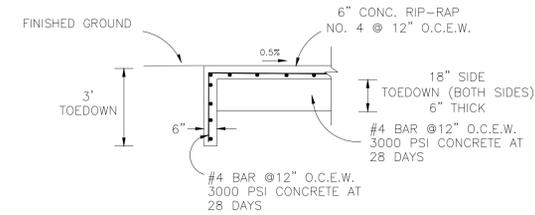
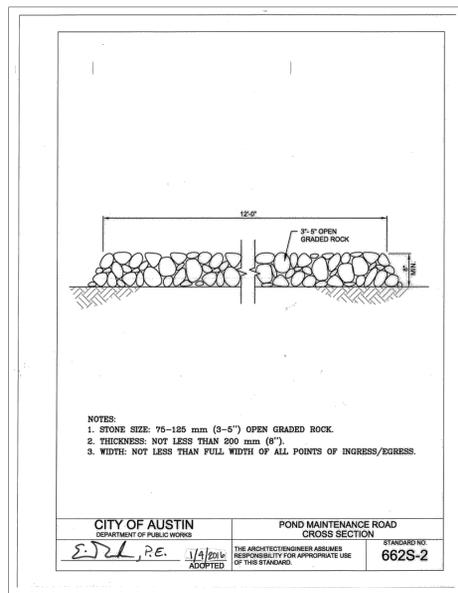
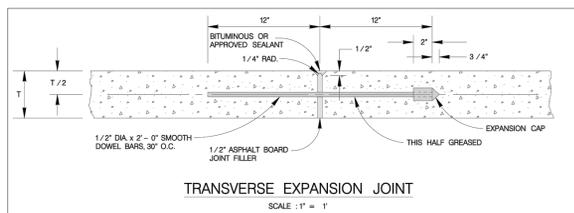
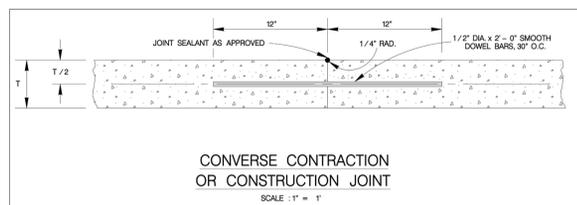
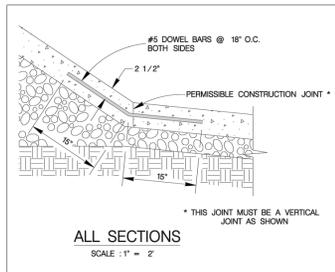
THOUSAND OAKS VENTURES, LLC PHONE: (512) 912-4232

PERSON OR FIRM RESPONSIBLE FOR TREE/NATURAL AREA PROTECTION MAINTENANCE:

THOUSAND OAKS VENTURES, LLC PHONE: (512) 912-4232

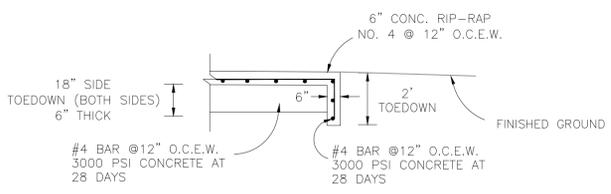
BASTROP COUNTY CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BASTROP COUNTY SUBDIVISION REGULATIONS.
- ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DEMOLITION THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED AT THE APPLICANT'S EXPENSE.
- THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER WHO SHALL BE RESPONSIBLE FOR REVISING THE PLANS ARE APPROPRIATE.
- ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE RE-VEGETATED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. RE-VEGETATION IS TO TAKE PLACE WITHIN 14 DAYS OF CONSTRUCTION INACTIVITY. RE-VEGETATION OF ALL DISTURBED OR EXPOSED AREAS SHALL CONSIST OF SODDING OR SEEDING, AT THE CONTRACTOR'S OPTION. HOWEVER, THE TYPE OF RE-VEGETATION MUST EQUAL OR EXCEED THE TYPE OF VEGETATION PRESENT BEFORE CONSTRUCTION
- WHEN CONSTRUCTION IS BEING CARRIED OUT WITHIN EASEMENTS, THE CONTRACTOR SHALL CONFINE HIS WORK TO WITHIN THE PERMANENT AND ANY TEMPORARY EASEMENTS. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TRASH AND DEBRIS WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. CLEAN-UP SHALL BE TO THE SATISFACTION OF THE DIRECTOR.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR AND SECURE ALL PROPER PERMITS FROM THE APPROPRIATE AUTHORITIES.
- AVAILABLE BENCHMARKS THAT MAY BE UTILIZED FOR THE CONSTRUCTION OF THIS PROJECT ARE DESCRIBED AS FOLLOWS:



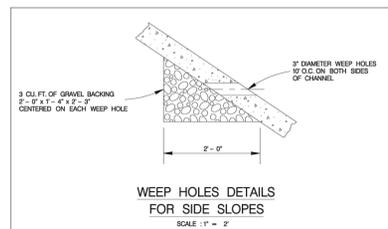
UPSTREAM RIP-RAP & TOE DOWN DETAILS

N.T.S.



DOWNSTREAM RIP-RAP & TOE DOWN DETAILS

N.T.S.

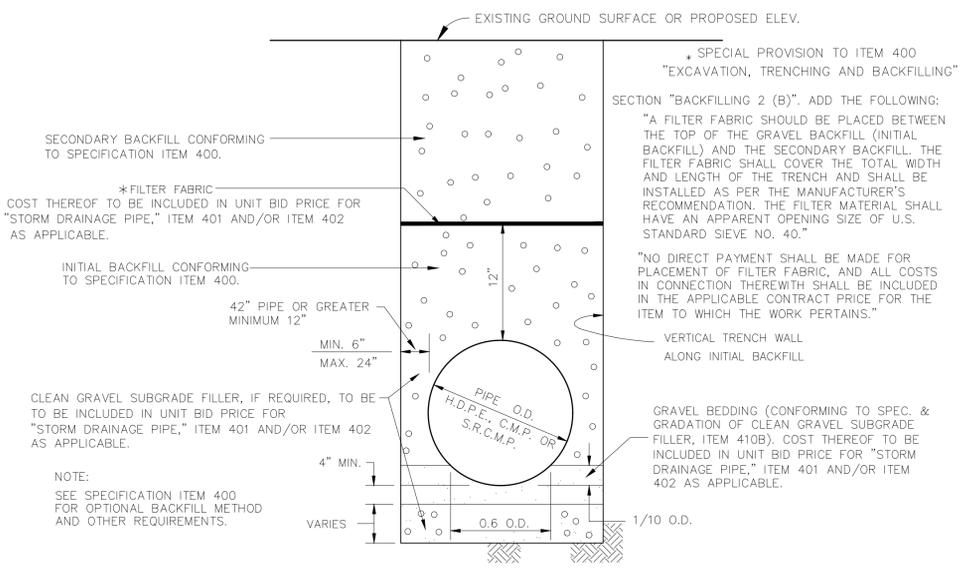


WEEP HOLES DETAILS FOR SIDE SLOPES

TABLE OF REINFORCEMENT		
THICKNESS OF RIP-RAP	STEEL REINFORCING BARS	OR WELDED WIRE FABRIC
6"	#4 @ 18" O.C.E.W.	6' x 6' - W / D6 x W / D6

GRADE 40 STEEL ; NO REDUCTION IN STEEL WILL BE ALLOWED FOR HIGHER STRENGTH STEEL

- GENERAL NOTES**
- CONCRETE FOR CHANNEL RIP-RAP SHALL BE CLASS 'A' 3000 P.S.I.
 - ALL DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTER OF BARS UNLESS OTHERWISE SHOWN.
 - ALL REINFORCEMENT STEEL SHALL MEET ASTM DESIGNATIONS AS CALLED FOR IN THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - NEW RIP-RAP SHOULD BE ATTACHED TO EXISTING RIP-RAP BY NO. 4 BARS DOWELED INTO EXISTING RIP-RAP. THESE BARS ARE TO BE SPACED 18" O.C. AND HAVE A LENGTH OF 18".



PIPE BEDDING & BACKFILL DETAILS

NOT TO SCALE

NO.	DATE	DESCRIPTION	BY

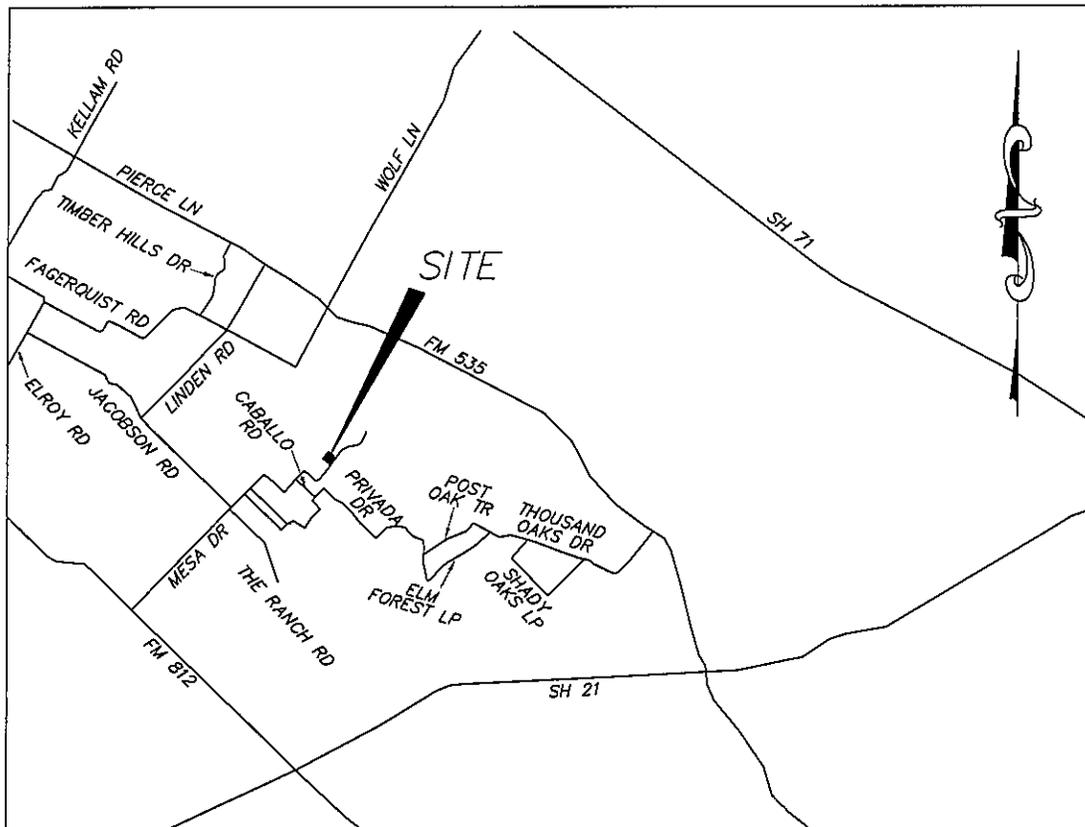
FIRM REGISTRATION # F40004
CALLEGOS ENGINEERING, INC.

 SAN ANTONIO, TEXAS www.gillegoseng.com PH: 210.641.0812
 DP-CHAR01 01/31/20

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CHARRO ESTATES SUBDIVISION
GENERAL NOTES & DETAILS
 694 MESA DR., DEL VALLEY, TX 78617

SHEET	11
OF	11



LOCATION MAP
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