

PHASE IA PRELIMINARY HISTORIC STRUCTURES REPORT  
FOR THE OLLIE AND CALIE NORWOOD HOUSE

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PRELIMINARY HISTORIC STRUCTURE REPORT  
for the NORWOOD ESTATE

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for the NORWOOD ESTATE

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## **EXTERIOR OF BUILDING (ARCHITECTURAL DESCRIPTION OF NORWOOD HOUSE)**

- Brief assessment of the exterior features of the house, dependencies and the site
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## **INTERIOR OF BUILDING (ARCHITECTURAL DESCRIPTION OF THE INTERIOR OF NORWOOD HOUSE)**

- Brief assessment of the interior features and identification of those features that are character-defining and therefore must be preserved in the course of the move:
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- *Outline the needs or requirements for future and ongoing maintenance, stabilization, preservation, protection, and other needs of the Norwood House*

**Bibliography (to date; a complete bibliography will follow Phase IA):**

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- Geotechnical report from 1986 improvements to Riverside Drive; courtesy Martinez and Wright Engineers, Inc.



## INTRODUCTION

by Martha Doty Freeman and Ruth Parshall

The Ollie Osborne and Calie Gove Norwood Estate was comprised of a main residence and a number of site features that included a swimming pool, greenhouse, tea room, tennis courts, garage, formal gardens, vegetable gardens, and two frame bungalows that were occupied by the Norwoods' parents. The estate encompassed approximately 4.5 acres that were situated on a prominent bluff on the south side of the Colorado River near the present-day intersection of IH-35 and Riverside Drive in Austin, Travis County, Texas.

The purpose of the (Phase IA) report is to compile findings on existing conditions and historical documentation of the Norwood estate to establish a base line of information prior to the relocation of the house to its original site 200 feet to the east of its current location. As the project progresses, this report will evolve into an historic structure report on the Norwood estate.

The Women's Chamber of Commerce of Texas' long-term development objectives and adaptive-use plans for the Norwood estate are to:

- return the house and grounds to what was there at the end of the Norwood occupancy;
- establish a sculpture garden on the grounds honoring Texas women; approximately 20 sculptures are anticipated;
- establish a research center for women's economic issues in the Norwood house; and
- establish a visitors' center in the Norwood house for the distribution of tourist information and pamphlets about Austin.

Phase IA preservation objectives for the Norwood estate are:

**Relocation.** Since the Norwood house is not currently eligible to be listed on the National Register because it is no longer at its original site, the most important preservation objective is to relocate the house to its original site on the knoll of the hill. The exact location is clearly indicated by the remaining physical evidence of the foundation of both the house and the front porch. Excavation may reveal that the basement is still intact, but filled in with dirt.

**Preservation.** The move to the original site must preserve the house and detail, and site features in the travel path so as to not diminish its integrity any more than occurred during and following the first move, in 1984.

**Reconstruction.** Because of irregularities following the 1984 move, when exterior features and the brick were reassembled with errors, an effort will be made to correct these deficiencies. These irregularities include exterior changes to the front porch and tapered columns, and the chimney; these irregularities will be corrected through reconstruction techniques based on information gained from careful examination of an extensive collection of historic photographs available.

**To be Determined.** Because original brick was removed in the course of the move, and not salvaged in 1984 for re-use on the house, and because the current

brick on the house is an unacceptable modern brick substitute, every effort will be extended to locate the original brick. Some brick remains in rubble under the greenhouse slab; this could be salvaged and the mortar cleaned off. Mr. Sam Zweiger indicated he would be willing to return 200 to 400 original brick he still has from his 1984 purchase of bricks from the on-site salvage sale. He originally bought 2,000 bricks and sold them for use in sidewalks and patios. Because the original brick was locally made it is occasionally found for sale in local salvage yards. Salvage yards will be monitored, we will get Mr. Zweiger to return the brick, and we will salvage brick from the rubble under the greenhouse foundation. Upon locating the original brick, we will again discuss with the Texas Historical Commission the best approach the brick issue.

Future preservation objectives for the Norwood grounds and site improvements are:

- reconstruction of the "tea room" and loggia
- reconstruction of the formal gardens and historic landscape materials; preservation of existing garden paths
- preservation of the bath houses and swimming pool
- acquisition of the original greenhouse, and returning it to the site at its original location; reconstruction of the basement below the greenhouse; preservation of the greenhouse structure

Public interest in the Norwood Estate peaked initially in 1982 when an investor, James Walker, made plans to purchase the property and build condominiums on it. Walker hired Austin historian Martha Doty Freeman to compile a brief history of the property and to assess whether or not the improvements might be eligible for landmark designation by the City of Austin. Freeman advised Walker in March 1982 that the Norwood House appeared to fulfill three of the thirteen landmark criteria because it embodied the distinguishing characteristics of the architectural type designated as bungalow (Criterion C), it was believed to have been designed by a locally prominent architect (Hugo F. Kuehne) and constructed by a prolific Austin contractor (Frank Barron (Criterion D), and it was associated with a well-known Austin businessman and real estate developer, O. O. Norwood (Criterion K).

The owner of the property moved the Norwood House to a nearby site, salvaged it, and demolished most of the landscape features between 1982 and 1984. However, interest persisted in the residence through the 1980s, with brief studies being completed by the staff of the Historic Landmark Commission in 1982 and by Austin historian Julie Strong in about 1990, when the Womens' Chamber of Commerce of Texas first formulated plans to move the building back to its original site. During 1995, additional studies of the property have been conducted by University of Texas architecture student, Sherry Vayre for an historic preservation course and by Martha Doty Freeman for the Women's Chamber which plans to move the Norwood house to its original location and restore/reconstruct both the house and grounds.

## HISTORY OF THE NORWOOD ESTATE

by Martha Doty Freeman

The Ollie Osborne and Calie Gove Norwood estate was comprised of an impressive assemblage of residences, outbuildings, and site features that were constructed over a period of approximately seven years. The estate was located on a prominent bluff on the south bank of the Colorado River and overlooked downtown Austin where O. O Norwood constructed two landmark structures--the Motoramp Garage and Norwood Office Building on West 7th Street. The estate that was the location of a home in 1922 appears to have grown dramatically during the mid-to-late 1920s as Norwood's business ventures in Austin and the Lower Rio Grande Valley prospered. Its evolution from a property with a single residence in 1921-1922 to an estate with a formal landscape and numerous site features in 1925-1926 reflected Norwood's success at dealing in municipal, school, flood control district, and other bonds.

O. O. Norwood was born on August 16, 1887, in Macure, San Augustine County, Texas, to Dr. Edwin Osborne<sup>1</sup> and Melisa (Skinner) Norwood (Texas. Department of Health. Bureau of Vital Statistics 1961). As a young man, Ollie Norwood worked at or owned a drug store in Macure. Sometime after 1905, he moved to Houston where he was involved in a mercantile business that took him to the coastal prairie region, including Wharton County, where he met Calie Regina Gove, a schoolteacher at Nottawa on the Lizzie Prairie (Porter various dates; 1995).

Calie Gove was a descendant of German natives Georg Simon and Catharine Elizabetha Reuss who immigrated to Texas from Bremen on August 15, 1845, and landed at Indian Point (Indianola) on May 9, 1846. Calie, a granddaughter of Simon and Catherine, was born on December 21, 1894, in Matagorda to William Burkhart Gove, a fisherman, and Laura Louisa Jordan Gove, who had grown up in the German community at Long Mott, Calhoun County. Calie attended public school in Matagorda and then studied at normal institutes in San Marcos and Palacios after which she received a teacher's certificate and taught in a one-room schoolhouse in Wharton County (Gadus et al. 1993; Porter various dates).

In about 1917 or early 1918, Ollie Norwood was drafted and inducted into the Army in San Antonio. On June 18, 1918, he married Calie Gove in San Antonio and then was shipped out with the American Expeditionary Force to

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<sup>1</sup> Dr. Norwood was born in San Augustine on May 2, 1848, and was educated in San Augustine and at Tulane University in New Orleans. He married Melisa Skinner and had four children: Beatrice, Dora, Ollie, and A. B. Norwood (Porter various dates; 1995).

France. Calie returned to her family home in Matagorda until Ollie's return after the war; the couple then moved to Austin where they lived south of the river at 1307 Newning Avenue (Porter 1995).

Norwood's employer was J. Louis Arlitt who owned a leading bond house with his two brothers, C. W. and Norman Arlitt.<sup>2</sup> He opened the house in 1914 and after the War was positioned to capitalize on the booming bond business. He purchased municipal grade bonds throughout the South which he sold wholesale to banks and other dealers. By the 1920s, he had at least half a dozen clerical employees (Davis and Grobe [1926]:Volume 2:790), one of whom was O. O. Norwood.

By 1921-1922, Ollie Norwood had become J. L. Arlitt's purchasing department manager (R. L. Polk & Co. 1922), and he and Calie had begun to look for property in South Austin where they could build a new home. On September 6, 1921, they purchased the core of their future estate--lots 1-5, Block 50, Travis Heights Subdivision--from the Citizens Loan and Investment Company, William H. Stacy, vice-president, for \$2,500.00 (Travis County, Deed Record 331:280).

Sometime between September 1921 and October 1922, the Norwoods hired Brydson Lumber & Construction Company to build a home on their South Austin property; they obtained a building permit for a \$7,860.00 structure on June 1, 1922 (Porter various dates).<sup>3</sup> Brydson, a lumber and construction company headed by J. Y., B., and R. W. Brydson, and by W. F. Warren in 1922, was located at 1612-1620 Guadalupe Street in Austin. The company had started business in Austin in 1888 when John J. and Robert W. Brydson opened a contracting and building firm under the name Brydson Brothers. They were joined later by their brother Burt and by a nephew, William F. Warren. Shortly after finishing the Norwood House, Burt Brydson sold his interest in the firm; John J. died in 1933, the year the firm incorporated as Brydson Lumber Company. The company routinely carried a complete stock of building materials such as lumber, roofing, builders' hardware, paints, and wallpapers. They also produced fine cabinet work for the many residences they constructed in Austin during the first half of the twentieth century (Skaggs [1952]:94).

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<sup>2</sup> Arlitt also was Norwood's brother-in-law, being married to Beatrice Norwood; the Arlitts divorced in 1925 (Norwood 1981).

<sup>3</sup> A photograph owned by Mrs. Brooks Porter, Jr., made in about 1922 when the Norwood House was the primary improvement on lots 1-5 and before the grounds were landscaped, depicted the house and a sign for "Brydson General Contractors" attached to one of the exterior columns.

As originally constructed, the Norwood House was a one-story brick bungalow with a partial basement and was characterized by wide eaves and a gabled roof covered with flat tiles. Special features included six exterior battered brick and cobble columns capped by squares of concrete or cast stone. Four of the six columns supported four wooden posts detailed to match the angle of the column. At the front entrance of the house, a pair of double wooden beams terminating in a radius sat atop the wooden posts and, in turn, supported double wooden secondary beams that spanned the area from the lower beams to the wall plate.

The front porch faced southeast and consisted of a concrete slab with a brick facing. Entrance through a multi-pane wooden front door led to a living room, dining and sun room, and kitchen. Other rooms included a small breakfast room adjacent to the kitchen, and a service porch that led to a back door. A large bedroom was located adjacent to the breakfast room and to a screened sleeping porch. A hallway provided access from the bedroom to a large tiled bathroom before terminating in a second bedroom at the front of the house. Access to the basement was through a door in the hall and through a subterranean area that had been excavated adjacent to the exterior basement wall. Early heating was accomplished using coal; the Norwoods frequently used the sleeping porch during the warmer months when they could enjoy the breezes (Porter 1995).

Interior finishes included heavily textured plaster walls and ceilings, a linoleum floor in the kitchen, and dark hardwood floors that were partially covered with throw rugs. A picture molding was located in the dining and living rooms, the latter of which also featured an ornate cove molding. The living room was separated from the dining room by fabric-covered French doors. There were numerous built-in features including closets, a work counter with glass cabinets above on the wall between the kitchen and dining room, and mantle-high cabinets on either side of the brick and tile fireplace in the living room. Invoices for furnishings demonstrate that the Norwoods purchased items such as rugs, a vanity, bed, chifforobe, rocker, breakfast set, shades, parlor suite, and linoleum from the Swann-Schulle Furniture Company at 401-403 Congress Avenue in Austin (Porter various dates; 1995).

Adjacent to the house, and apparently built about the same time, was a brick two-car garage that included a maid's quarters with bath. Like the house, the garage had a tile roof and was compatible with the residence in style and detailing.

On October 10, 1922, the Norwoods expanded their holdings, purchasing part of the area designated as Travis Park by the Citizens Loan and Investment Company and lying between Block 50 where their house was located and the lower bank of the bench adjacent to the River. At the same time, the Norwoods obtained exclusive right to land necessary to maintain a boat landing and boat and bath house (Travis County Deed Record 340:227). This purchase was

followed on May 9, 1923, by the acquisition of lots 7-9 and the east half of lot 10, Block 51; and lot 1 in Block 49 (Travis County Deed Record 349:490).

Norwood's purchase of additional property roughly coincided with his tenure as purchasing manager for J. L. Arlitt. Then, in about 1924 or 1925, he opened his own office and began to deal in bonds in the Lower Rio Grande Valley, a booming market. An early deal that was notable for the enormous commission Norwood took involved Hidalgo County flood control bonds that were issued in June 1924. In a lawsuit filed two years later (Travis County, District Court Cause No. 42537), Norwood and the Edinburg State Bank and Trust Company were accused of having appropriated \$477,900 out of a \$1,620,000 bond total; Norwood personally was paid \$218,700.

Norwood's successes in marketing bonds were paralleled by his growing interest in real estate and building. He continued to add to his estate in South Austin, purchasing lot 2, Block 49 on November 16, 1925; and lots 3-12 and 14-15 in Block 49 on April 5, 1926 (Travis County Deed Record 383:208; 386:637). He looked downtown as well, buying lots in 1925 that became the location of the Motoramp Garage, Motoramp Annex, Austin Club, and Norwood Building by 1927-1929. His increasingly high profile in Austin also brought him into contact with contractors and architects. For example, Norwood turned to the firm of Giesecke and Harris to design and Frank Barron to build his impressive downtown projects; he turned to Austin architect Hugh Kuehne to design and contractor Frank Barron to build the major additions to his estate that he envisioned by 1925 and completed in 1929.<sup>4</sup>

Frank Barron, with whom Norwood maintained a close business and personal relationship for many years (Porter 1995), was a native of Austin who was born on May 16, 1888, to N. B. and Hortense (O'Banion) Barron. Barron began his career as a brick mason and worked for a local lumber company before starting his own business. He began building houses and then expanded his firm by acting as contractor for commercial structures (Barron 1982). Norwood hired him in 1925 or 1926 to build the Motoramp and Austin Club, jobs that were followed in 1928 by construction of the Norwood Building. Between the late

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<sup>4</sup> It is not clear from records examined in 1995 how early Kuehne provided architectural services to Norwood. Kuehne's name first surfaced on October 27, 1922, when he certified to Norwood that Brydson Lumber Company was entitled to a third payment on their contract, which amounted to \$15,683.00 instead of the \$7,860.00 indicated on the building permit. His name also appeared on 1923 invoices for exterior lighting and architectural ornaments such as the Portland cement vases ordered from the Architectural Decorating Company of Chicago, Illinois (Porter various dates). But no documents have been located that indicate that Kuehne was responsible for the design of the house itself.

1920s and 1952, when he died (Texas. Department of Health. Bureau of Vital Statistics 1952), Barron worked on apartment construction, additions to City Hall on Eighth Street, the telephone building on Ninth Street, and the First Baptist Church on Tenth Street (Barron 1982).

Hugo Franz Kuehne, architect for work completed at the Norwood Estate in 1925-1926, was born in Austin on February 20, 1884, to Franz Conrad and Clara (Langer) Kuehne (Marquis 1952:426). In 1906, he graduated from The University of Texas with a degree in Civil Engineering; two years later he received a bachelor's degree in architecture from the Massachusetts Institute of Technology. He worked briefly as an architect in Austin before being hired by Dean T. U. Taylor to organize the School of Architecture in the College of Engineering at The University (Austin American, November 27, 1963; November 28, 1963; Marquis 1952:426).

In about 1914, Kuehne returned to private practice, and for almost 50 years he was a member of a number of distinguished architectural firms in Austin including Kuehne, Chasey & Giesecke; Kuehne & Chasey; Giesecke, Kuehne and Brooks; Kuehne, Brooks and Barr; Kuehne, Kuehne and Milburn; and Kuehne and Kuehne (Austin American, November 27, 1963; Marquis 1952:426). Shortly after World War I, he designed a number of buildings in the Lower Rio Grande Valley, including several in Hidalgo County. Buildings for which he was responsible in Austin included the Barker House, Austin Public Library, Commodore Perry Hotel, International Life Building, Department of Public Safety; several State Hospital buildings, and the Austin National Bank.

Historic photographs and other documents indicate that Kuehne designed and Barron constructed the site features and formal landscapes at the Norwood Estate that made it an Austin showplace by 1926. Site improvements completed during this period included shingled bathhouses and a large swimming pool that was supplied by city water initially. After 1929 it was supplied by warm mineral water after Norwood had a well drilled that hit a deposit in the Edwards Formation at approximately 500 feet (Sellards 1940:58, 62). A second addition was a greenhouse that was built on a slope so that the greenhouse itself was on the upper level adjacent to the formal gardens, while downslope was an entrance to a room beneath the greenhouse where the gardener could stay overnight if necessary.

Adjacent to the greenhouse and overlooking the Colorado River was a series of low brick walls that terminated in what Calie Norwood called the "tea room," an open, square-plan building whose pyramidal tiled roof was supported by four square brick columns. A wooden pergola extended from the front of the tearoom and terminated in two additional square brick columns. In later years, Ollie Norwood screened in the tea room and took daytime naps there because it was cooler than the house (Porter 1995).

A fourth improvement consisted of tennis courts that had been built in 1925 and were located between the house and Riverside Drive (The Austin Statesman, August 3, 1926:10). Finally, two one-story, frame bungalows were located on the estate. The first of these, occupied by Calie Norwood's parents, William B. and Laura Louisa Gove, was situated downslope from the Norwood House and was moved when that portion of the property was condemned for the IH-35 right-of-way. A second frame bungalow was located near the tennis courts and was occupied by Ollie Norwood's parents until the mid-1930s (Porter 1995).

A notable feature of the site was the extensive gardens, a portion of which may have been designed by Hugo Kuehne. Laid out with formal walks between the house and the greenhouse and tea room, the garden area centered on a circular pool and fountain in the center of which was a statue. Profuse dalias lined the walks, and the arc of the circular walk around the pool was punctuated by regularly spaced evergreens. In addition, the Norwoods kept other gardens at the back of the house in which they grew vegetables. According to a niece (Porter 1995), Ollie Norwood made raised platforms, filled them with a sandy soil, and irrigated them using a hydroponic system. Calie Norwood used the produce, canning great volumes of vegetables.

The Norwood Estate, fully developed by the late 1920s, reflected the wealth and prestige of a man who was fast becoming well-known in Austin for his very visible private and public activities. Described by a niece as entrepreneurial, eccentric, and imaginative (Porter 1995), and by other acquaintances as an individual who was both gambler and salesman, and who had a talent for grasping entireties and total concepts (Harris and Harris 1981), Norwood continued to move ahead with both his bond and security business and with his real estate developments. He invested in land in Hidalgo, Bexar, and Sabine counties (Travis County. District Court Cause No. 58181) and a ranch in Real County where he built a large stone residence and kept exotic game. He was extravagantly generous with his extended family, providing occasional employment to some relatives and insuring that others were provided for (Porter 1995). His formation of the Norwood Buildings Corporation in 1929 best expressed the scope of his ambitions. Under the category, "Purpose," Norwood wrote ". . . to establish, own, buy, sell, maintain, erect or repair any building or improvement, and to accumulate and lend money for said purpose, and to purchase, sell, or subdivide real estate in towns, cities and villages, and their suburbs, not extending more than two miles beyond their limits, and to accumulate and lend money for that purpose" (Texas. Secretary of State 1929).

The year 1929 represented something of a watershed for many capitalists, and Ollie Norwood was no exception. If the dozen years leading up to that date had been characterized by every-increasing prosperity, the dozen years after were marked by a precipitous decline as Norwood lost his downtown real estate, took out loans he was unable to repay, became involved with George Parr of Duval County, and was the target of numerous lawsuits, some of which involved the



bond sales of the 1920s from which he had derived his considerable income. In 1931, for example, the Edinburg Consolidated Independent School District discovered the \$88,000 premium Norwood had charged to handle a sale of bonds in 1927, and the District sued to recover the money (Travis County. District Court Cause No. 52134). A year later, heirs of the J. R. Alamia estate in Hidalgo County sued Norwood over an earlier purchase of land from the estate's administrator, A. Y. Baker (Travis County. District Court Cause No. 58181). Another suit in Bexar County led to a judgment in excess of \$90,000 against Norwood and the administrator of the A. Y. Baker estate (Travis County. District Court Cause No. 58181). In Austin, holders of notes sued Norwood for payments (Travis County. District Court Cause No. 51142), and he lost the Norwood Building to the Security Trust Company which itself entered receivership during the Depression. Other suits followed between 1934 and 1937 (Travis County. District Court Cause 53616, 55649, 55736, 55737, 58181).

Somehow, the Norwoods managed to retain possession of their beloved Real County ranch and the estate in South Austin. Nonetheless, times were exceptionally difficult. Norwood retreated from downtown and made the basement at the Edgcliff house his office. In addition, he and Calie decided to open their pool to the general public, charging a daily fee for its use (Porter 1995). They appear to have mortgaged their Austin estate to George Parr in 1938 (Travis County Deed Record 584:127), not recovering title until 1946.

In the meantime, Norwood's health began to fail and Calie assumed increasing responsibility for the family's more-limited finances. The area around them was changing as well, and in 1953 they lost portions of their land to the City of Austin for highway right-of-way (Travis County Deed Record 1338:78-84, 87-88). Several years later, as the estate became too big to manage, they moved from South Austin to a smaller home at 1615 Lupine Lane where Norwood died on May 11, 1961 (Austin American, May 11, 1961).

On June 19, 1961, Calie Norwood<sup>5</sup> sold the South Austin estate to Robert D. Carr of Victoria. At that point, the property included lots in Blocks 49-51 and land vacated and closed by the City of Austin totalling 4.34 acres together with an easement for the maintenance of a boat landing and boat and bath house on 50 feet of the water's edge of the Colorado River (Travis County Deed Record 2315:117-120). Carr, the new owner, was described by one informant as "The Concrete King of Texas." Manufacturer and possibly wholesaler of concrete products, Carr decided to open an Austin office in the former Norwood home (Small 1995).

Carr's conversion of the Norwood Estate from residential to office use resulted in a number of changes to the interior of the Norwood House.

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<sup>5</sup> Calie Norwood died in Austin on February 26, 1976.

Photographs made after 1961 and data gathered from informants indicates that Carr may have removed some or all of the plaster finish from interior surfaces while he applied wood paneling to the walls in some rooms. He painted over the decorative molding and replaced original light fixtures with florescent lights. He added two small bathrooms. He converted the kitchen to an office space and appears to have modified a window, removing the casement and opening the space to accommodate a double glass door.

According to a subsequent owner (Small 1995), Carr used the Norwood House as an office for no more than six months. Then, frustrated with the neighborhood association for "meddling in his business," and disgusted with his office help, he vacated the house, locked the front door, and put the property on the market. Purchaser of the property on December 10, 1963, was Joe A. Small, Sr., of Travis County (Travis County Deed Record 2695:89-91) who immediately moved his western history publishing company to the estate.

Joe Small was born near Chriesman, Burleson County, Texas, on March 18, 1914, to Joe Willis and Laura Watson Hairston Small. He attended the University of Texas briefly and then left to begin publishing his first magazine, Southern Sportsman. Assisted by his wife, Elizabeth Berry Small of Lufkin and Austin and, later, by his sons, Joe, Jr., and Robert, Joe Small ran the magazine out of his home at 3303 Bridle Path. In 1953, the Smalls moved their office to 709 West 19th Street where they published True West, Frontier Times, and a score of other magazines and reprints.

In 1963, the Smalls purchased the Norwood Estate from Robert Carr. They used the Norwood house as their main office for almost two decades, locating the art department in the garage and servant's quarters, rejuvenating the swimming pool, and acquiring the Gage House at 1009 Edgecliff for use as the circulation department. They made few changes to the property, replacing the tile roof on the main house with asphalt shingles when it began to leak, and planting a limited number of trees and flower beds in the vicinity of the house (Small 1995).

By the late 1970s, Joe Small's health began to fail and circulation figures for the magazines decreased (Small 1995). In the early 1980s, the family decided to sell the property to developers who planned to build a condominium on the property. Neighborhood protest resulted in the filing of a suit against Small and revision of plans for the condominium development. Subsequently, Westlake Hills resident Jimmy Zombola moved the greenhouse on the Norwood estate to his property off of Bee Caves Road near Eanes Elementary School (Small 1995) and the City, seller, and developer moved towards an agreement about disposition of the house itself.

On March 1, 1984, an agreement between the Smalls and SW Development Corporation provided for the Smalls to convey 3.08 acres to the Corporation. By agreement with the City of Austin, the Corporation was obligated to relocate the

Norwood House to Lot 11 and a portion of lot 10, Block 51, Travis Heights, a tract of land still owned by the Smalls. The Corporation also was required to restore "the exterior of the Norwood House in accordance with the City Agreements." Restoration was "subject to various permits and approvals to be obtained from the City, including compliance with the rules and regulations of the Building Standards Commission and the Historic Landmark Commission." Once moved, the house was to be zoned Historic by the City (Travis County Deed Record 8478:680-685).

Moving of the Norwood House occurred in 1984 and resulted in a partial salvaging of the structure. The contractor (Rio Pecos Construction Company, Inc.) or owner disassembled specific elements such as the brick and cobble columns and then replaced them in an irregular manner. The contractor also removed the brick used in the exterior walls, sold them (Zweiger 1995), and then used new brick that differed from the original. Exterior details that changed and further compromised the integrity of the structure included the pattern of brick work around doors and windows and the configuration of the cobble and brick columns and front porch. Architect Andy Vernooy noted damage to the interior of the house that had occurred at an unspecified time and the loss of built-in features that were characteristic of the home's architectural type (American Statesman, December 19, 1985).

Litigation and inability to pursue the project in a timely manner resulted in a collapse of the proposed development on the Norwood estate. Then, in June 1985, the City Council authorized \$2.5 million in certificates of obligation to enable the Austin Parks and Recreation Department to buy the Norwood Estate from the development firm for use as a park. Subsequently, Travis Heights residents pressured the City to acquire the Norwood House itself from the Smalls and move it back to its original site. When Riverside Drive was widened, the City of Austin acquired both the house and site on which it was located, and in 1989 the City Council voted to reserve the property for five years to allow the Women's Chamber of Commerce of Texas to raise funds for the moving and restoration of the house. In 1995, the goal of the Chamber remained the removal of the house to its original site, its restoration, and the restoration of the Norwood Estate grounds to their configuration in the 1920s.

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# INITIAL ARCHITECTURAL INVESTIGATIONS

## DESCRIPTION OF EXISTING SITE CONDITIONS

by Ruth Parshall

The O. O. and Calie Norwood house is currently located at 1009 Edgecliff Drive. It was moved to this site from its original location at the crest of a hill approximately 200' to the east, at what was then 1012 Edgecliff Drive. The Norwood's Bungalow style house is uniquely sited on a 4.5 acre site that was extensively developed into a fairly self-sufficient compound with capabilities for entertainment, relaxation, food production combined with beautiful views and breezy porches and garden structures. It is this compound and life style that is so unique, while the house itself is picturesque. Some of the extensive Norwood-era plantings on the site remain, and have established an overgrown, abandoned arboretum-like setting. The Norwood estate is unique because so much emphasis was placed on the setting and site development, whereas typically Bungalows were sited on very small lots. It is unusual and indicative of a very thoughtful life style as well as a life style of means, to have had such an extensive site as occurred here.

The house currently stands facing the opposite direction from its original site, so that what was originally the "street side" as viewed from Riverside Drive is now on the south side of Edgecliff Drive facing Town Lake; and what was originally the "river side" now faces Riverside Drive. Original siting of the house allowed prevailing southeastern breezes to sweep unobstructed through the sleeping porch. Site plans included in the report are:

Site plan #1. A topographic map (J-20-2) showing the original site of the house, other structures, topographic contours at 2' intervals, and major site improvements. The map was produced by International Aerial Mapping from a photograph taken in "Feb-March 1977."

International Aerial Mapping Company  
no address shown

Site plan #2. A planimetric map (J-20-2) showing the original layout of the Norwood estate, streets, and major vegetation. The map was produced by International Aerial Mapping Company from a photograph taken in "Feb-March 1977."

International Aerial Mapping Company  
(no address shown)

Site plan #3. A 1981 boundary survey that shows the original site of the house, the swimming pool and its associated bath houses, garage, greenhouse, other structures on the site and miscellaneous site improvements, including the pergola; the "tea room;" sidewalks; granite gravel garden paths with brick borders; and garden walls. This plan includes a legal description of the property, easements, setbacks, and surveying monuments in 1981. The site was surveyed by an Austin surveyor:

Douglas A. Seelig, RPS #1908

917 Fall Creek Drive  
Austin, Texas

Site plan #4. An aerial photograph (J-20), flown by United Aerial Mapping. The date the photograph was taken is shown as "March, 1984." The Norwood estate is clearly shown prior to the removal of the greenhouse and the relocation of the house.

United Aerial Mapping  
5411 Jackwood Drive  
San Antonio, Texas 78238  
512/684-2147

Site plan #5. A site plan that shows the locations of the soils borings taken by the geotechnical testing team:

Pat Goodson with Geoprojects, Carolyn Reynolds, PE,

Site plan #6. A portion of the engineering drawings by Martinez and Wright Engineers, Inc. involving the widening and realignment of Riverside Drive is included. There is a capped artesian well in the middle of the west bound lanes of Riverside Drive; this warm water spring fed the Norwoods' swimming pool. Shading indicates the locations of the the surface remains of the buildings and the remains of other site features. This plan is derived from the 1984 boundary survey of the site.

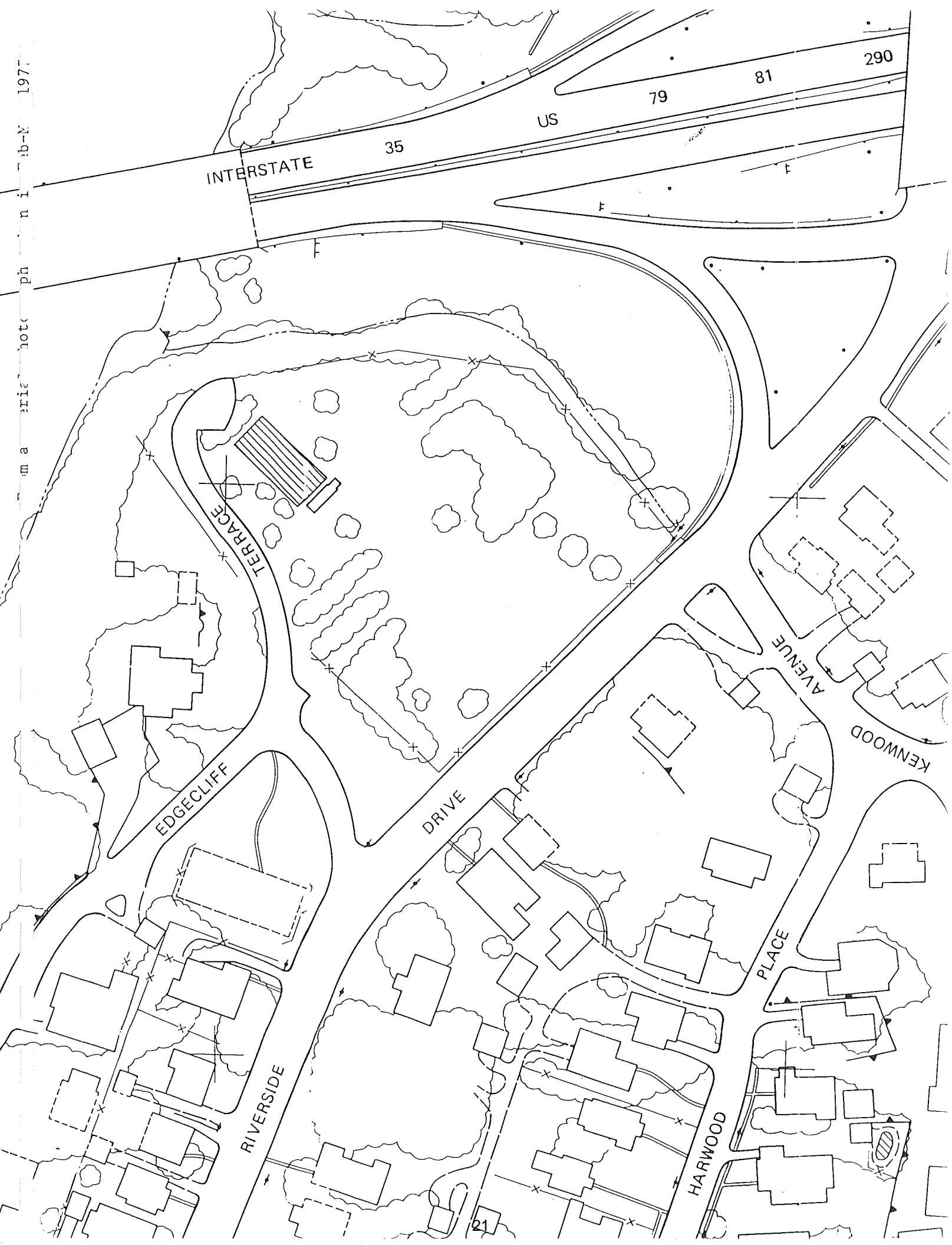
The accompanying photographs of various site features from the Norwood occupancy include the following:

- Concrete steps
- Brick retaining walls (with the original bricks)
- (original) Brick outlines of granite gravel garden paths
- Swimming pool and two bath houses
- Suspended slab and foundation to the greenhouse (with original bricks in the rubble under the slab)
- Foundation to the main house and front porch
- Trees and plant materials, including hedgerows and a pecan orchard
- Curbs both at public streets and private drives and driveway pavement
- Column bases, foundation and slab for the "tea room"
- Scraps of red clay tile roofing bearing the "Ludowici" logo
- Concrete pond at former water fountain in the formal garden
- Artesian well (off site)

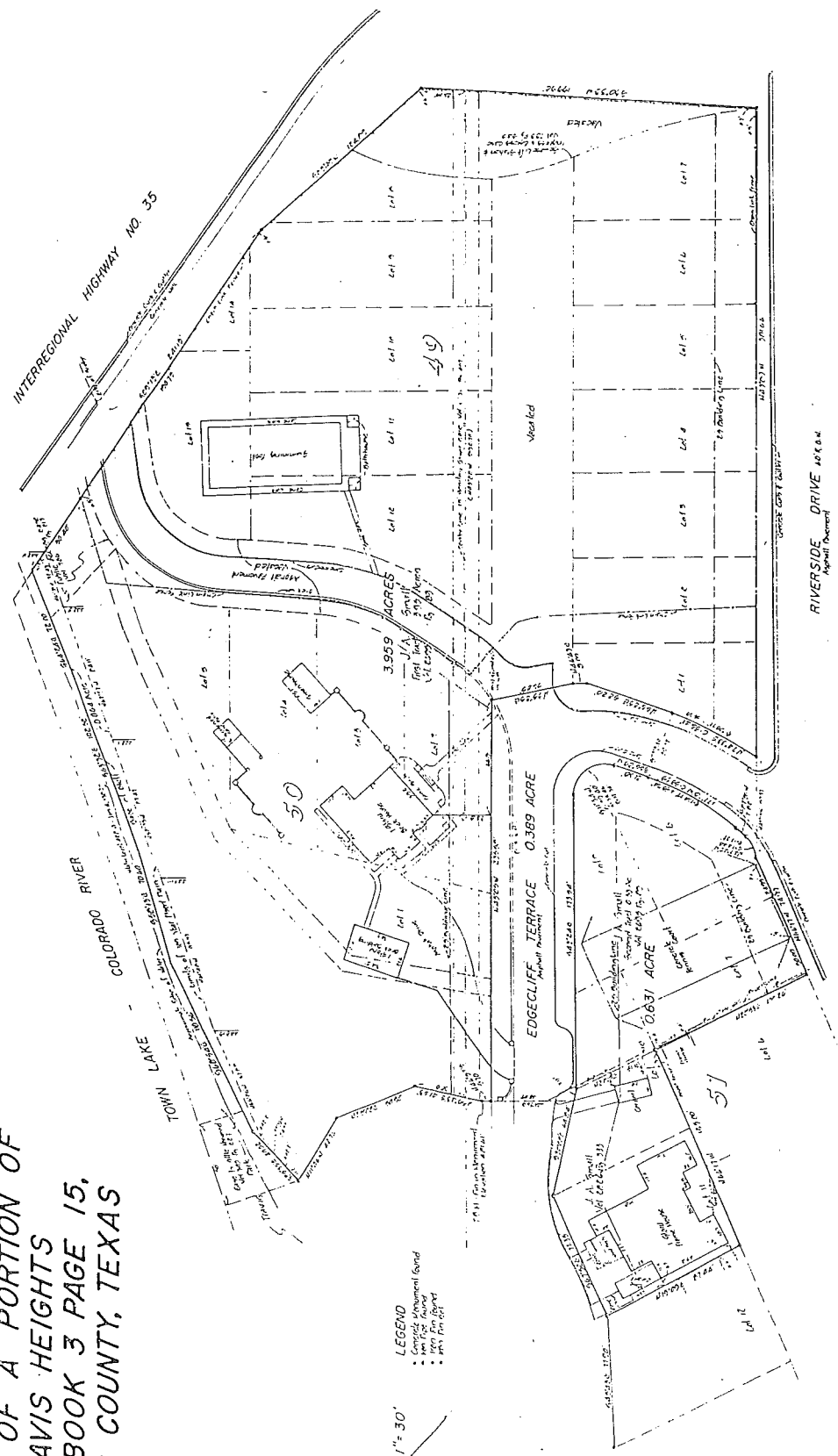




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# SURVEY OF A PORTION OF TRAVIS HEIGHTS PLAT BOOK 3 PAGE 15, TRAVIS COUNTY, TEXAS



**EASEMENT NOTE:** This property is subject to the following Easements:  
 1) A general utility easement for water, gas, electric, and telephone lines.  
 2) A public utility easement for water, gas, electric, and telephone lines.  
 3) A public utility easement for water, gas, electric, and telephone lines.  
 4) A public utility easement for water, gas, electric, and telephone lines.  
 5) A public utility easement for water, gas, electric, and telephone lines.

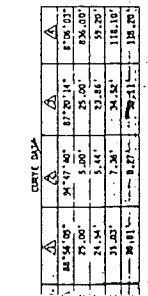
**FLOOD PLAIN NOTE:**  
 The limits of the flood plain shown herein are established by the Travis Heights Flood Control District, Travis County, Texas, and that the flood plain shown herein is subject to the flood plain laws of the State of Texas.

SURVEYED BY  
**DOUGLAS A. SEELIG**  
 Registered Professional Surveyor  
 No. 1111 State of Texas  
 Austin, Texas  
 December 19, 1981

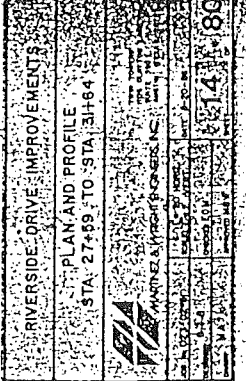
*Douglas A. Seelig*



Aerial photograph taken in 1984.



- [illegible]



SHOWS ORIGINAL ROADWAY AND STREET ALIGNMENTS. SHOWS THE LOCATION OF THE CAPPED ARTISIAN WELL THAT THE NORWOODS HAD DRILLED FOR FILLING THEIR SWIMMING POOL. SHOWS PECAN TREE LOCATIONS.

Provided courtesy of Martinez and Wright Engineers, Inc. Drawn in 1986.

## DESCRIPTION OF THE EXISTING EXTERIOR OF THE HOUSE

by Ruth Parshall

Overall composition: The O.O. and Calie Norwood house is a one-story brick bungalow with dominated by a wide overhanging hipped roof. There are three subordinate gable roof projections from the basically rectangular house. The gable over the front porch is supported by tapered, cobble stone and brick columns topped with heavy-timbered cypress members. To one side there are additional tapered, cobbled brick columns that carry a loggia type-structure that surrounds a pecan tree at the current location. The dominant elements of the overall composition include:

- a low, prominent, sheltering roof;
- a welcoming porch transitioning between inside and outside;
- an external, brick and cobble stone chimney; and
- windows grouped in twos and threes in relative symmetry.

Foundation: The current pier-and-beam foundation is constructed of round poured- in-place, concrete piers formed with cardboard tubes. The piers support (new in 1984) wood beams. The floor framing is original 2x6s at 24" on center. The foundation appears to be in good condition and adequately designed. The front porch is a concrete slab poured on grade. It is in good condition and adequate in design.

Exterior walls: The exterior walls are brick veneer over wood framing. The brick is a recent wire-cut, extruded brick of orange clay with colored oxide granules on the exposed surface to simulate the color of the original brick. During manufacturing the exposed surface of the brick was mechanically treated to give surface indentations. This new brick has five cells. The house and battered columns are veneered in this recent brick. There is a cavity of approximately 1 1/2" between the brick and the wood sheathing, which is laid diagonally on the exterior surface of the wood studs. The wood studs measure 1 1/2" x 3 5/8". There is rock wool insulation in the space between the studs. The wood studs are spaced irregularly at approximately 16" to 18" on center. The exterior walls are of standard construction and are in relatively good condition.

Roof: The main roof is a hipped roof with three smaller gables over the front porch, the "sun room" and the sleeping porch. The roof is constructed of 2x6s conventionally framed with 1x8 shiplap decking. The roofing is red asphalt composition shingles that are badly deteriorated. Most shingles are curling under at their edges, and the ground at the overhangs is covered in mineral granules that have washed off the roof during rains. Both of these indicate the roof is near the end of its life. The roof slope is approximately 4" in 12" (or 33%). Even though the existing asphalt composition shingles have almost completely deteriorated, there is

no evidence of active leaks. The building is being monitored after rains to determine if a temporary roof is necessary. The roof originally was finished in red clay tiles, samples of which have been found on the site and identified as being manufactured by Ludowici Celedon Company, which is still in business.

**Porches:** The front porch spans the width of the house and has a gable roof that rests on two of the six battered columns. Two other battered columns support a trellised loggia to the left of the front porch. The other two columns were ornamental; historic photographs show they were topped with large urns filled with flowers and plants. The area under this loggia is grass now, although Mrs. Porter reports that Mrs. Norwood had flowering plants there. The site plans and maps prior to the 1984 move show concrete sidewalks in the area. There is no indication that a driveway ever led to the loggia. Furthermore, there could not have been a drive-through driveway at the loggia because the exit is blocked by the sun room that projects from the house. At one of the two back doors along the (current) south side of the house there is a very small, crudely built, wood service porch and steps. The other door on the south side of the house has no porch or steps. There is one door on the (current) west side of the house with a small, crude wood porch with no steps. None of these porches is adequately designed or executed.

#### **Ornament:**

Window boxes, evident in historic photographs, were originally present on three sides of the house. The boxes themselves rested on cypress timber ledgers that protruded through the brick veneer. The boxes are no longer present, but the cypress ledgers are. They are crafted from a 4" x 7 1/2" cypress timber.

The front porch and verge brackets exhibit an ornamental cut on the ends. This is an example of the kind of detail to be retained in the move and preservation. The original beams, brackets and joists are cypress and are in excellent condition. Where pine was substituted during the 1984 work, has already deteriorated.

#### **Changes:**

During the 1984 move, the exterior of the Norwood house underwent minor alterations especially at the front porch where the tapered, cobbled columns no longer engage the porch correctly according to the historic photographs. When the front porch was re-assembled at the new location in 1984, it was built approximately one foot longer than originally. 85% of the original porch timbers and framing are the original cypress. The porch now rests on a concrete slab foundation, whereas historic photographs indicate originally it was framed with wood joists supporting a thin, scored concrete slab.

As a part of the moving the house in 1984, the original brick veneer was removed and the brick was sold as salvage. The original brick was a dry-pressed brick manufactured either by Elgin-Butler Brick, from Elgin, Texas, or by Texas Fire Brick Company (TFB Co) from near Elgin, Texas. The only marks that two bricks, that have been cleaned of mortar and carefully examined, possessed were both due

to machine marks left from recessed flush screw heads. These marks are typically found on all dry-pressed brick. As more brick are cleaned of mortar, we will probably find a manufacturer's identification mark to help us identify the manufacturer. The brick is very high quality and well made with sharp edges. A very common brick, it was readily available in the lumber yards in Austin. A walk in the current downtown area reveals that many of the buildings in the downtown area are constructed of this same brick. It is made from a whitish-grey clay deposit near Elgin and colored dark brown by adding manganese into the clay mix and firing it in wood-fired, beehive periodic kilns. The soft color variations within the dark brown spectrum were due to temperature variations within the kiln during firing.



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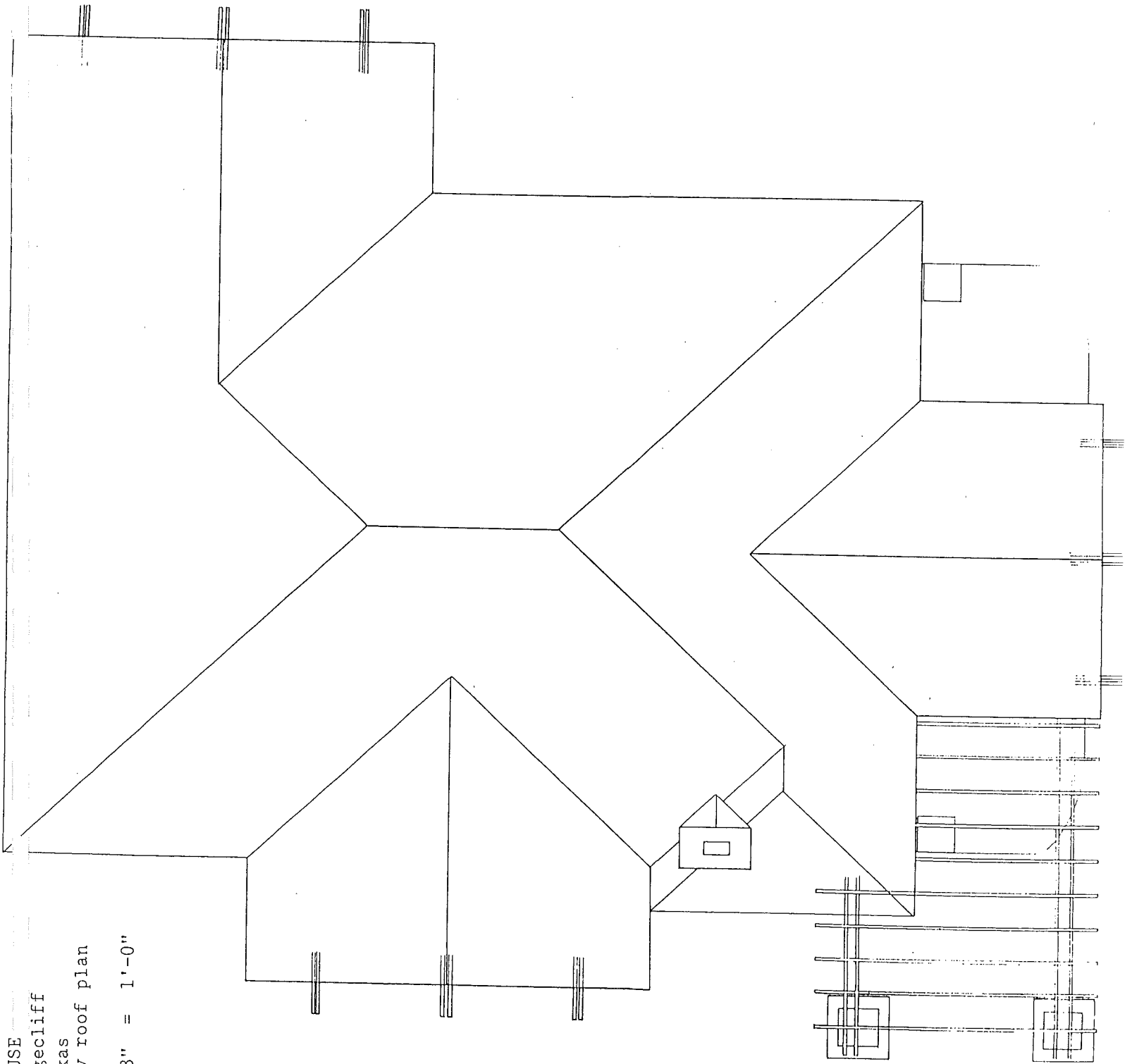
SAINT-GOBAIN  
CORPORATION

Front cover photo features the  
Society, Minnesota, Class

Printed in U.S.



1009 Edgecliff  
 at 1009 Edgecliff  
 Austin, Texas  
 preliminary roof plan  
 Scale; 1/8" = 1'-0"



## DESCRIPTION OF THE EXISTING INTERIOR OF THE HOUSE

by Ruth Parshall

Architecture, floor-plan configuration, and style: The Norwood house floor plan is typical for a bungalow-style house - simple and straight. The front door opens directly into the living room.

The living room fireplace has a brick firebox, and a brick frontspiece that does not appear to be original, with an original wood mantle with original plaster above, flanked by built-in bookcases. All four walls retain their original plaster. The juncture between the plaster walls and the plaster ceiling is treated with a composite, wood cornice that includes a picture rail as the bottom component. The ceiling height measures 9' - 10". The original plaster ceiling in the living room appears to be intact although most of it is concealed, except at its edges, by a suspended, acoustical ceiling.

There is an opening, measuring approximately 6'-0" for a two-leaf door, leading to the dining room. The dining room is an interior room with a multi-paned fixed-sash (20-light) window, flanked on each side by a wood french door with fifteen lights. One of these doors is missing.

These doors and the fixed sash window lead to the "sun room," the name given to the space by Mrs. Norwood. The glass permits borrowed light to reach the dining room. In the sun room there are existing plumbing rough-ins as though there were plans to convert this room into the new kitchen. The room has a plywood floor and windows on two sides and an exterior door on the third side. This door currently leads to crudely built, wooden service porch and steps that are of questionable design. Historic photographs show very small concrete stairs at this door; these stairs had no landing. The current floor is plywood; Mrs. Porter reports that, originally, there was an orange-and-black ceramic-tile floor, with a black border.

The dining room also has a single-leaf door leading to the original kitchen and another door opening (door missing) leading to a small hall and to what now appears to be an exceptionally deep "closet" measuring 3' - 3" wide by 7' - 4" long, which Mrs. Porter said originally housed a stair to the basement.

The room that was the original kitchen has no remaining evidence that it once was a kitchen. Three of the four walls have been altered. One wall that retains its integrity has two small windows with relatively high sills. Mrs. Porter reports that the cooking stove sat between these two windows. Historic photographs show a portion of the wall where the original kitchen sink was; a portion of the original windows over the kitchen sink show in this photograph. The current fixed glass picture window in this wall is not original; the sill height is approximately 1'-6" above the floor. Another door leads from this space to what is currently a hall; this door is not in the original location. This hall and one of the closets occupy what once was the back porch. Also added are two closets and a bathroom, as well as two

mechanical room closets with HVAC equipment, off this hall. A portion of this hall and one of the closets has a red, integrally tinted, scored concrete floor and a beaded ceiling where the back porch once was. The remainder of the hall has oak strip flooring, as do most of the rooms unless mentioned otherwise.

A single-leaf door from the living room leads to a room Mrs. Norwood referred to as the "front bedroom." It currently has two existing closets and a door leading to the main hallway. This room is completely intact although it has one more closet and closet door than it did originally. There are two doors off the hall that lead to spaces which are indistinguishable as to their current function, although all the rooms have computer cabling through the floor, indicating that their last use or intended use was as an office. Mrs. Porter identified a room at the rear of the house as the main bedroom; currently, there is no indication of its use other than as an office. This room was originally bigger, but when the current main hall was lengthened, the bedroom was reduced in size. The original door opening from the main hall is still intact. This room leads to another space that has windows on three sides. This was the "sleeping porch" during the Norwood occupancy. There currently are double-hung sash windows with screens on three sides.

A review with Mrs. Jean Porter of the existing floor plan brought very quick, precise recollections of the room uses and configurations. Her designations have been drawn in an attached sketch. In all cases, physical evidence corroborates her description. The only uncertain area concerns the location of the basement as to its size and exact location. She describes an exterior scuttle door in the perimeter of the house under the existing service porch (I have trouble following all of her description about this outside access to the basement). One historic photograph shows evidence of a basement door, beside the chimney below the floor line. The 1981 survey shows a sidewalk leading to the door shown in the historic photograph.

The interior partitions are constructed of wood studs measuring approximately 1 5/8" x 3 5/8" at 16" on center. Both sides of the wall are plaster applied over metal mesh. The plaster wall texture is a fairly rough "Monterey drag." The plaster ceiling texture is a fairly rough "Monterey drag," with more stipple and less "drag" than the walls. The walls of the front bedroom have more stipple and no "drag", while the living room walls are less stipple and more "drag". The existing-condition ceiling framing plan indicates which walls are load-bearing.

The wood floor is 2 1/4" wide oak strip flooring laid over a tongue-and-groove pine subfloor laid on the diagonal. Mrs. Porter reports that the kitchen floor was white. At what was originally the back porch, the existing flooring is a 12" square, red-tinted, scored concrete.

Most of the interior trim is intact in the living room, dining room, sun room, front bedroom and hall, although it has been painted. Originally, it was stained a dark color. The trim is less intact or nonexistent in the main bedroom, kitchen, bathroom and the area where the original bathroom was. Where a piece of vertical 1x trim

meets horizontal 1x trim, the intersection is mitered at 45 degrees. Door trim and window trim is 5 1/4" wide; vertical muntins between ganged windows are wider, depending on what was needed to match the brick module on the outside. All corner edges are slightly eased or rounded where exposed. The living room wall-ceiling juncture is treated with a composite, wood cornice measuring 16" in height including the picture rail. The dining room and the front bedroom have a picture rail only. The baseboard measures 7 1/2" in height; of all the trim in the house, the baseboard seems to have been tampered with the most. To transform the house into an office, the various occupants since the Norwoods have removed the base boards to install telephone wire, conduit and computer cabling. In many instances, the baseboard was then reinstalled.

There is relatively little hardware present in the building; what hardware is present is replacement hardware. The original doors, of which approximately 10 out of a possible 21 are present, display a ghost mark of a hexagonal escutcheon where the door knob was and separate smaller ghost mark of a hexagonal escutcheon at the keyhole. Many original hinges are present.

Overall the house is in good condition, with the exception of the roof, which is in very bad condition. The house is being monitored for leaks following rain. The following rooms are relatively intact, with little alteration:

- living room, except the fireplace brick frontpiece may not be original; and the doors to the built-in bookcases are missing.
- dining room, except the built-in buffet is missing
- sun room: the interior wall has been altered but it was just a plain wall; the interior window in this wall is still there in the wall's new location
- main hall and small hall
- front bedroom and its closet
- sleeping porch

The rooms which have received the most alterations include:

- kitchen
- back porch
- main bedroom and its closets
- bathroom

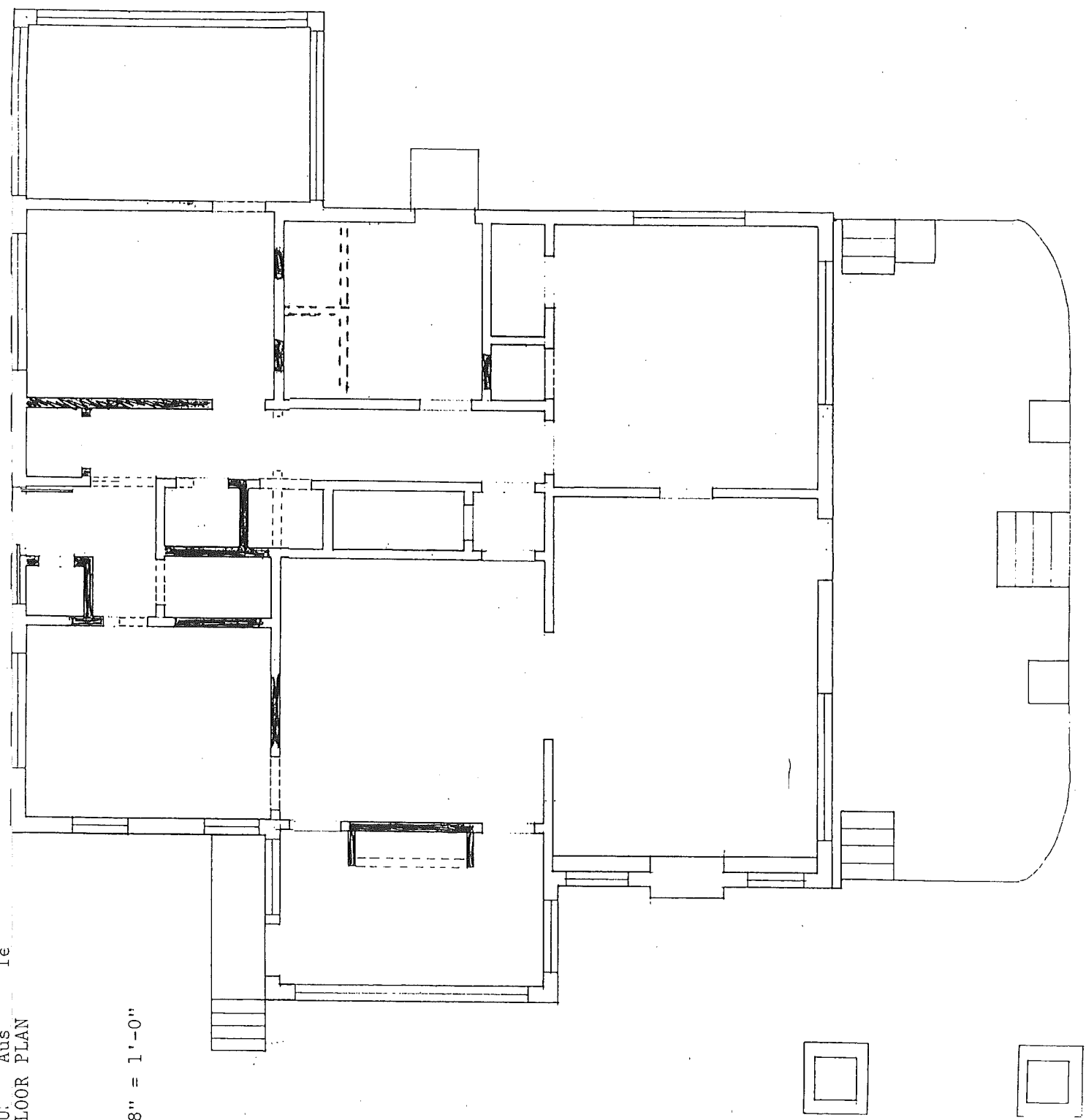
Original rooms lost in the move and subsequent alterations include the basement, the breakfast nook, and the bathroom.

The original basement, exterior basement stair, and interior basement stair have been eliminated. The only evidence that a basement once existed is a closet that currently measures 3' - 3" x 7' - 4". Mrs. Porter reports that this area once contained the basement stair, although it would have had to include the space taken by at least one of the HVAC closets in order to be enough room for a stair. There is still a beaded ceiling and beaded material on the walls that would have been typical at a basement stair. No remaining physical evidence of an outside basement door near the chimney remains although a historic photograph shows one. There is a 30" deep, vertical hole on the site where the basement would have been; this may be a part of the basement that inadvertently was not filled with dirt.

The breakfast nook off the kitchen has been completely lost. A bathroom and mechanical closet now occupy the space that once was a breakfast nook. Mrs. Porter reports there was an arched opening between the kitchen and the nook.

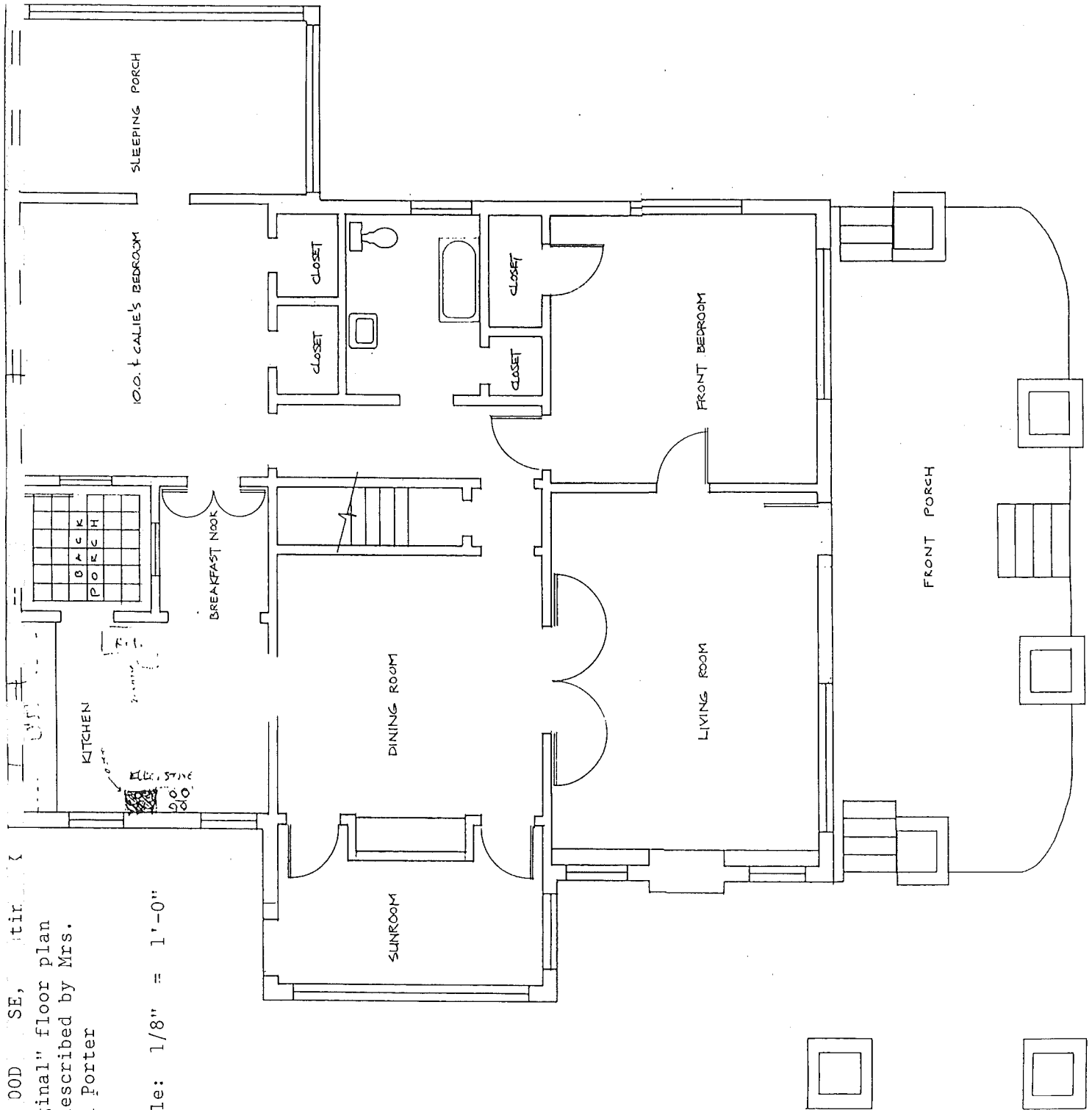
The original bathroom, now delineated only by the plywood flooring has no remaining features. What was once a window is now an exterior door. Mrs. Porter described the floor as 1" white hexagonal ceramic tile and the walls as 1" white square ceramic tile. She also described a bathroom closet and the plumbing fixture locations shown on the sketch of her recollections.

Scale; 1/8" = 1'-0"



1 00D SE, titir  
 "original" floor plan  
 as described by Mrs.  
 Jean Porter

Scale: 1/8" = 1'-0"



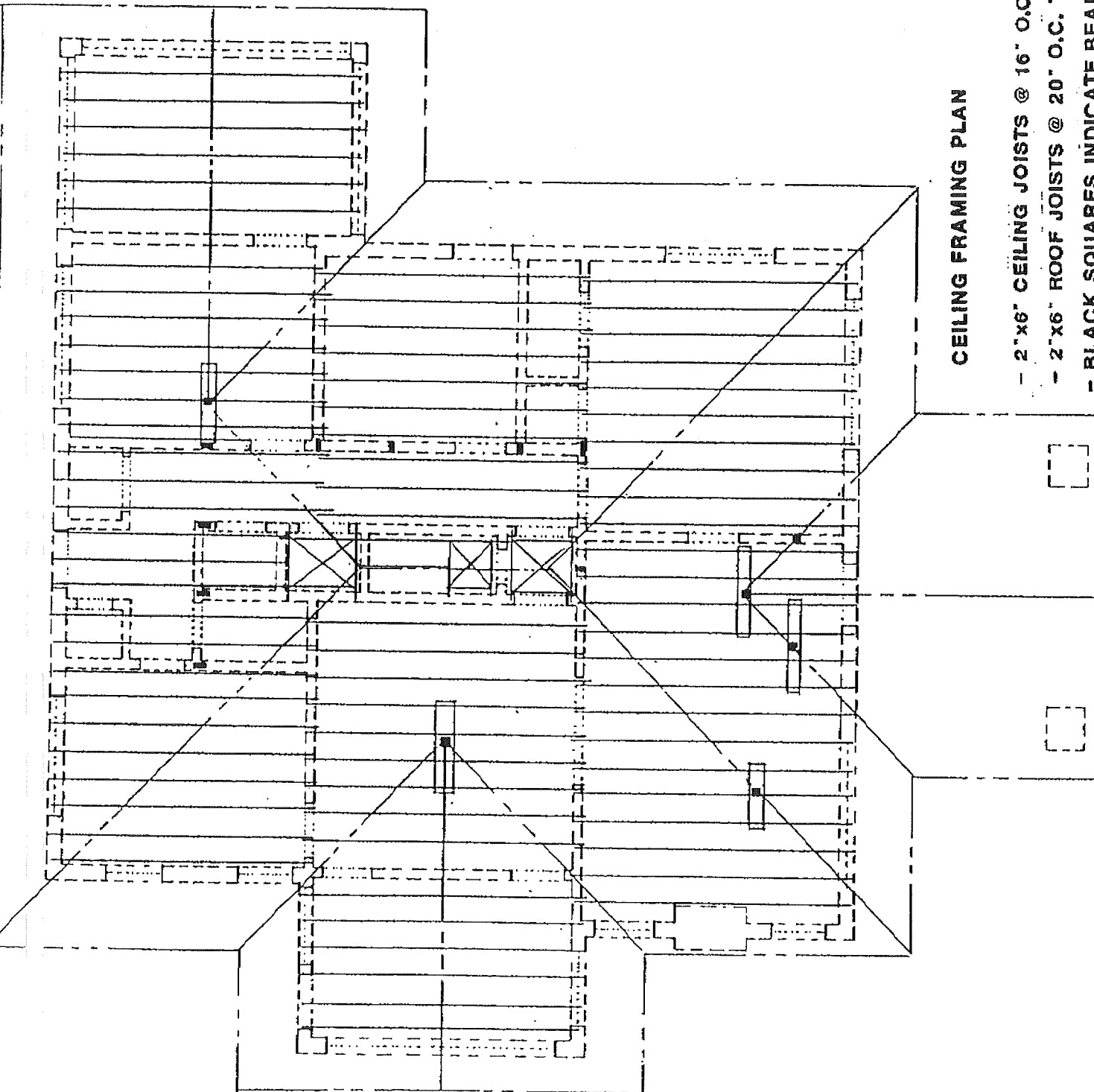
## DESCRIPTION OF THE EXISTING STRUCTURAL SYSTEM

by Lemar Porter, P.E. with Jose I. Guerra, Inc.

The existing floor framing system is shown in the attached Floor Framing Plan. This plan also shows the location of existing concrete piers and front porch.

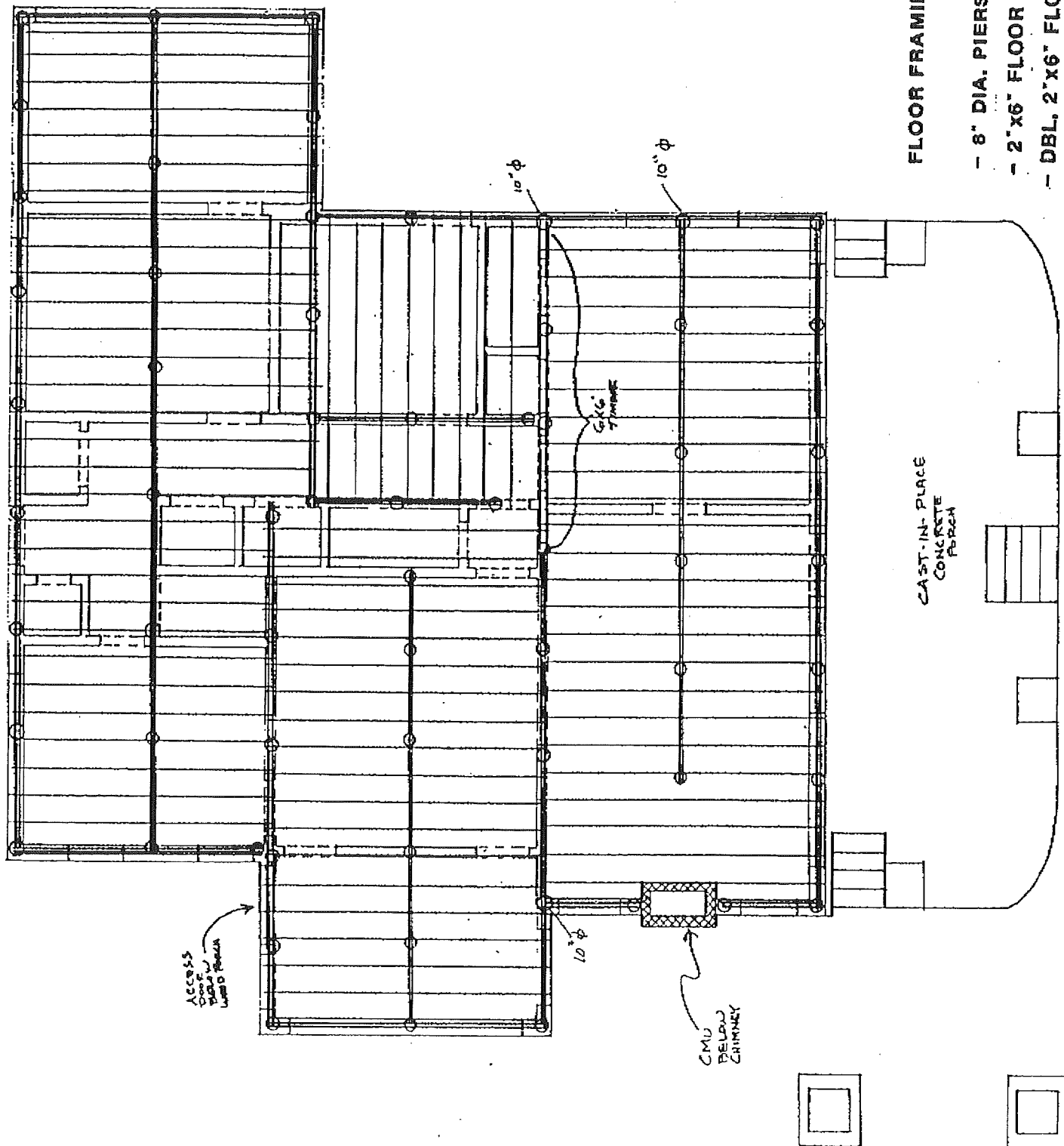
The existing ceiling framing plan is shown in the attached Ceiling Framing Plan. This plan delineates which walls and partitions are load-bearing and which are non-load-bearing. This information will be used in designing the new foundation.





# **CEILING FRAMING PLAN**

- 2"x6" CEILING JOISTS @ 16" O.C. TYP.
- 2"x6" ROOF JOISTS @ 20" O.C. TYP. (NOT SHOWN)
- BLACK SQUARES INDICATE BEARING POINTS FOR



# FLOOR FRAMING PLAN

- 8" DIA. PIERS TYP. U.N.O.
- 2"x6" FLOOR JOISTS @ 16" O.C. TYP.
- DBL. 2"x6" FLOOR BEAMS TYP. U.N.O.

## MOVING TECHNIQUES

by Ruth Parshall

Based on discussions with Lemar Porter and a house mover, the following procedures or issues are anticipated with regard to the relocation of the Norwood house to its original site on the crest of the hill. It is unusual to return a house to its original site. It is unusual to have remains of the original foundation with which to contend.

With the exception of the front porch, the house can be moved in one piece; this decision is usually related to the size of the house to be moved as well as travel path constraints.

Detach the front porch from the house. Demolish the existing 1984 porch slab. The existing porch structure rests on a monolithic concrete slab. This slab and the porch can not be moved intact because of the pecan tree and other site constraints on the west side. Originally, the porch was a relatively thin concrete topping slab poured over wood joists. This concrete slab was scored and exposed on the edge with brick on the vertical face. This edge detail and the scored concrete surface is clearly shown in historic photographs. The scored concrete is consistent with the "tea room" slab and the back porch.

Dismantle the loggia that surrounds the pecan tree; label all cypress members for re-use, so they are correctly placed.

Dismantle the existing cobble stone and brick columns and chimney. Retain the cobble stone and clean off the mortar so they can be re-used at the new location. It is believed that these are the original cobble stones.

Prior to lifting the house, remove the existing brick veneer. Technically, brick veneer buildings can be moved with their brick intact, but this is a more expensive proposition. It is more customary and less expensive to remove brick veneer prior to the move and then install the brick after the move. In this case, the replacement 1984 brick is undesirable, so it can be removed.

Insert steel needle beams under the house; shoring and bracing as necessary as determined by the moving contractor; the moving contractor retains responsibility for success of the move and the detailed procedures of the move.

Lift the house by means of jacks; the jacks should lift each part of the house simultaneously, so the interior plaster does not crack due to stresses incurred during lifting.

Because the travel path would go down one very small hill to the bed of Edgecliff Drive, and from there up a larger hill, there will need to be measures taken to ensure that the house does not get "stressed" (racked) by these changes in the

topography. One way to address this is to, as part of the move, temporarily fill in the street with dirt so the house does not travel down as low. The topographic elevation changes and the possible need to bring in fill dirt to place over the street bed is relatively unusual and adds to the expense of the project. Any significant stress placed on the house will cause damage during the move. In this case, the plaster will crack. During the last move, minor cracks in the plaster occurred in many places, especially over doors and windows. The integrity of the plaster wall has not been compromised, however, and all of this earlier damage can be repaired. Undoubtedly, there will be additional cracks in the plaster occurring during the next move, and these too can be repaired.

There is a power pole and overhead power, telephone or TV cable lines in the travel path. If these prove to be too low, they will need to be raised. The future of this power pole is in question until a master site plan is designed that provides for sensitively brings utilities to the house and other places as needed on the site.

Since the building does not face the same direction as it once did, the mover will have to execute a 180 degree turn before setting it down onto the new foundation.

The basement issue. Basements are not typically encountered in Austin. The fact that the house originally had a partial basement is unusual for a wood frame bungalow and adds to the technical issues to resolve. There are additional site preparation issues to address regardless of whether the partial basement is included or not.

As the house is suspended over its new location, plumb lines are used to determine where the concrete beams that support the brick should be poured so there is a concrete brick ledger carried by the drilled piers. Old structures - especially after sustaining two moves - are not usually perfectly square, so this needs to be taken into account.

The previous comments are based on the views of one house mover; it should be remembered that the actual house mover, who must be both qualified and the low bidder, will outline in writing, how he or she intends to move the house. Those intentions will be reviewed and questioned if there seems to be a deficiency. But nevertheless, the actual methods used and all detailed procedures to move the house remain the responsibility of the house mover.

**PROPOSED SEQUENCE OF CONSTRUCTION**  
by Lemar Porter, PE, with Jose I. Guerra, Inc.

The following description concerns the foundation and site where the Norwood house is to be relocated. It is based on information available at this time.

1. Locate and document the original remaining foundation grade beams, footings and basement walls which are now filled or covered over with earth.
2. Remove all existing foundations.
3. Grade the site to slope for the underfloor crawl space and excavate for the basement.
4. Locate and drill new piers into rock (based on engineered foundation plans).
5. Move the existing house, per the moving contractor's recommendations, from its present location to the original site.
6. Crib and shore the house in its original location over the new piers.
7. Construct new concrete basement walls and perimeter foundation beams to align with the walls of the house positioned above.
8. Cure concrete to its required strength, lower and secure the house onto the new foundation.
9. Replace brick veneer and porch roof structure.

**STATEMENT OF PROBABLE COSTS**  
by Ruth Parshall and Lemar Porter

**General:**

House moving permit	Waived?
House mover	\$
Imported dirt to build up the travel path	\$ 6,000
Owner's insurance: consult insurance professional for guidance	\$
public liability insurance?	
property damage insurance?	
worker's compensation insurance?	

**At the Current Site:**

Foundation Demolition	\$ 2,000
Remove and dispose of existing brick; clean mortar off cobble stones and store; storage provided by the Women's Chamber of Commerce of Texas	\$
Water disconnect fee	Waived?
Gas line disconnect fee	Waived?
Tree trimming	\$ 200
Telephone line moving	\$ 150
Electric line moving	\$ 150
Cable Television line moving	\$ 150

**At the Original Site:**

Foundation Demolition	\$ 1,500
Reinstall Masonry	\$
Restore water line hook-up	Not in this phase
Restore gas line hook-up	Not in this phase
Restore Cable Television line	Not in this phase
Security (boarded up again)	Volunteer labor

PAVEMENT THICKNESS DESIGN

FOR

CAPITAL IMPROVEMENT PROJECT NO. 627459  
RIVERSIDE DR. FROM IH-35 TO NEWNING AVENUE

AUSTIN, TEXAS

NOT FOR USE IN DESIGN  
FOR REFERENCE USE ONLY

BY

BRENT RAUHUT ENGINEERING INC.  
HAMILTON DRILLING AND ENGINEERING TESTING, INC.

JULY 1983

Submitted to:

Mr. Victor E. Williams, P.E.  
Manager of Consultant Projects  
City of Austin  
Austin, Texas 78701

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## INTRODUCTION

This report has been prepared at the request of Mr. Victor E. Williams to provide recommendations for street thickness designs for widening of Riverside Dr. from IH-35 to Newning Avenue (CIP No. 627459) based on City of Austin guidelines.

The section of Riverside Drive under consideration (Figure 1) is a primary arterial with variable right-of-way and paving widths of 70 and 52 feet respectively.

Riverside Dr. is an existing urban roadway paved with hot mixed asphalt concrete over flexible base material. The existing pavement structure will be completely removed with vacated areas landscaped.

Bore Holes were located (Figure 1) so that sufficient borings would be made to suitably represent the subsurface subgrade soils. The preliminary street plans were reviewed so that the bore hole depths could be selected to extend a minimum of 5 feet below finished pavement surfaces.

Appropriate testing was performed to support classification of the soils according to Texas State Department of Highways and Public Transportation procedures. This information was then used with the street classifications and the City of Austin guidelines to obtain pavement thickness.

The subsurface investigations, testing, and evaluation, as well as the design and construction recommendations, are presented in the remainder of this report. The appendices contain data obtained from the soils testing and analyses.

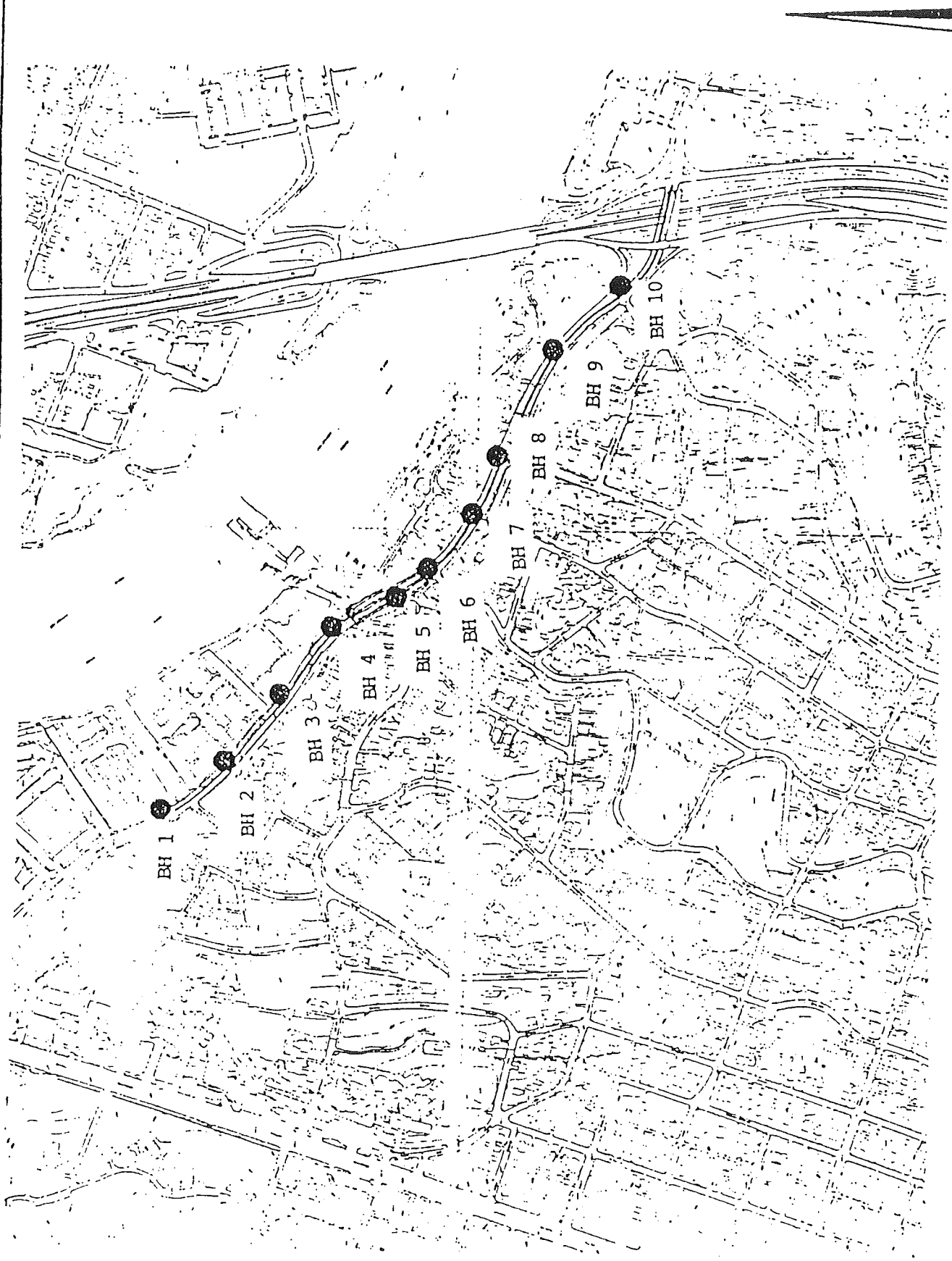


Figure 1. Location of Bore Holes  
Riverside Drive Improvement

## SUBSURFACE INVESTIGATIONS

Ten borings were made within the street right-of-way at the locations shown in Figure 1. Bore hole depths ranged from 5 to 37 feet. The deeper borings were in sections where cuts are planned and were necessary to obtain soil samples to depths of at least five feet below the finished pavement surface.

The primary boring strategy was to advance the holes by pushing thin-wall tubes, taking undisturbed samples of the soils. The undisturbed soil samples were identified according to boring number and depth, and encased in polyethylene plastic to prevent moisture changes. Where limestone was encountered, the depth was logged and the hole advanced with a rock bit to the depth planned. Where gravel precluded undisturbed sampling, disturbed samples were taken and placed in plastic bags. All samples were then placed in core boxes and transported to the laboratory for testing and further study. Interpretations of the subsurface conditions are shown on Figure 2, Log of Borings. (The symbols used on the log are described in Appendix C.)

The surficial soils at this site generally consist of brown sandy or silty clays. These surficial brown clays usually ranged from 1 to 2 feet in depth and were underlain mostly by a variety of tan and gray silty clays. Virtually all of the clays contained limestone particles and/or limestone gravel.

Groundwater was not encountered in any of the bore holes at the time drilling was completed.

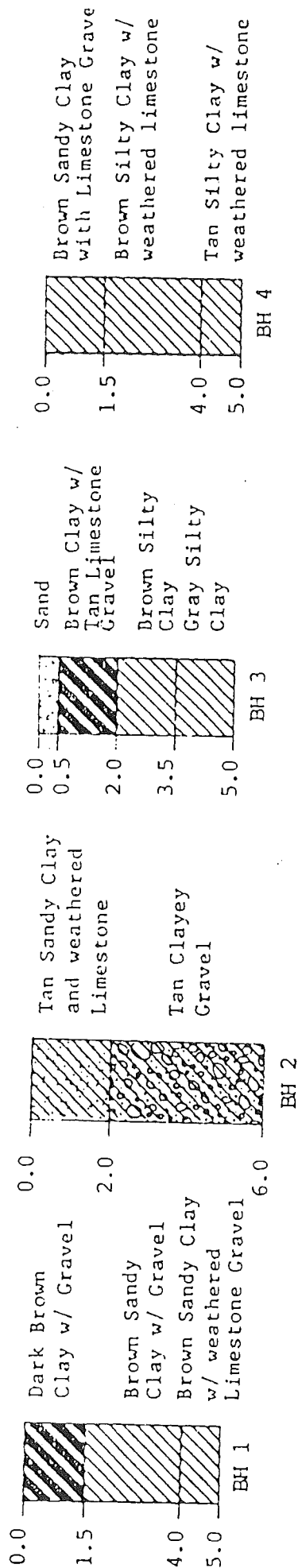


Figure 2. Log of borings  
Riverside Drive Improvements

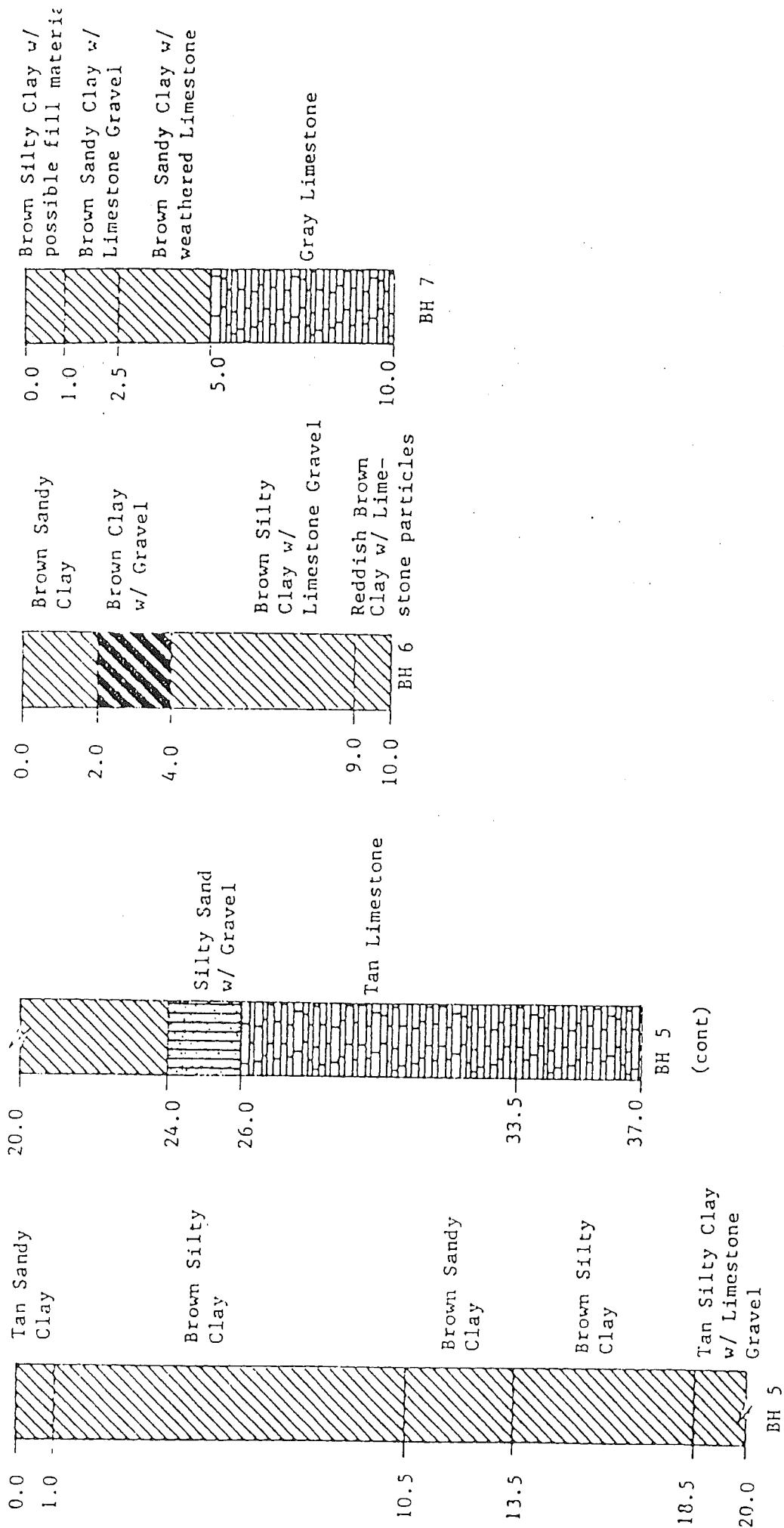


Figure 2. Log of borings (cont)  
Riverside Drive Improvements

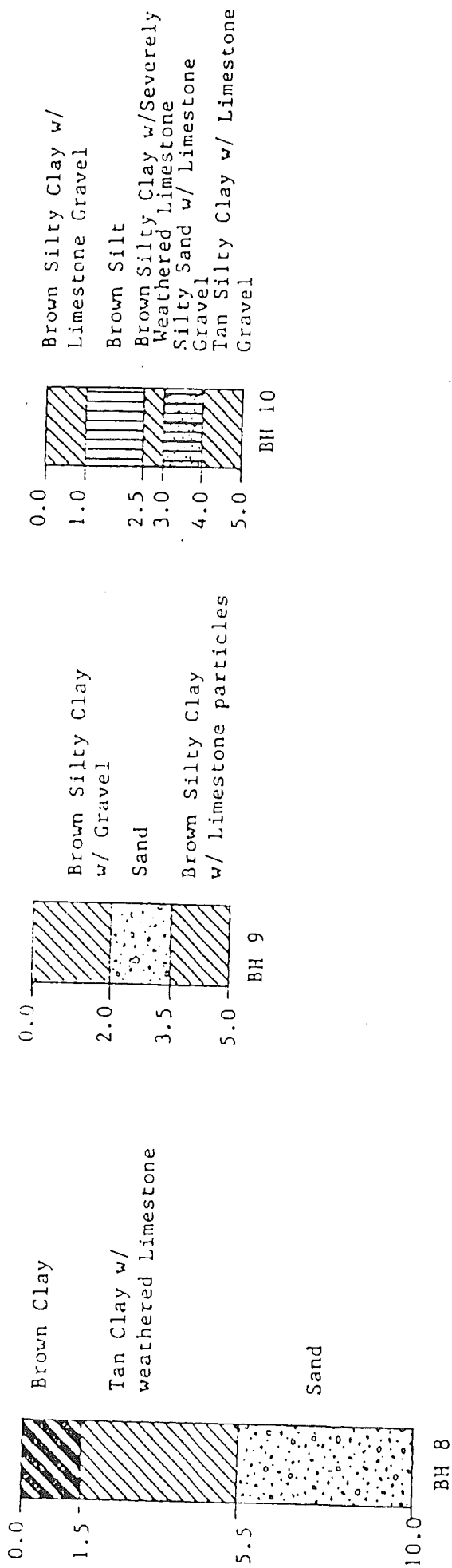


Figure 2. Log of borings (cont.)  
Riverside Drive Improvements

## LABORATORY INVESTIGATION AND ANALYSIS

The laboratory testing performed included:

- (1) thirteen Atterberg Limits tests,
- (2) four sieve analyses,
- (3) two unconfined compression and eighteen pocket penetrometer tests on undisturbed clay samples, and
- (4) two moisture content and dry unit weight determinations on the samples tested for unconfined compressive strength.

All samples and cores of the subsurface materials were examined and classified in the laboratory. The results of the Atterberg limits and sieve tests appear in Appendix A and are reflected in the classifications shown on the boring logs (Figure 2). The Atterberg limits tests also indicated the potential for volume change with changes in moisture content of the soils tested. The unconfined compression and pocket penetrometer tests provided strength data and the results of this testing appear in Appendix B.

The Atterberg Limits tests on the subsurface clays resulted in plasticity indices ranging from 7 to 27, indicating a range from low to moderate volume change potential. The mean plasticity index for the 13 tests was 15. The low to moderate volume change potential is substantiated by the fact that little, if any, distress related to subgrade volume change was observed in the existing pavement structure.

The sieve analyses aided in classification of various materials and indicated that the surficial clays are predominantly fine-grained silty clays with 56.3 to 99.3 percent passing the No. 4 and 33.9 to 74.3 percent passing the No. 200 sieves. Two of the four samples tested had less than 50 percent passing the No. 200 sieve. Although Bore Hole No. 2 (0.0 - 2.0

feet) is classified as a clayey sand by the Unified Soil Classification System, the presence of fine material, 36.2 percent passing the No. 200 sieve is believed to be sufficient to fill the voids in the coarser material so it will also behave as a fine-grained material.

The unconfined compression and pocket penetrometer tests on undisturbed clay samples were conducted to evaluate strengths. These tests indicated that the surficial and subsurface clays at this site are generally stiff to hard. The unit weight determinations indicated one relatively low and one moderately high density.

The USDA Soil Survey of Travis County, Texas, describes the surface soils in the proposed street area as Altoga soils and urban land (AID) and Eddy soils and urban land (EUC). The Altoga soils comprise approximately the eastern third of the project whereas the Eddy soils are mostly in the western two-thirds of the project. Texas Triaxial Classification data is only available for the Altoga series and is listed as 4.9 (Subdivision Memo E-78-8).

Based on visual examination of borings as well as on the classification and strength tests, the Eddy soils may well have a lower (i.e., better) Texas Triaxial Classification than the Altoga soils. This is due to the fact that the Eddy soils are more gravelly or sandy in nature with less fine material. Based on these considerations as well as on laboratory test results, it appears reasonable and conservative to assign a Texas Triaxial Classification of 5.0 for all sections of the project.



## PAVEMENT DESIGN AND CONSTRUCTION RECOMMENDATIONS

The pavement thickness design was accomplished according to City of Austin procedures. The information required was (1) the Texas Triaxial Classification for the subgrade and (2) the street traffic classification. As previously discussed, a triaxial value of 5.0 was assigned to all subgrade soils and the roadway is considered a primary arterial.

As the subgrade soils are not expansive, only one pavement thickness design was considered. Lime stabilization of subgrade materials is not considered practical since the lime would chemically react very little with the relatively non-plastic soils. Thus, the pavement structure recommended is a conventional pavement with crushed stone base and asphalt concrete surfacing.

In the absence of test data, a conservative tensile strength of 10 psi is assumed for the asphalt concrete. Appendix D contains excerpts from Center for Highway Research Report 183-2, which shows the results of indirect tensile testing at room temperature on 138 cores from in-service pavements representing seven different asphalt concrete mixtures. It should be noted that the mean strength for all of these cores (obtained by weighing the mean values provided in the table by the number of cores represented) was 104 psi. Also, the lowest mean value for any project was 61 psi, with a coefficient of variation of 24 psi. Based on the data presented and experience with indirect tensile testing on many other asphalt mixtures, the value of 10 psi is sufficiently conservative to be representative of asphalt concrete mixtures of the type specified by the City of Austin experiencing summer temperatures.

The assumed Texas Triaxial Classification of 5.0 and the street classification of primary arterial were applied into Figure 3 of the City of Austin "Procedure for Pavement

Thickness Design", resulting in a total required pavement thickness of 23-1/2 inches. An asphalt concrete wearing course of 3-1/2 inches is required based on the table on page 16 of the City of Austin procedure. Based on 3-1/2 inches of asphalt concrete and Figure 4 of the City of Austin procedure, the tensile strength modification factor is 1.3 which results in a design tensile strength of 13 psi. A reduction of 7 inches in required total pavement structure depth was found to be allowable based on Figure 5 of the City of Austin procedure. Application of the required factor of 0.75 results in a reduction of 5 inches, which reduces the total required thickness to 18-1/2 inches. This results in a base thickness of 15 inches with 3-1/2 inches of asphalt concrete surfacing.

Where this pavement is subsequently trenched for utilities, backfill should be adequately compacted and a minimum of 18 inches of well-compacted flexible base placed below the new asphalt concrete surface.

Construction should conform to the requirements of the City of Austin specifications as indicated below:

1. Hot Mix Asphaltic Concrete Surface. All materials and designs of mixes shall meet the City of Austin Specifications, Item 340, and shall be subject to approval of the engineer when tested in accordance with the specifications and test procedures outlined in THD Bulletin C-14.
2. Flexible Base. The flexible base shall be obtained from an approved source, shall meet the City of Austin Specifications, Item 210, and shall be compacted to at least 100 percent of the maximum dry density as determined by THD Test Method TEX-113-E.
3. Compacted Subgrade. The subgrade shall be prepared in accordance with Item 201 of the City of Austin Specifications and the upper 6 inches shall be compacted to a density equal to at least 95 percent of the maximum dry density as determined by THD Test Method TEX-113-E.

Close supervision and a materials testing program should be maintained during construction to assure quality and uniformity of the pavement sections. Variability of in-place pavement materials is the primary cause of pavement maintenance.

## EXCAVATION FOR UTILITY TRENCHES AND CUT AREAS

The subsurface clays are generally quite stiff, but should be easily excavated by machines. Review of the Logs of Borings indicates that excavations for utilities and pavements to the depths drilled should not require blasting. Limestone was encountered at a depth of 5 feet at Bore Hole 7. However, this area is not expected to experience significant excavation. Limestone was also encountered at a depth of 26 feet at Bore Hole 5. Although Bore Hole 5 is in an area tentatively scheduled for significant paving excavation, it is anticipated that the limestone in this region will still remain below subgrade levels.

It should be noted that the exposed terraces and bottoms along Blunn Creek exhibited, upon visual inspection, limestone strata in the general vicinity of the proposed bridge. Although blasting is not believed to be necessary in this area for the pavement structure, it is possible that some blasting may be necessary for bridge abutments, foundation, etc.

APPENDIX A. SUMMARY OF CLASSIFICATION TESTS

# SUMMARY OF CLASSIFICATION TESTS

Bore Hole No.	Depth (Ft.)	Atterberg Limits		Percent Passing			Description and Engineering Classification
		Liquid Limit	Plasticity Index	#4 Sieve	#40 Sieve	#200 Sieve	
1	1.5 - 2.0	25	7	99.3	97.8	74.3	CL-Dark Brown Clay
2	0.0 - 2.0	28	11	72.3	53.8	36.2	SC-Tan Clayey Sand
3	2.0 - 3.5 3.5 - 5.0	26 31	8 15				CL-Brown Silty Clay CL-Gray Silty Clay
4	4.0 - 5.0	29	12	56.3	45.9	33.9	CL-Tan Silty Clay
5	1.0 - 3.0 18.5 - 20.0	37 42	14 22				CL-Brown Silty Clay CL-Tan Silty Clay
6	2.0 - 4.0 9.0 - 10.0	51 46	27 25				CH-Brown Clay CL-Reddish Brown Clay
7	1.0 - 2.5	30	14				CL-Brown Sandy Clay
8	1.5 - 2.5	38	20				CL-Tan Clay
9	3.5 - 4.5	29	11	100	100	53.6	CL-Brown Silty Clay
10	4.0 - 5.0	29	11				CL-Tan Silty Clay

\*Classified as Clayey Gravel by Unified Soil Classification System, but will function as fine-grained material as it has sufficient fines to more than fill the voids in the coarser material.

APPENDIX B. SUMMARY OF UNIT WEIGHT, MOISTURE CONTENT,  
AND UNCONFINED COMPRESSION TEST RESULTS

# SUMMARY OF STRENGTH TESTS

Bore Hole No.	Depth (Ft.)	Unit Dry Weight (pcf)	Moisture Content (%)	Unconfined Compressive Strength (TSF)	Description and Engineering Classification
1	1.5 - 2.0			>3.4*	CL-Dark Brown Clay
2	0.0 - 2.0			>3.4*	SC-Tan Clayey Sand
3	0.0 - 2.0 3.5 - 5.0			>3.4* 3.2*	CH-Brown Clay CL-Gray Silty Clay
4	4.0 - 5.0			1.3*	CL-Tan Silty Clay
5	3.0 - 4.5 9.0 - 10.5 13.5 - 15.0 18.5 - 20.0	92.1	24.8	>3.4* 2.3* 1.3 2.1*	CL-Brown Silty Clay CL-Brown Silty Clay CL-Brown Silty Clay CL-Tan Silty Clay
6	0.0 - 1.0 4.0 - 5.0	104.9	18.1	3.4* 5.1	CL-Brown Sandy Clay CL-Brown Silty Clay
7	1.0 - 2.5			1.3*	CL-Brown Sandy Clay
8	0.0 - 1.5 1.5 - 2.5			1.9* >3.4*	CH-Brown Clay CL-Tan Clay

\* Estimated unconfined compressive strengths obtained from pocket penetrometer test values multiplied by 0.75 (based on previous correlations between pocket penetrometer results and unconfined compression tests)










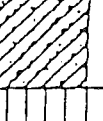






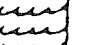
# SUMMARY OF STRENGTH TESTS

Bore Hole No.	Depth (Ft.)	Unit Dry Weight (pcf)	Moisture Content (%)	Unconfined Compressive Strength (TSF)	Description and Engineering Classification
9	0.0 - 2.0			1.7*	CL-Brown Silty Clay
	3.5 - 4.5			1.1*	CL-Brown Silty Clay
10	0.0 - 1.0			>3.4*	CL-Brown Silty Clay
	4.0 - 5.0			>3.4*	CL-Tan Silt Clay

\* Estimated unconfined compressive strengths obtained from pocket penetrometer test values multiplied by 0.75 (based on previous correlations between pocket penetrometer results and unconfined compression tests).

APPENDIX C. KEY TO CLASSIFICATION USED ON LOGS

# KEY TO CLASSIFICATION USED ON LOGS

MAJOR DIVISIONS			GROUP SYMBOLS		DESCRIPTIONS	
COARSE-GRAINED SOILS  More Than Half of Material is LARGER Than No 200 Sieve Size	GRAVELS  More Than Half of Coarse Fraction is LARGER Than No. 4 Sieve Size.	Clean Gravels (Little or no Fines)	GW		Well-Graded Gravels, Gravel-Sand Mixtures, Little or no Fines.	
			GP		Poorly-Graded Gravels, Gravel-Sand Mixtures, Little or no Fines.	
		Gravels With Fines (Appreciable Amount of Fines)	GM		Silty Gravels, Gravel-Sand-Silt Mixtures.	
			GC		Clayey Gravels, Gravel-Sand-Clay Mixtures.	
	SANDS  More Than Half of Coarse Fraction is SMALLER Than No. 4 Sieve Size.	Clean Sands (Little or no Fines)	SW		Well-Graded Sands, Gravelly Sands, Little or no Fines.	
			SP		Poorly-Graded Sands, Gravelly Sands, Little or no Fines.	
		Sands With Fines (Appreciable Amount of Fines)	SM		Silty Sands, Sand-Silt Mixtures.	
			SC		Clayey Sands, Sand-Clay Mixtures.	
		FINE-GRAINED SOILS  More Than Half of Material is SMALLER Than No. 200 Sieve Size.	SILTS and CLAYS  Liquid Limit Less Than 50  Liquid Limit Greater Than 50	ML		Inorganic Silts & Very Fine Sands, Rock Flour, Silty or Clayey Fine Sands or Clayey Silts with Slight Plasticity.
				CL		Inorganic Clays of Low to Medium Plasticity, Gravelly Clays, Sandy Clays, Silty Clays, Lean Clays
OL				Organic Silts & Organic Silty Clays of Low Plasticity.		
MH				Inorganic Silts, Mucous or Diatomaceous Fine Sand or Silty Soils, Elastic Silts.		
CH				Inorganic Clays of High Plasticity, Fat Clays.		
OH				Organic Clays of Medium to High Plasticity, Organic Silts.		
Highly Organic Soils		PI		Peat & Other Highly Organic Soils		

# BUILDING PERMIT

546

Austin, Texas,

June 1 1922

To

O. O. Knawood

In accordance with your application, you  
are hereby authorized to erect a building,  
~~an addition to a building on~~

Lot

1 to 5

Block

50

Outlot

Div.

Drains Heights

Being outside the fire limits of the City of  
Austin, the cost or contract price to be

\$ 7.860<sup>00</sup>

Fred Sterging

CITY ASSESSOR AND COLLECTOR

\$6500<sup>00</sup> Certificate No. 3 Plan No. A Act 27 1922

To Mrs. O. O. Harwood  
Austin Texas

This is to Certify that Under the Terms of Contract for work on four  
Residence  
Braden Lumber & Construction Co. Contractors for  
General Construction and entitled to the  
third Payment amounting to  
Sixty-five Hundred and 00 /100 DOLLARS

NOTICE

Amount of Contract \$	13974	00
Add. to Contract - \$	1709	00
Total - - - \$		
Deduct from Cont. \$		
Balance - - \$	15683	00
This Cert. - \$	6500	00
Prev. Paid - \$	8000	00
Total Paid to Date \$	14500	00
Balance - - \$	1183	00

H. F. KUEHNE

ARCHITECT

Per. H. F. Kuehne

RECEIPT ON BACK

Austin, Texas,

July 16 1923

M. O. Norward

South Austin

In Account With

## Austin Electrical Supply &amp; Plumbing Co.

W. TWINING, Proprietor

ONLY FIRST CLASS WORKMEN EMPLOYED

ALL BILLS ARE DUE AND WE EXPECT PAYMENT ON THE FIRST OF EACH MONTH

ALL CONTRACT WORK IS CASH ON COMPLETION OF JOB

Phone 6001

1808 Lavaca Street

	Date		Debit	Credit	Balance
		To Mdse. B. R.			
July	9	142 ft 1/2 pipe	21.30		
		550 ft 14 P.C. wire	11.00		
		2 switches & fuses	1.50		
		2 push switches	2.00		
		14 ft Green field	2.00		
		14 push buttons	7.00		
		14 clock units	7.00		
		45 No. 8. Lavaca	1.00		
		2 pos. recept	1.50		
		1-25 watt lamp	.36		
		1-Base box	.40		
		1-Base plug	1.00		
		4-1/2" ell	1.60		
		4-1/2" Elbow	.60		
		2- No 8. Covers	.20		

**AUSTIN, TEXAS.**

10/30

192

Ollie C. Norwood,

Travis Heights

IN ACCOUNT WITH

**W. H. RICHARDSON & CO.**  
**HARDWARE.**

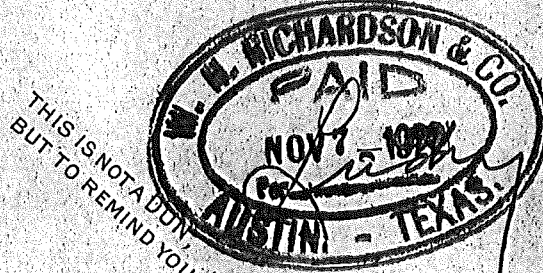
416-418 CONGRESS AVE.

BELOW WE HAND YOU A STATEMENT OF ACCOUNT, IF NOT CORRECT PLEASE NOTIFY US AT ONCE.

OCT 7

143.19

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ALL ERRORS PROMPTLY ADJUSTED.  
YOUR PATRONAGE SOLICITED.

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	Staff Work				
	Interior Oak Finish in White				
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1600-1610 S. Jefferson Street

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TERMS CASH 30 days 2/10

Sold to

Chicago, Ill., December 28, 1922., 192\_\_

-O. O. Norwood,  
-1012 Edge Cliff, Travis Heights,  
-Austin, Texas.

Your Order No. \_\_\_\_\_

Our Order No. 59716.

Via Wabash.

2---Vases No. 20, 19,80,  
Portland Cement.

39.60.

*FOB Chicago Ill.*

Ordered by H. F. Kuehne, Architect,  
Austin, Texas.,

**PAID**

JAN 27 1923

ARCHITECTURAL DECORATING CO.

*Johnson*  
*cash*

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Sold to

Chicago, Ill., November 13, 1923. 192

- Mr. O. O. Norwood,
- Travis Heights,
- Austin, Texas.

Your Order No.

Our Order No. 62449.

Via Freight.

1--pedestal No. 101 including dial,

30.00

1--pedestal No. 122 including gazing ball, 33.30,

33.30

4--vases No. 77,

11.70

46.80.

Portland Cement,

110.10.

F.O.B Chicago, Ill.

*paid  
12-2-1923*

**TELEPHONE  
CANAL 1463**

ARCHITECTURAL DECORATING CO.

CHICAGO, Jan. 1, 1922.

Mr. O. O. Narverstad

Austin, Texas

Travis Heights. 1012 Edge Cliff

IF INCORRECT PLEASE RETURN FOR CORRECTION					
		BALANCE			
<i>Dec</i>	<i>28</i>	TO MDSE.		<i>3960</i>	
<b>PAID</b>					
JAN 27					
ARCHITECTURAL DECORATING CO.					
Per <i>H. Johnson</i>					
<i>Cash</i>					
MAKE ALL REMITTANCES DIRECT TO CHICAGO OFFICE					

MAKE ALL REMITTANCES DIRECT TO CHICAGO OFFICE

MADE BY TALLMAN, ROBBINS & COMPANY, CHICAGO-NEW YORK

ALL ACCOUNTS DUE IN FULL ON  
THE FIRST OF EACH MONTH

AUSTIN, TEXAS, 11/22/22 192

M O. O. Norwood, Travis Hts.

City.

## AUSTIN GRANITE GRAVEL CO.

426 LITTLEFIELD BUILDING

GRAVEL FOR DRIVEWAYS

TELEPHONE NO. 6976

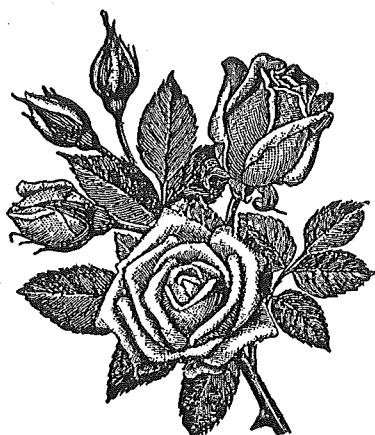
PITS LOCATED AT  
TALLY, BURNET COUNTY, TEXAS

For Granite Gravel

CONCRETE MATERIAL FROM  
COLORADO RIVER  
AUSTIN, TEXAS

THE E. L. STECK CO., AUSTIN

DATE	CAR INITIALS	CAR NUMBER	NET POUNDS	TONS	YARDS	PER TON	PER YARD	TOTAL
11/14/22	IGN.	12666	96500		38.6		\$2.65	\$102.30
<i>Rec'd Payment Harry W. Nolan 11/28/22</i>								



PHONE 6442

Austin, Texas, March 23, 1923 192

Mr. O.O. Norwood,

TO ALFF'S NURSERY, DR.

CHAS. ALFF & CO., PROPS.

GROWERS OF GENERAL ASSORTMENT OF

Garden, Hothouse and Nursery Stock

Landscape Gardeners Grotto and Rustic Builders

DECORATIONS, CUT FLOWERS AND DESIGN WORK

2/ 21

1 Geranium  
30 Lygustrums  
93 Flowering shrubs  
13 Arbor Veiteas  
5 Loads Soil  
7 Box woods  
4 Box woods  
60 Box woods  
2 Arbor Veiteas  
2 Oleanders  
3 Lygustrums Licidium  
4 Eunnymus  
4 Pittrosporom  
4 Lombarda Poplar  
1 Soto  
2 Queens Crown  
2 Wisteria  
1 Rose Bush  
2 doz. Snap Dragons  
2 " Verbeanas  
1 " Gladiolus  
Supervision & Labor to date

.75  
.50  
1.50  
15.  
2.50  
.60  
3.  
3.  
1.50  
.75  
1.50  
1.50  
2.50  
50  
.75  
.75  
.75  
50.

35  
22.50  
46.50  
19.50  
10.  
10.  
36  
6.  
6.  
4.50  
3.  
6.  
6.  
2.50  
1.  
1.50  
.50  
1.50  
1.50  
50.

335.60

# THE UNION METAL MFG. CO., Canton, Ohio

Our Order No. 20682

ENTERED  
12/14/22

DATE CUSTOMERS ORDER  
Letter 12/11/22

CUSTOMERS ORDER NO.

PROMISED

## ORIGINAL INVOICE

## SHIPPED TO

DATE

Dec 14 1923

H. F. KUEHNE, ARCHITECT  
LITTLEFIELD BLDG.  
AUSTIN, TEXAS

O. O. NORWOOD  
1012 EDGE CLIFF, TRAVIS HEIGHTS  
AUSTIN, TEXAS

TO THE UNION METAL MFG. CO., DR.

CANTON, OHIO

Frts.

TERMS 30 days net, 2% 10 days from date of invoice

NOTE—TO RETURN MERCHANDISE, PERMISSION MUST FIRST BE OBTAINED FROM US; OTHERWISE GOODS WILL BE REFUSED

CHARGES

MARK

### MATERIAL SHIPPE

### S DIRECT FROM OTHER STOCKS

TOTAL  
NO.  
ORDERED

Remittance covering this invoice must be made  
to LY to the Home Office at Canton, Ohio

### DESCRIPTION

### LIST PRICE

### DISCOUNT

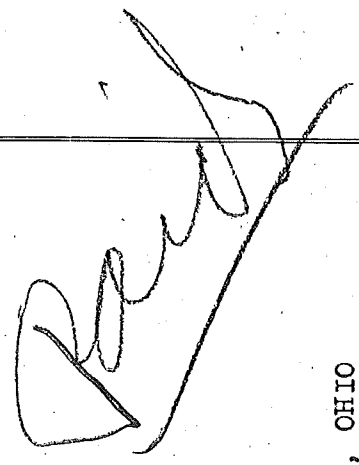
### NET AMOUNT

2 Exterior Newels .6  
2 Alba Ball globes 16x8  
2 Multiple Medium base receptacles } @ \$25.40

\$50.80

XX

XX



F.O.B. CANTON, OHIO

## IMPORTANT

Notice packing lists and check contents of each box as soon as goods arrive. In case goods are lost or damaged enroute you should have notation of same made on R. R. expense bill by your local freight agent, thereby enabling you to recover the loss from the Railroad Company. Our responsibility ceases as soon as we have possession of receipts from the Transportation Companies, settlement should be made according to the terms quoted and agreed upon, even though the material has not been received. All answers must be sent to F. O. B. CANTON, OHIO.

INVOICE  
CHECKED BY

# Swann-Schulle Furniture Co.

Wholesale and Retail Furniture, Carpets and Draperies

Homes Furnished Complete on Easy Payments

401-403 Congress Avenue

Austin, Texas, 10-31, 1922

Mr. O. O. Norwood

c/o J. L. Arlett, Littlefield Bldg.  
City.

Jun 21	Refrigerator		115 00
Aug 15	Royal Kashan 9x12		125 00
	2-27" Rugs	13.50	27 00
	2-36" "	22.50	45 00
	1-7' x 4' "		40 00
	2 Bath "	4.50	9 00
	Van, Bed, Chiff, Rocker, Bench, } Stool, High Stand		450 00
	1-6 Piece Breakfast Set		116 00
17	Rug		112 50
	Rug		85 00
24	Refrigerator	229.95	
	Extra Ice Enameling	15.00	
	Freight	16.98	
	10% Added	22.95	284 88
Sept 23	37 Shades		107 30
Oct 11	Chair 2.00 Stool 2.00		4 00
12	Parlor Suite		580 00
20	Table		72 00
21	3 Hilton Rugs @ 13.50		40 50

C BALDWIN & SONS, AUSTIN, TEXAS

# Swann-Schulle Furniture Co.

Wholesale and Retail Furniture, Carpets and Draperies

Homes Furnished Complete on Easy Payments

401-403 Congress Avenue

Austin, Texas, \_\_\_\_\_, 192\_\_\_\_\_

Oct 25	19 $\frac{1}{4}$ yds Linoleum 3.25	62 56
25	1 Mat 2.00 Mat 5.00	7 00
	2 Bow End Springs @ 13.50	27 00
		2228 74
Aug 14	By Cash	300 00
		1928 74
	Less 2 Ref	399 88
		1528 86
	add for Refrig -	50 00
		1578 86
	Less Buffing	30 00
		\$1548 86
	399 88	
	5	
	174 88	
	11/7/22	
	<i>[Signature]</i>	

C BALDWIN & SONS, AUSTIN, TEXAS



NOTE: MONTHLY STATEMENTS ARE NOT ITEMIZED

ANY CLAIM  
OR OVERC  
ACCOMPAN  
INVOICE  
FUND  
MAY BE  
THIS

C. A. Dahlich

1406 S-10-12 LAVACA ST.  
AUSTIN, TEXAS  
PHONES 1623-1624

TERMS:—  
EXCEPT WHERE NOTED,  
10% DISCOUNT IF PAID IN  
FULL  
WITHIN THIRTY DAYS

No. 7028

Date

12/20

1932

Sold to

W. O. J. Norwood

Address

1012 Edgely

Deliver to

Address

How Ship?

When

QUANTITY

PATTERN

ARTICLE

PRICE

AMOUNT

100 Chairs recovered 5754 1/4  
Domestic

14.00

100 Chairs recovered 5732 1/4  
Domestic

13.50

Chairs on express and delivered  
556268  
(S. J.)

MANUFACTURED BY AMERICAN SALES BROS. CO., CHICAGO, ILL.



# HOUSEHOLD FURNITURE CO.

PACKING LIST OF TICKET NO. 65-738

SHIP TO C.O. Harwood 1306 Hawking av

CITY Amherst STATE MA

ROUTE 7-9-77 DATE 10-7-77-22

HOW SHIPPED P.O. SALESMAN Passe

DESCRIBE IN THIS PACKING MANIFEST THE CONTENTS OF EACH CRATE OR PACKAGE AND WHERE EXTRAS ARE PACKED.

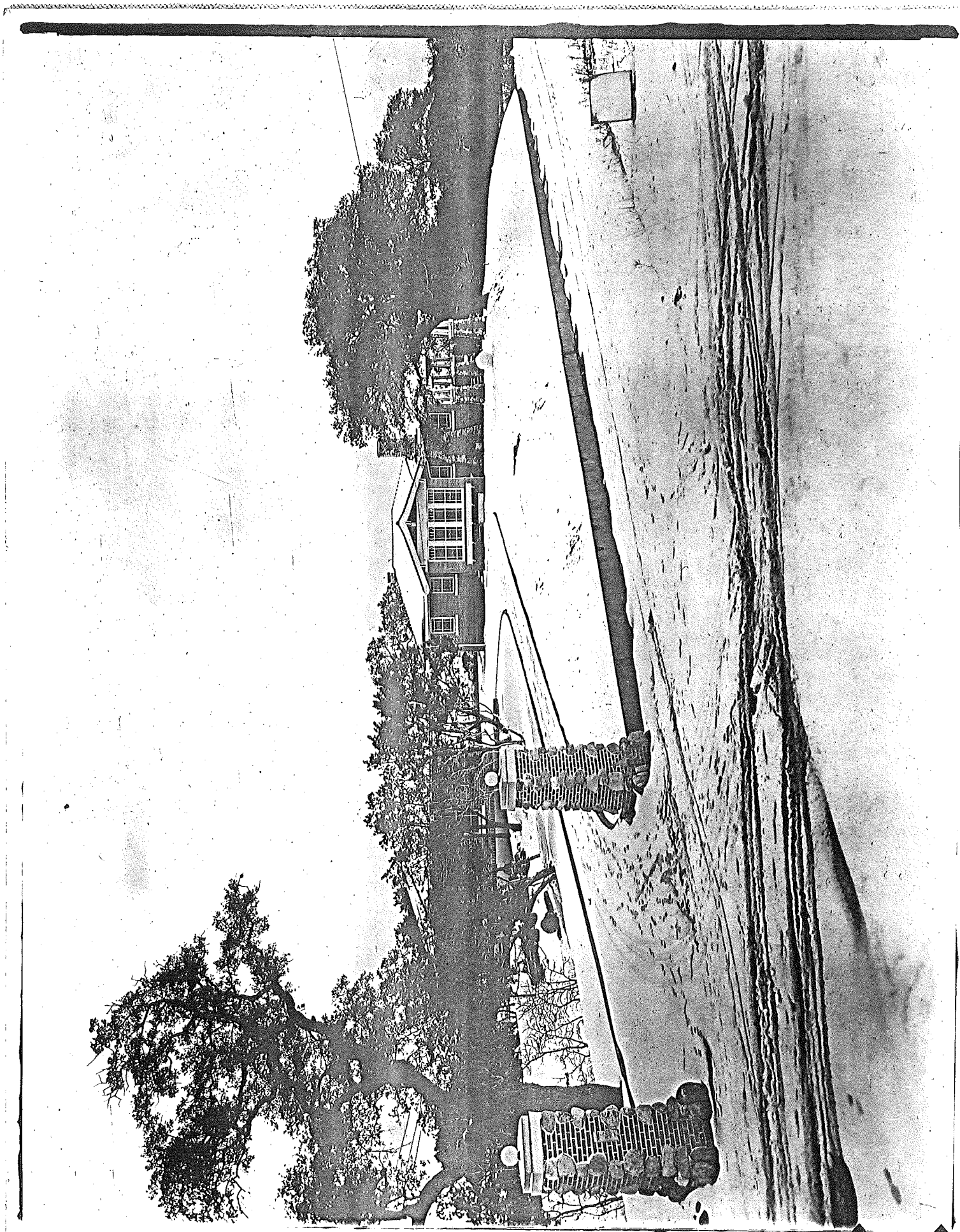
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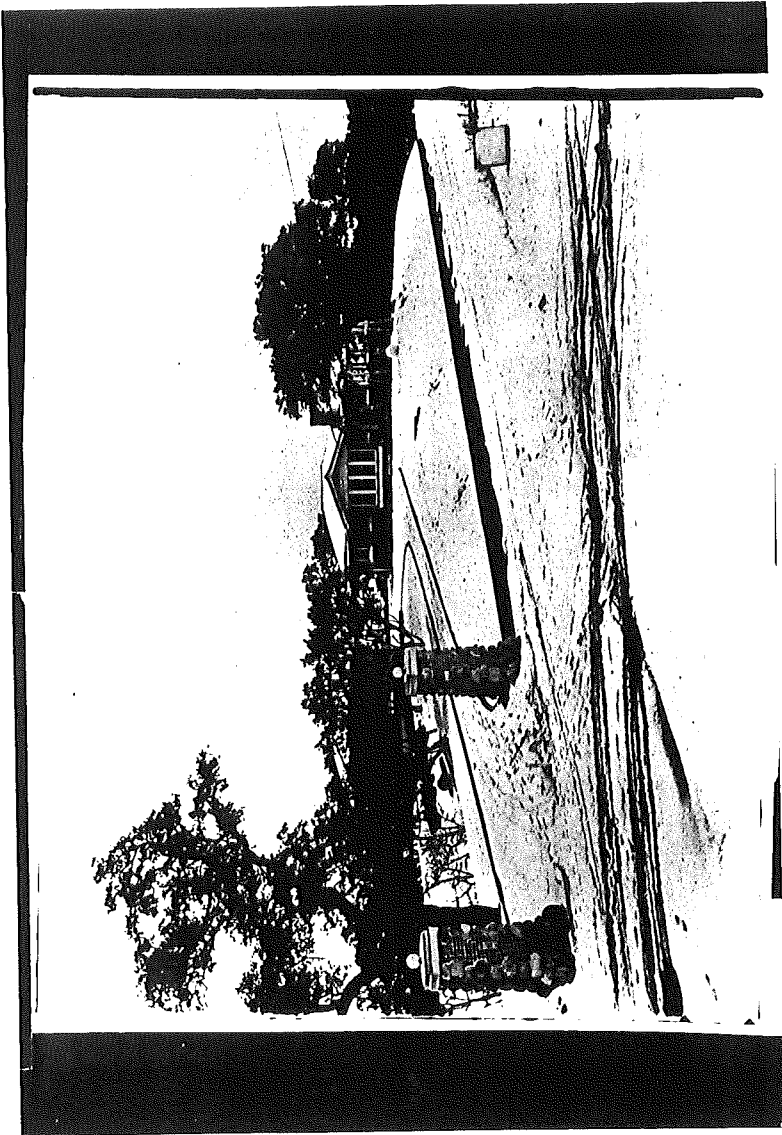
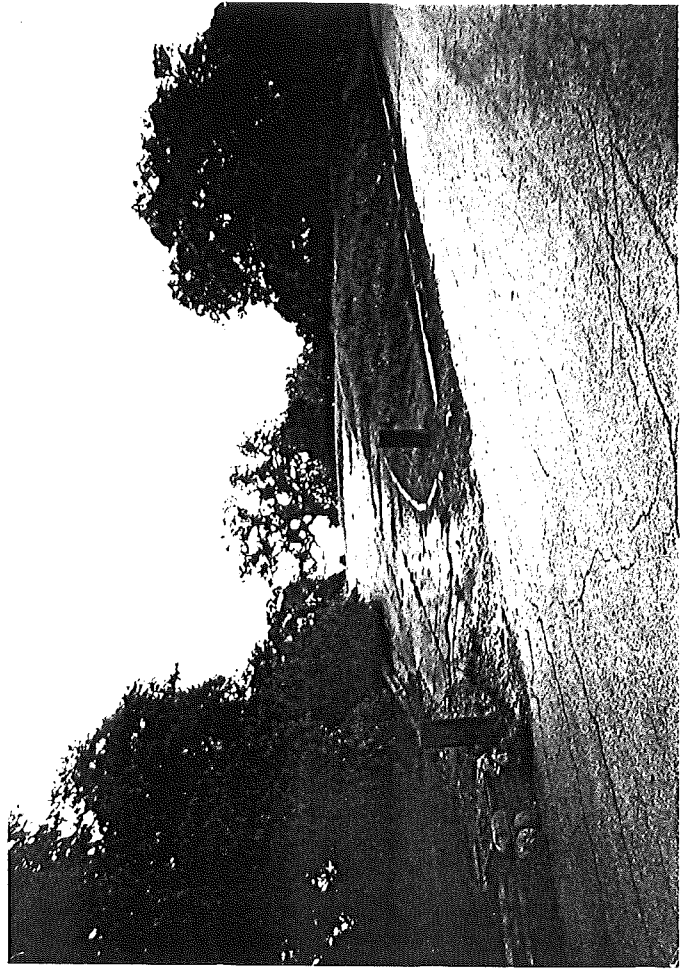
ORIGINAL:—RETAIN IN MAIN OFFICE AT STORE FOR PERMANENT RECORD.

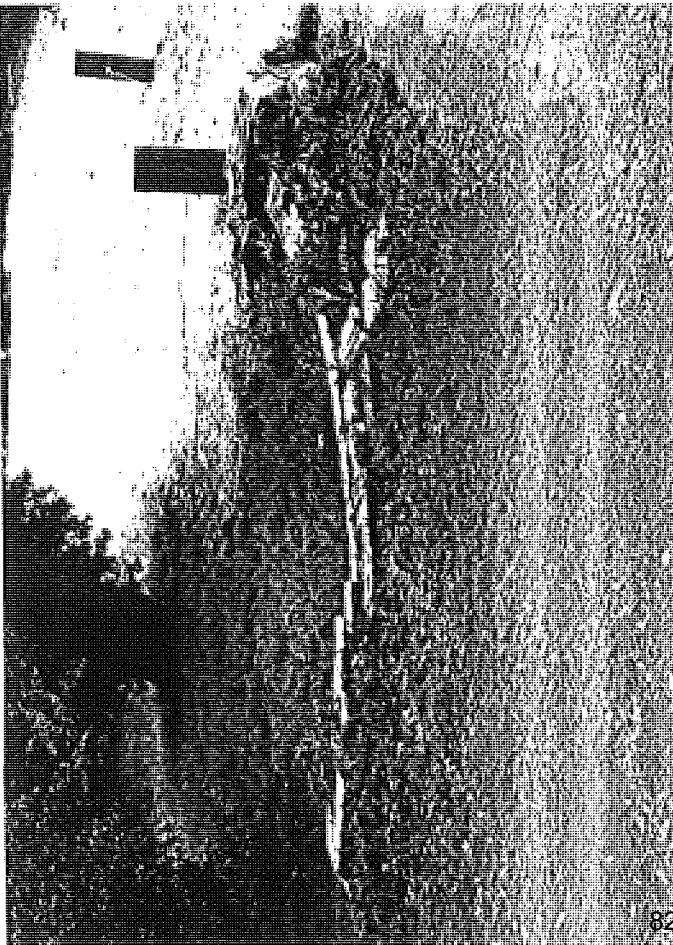
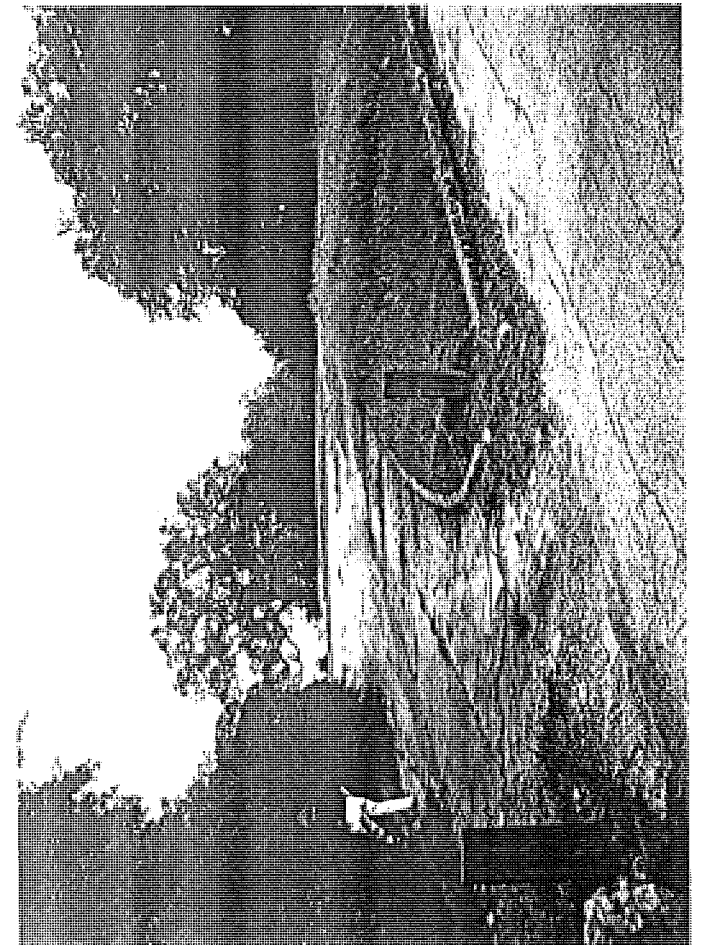
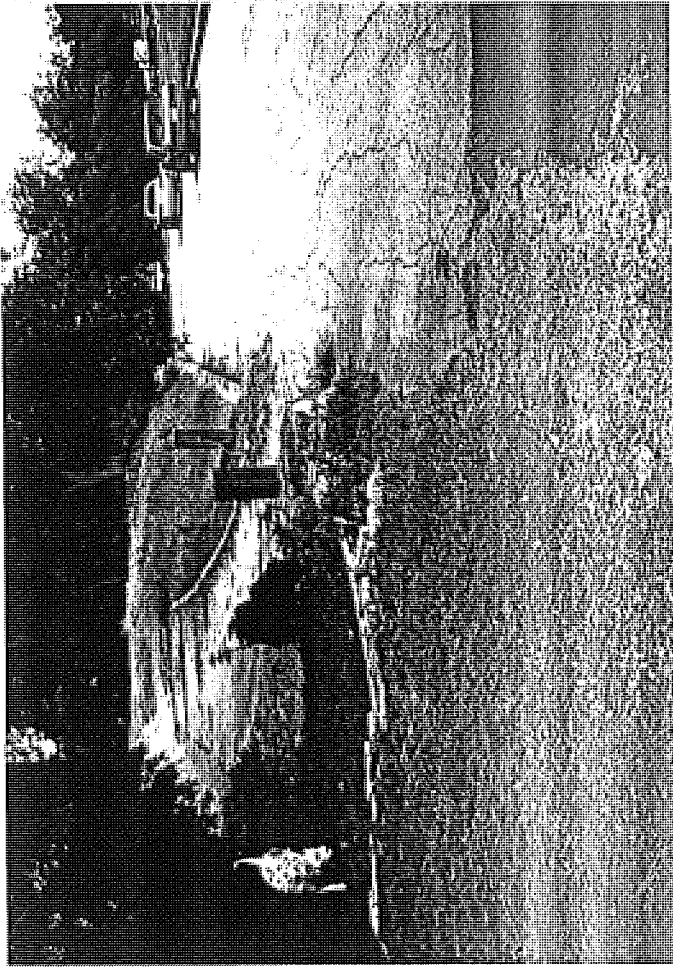
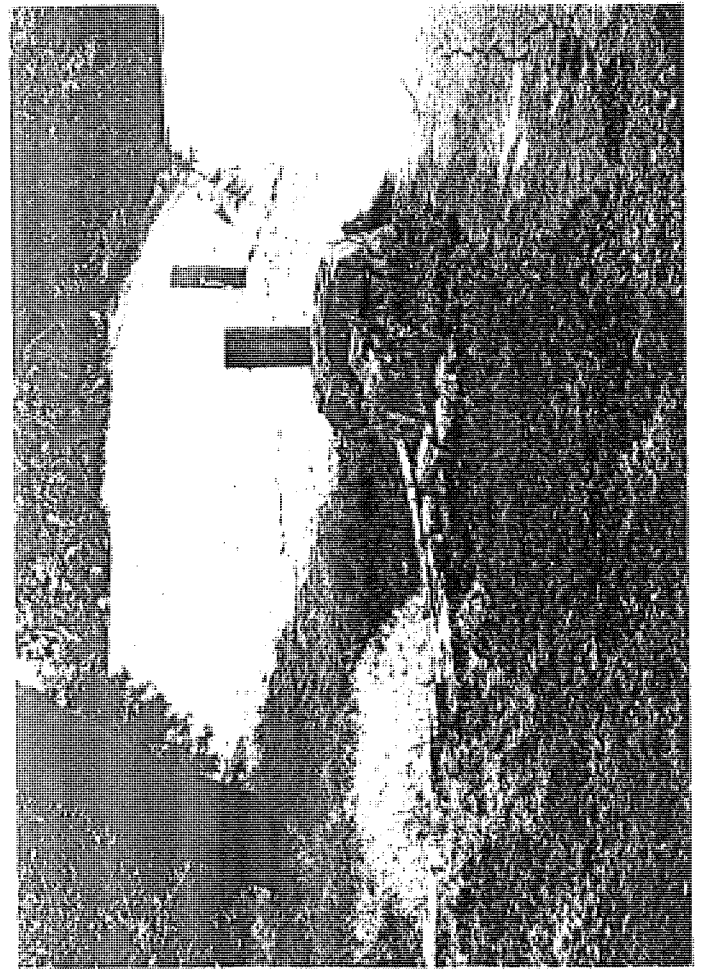
DUPLICATE: -TO REMAIN IN SHIPPING DEPARTMENT FOR REFERENCE.

TRIPPLICATE: - MAIL WITH INVOICE AND BILL OF LADING TO CUSTOMER.

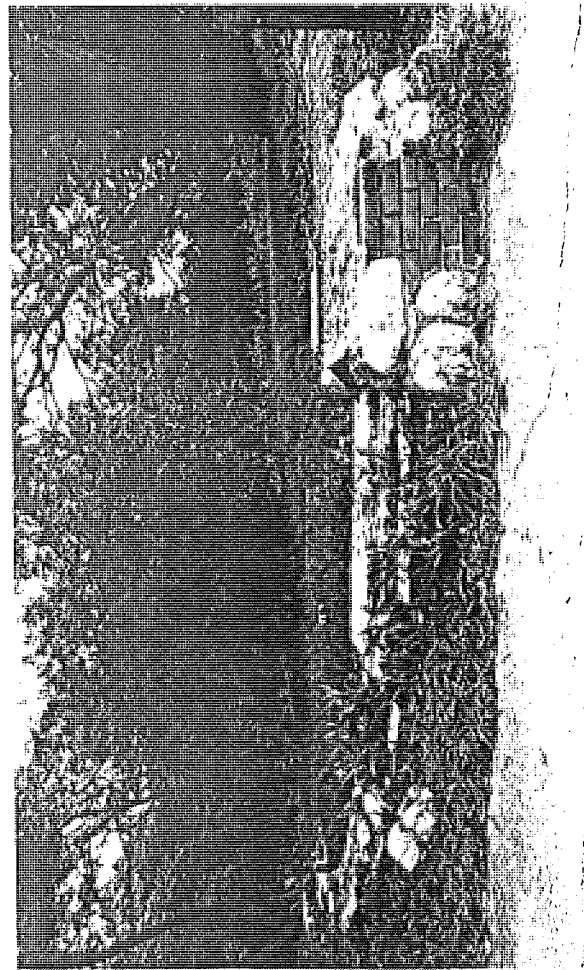
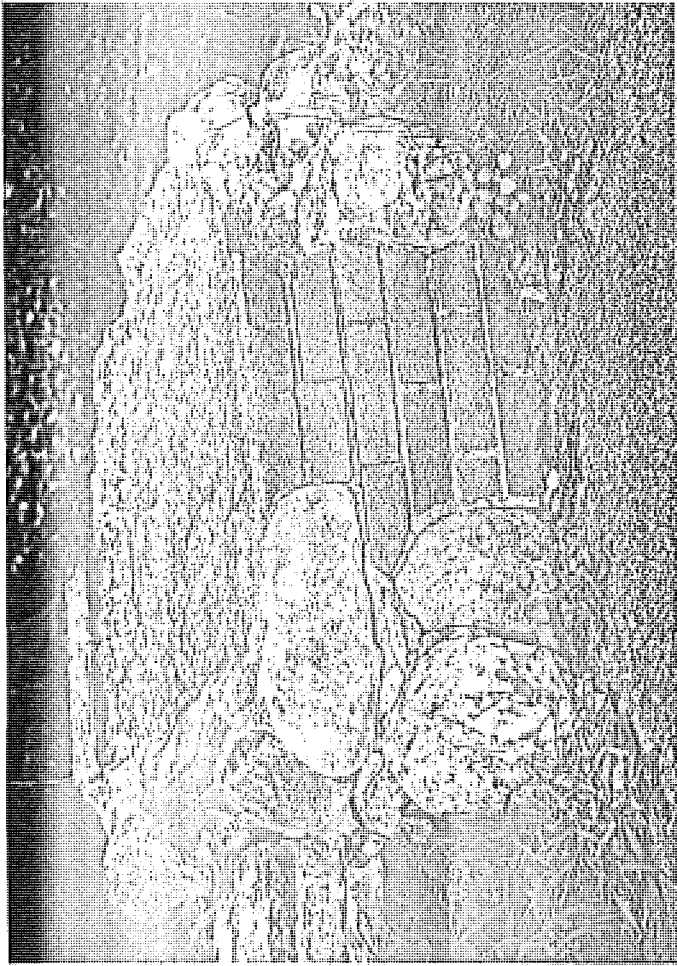


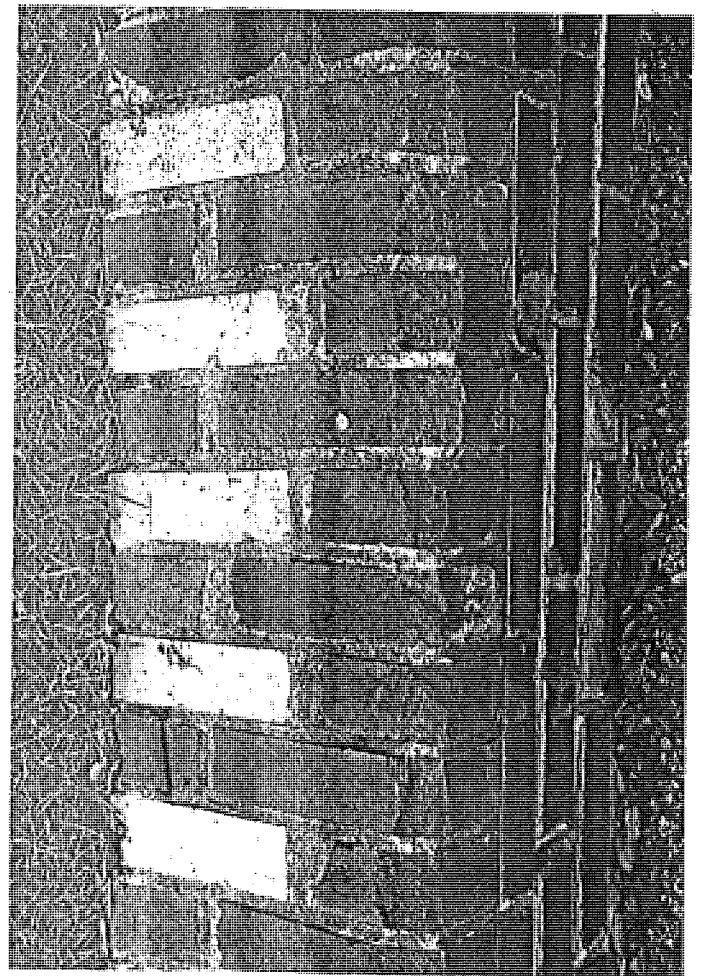
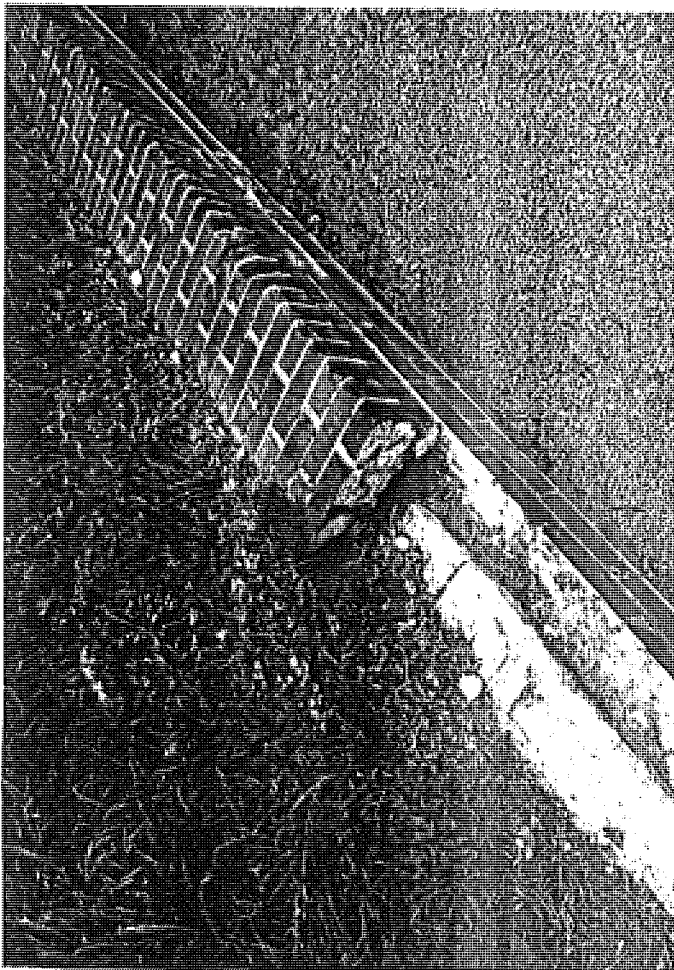
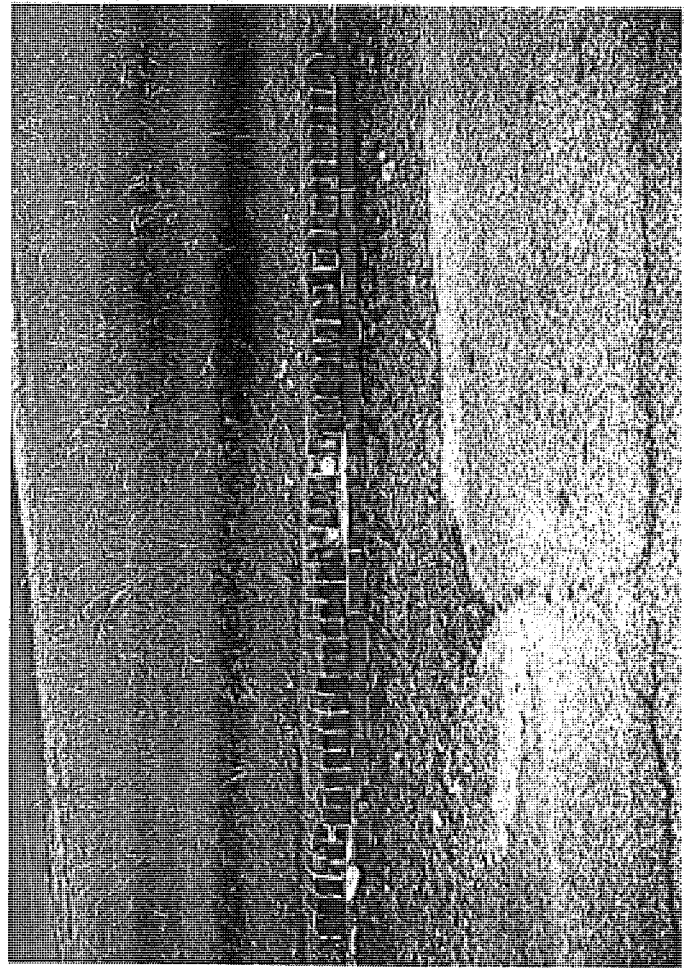




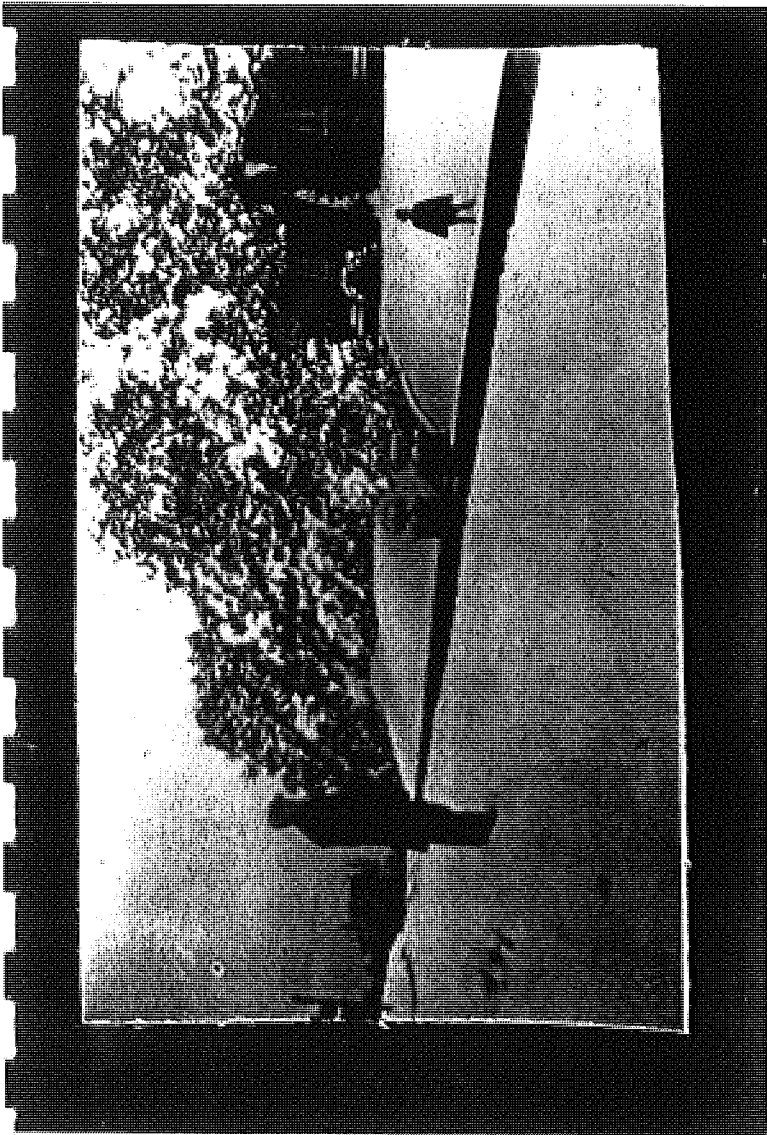
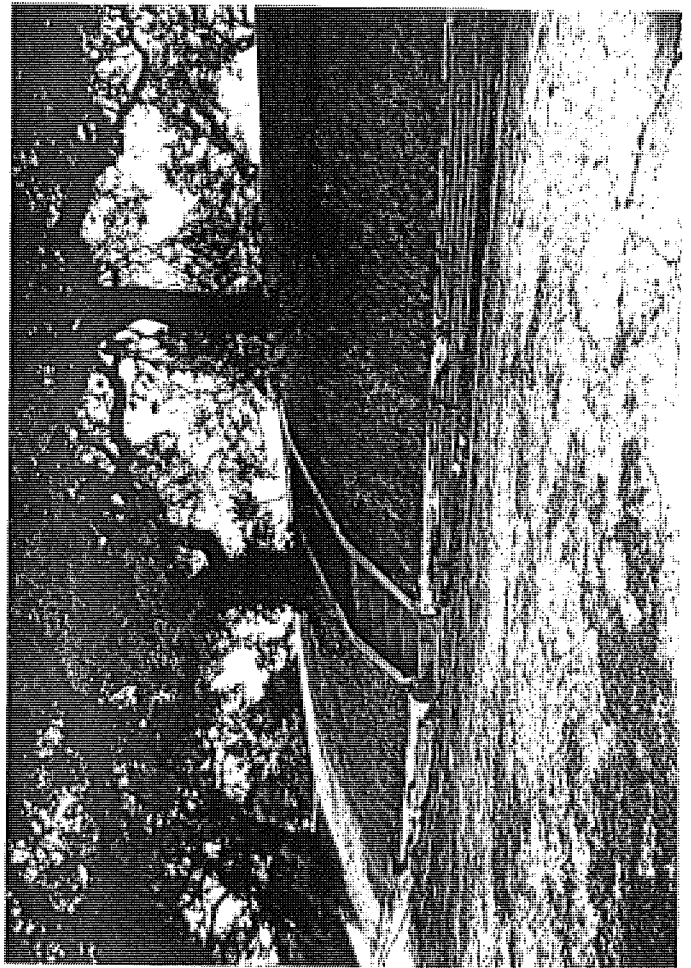
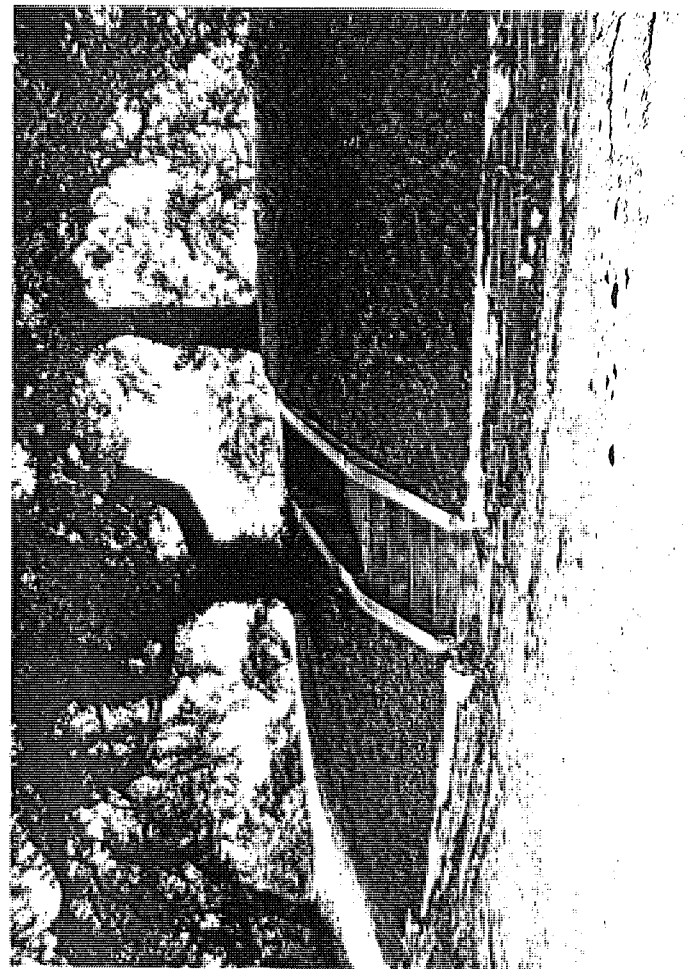


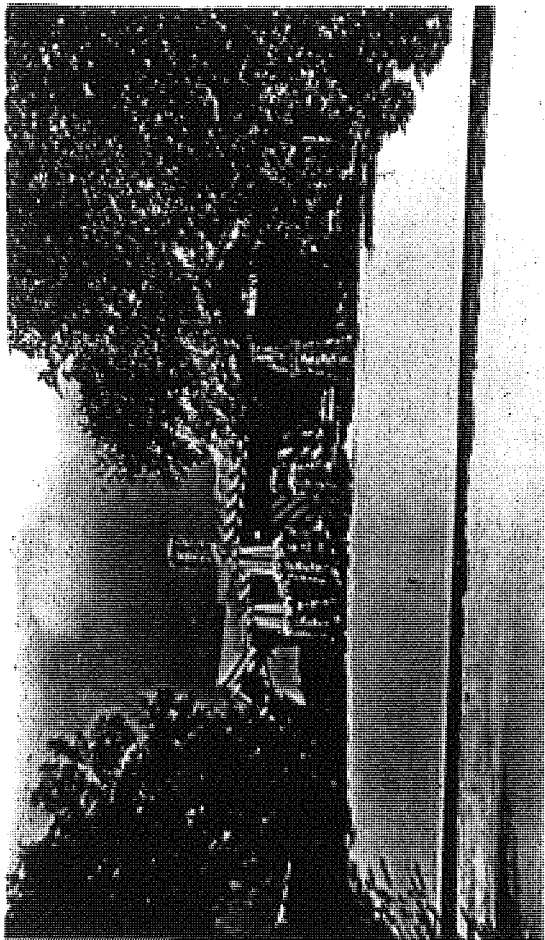




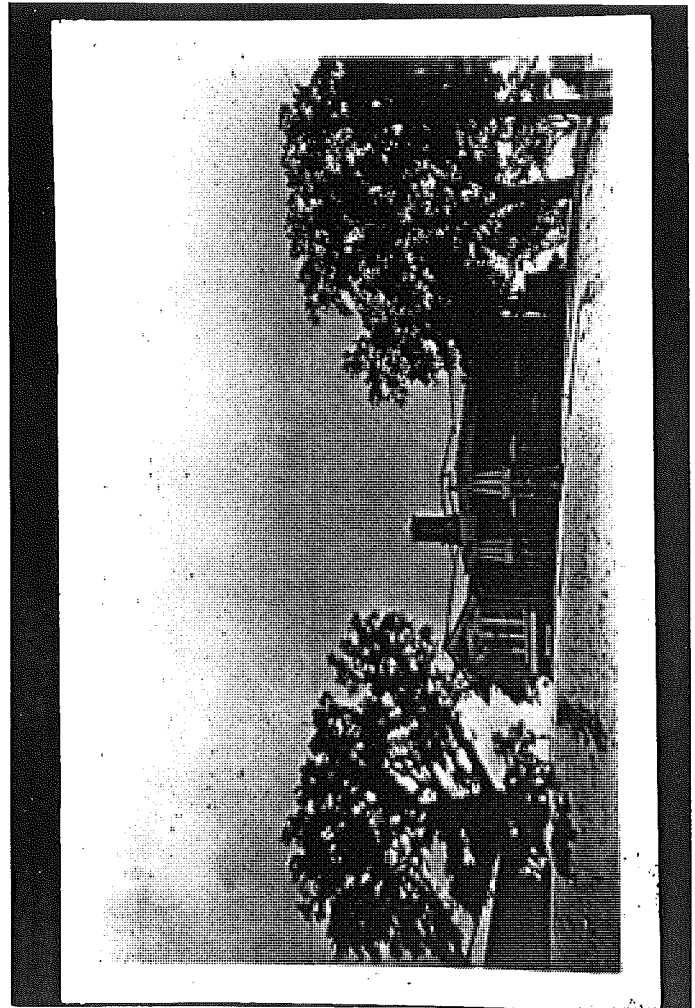




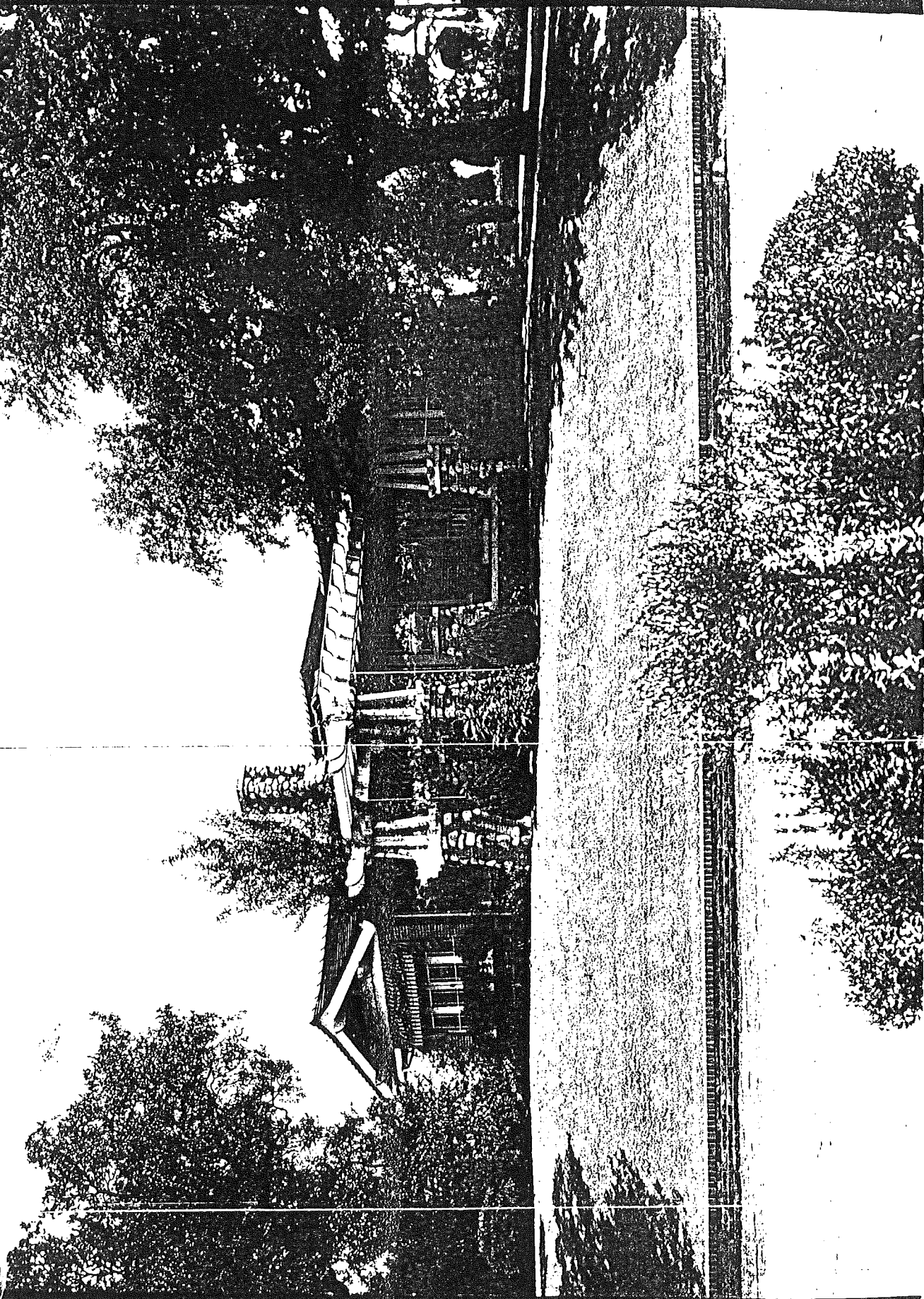
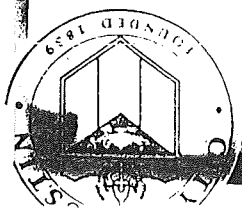




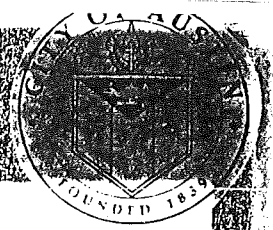
THE 1940 BUREAU S.A. THE



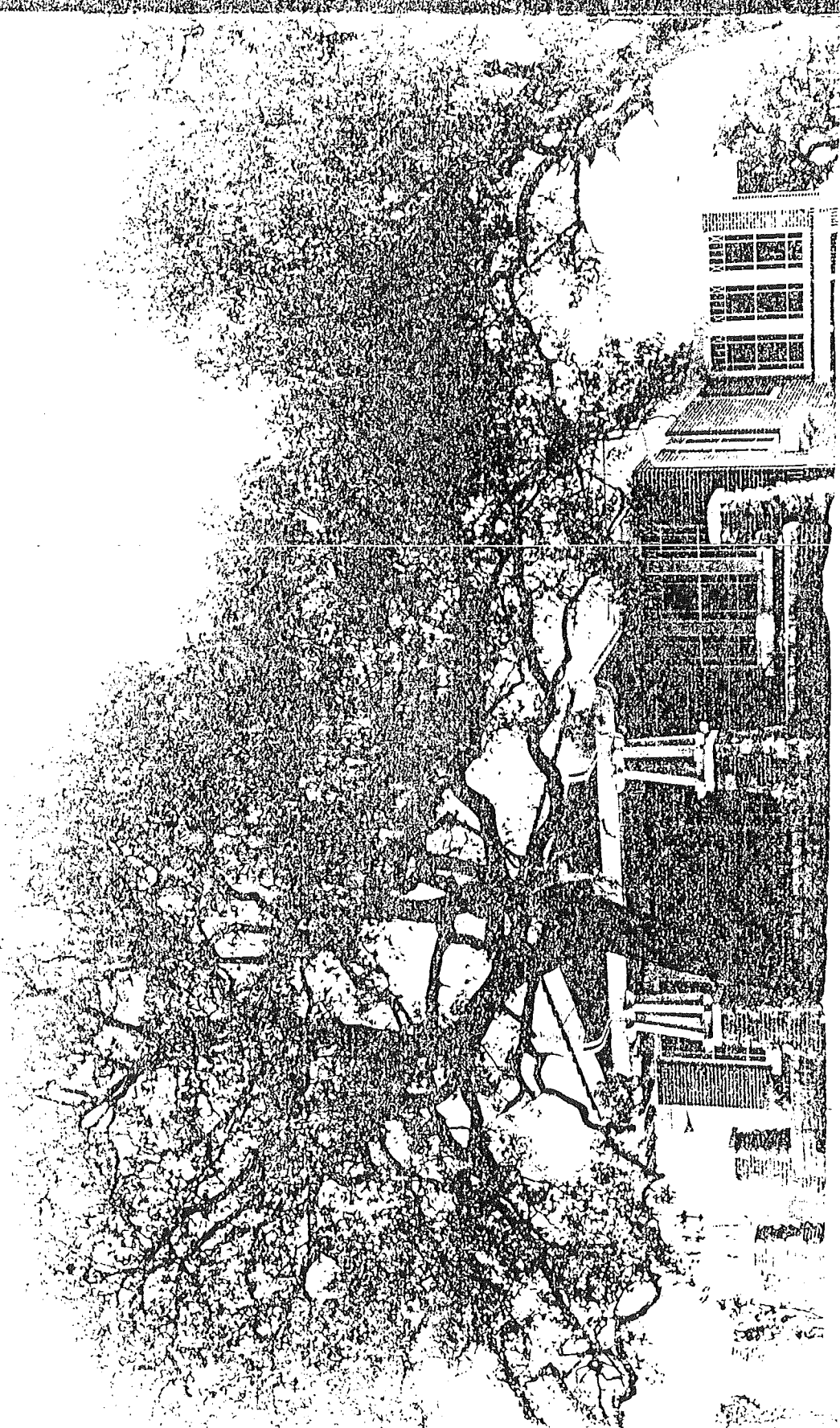
EDGECLIFF TERRACE 1012  
C01462

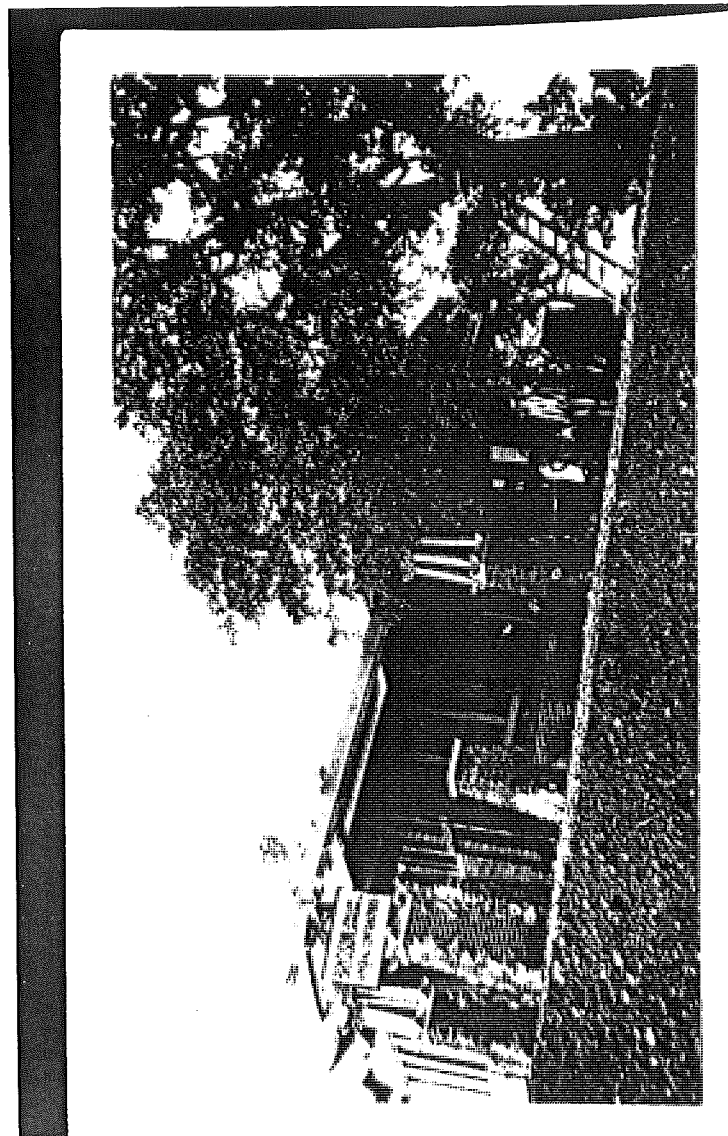
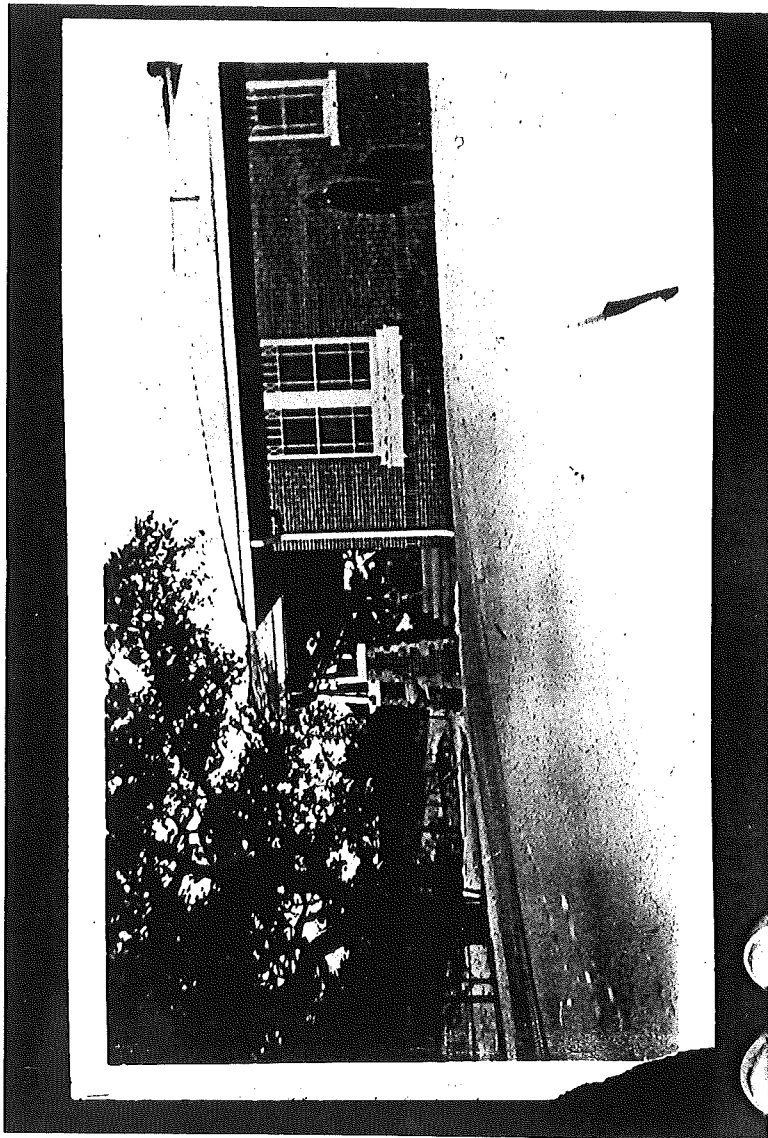


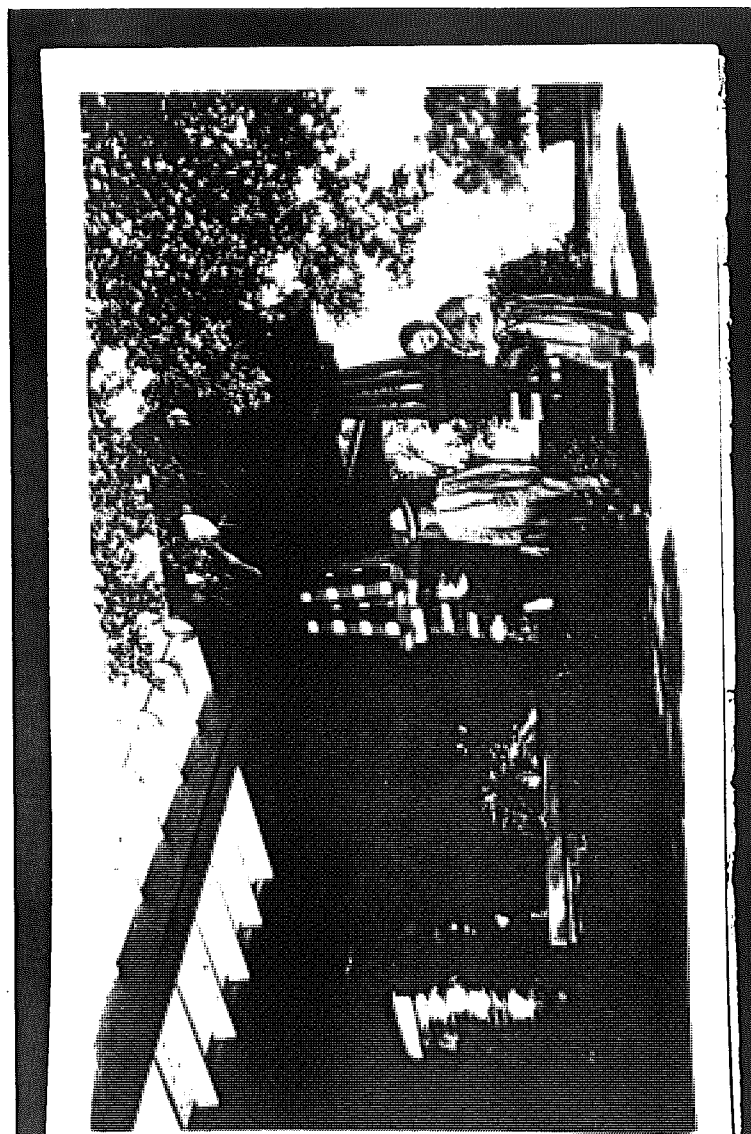
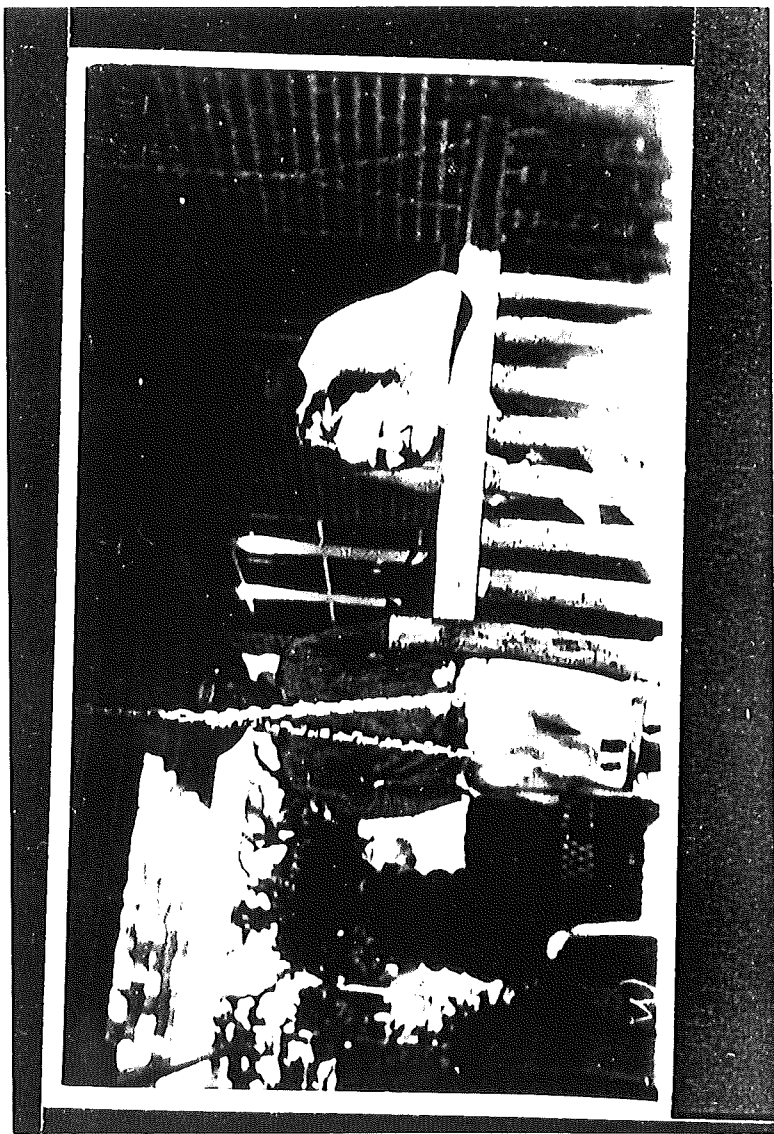


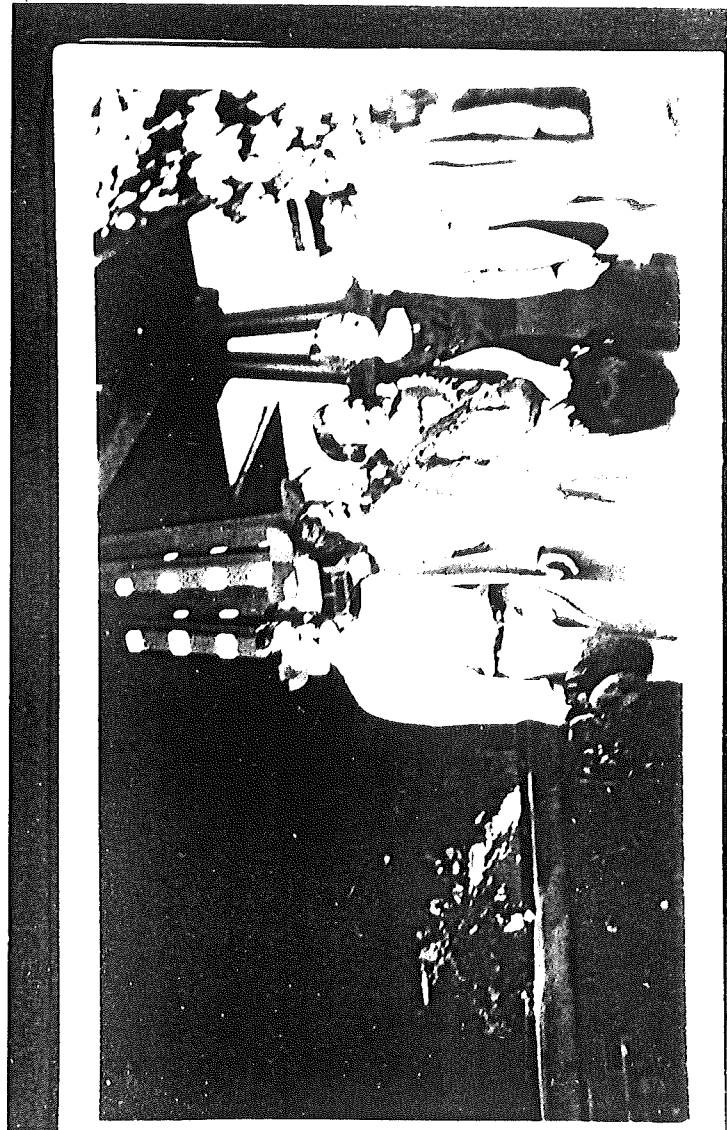
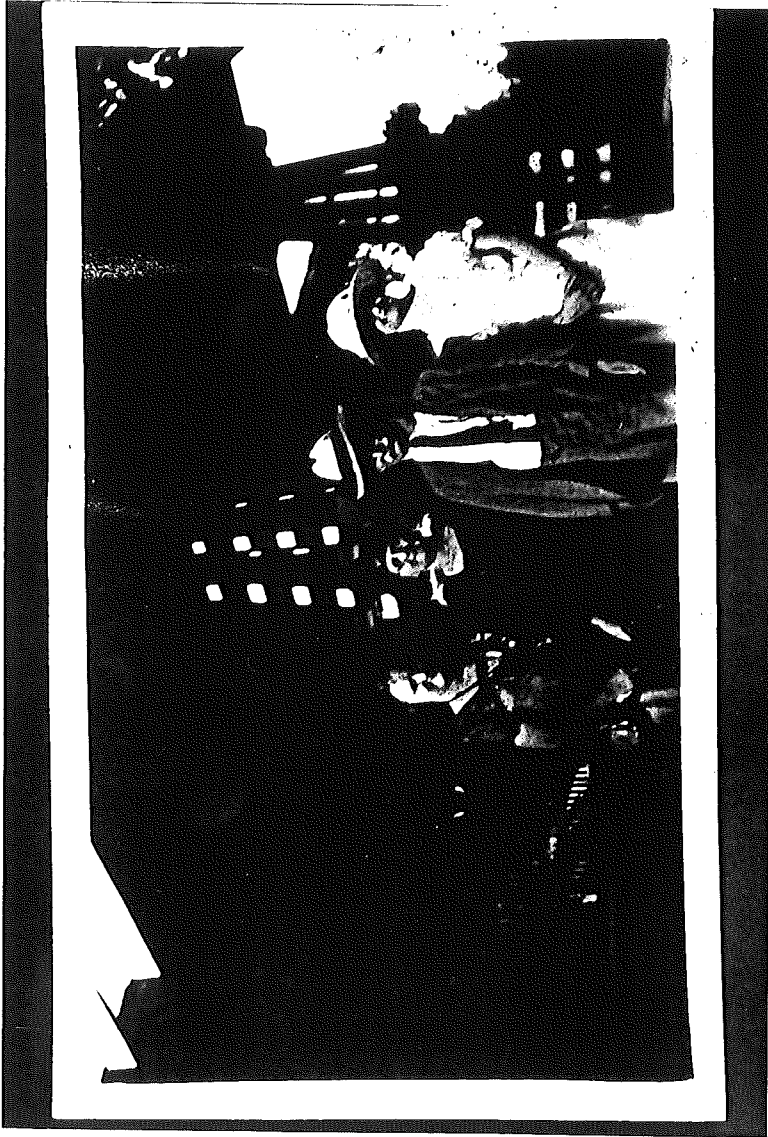


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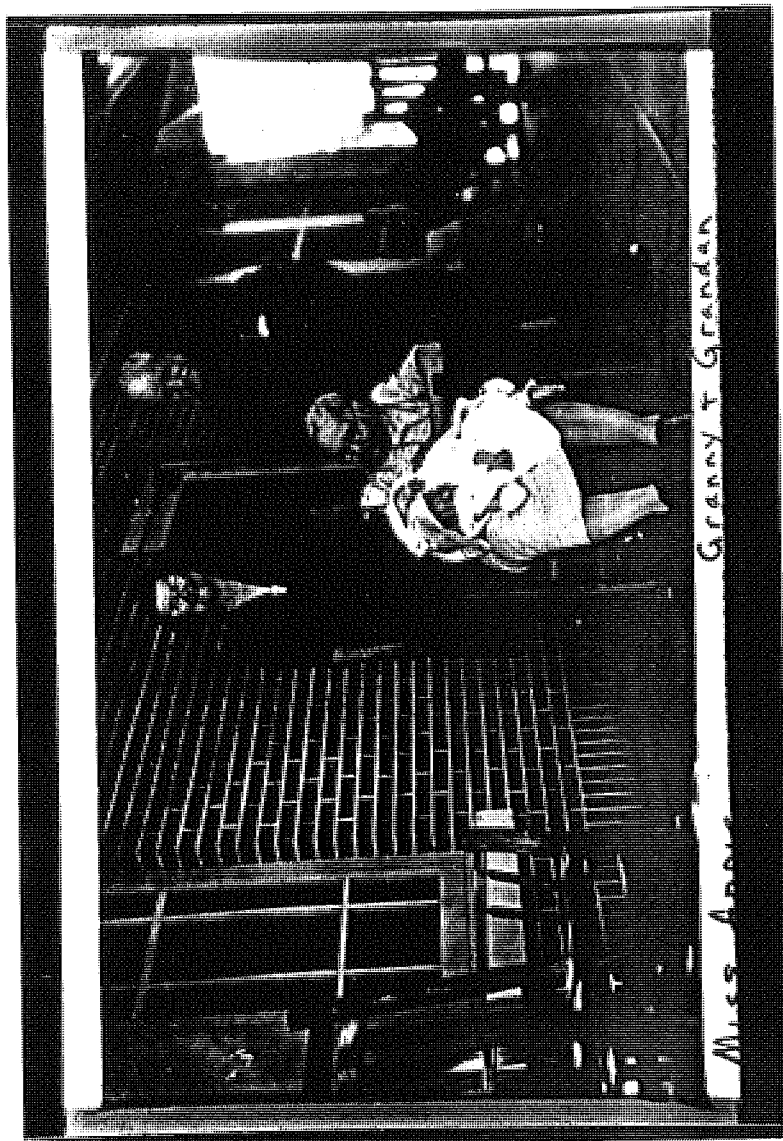
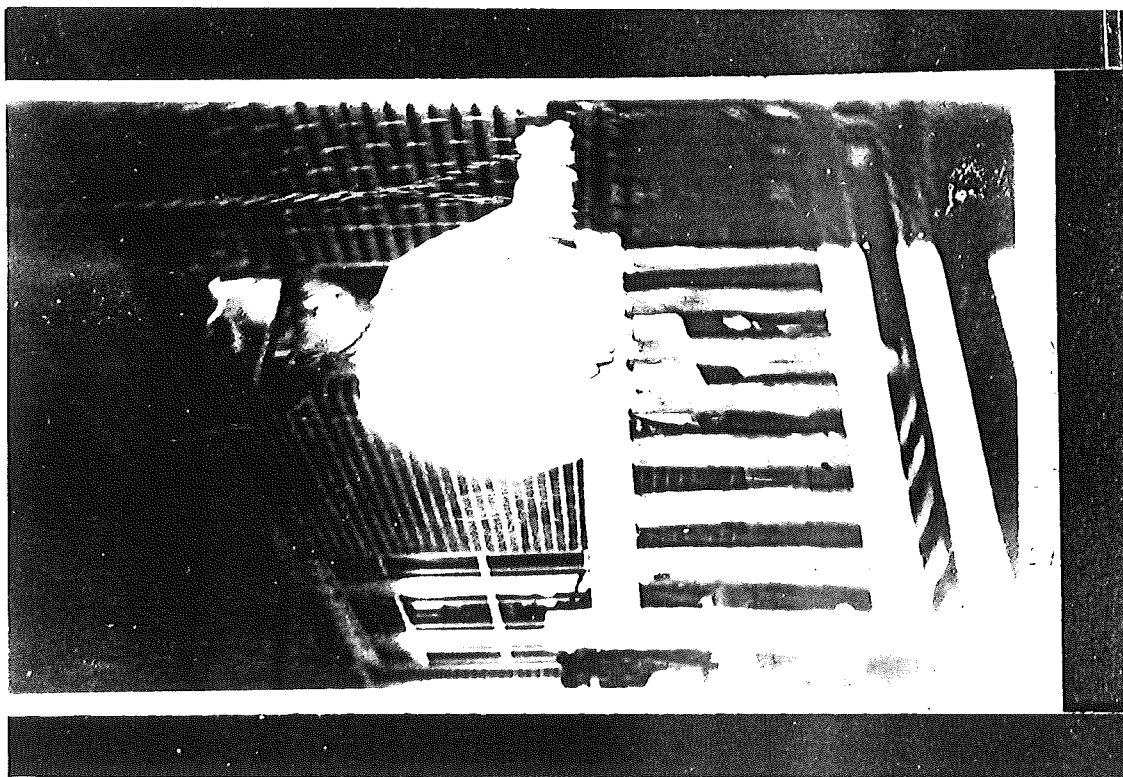








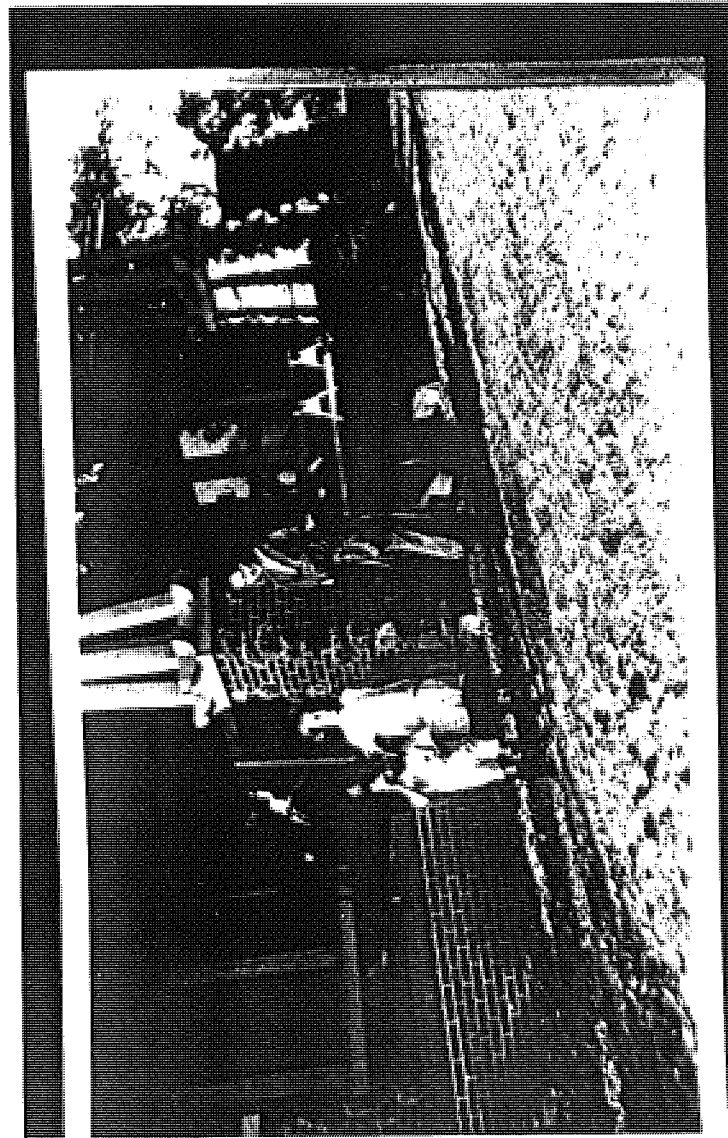
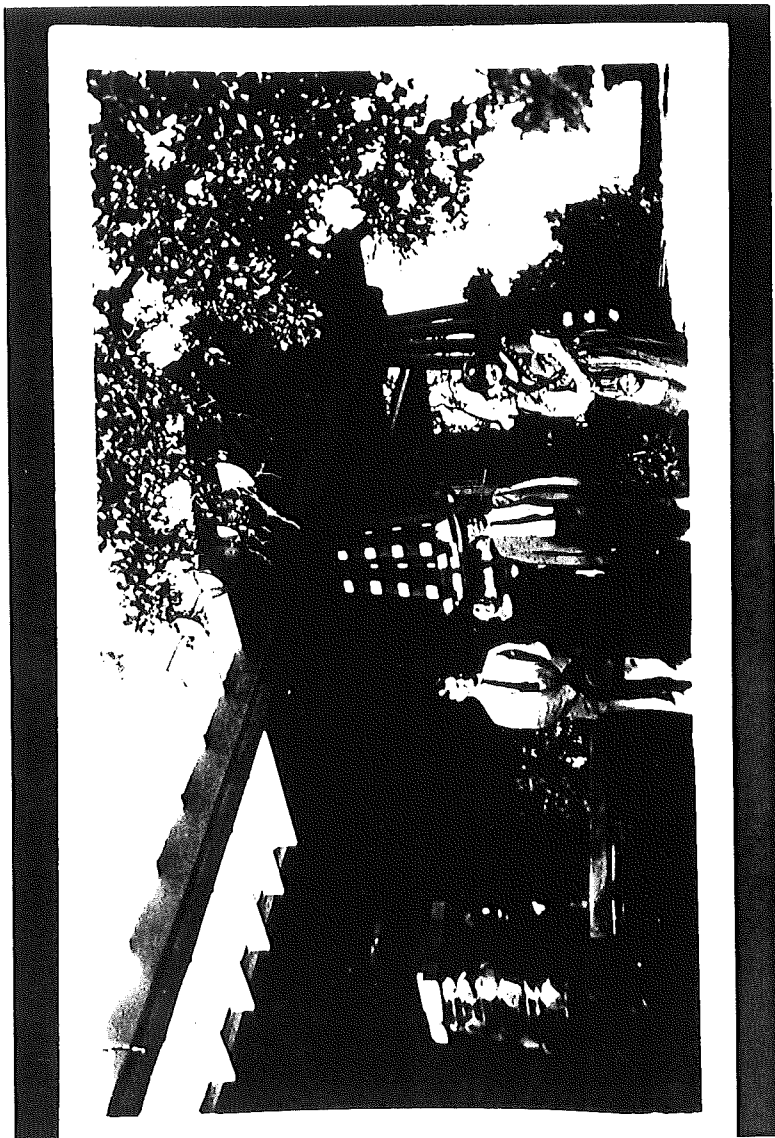


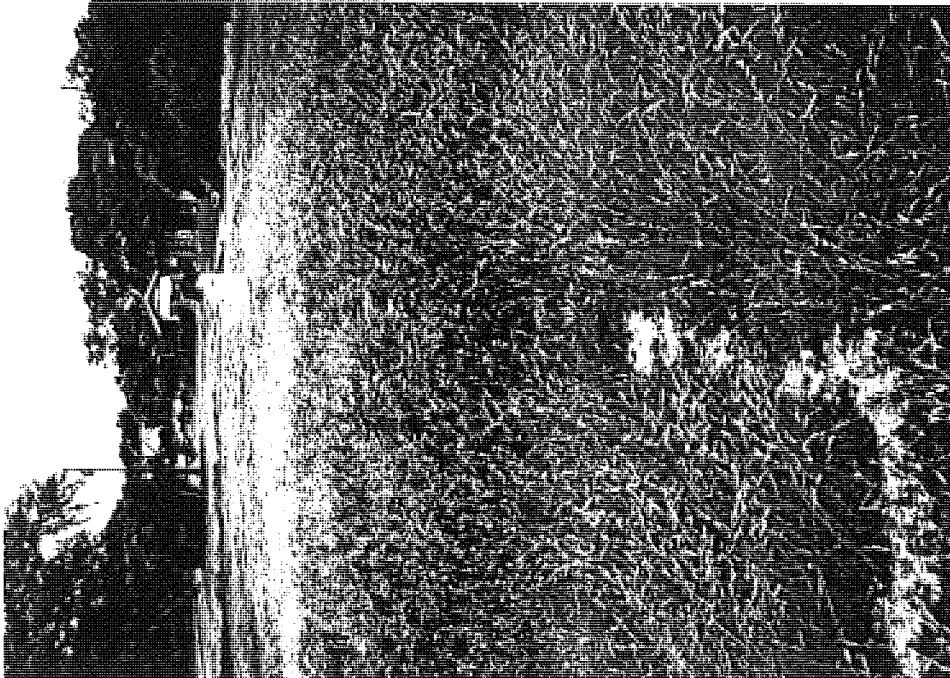
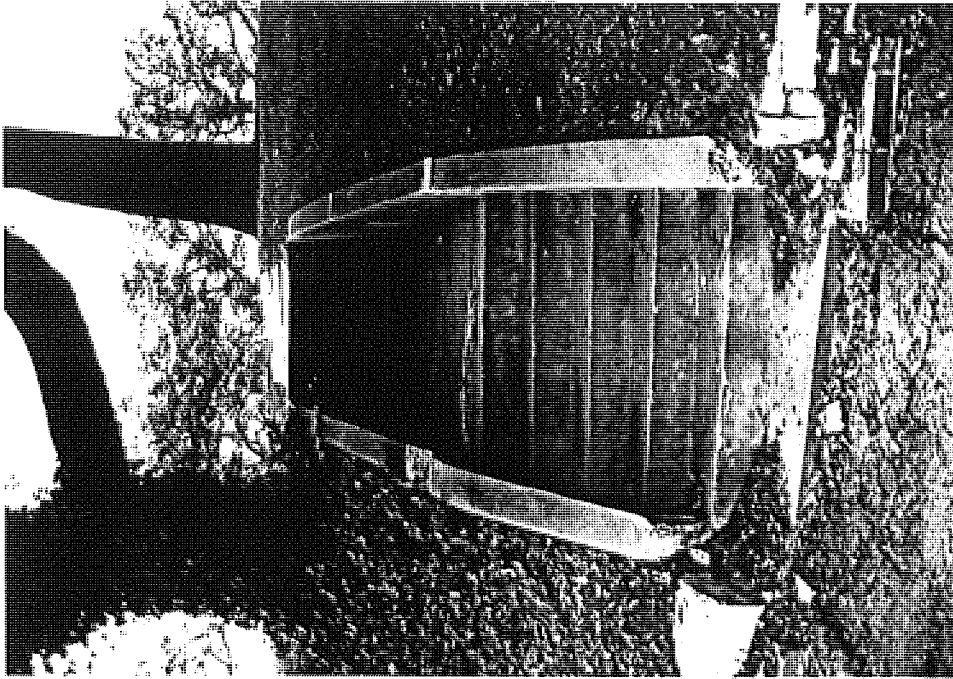


Granny & Grandan

Miss Anne

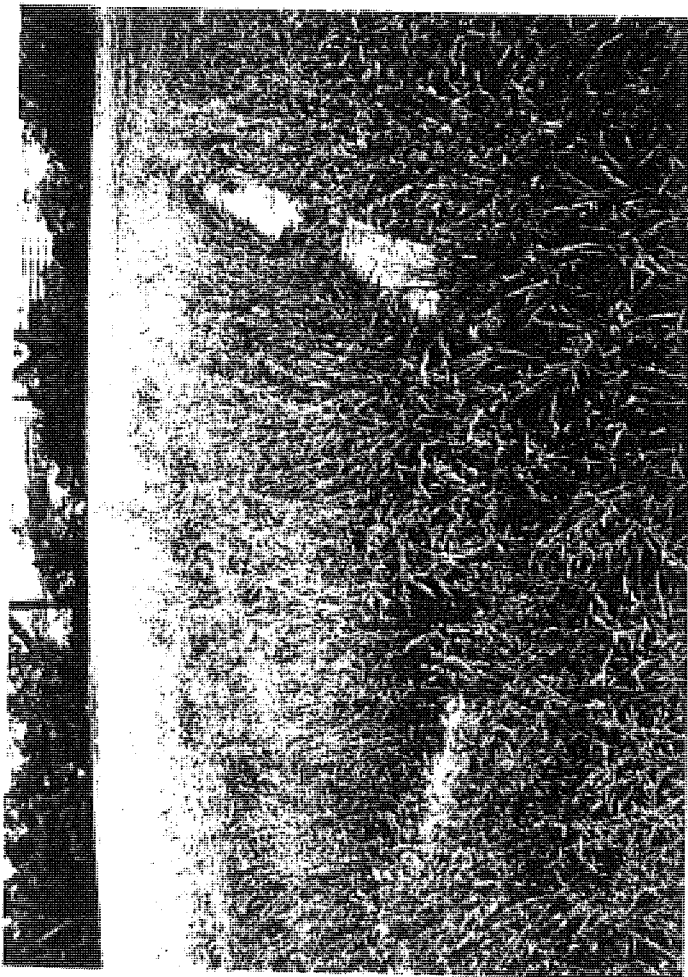
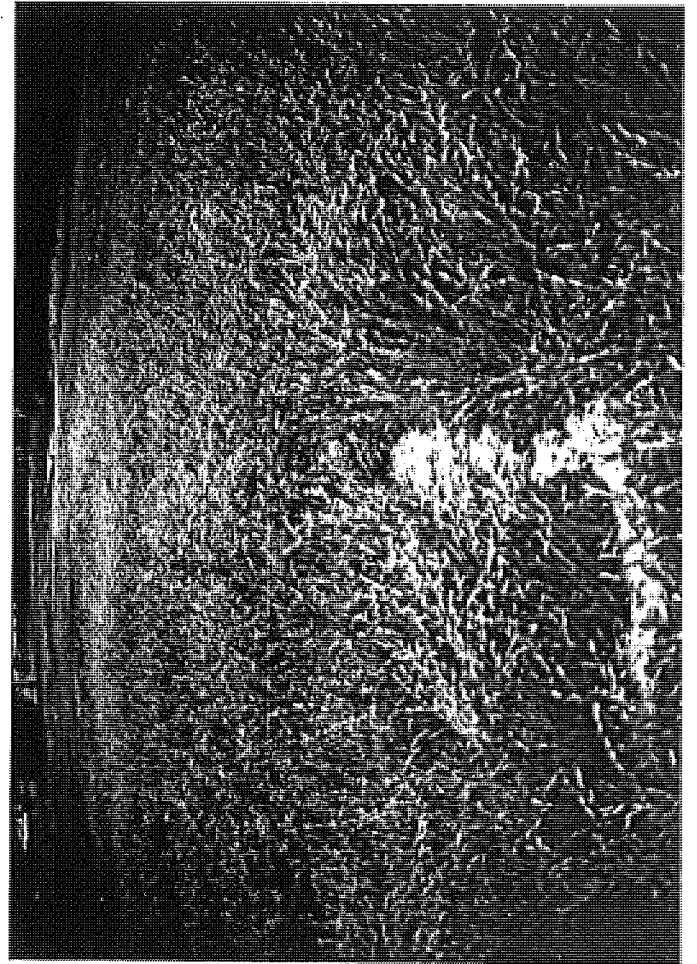
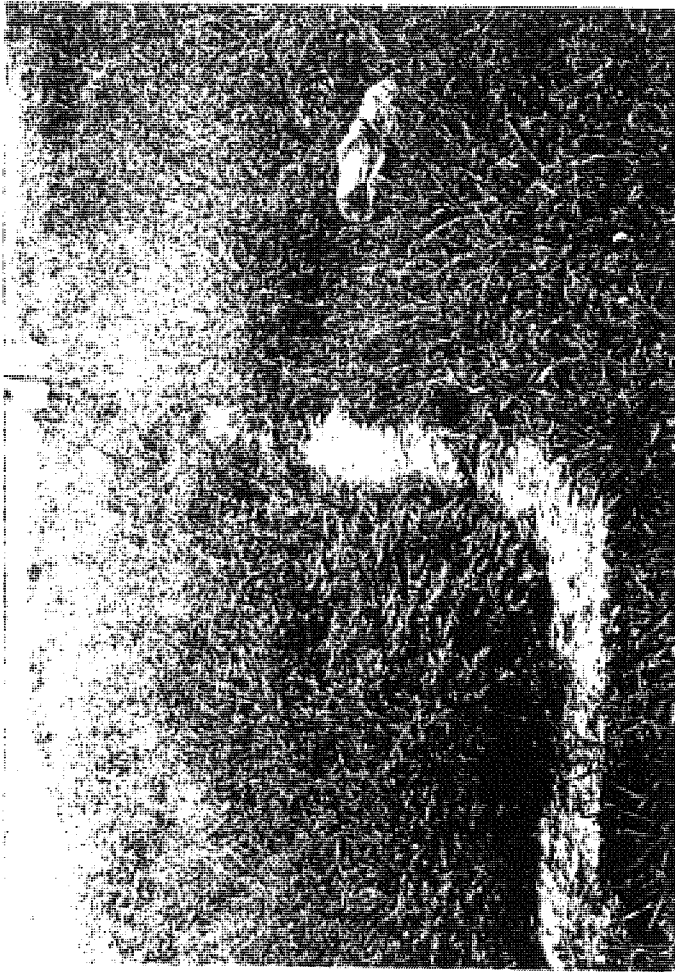


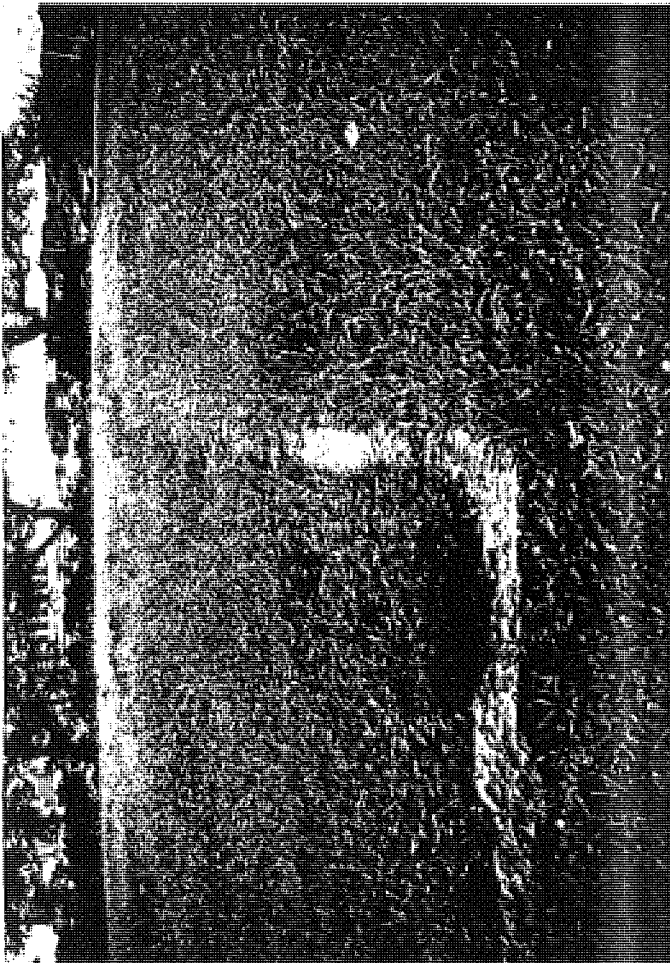
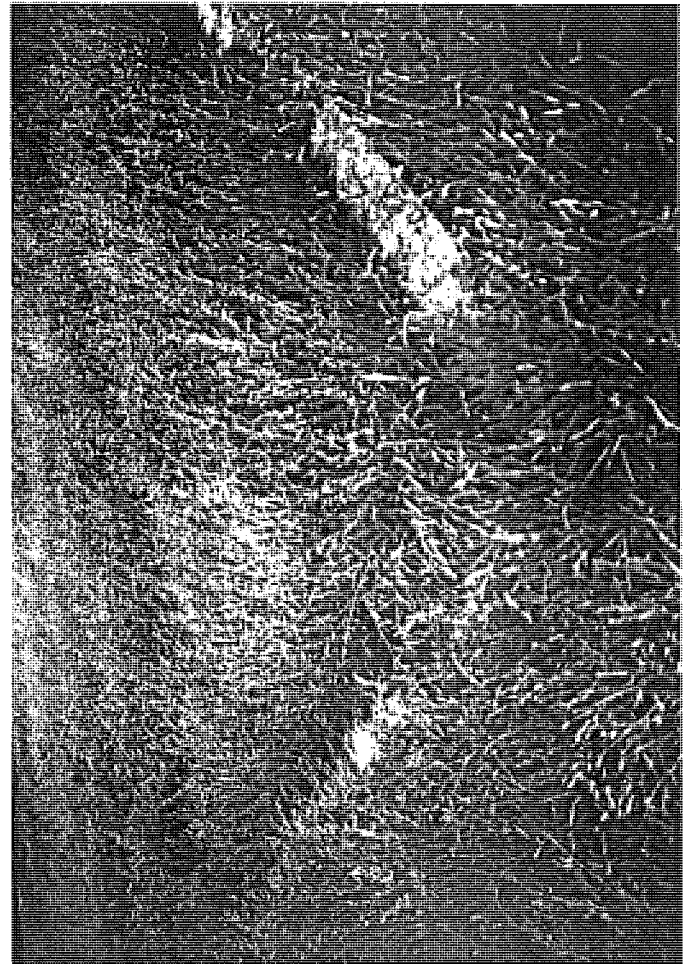
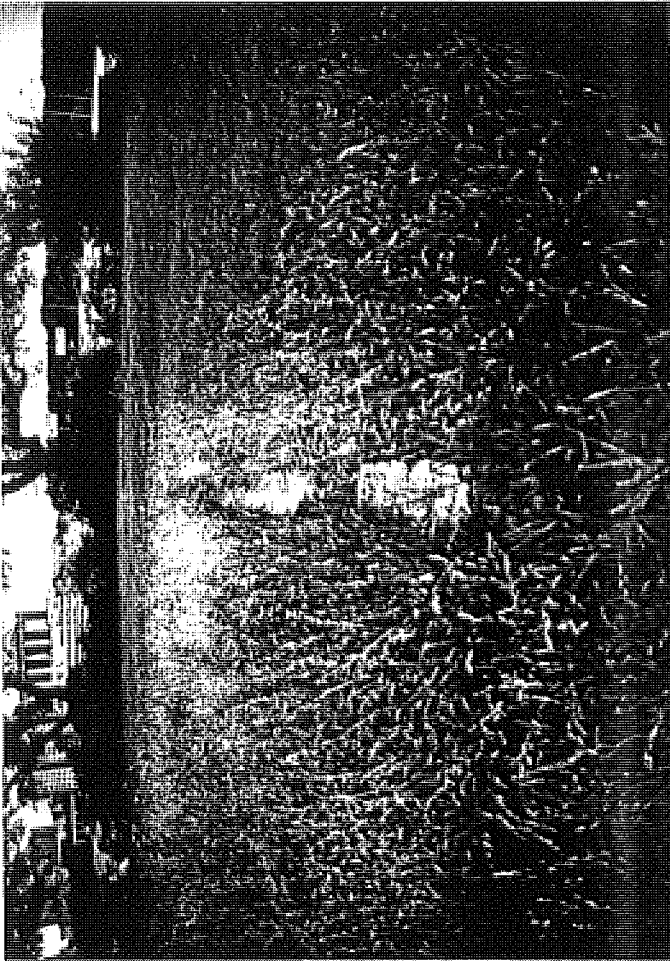


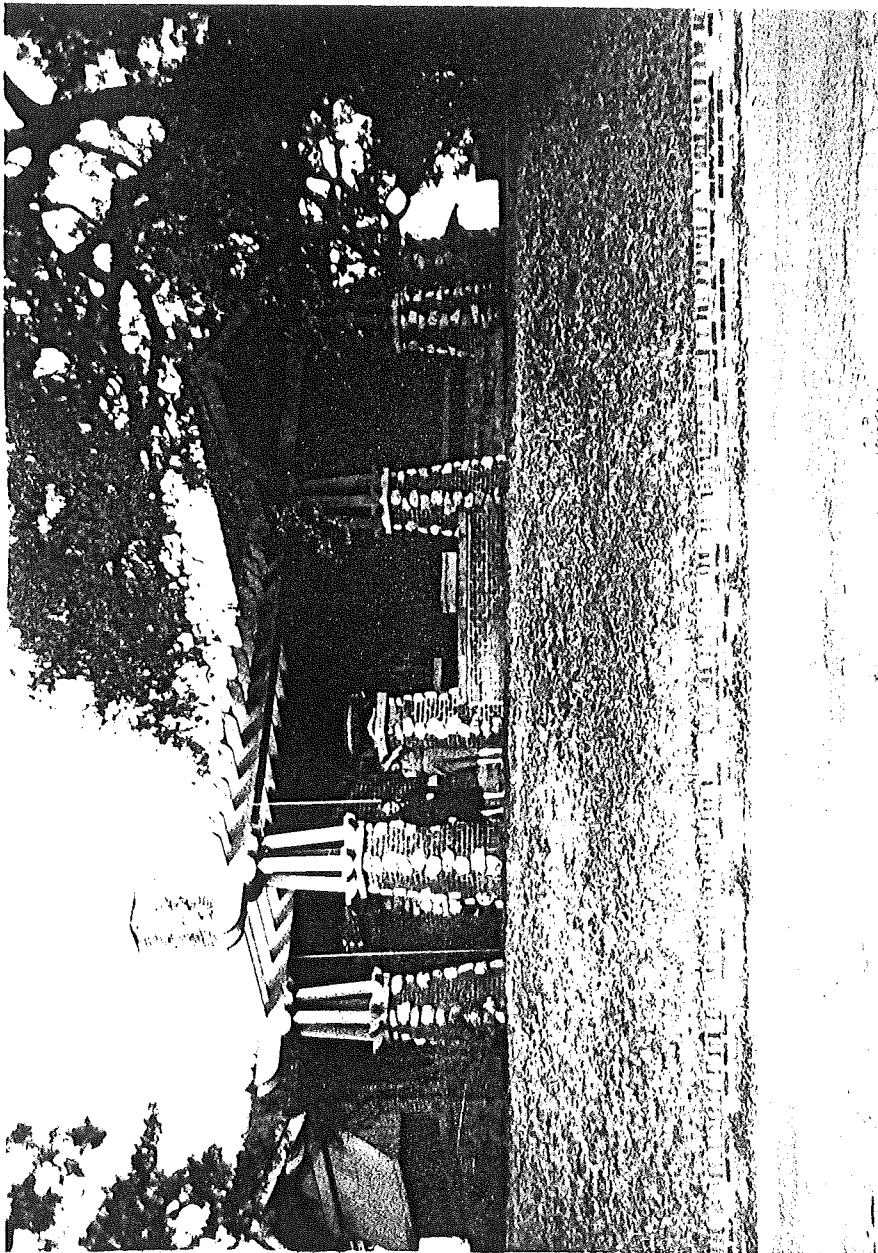




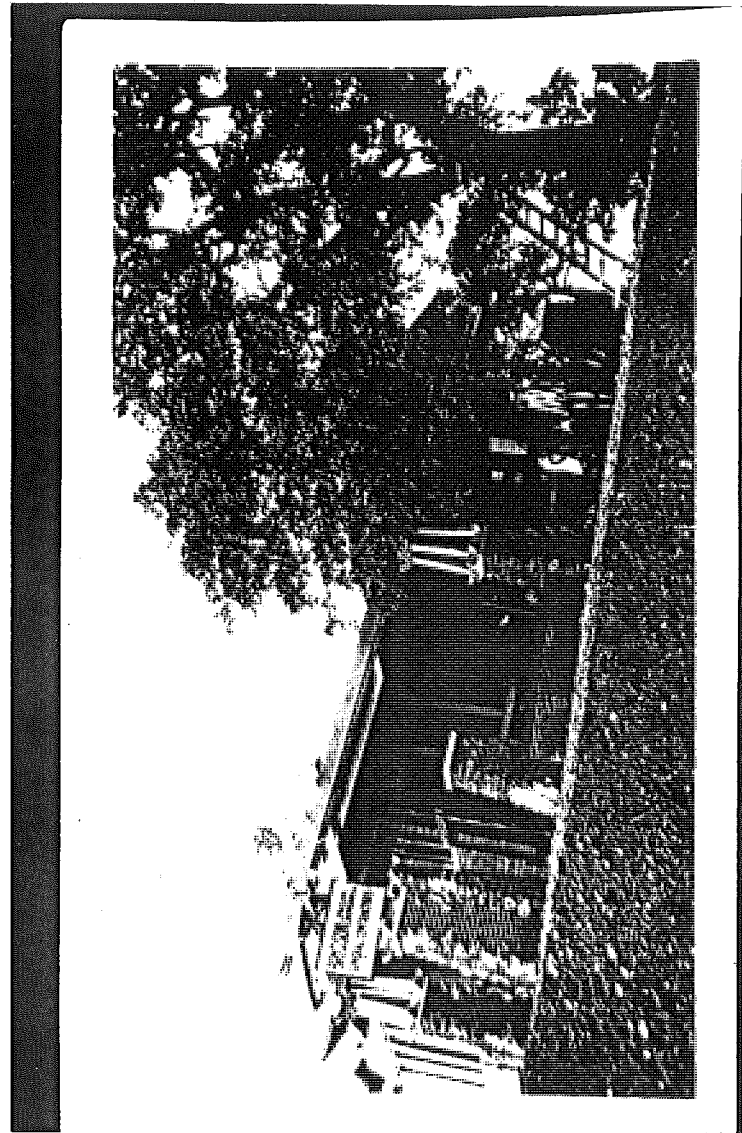
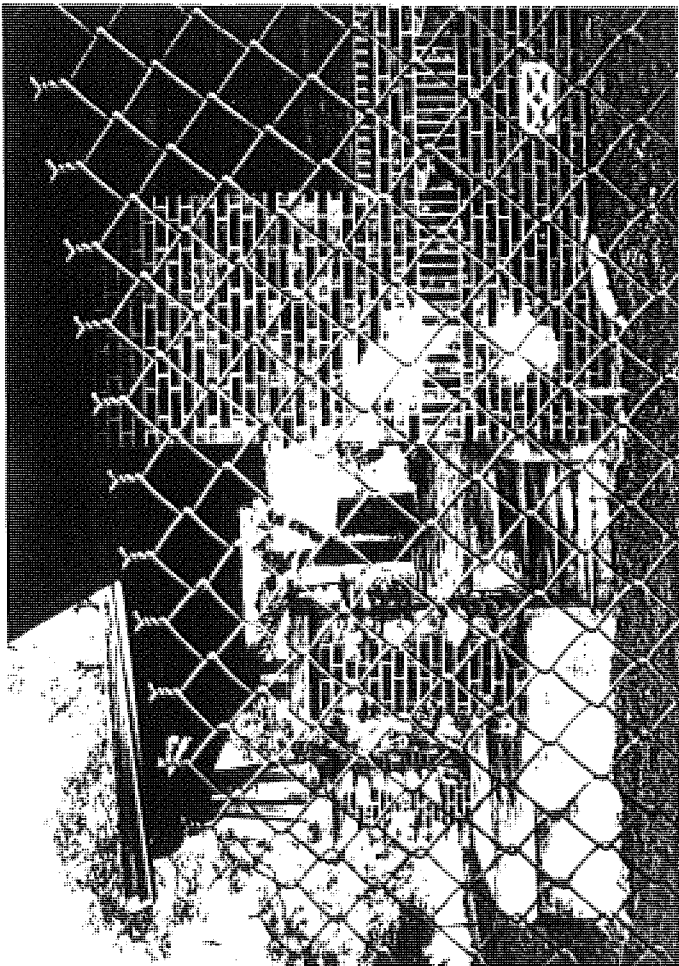
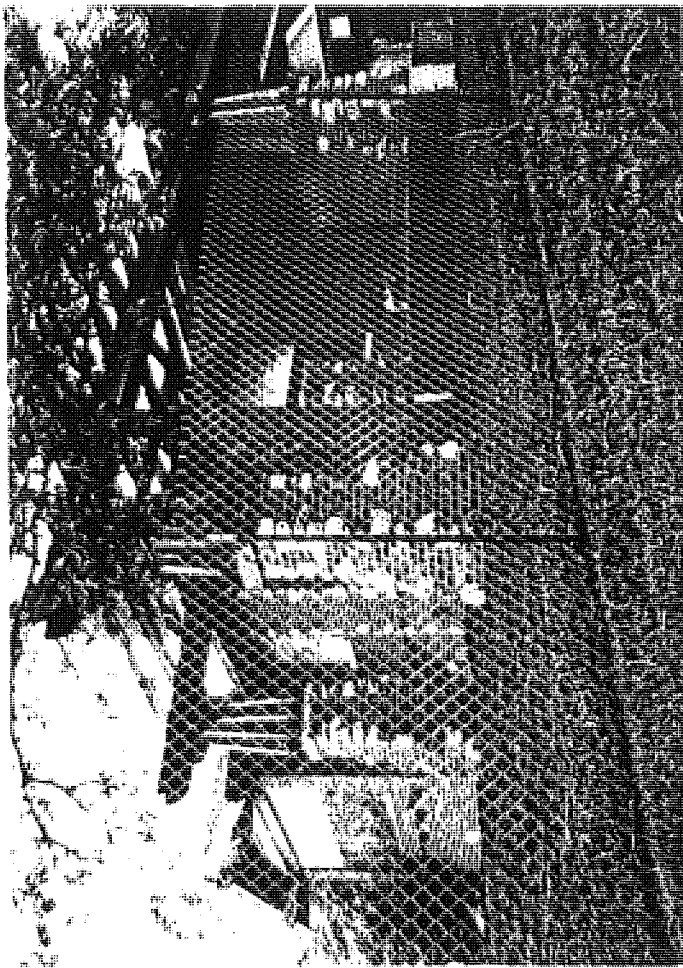


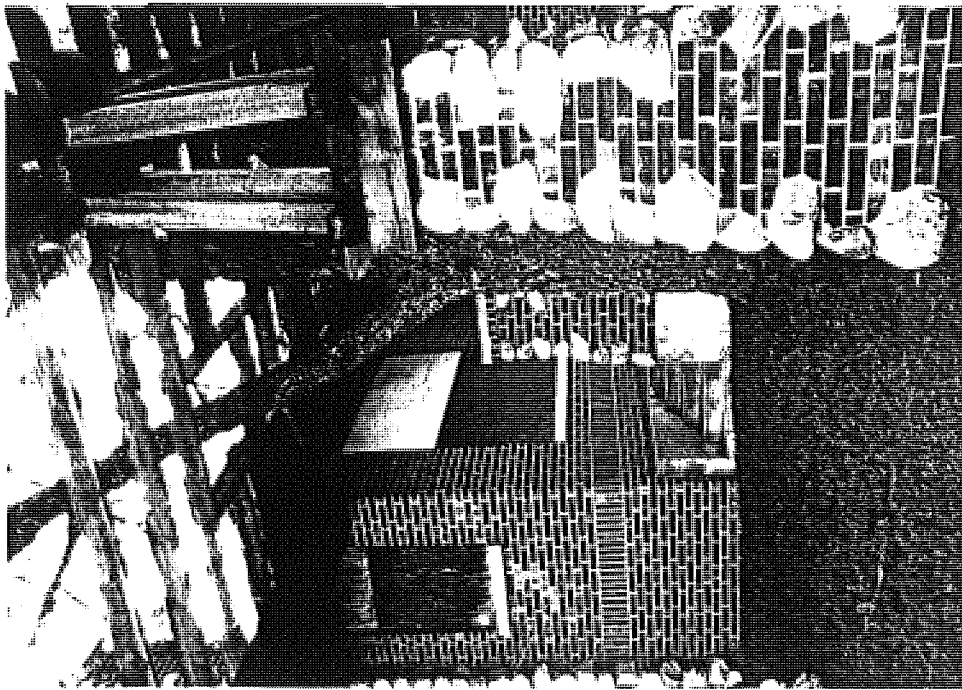
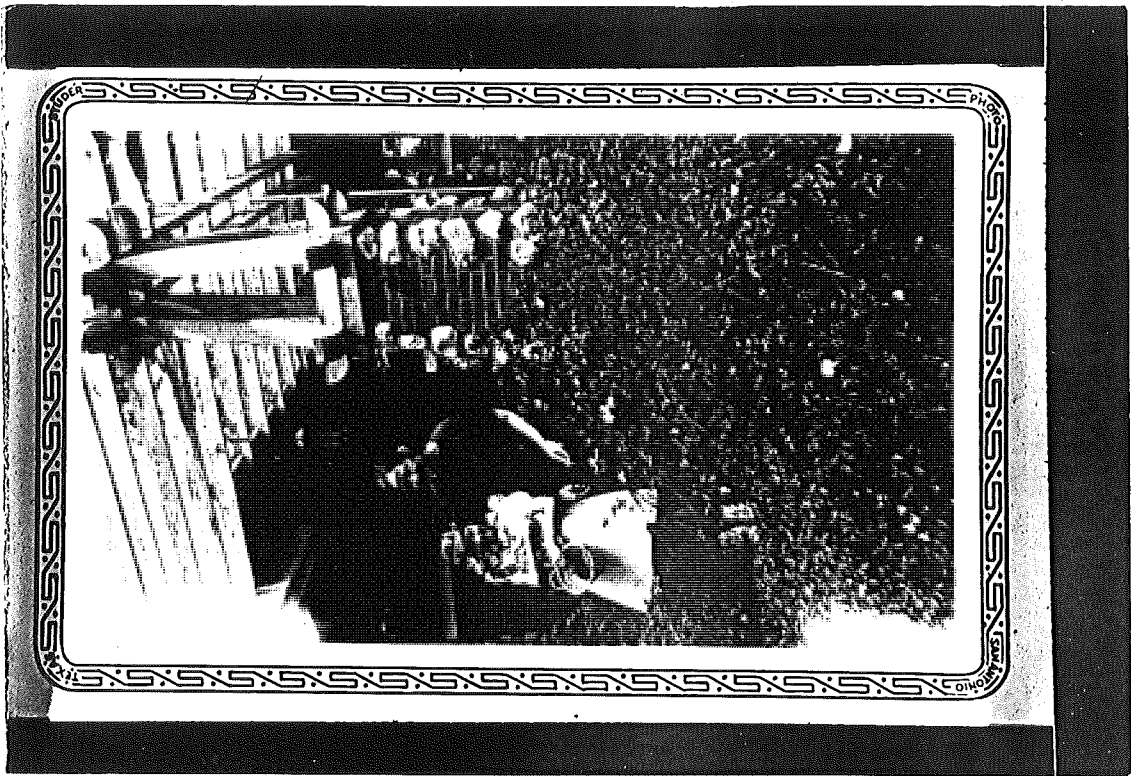




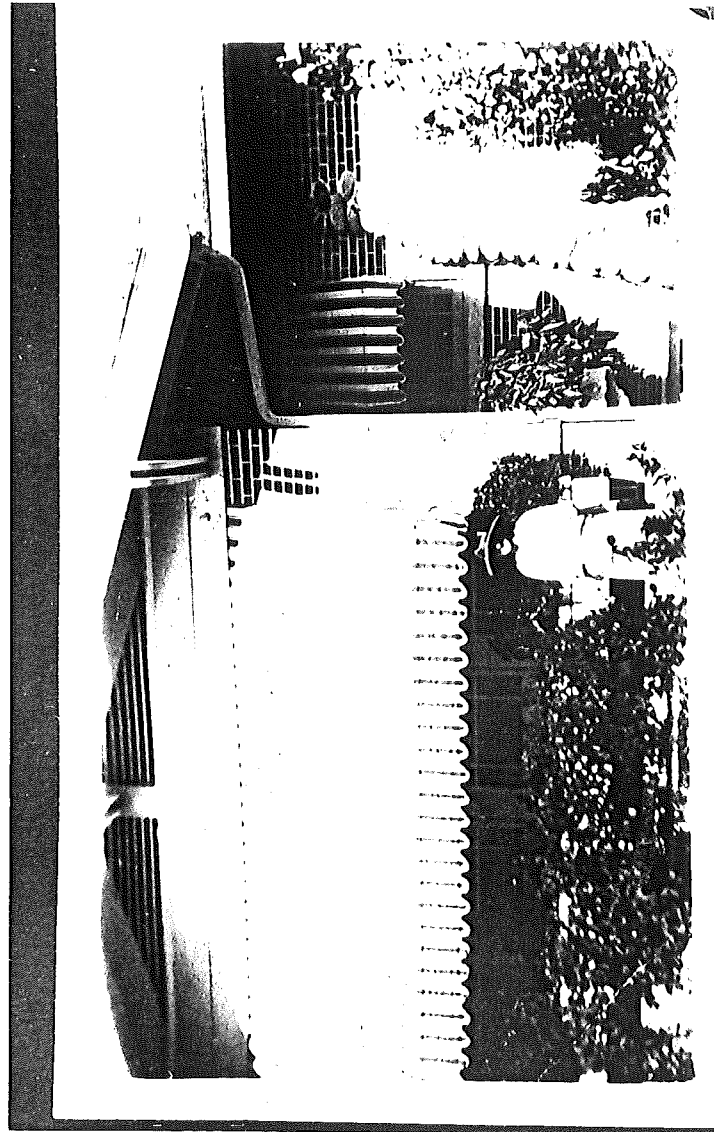
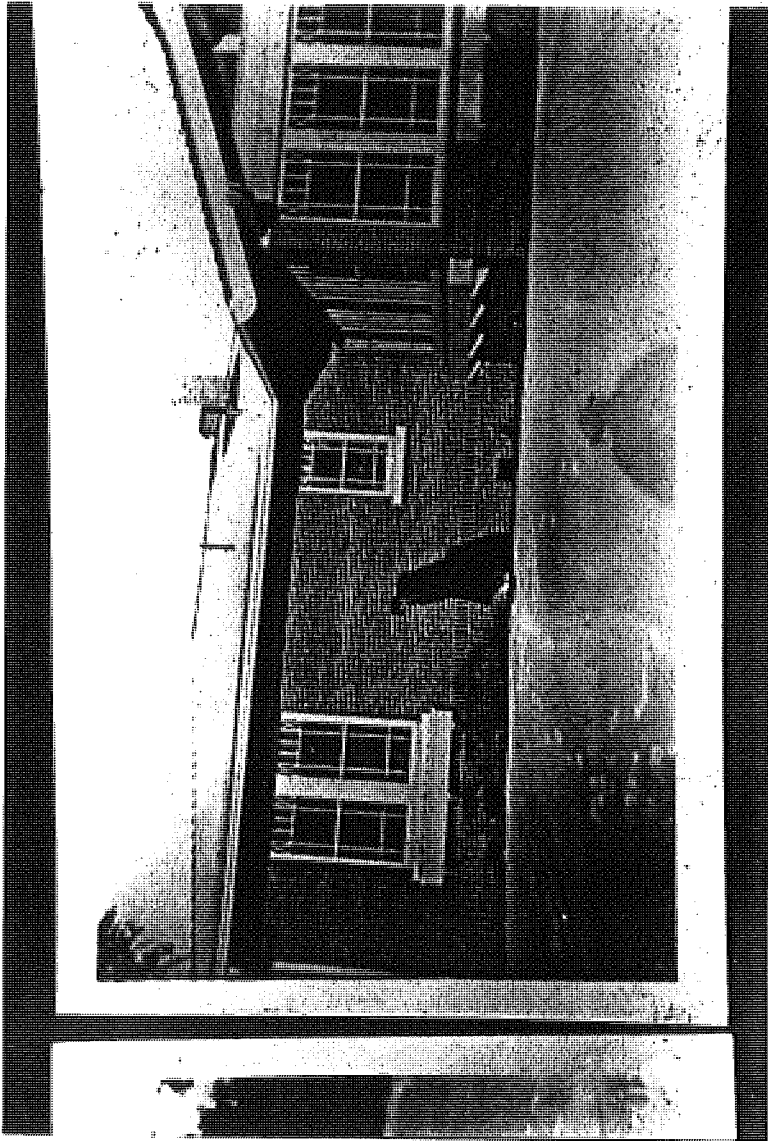


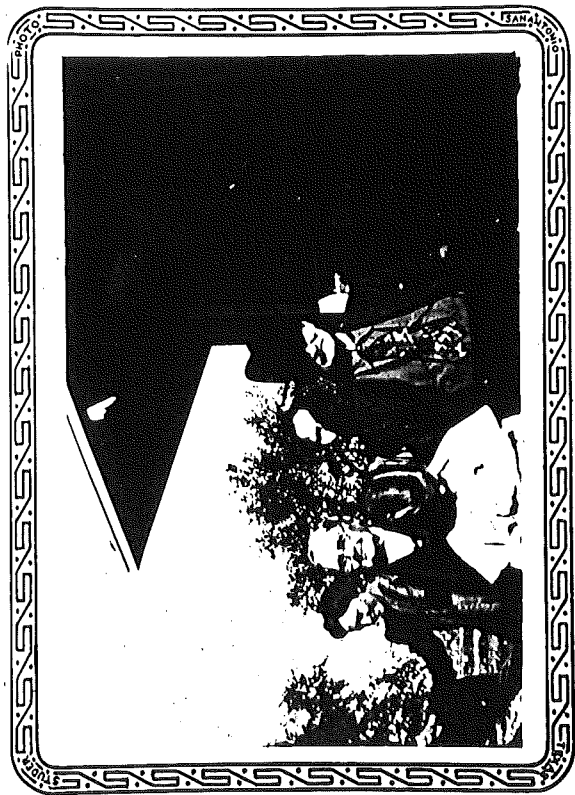


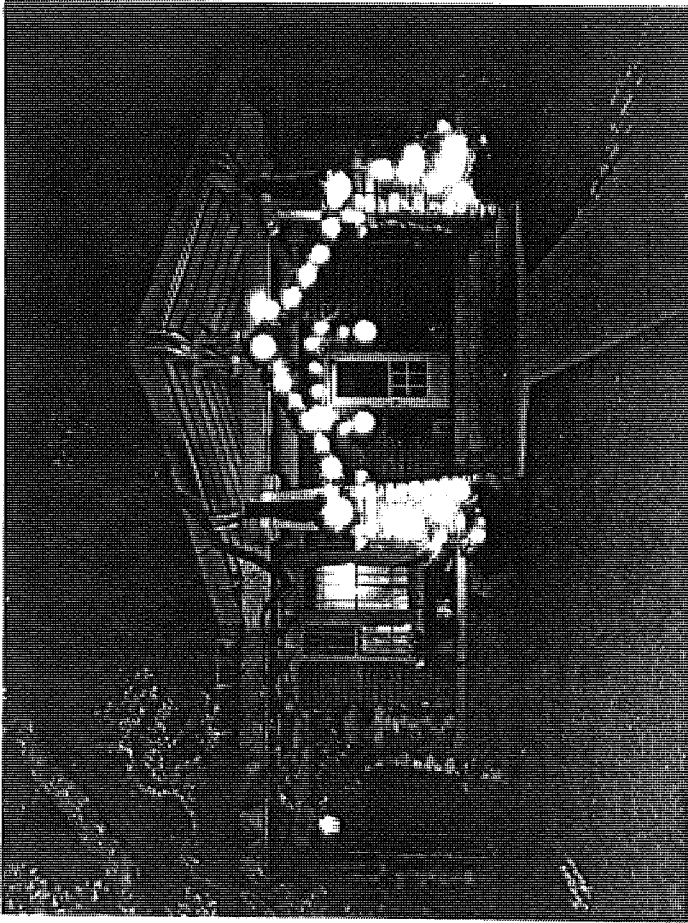


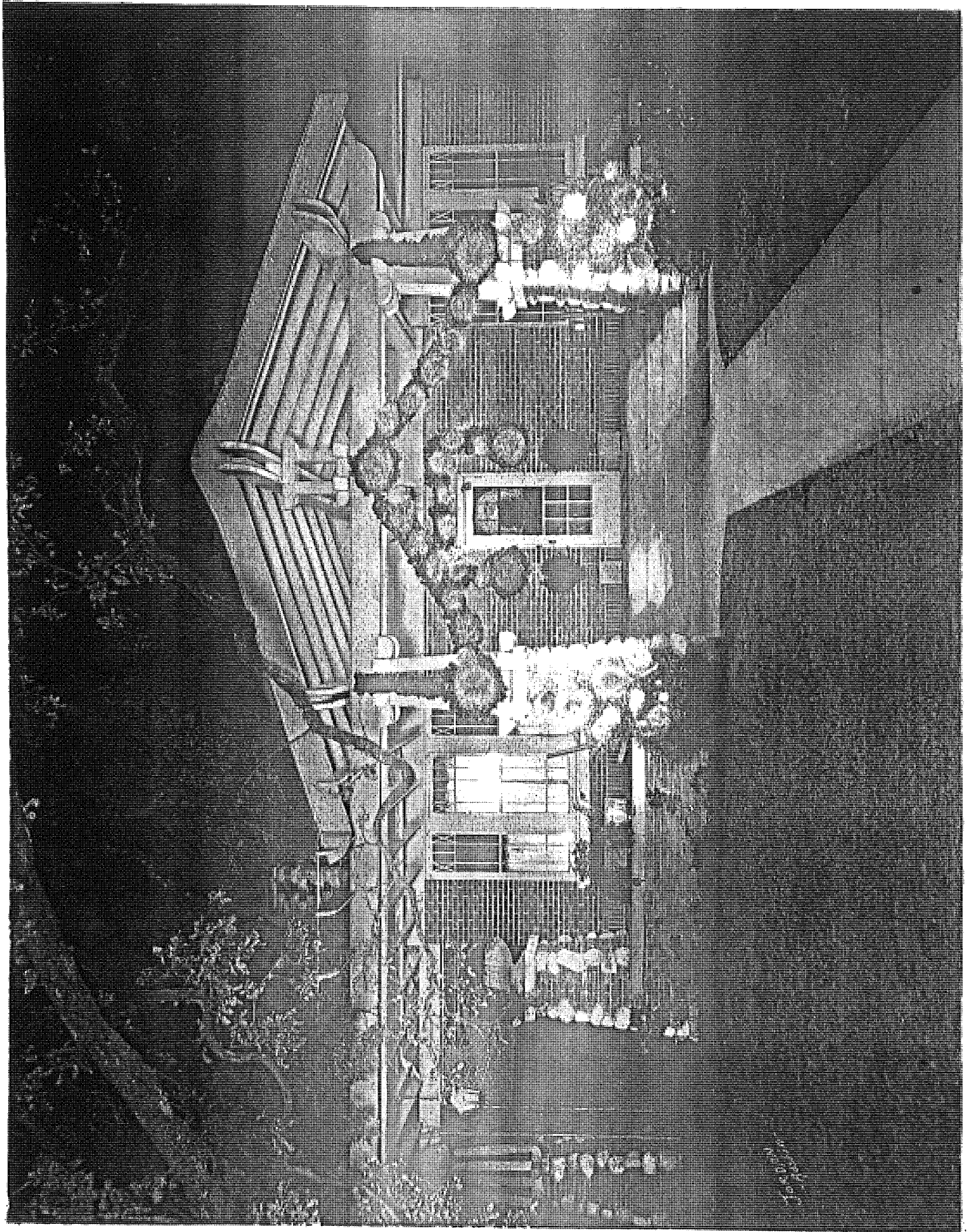






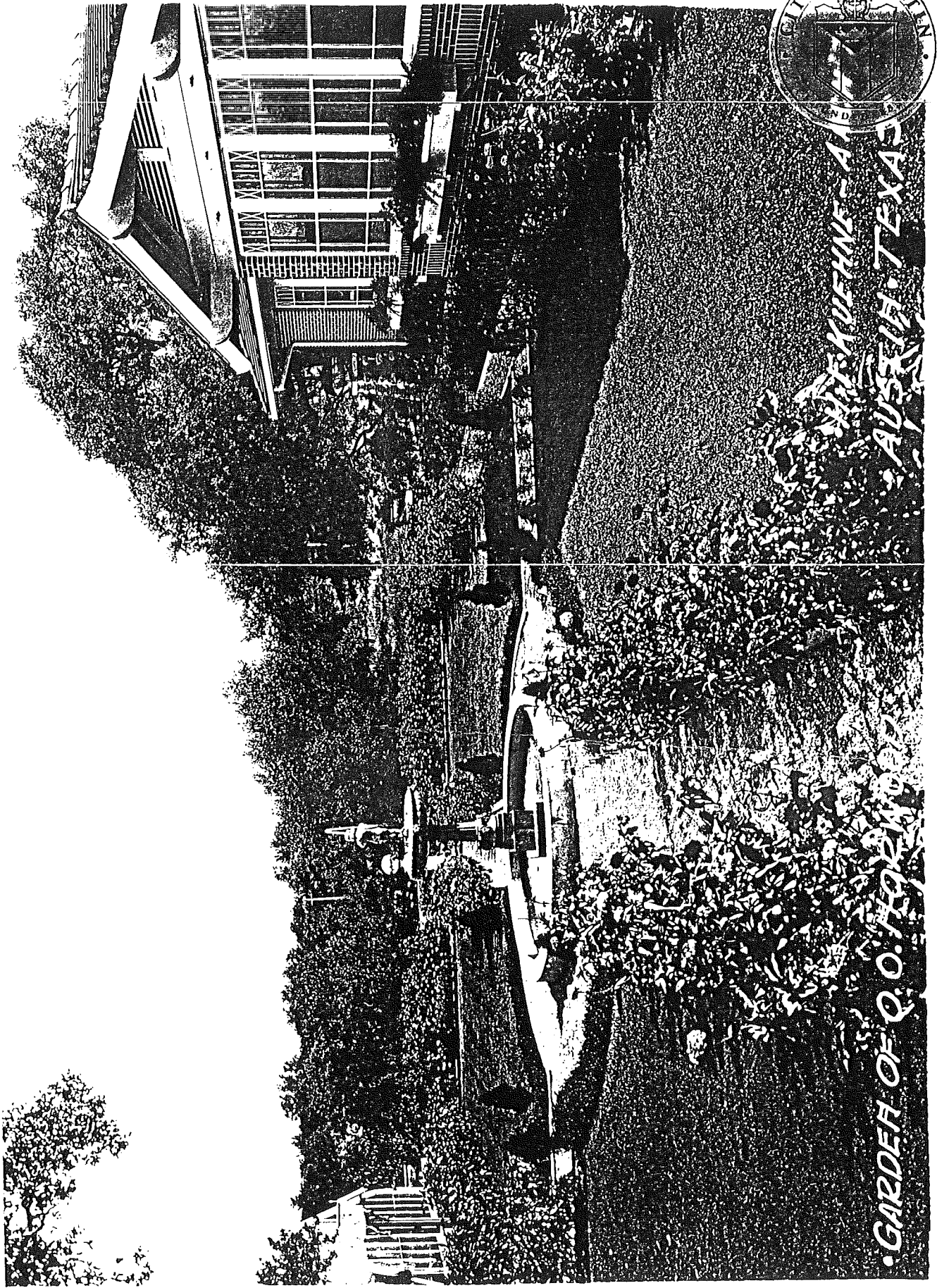








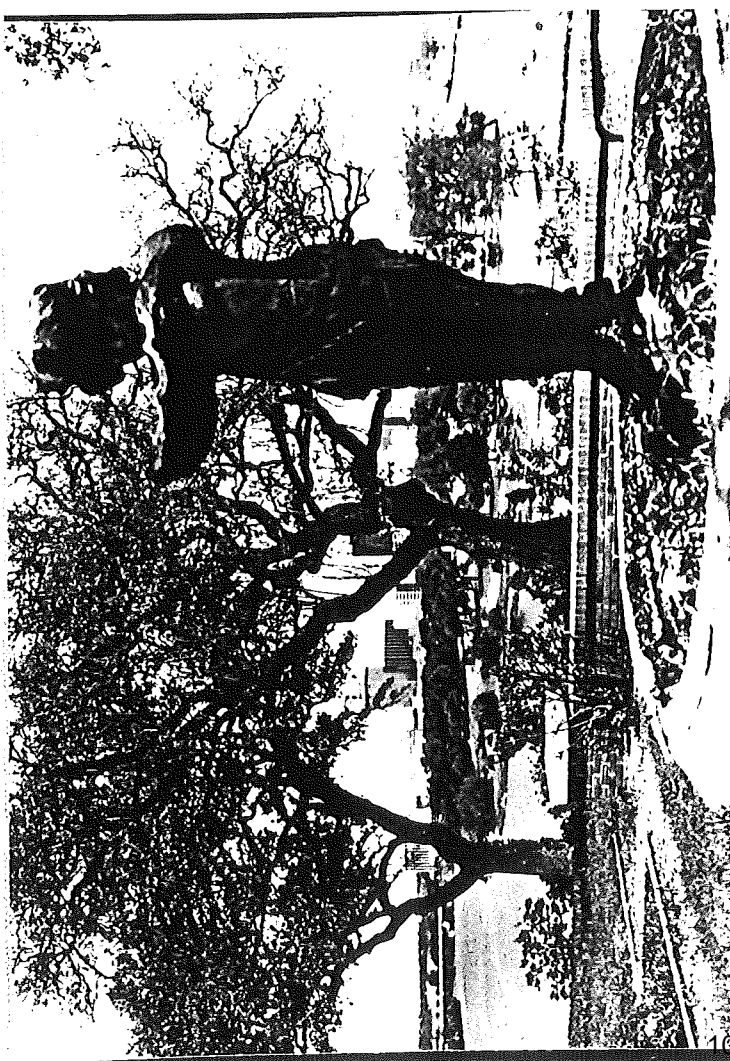
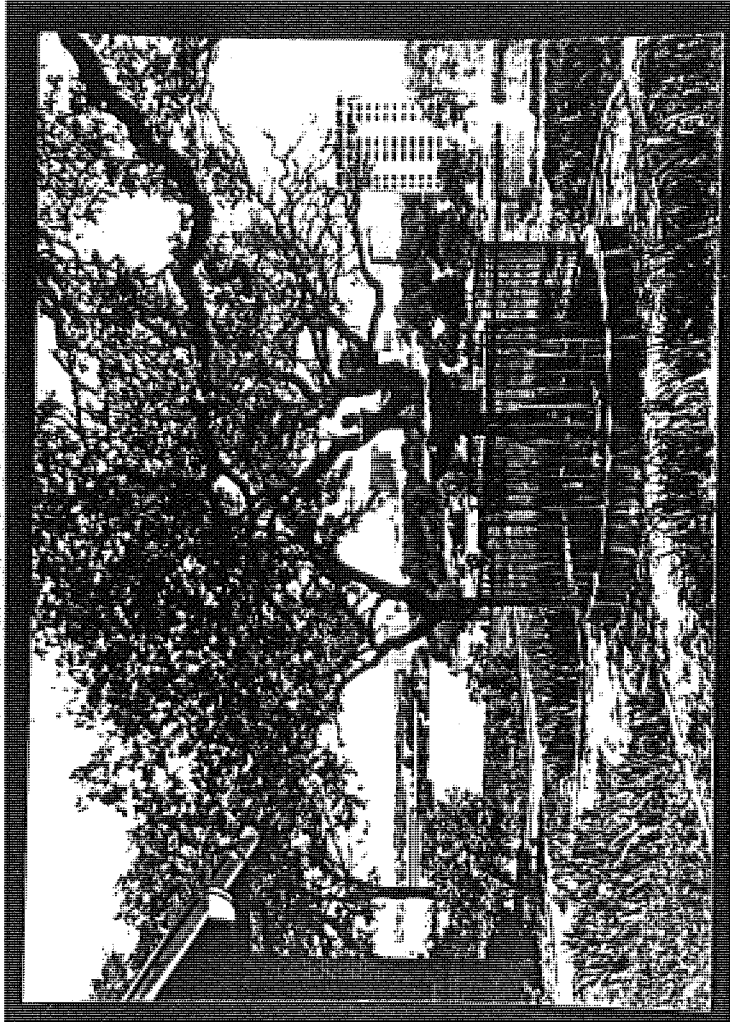
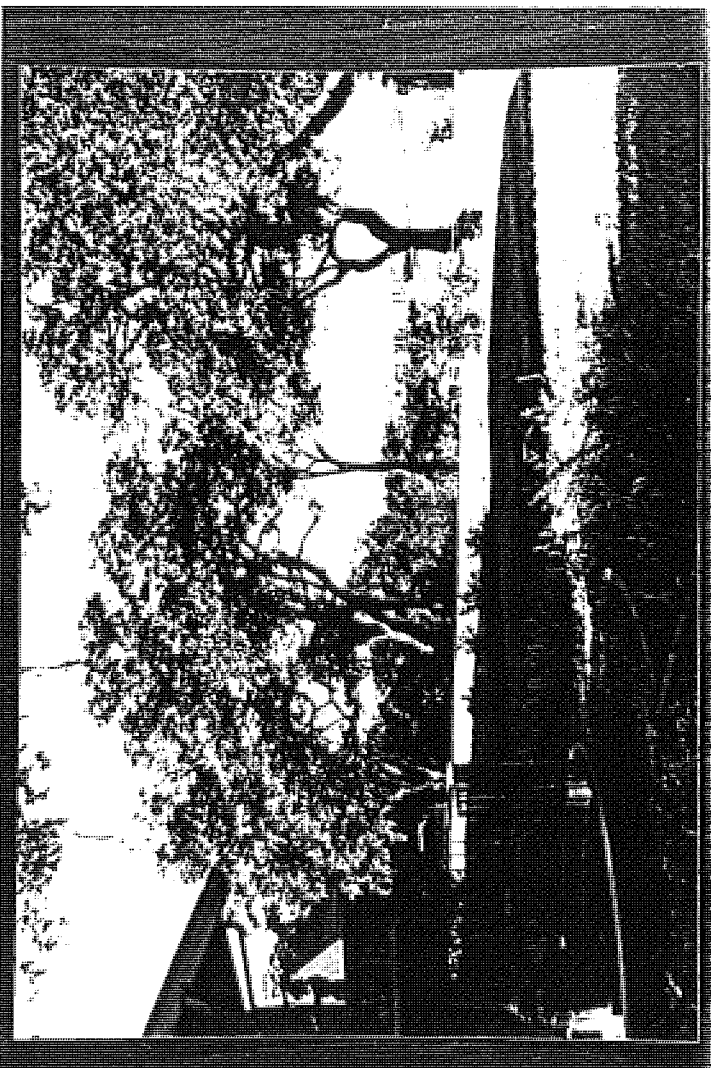
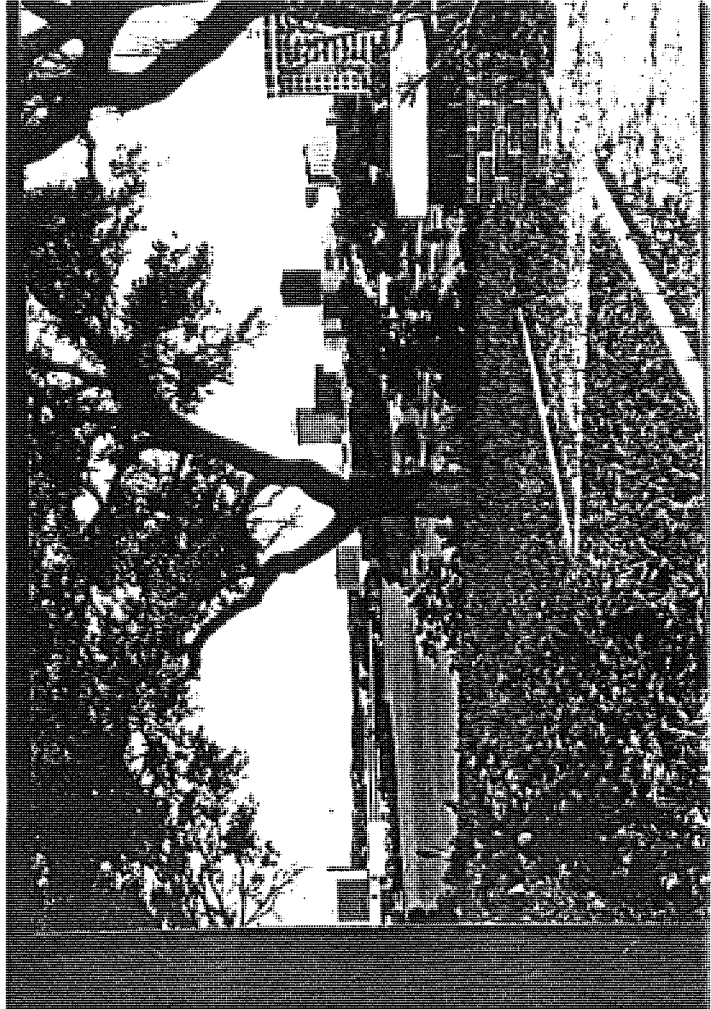
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PICH 06754

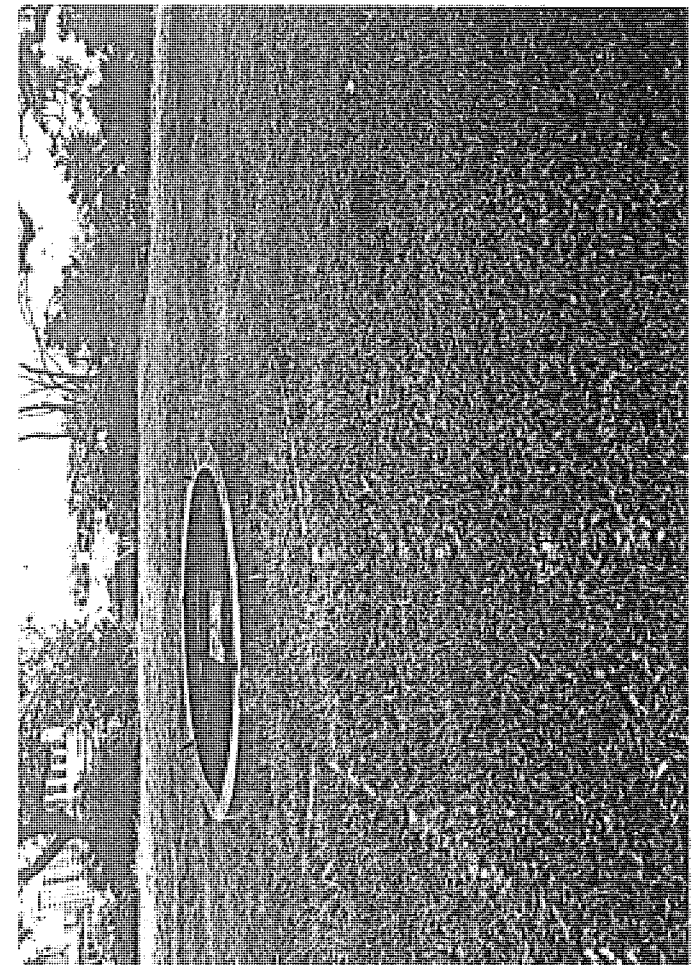
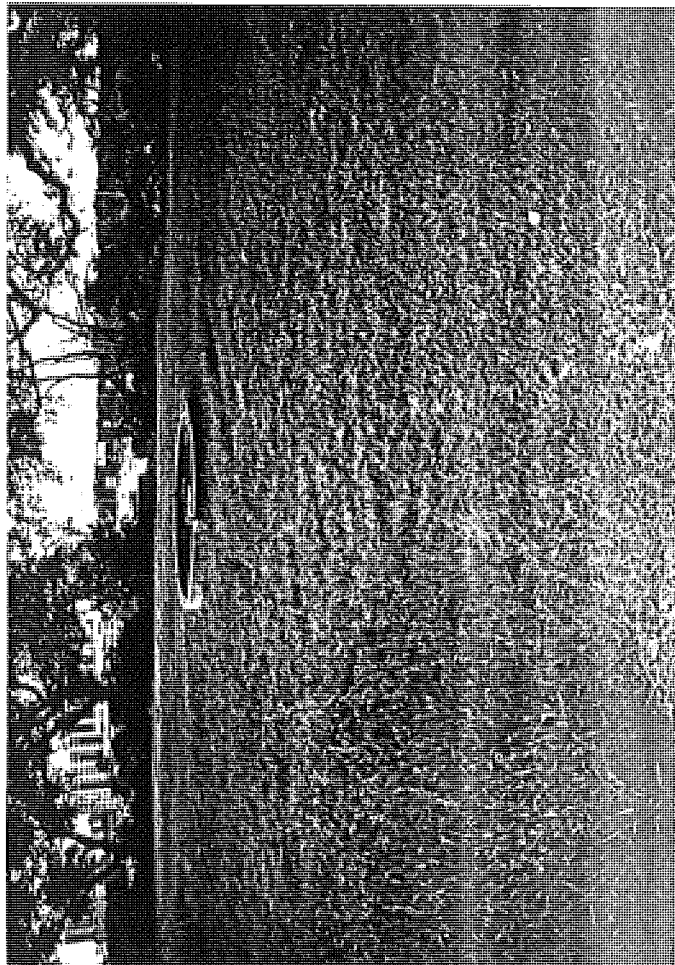
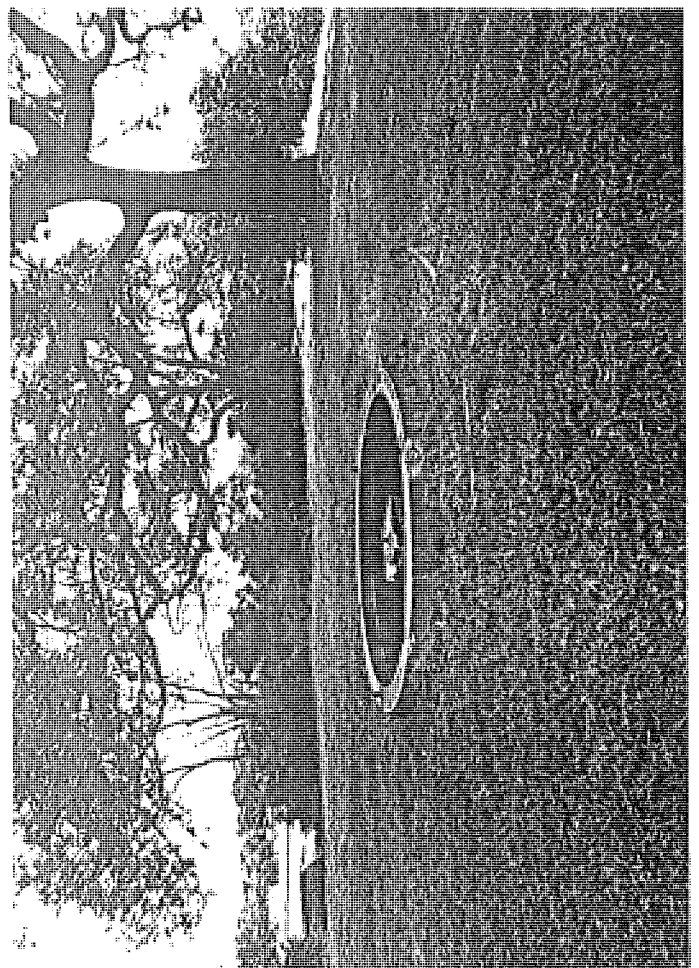
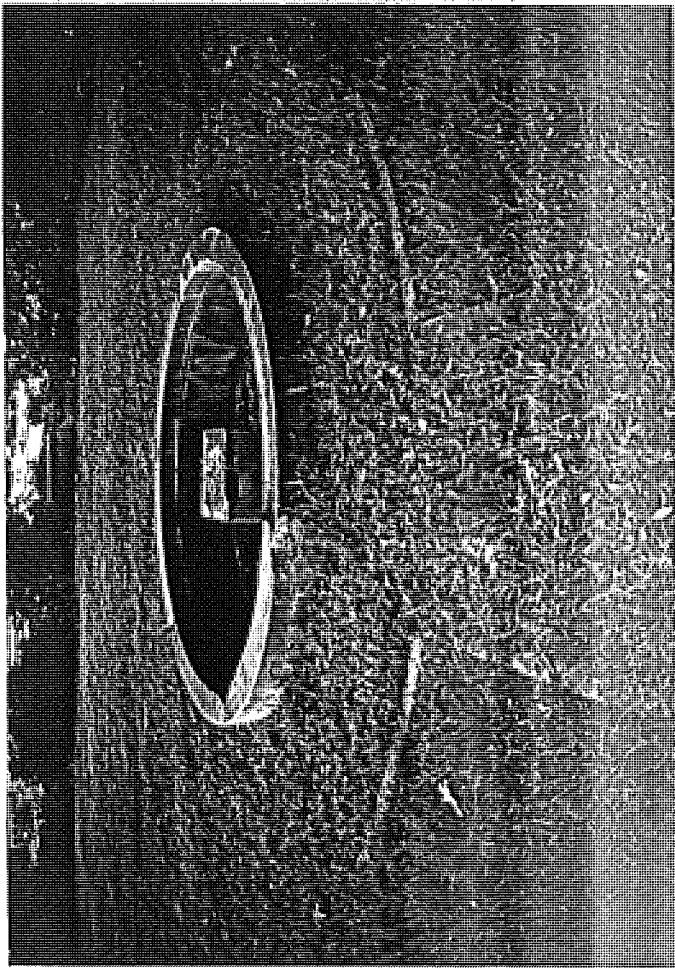


GARDEN OF Q. O. HAZEN  
AUSTIN, TEXAS

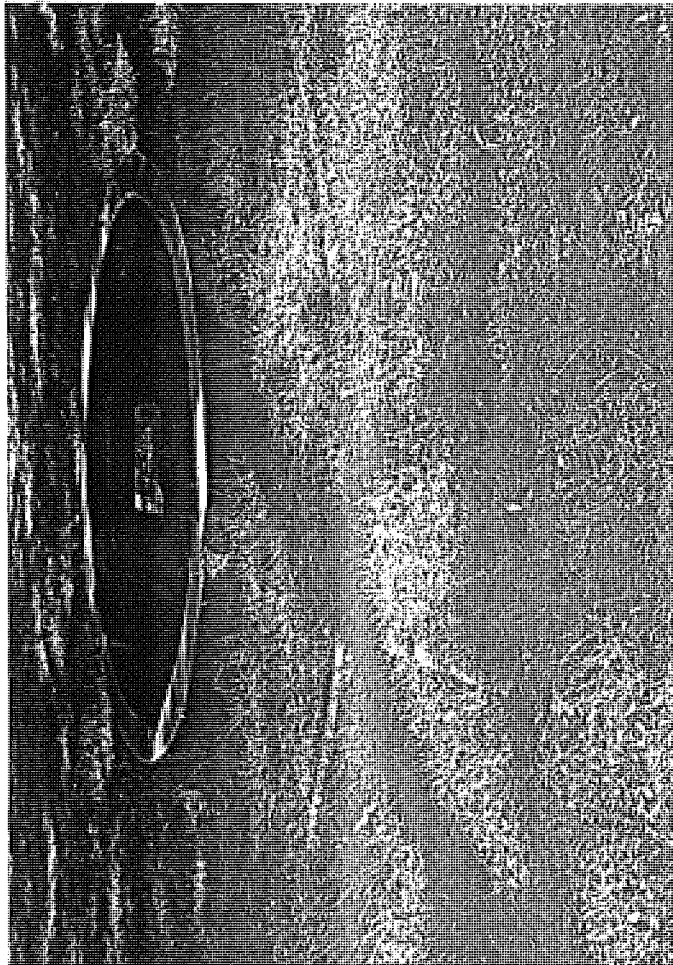
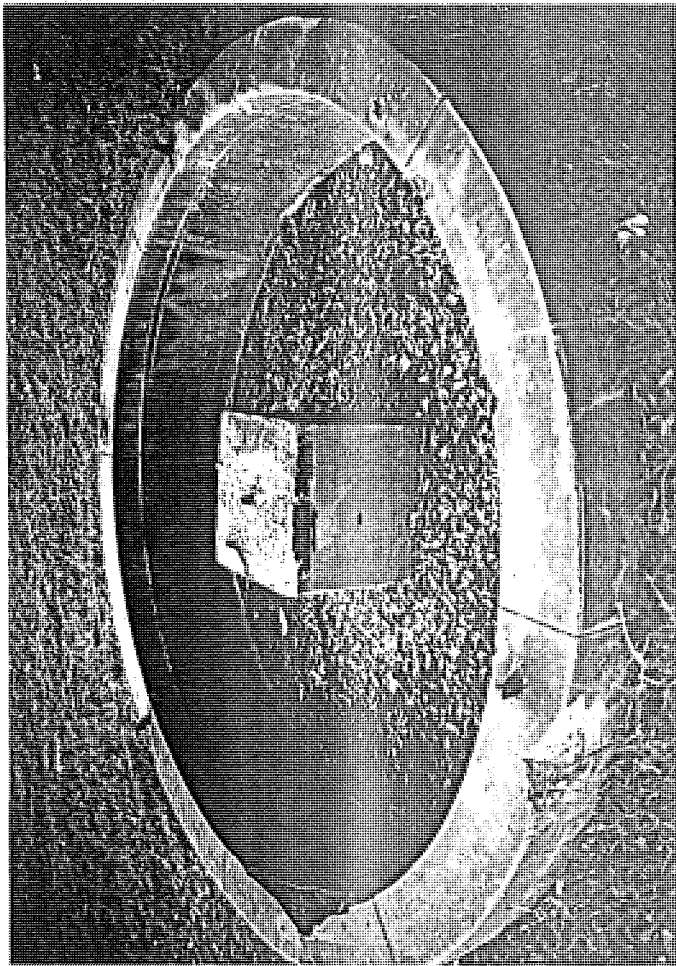


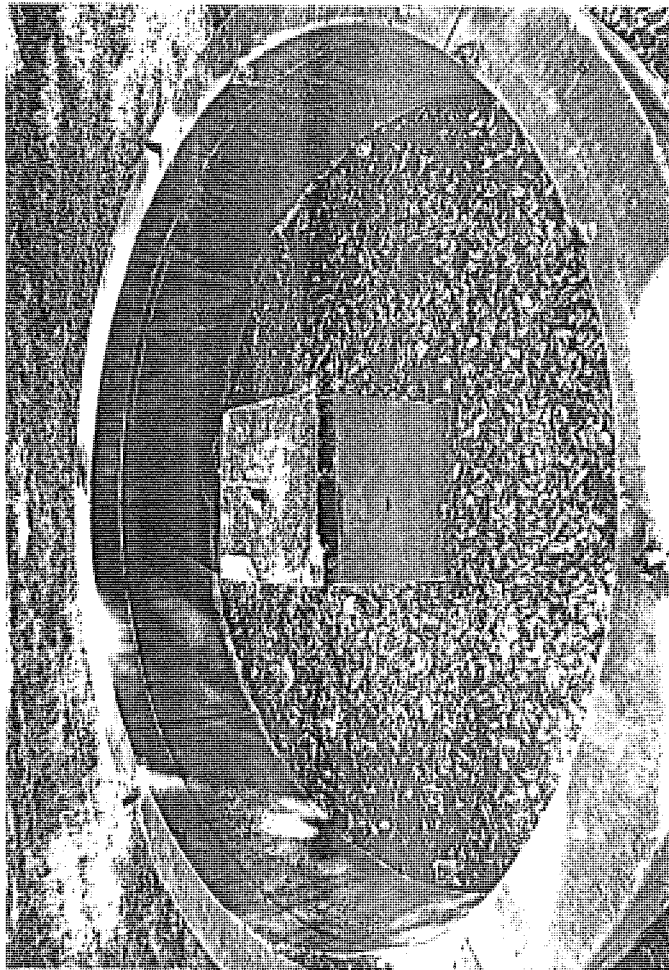
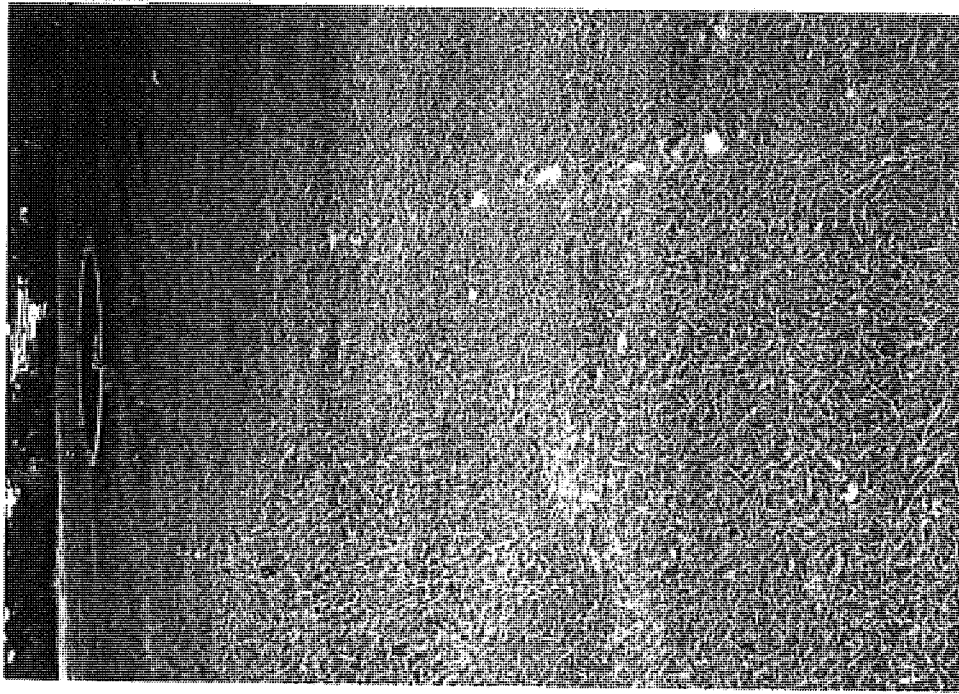


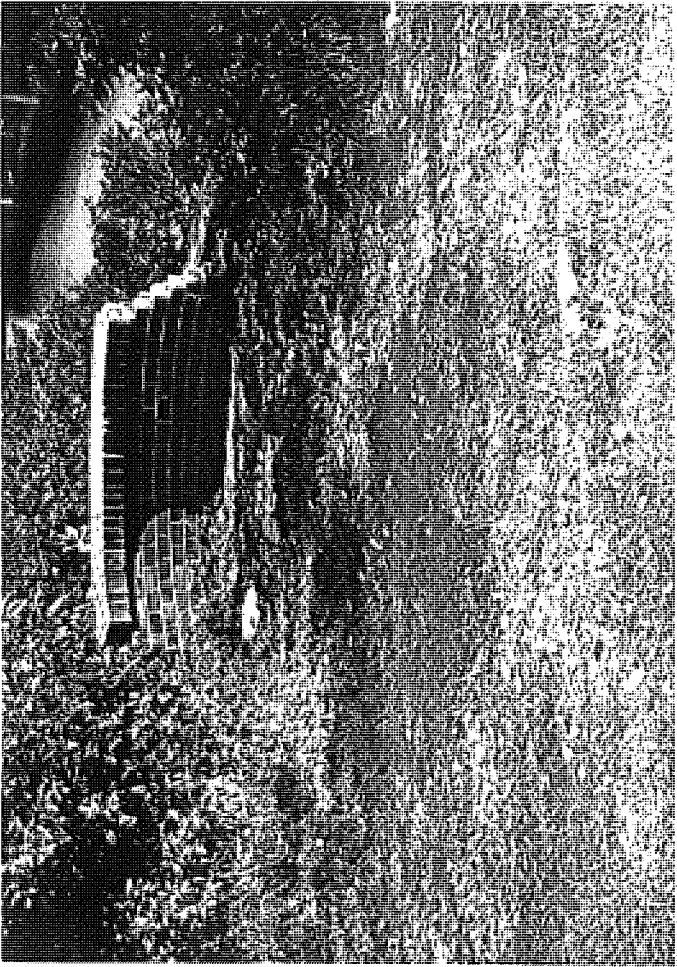
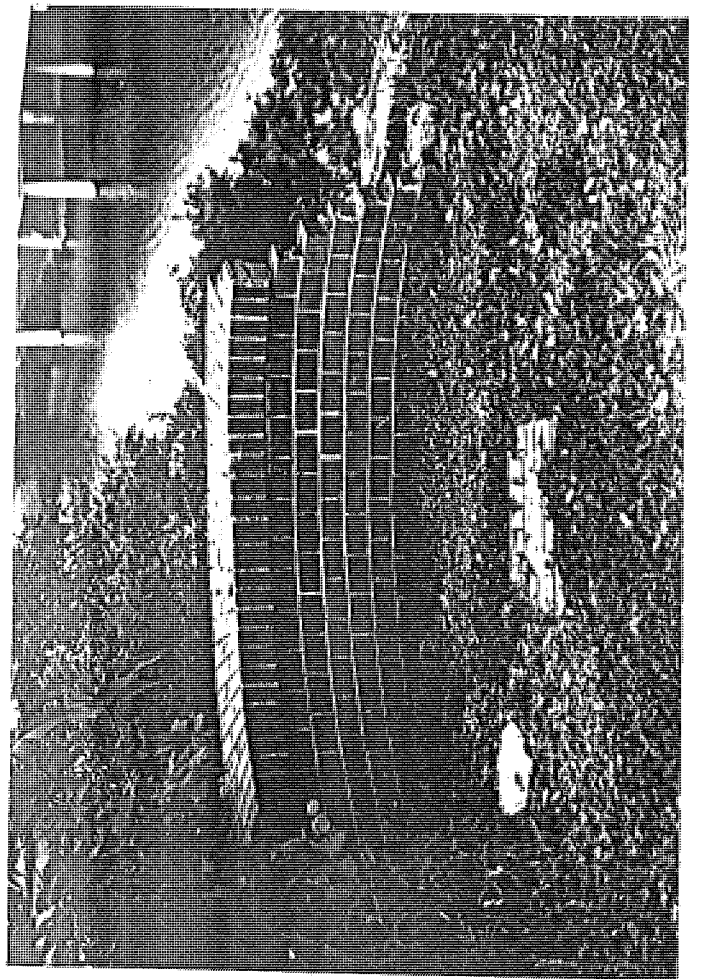




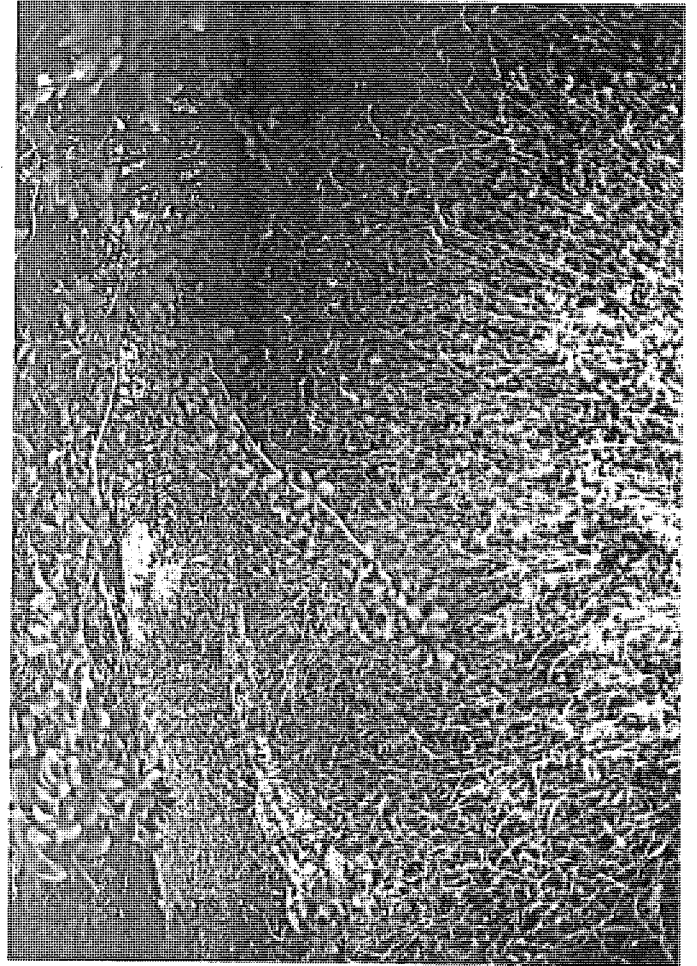
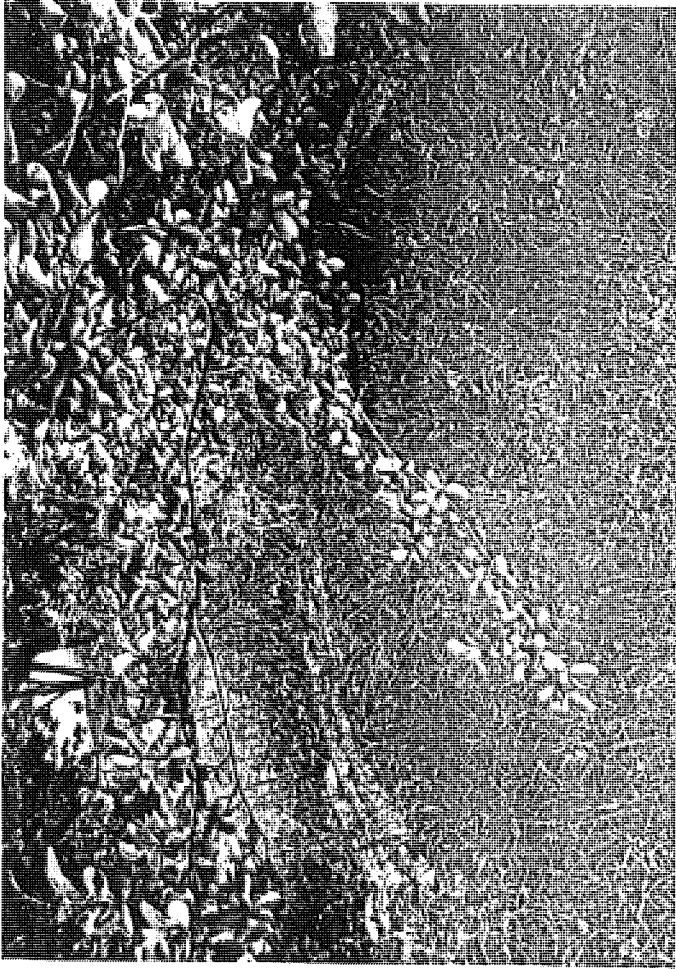


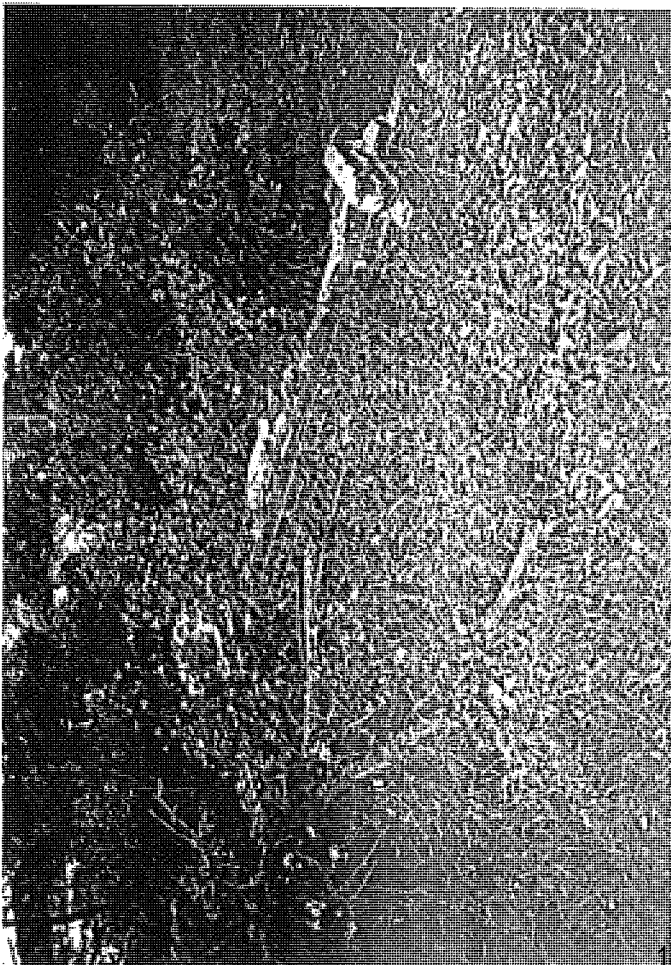
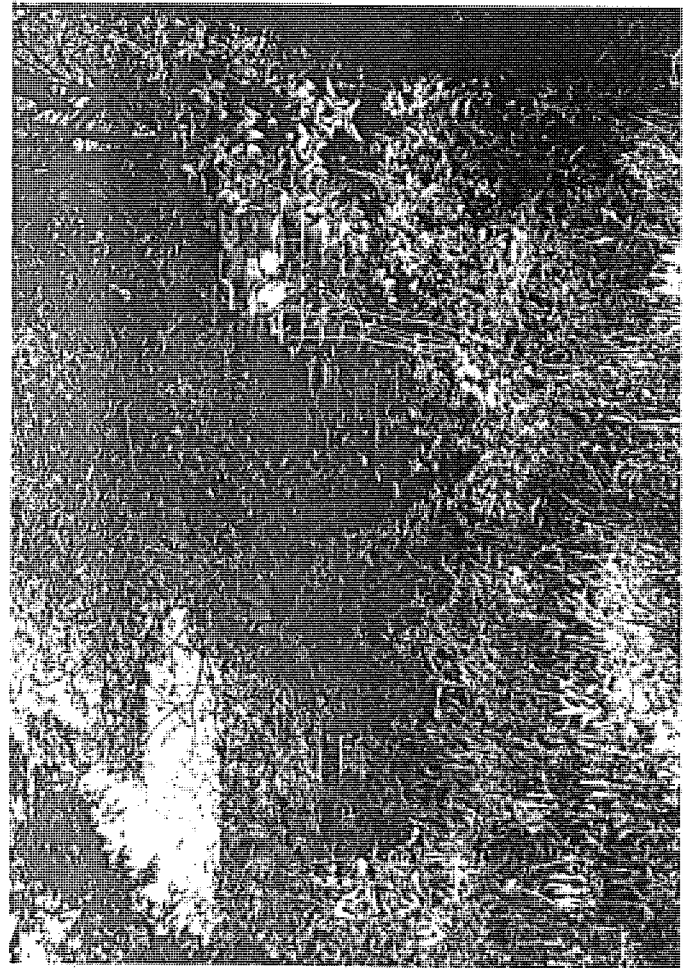


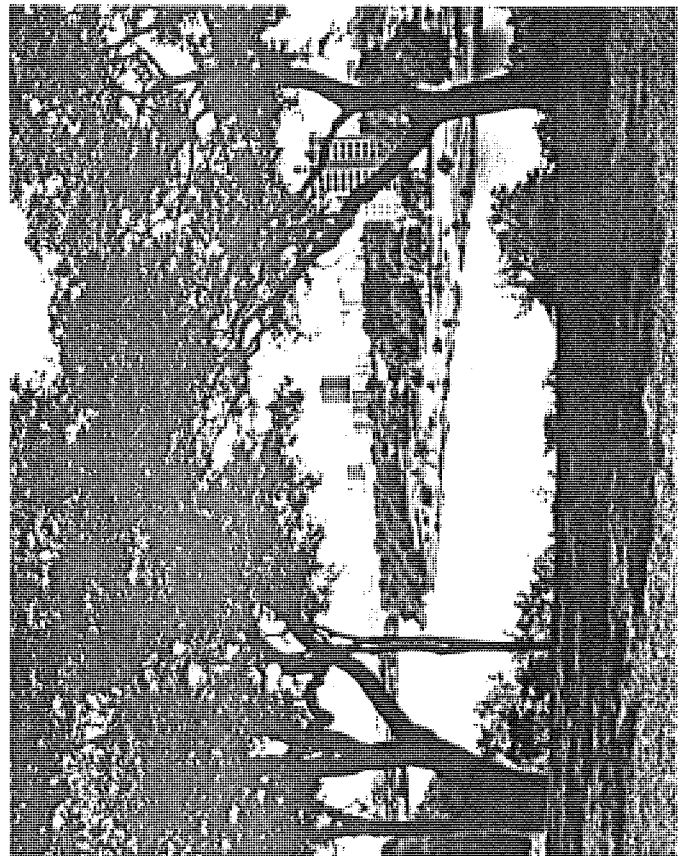
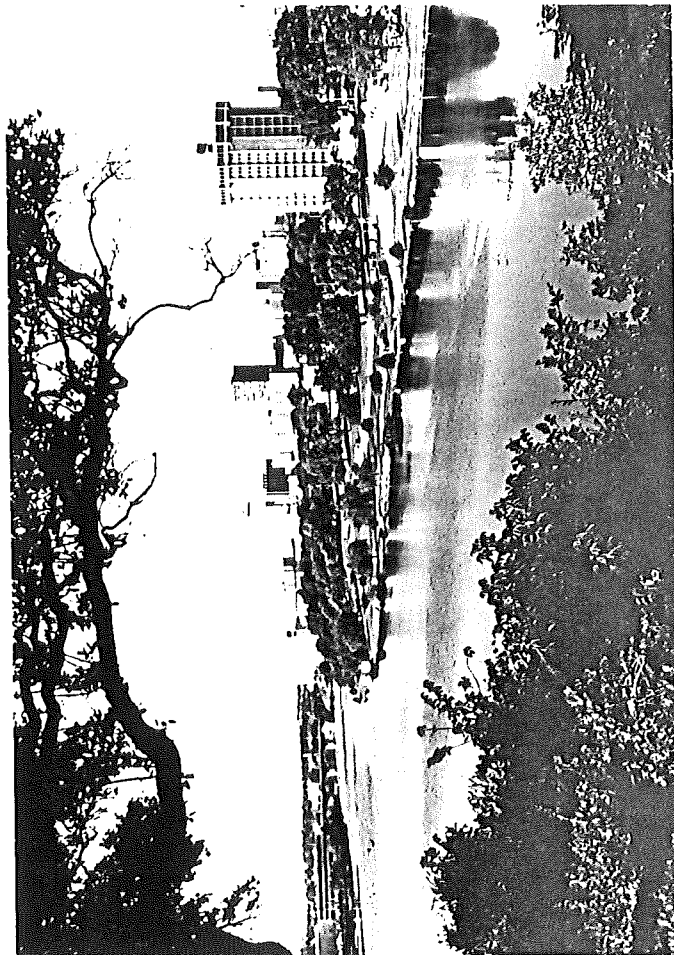
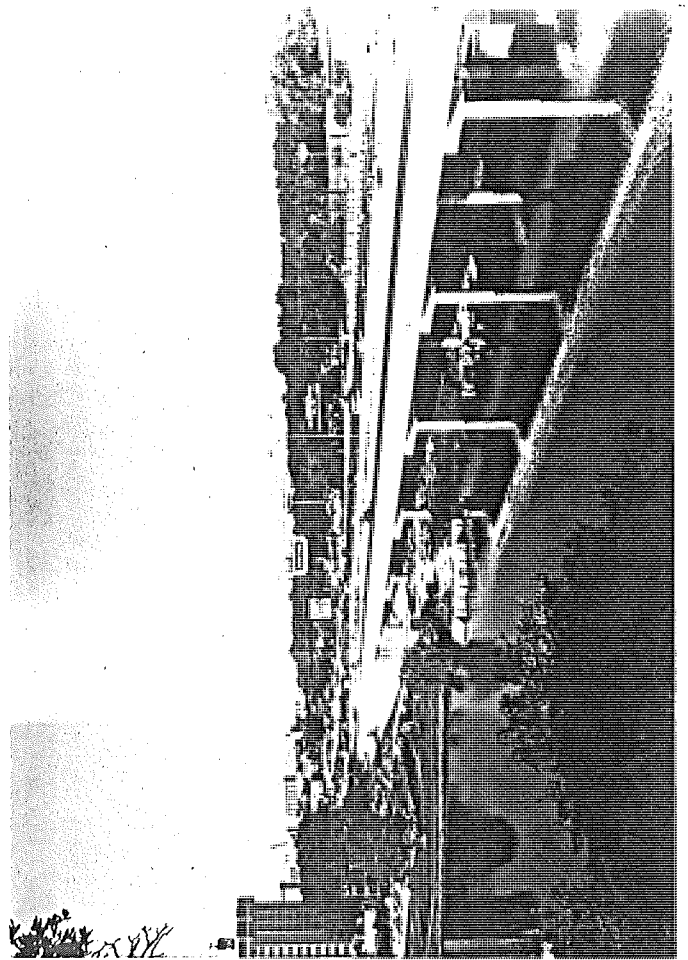
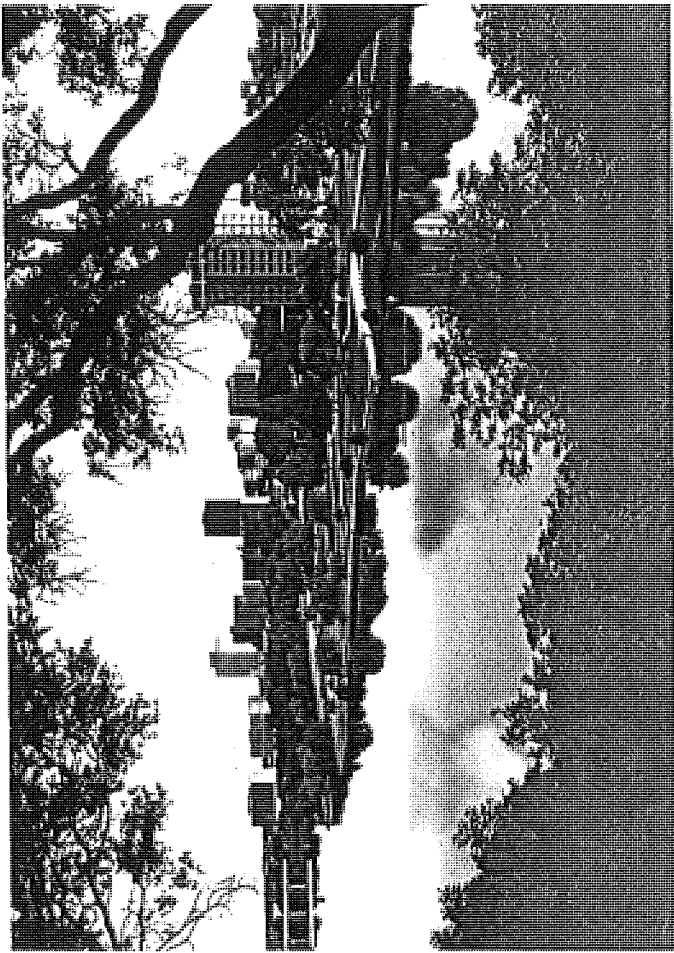




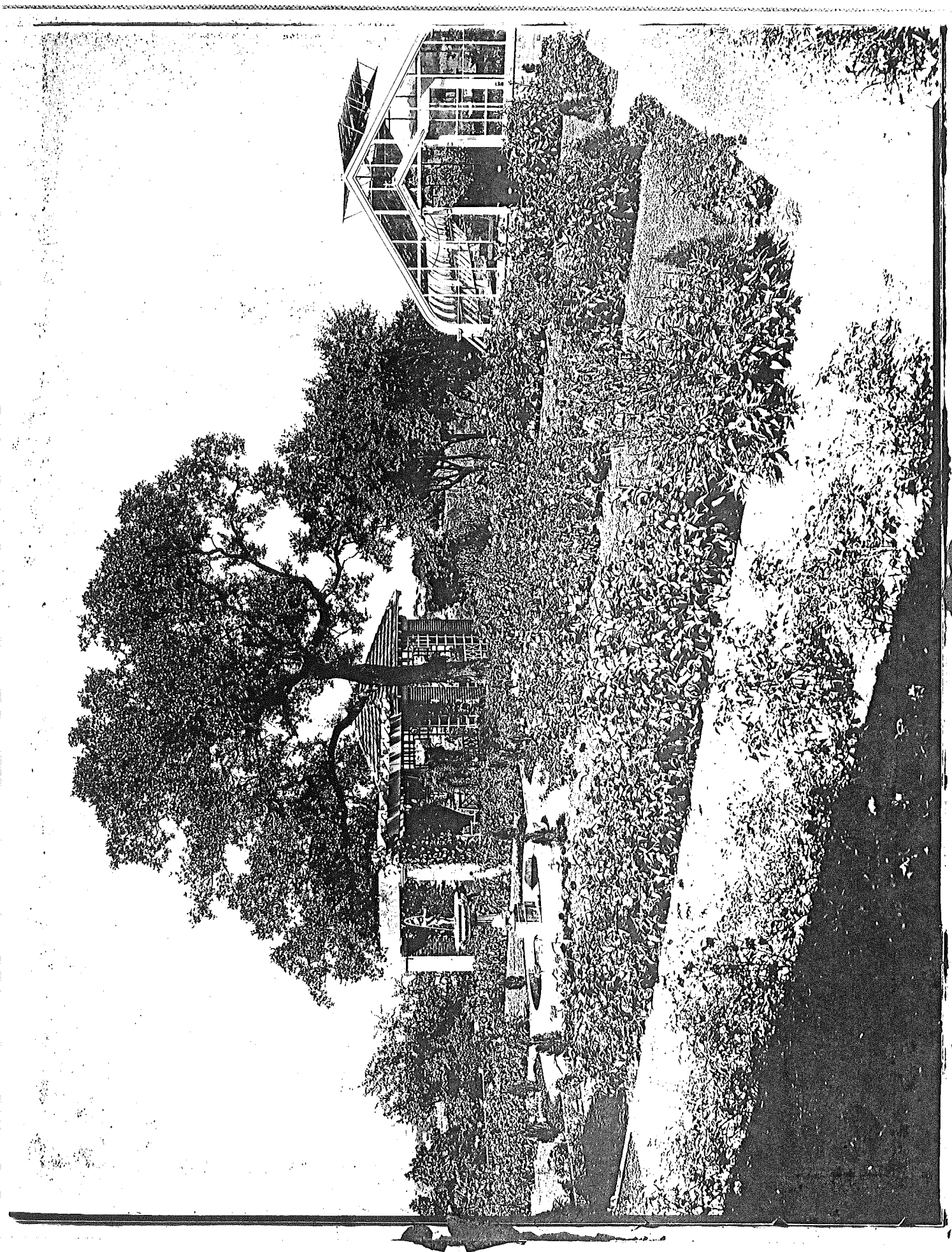


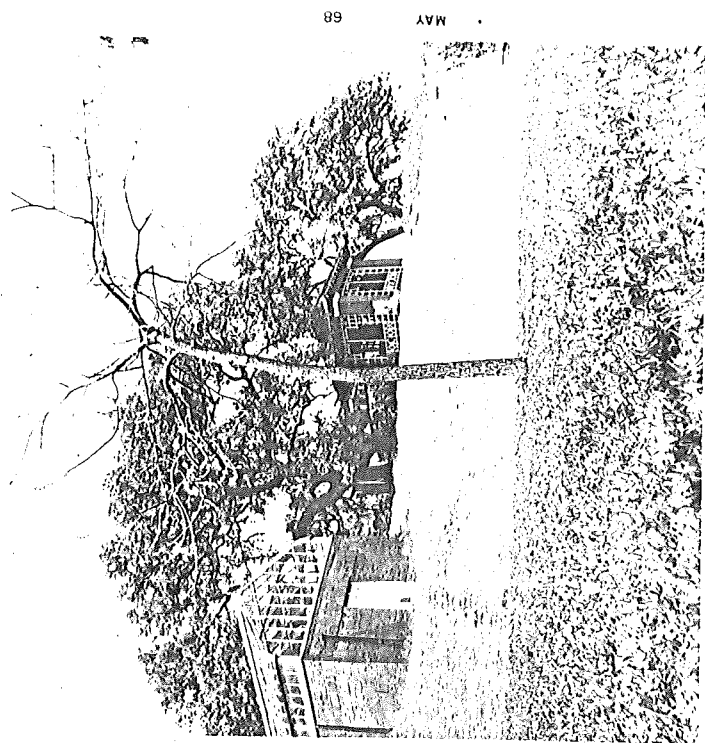
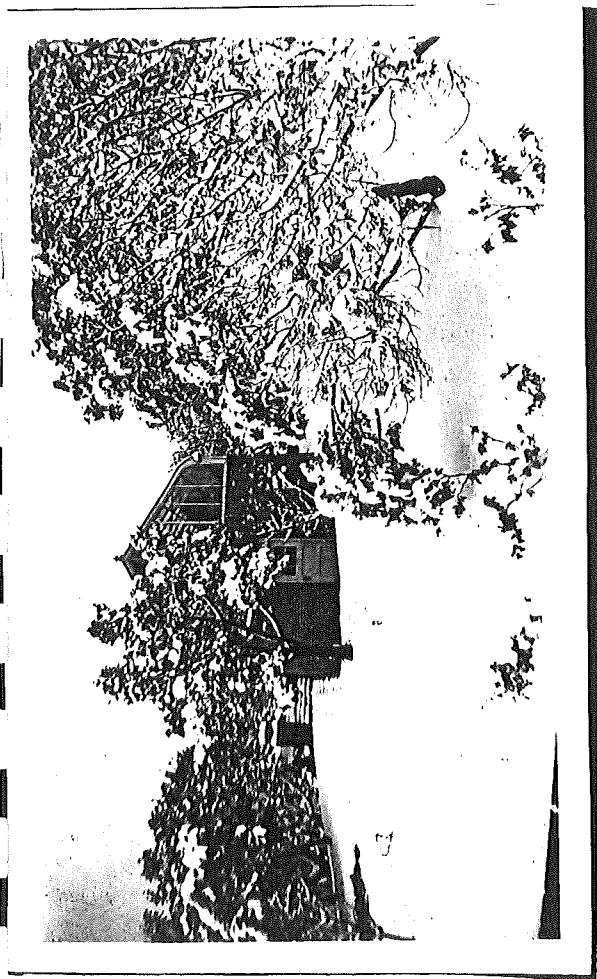




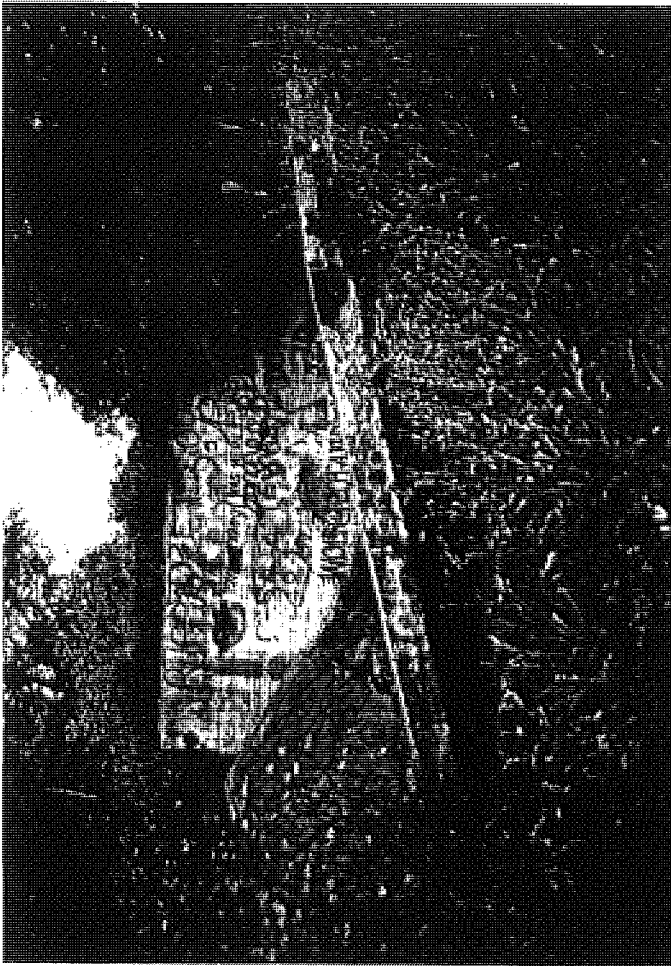




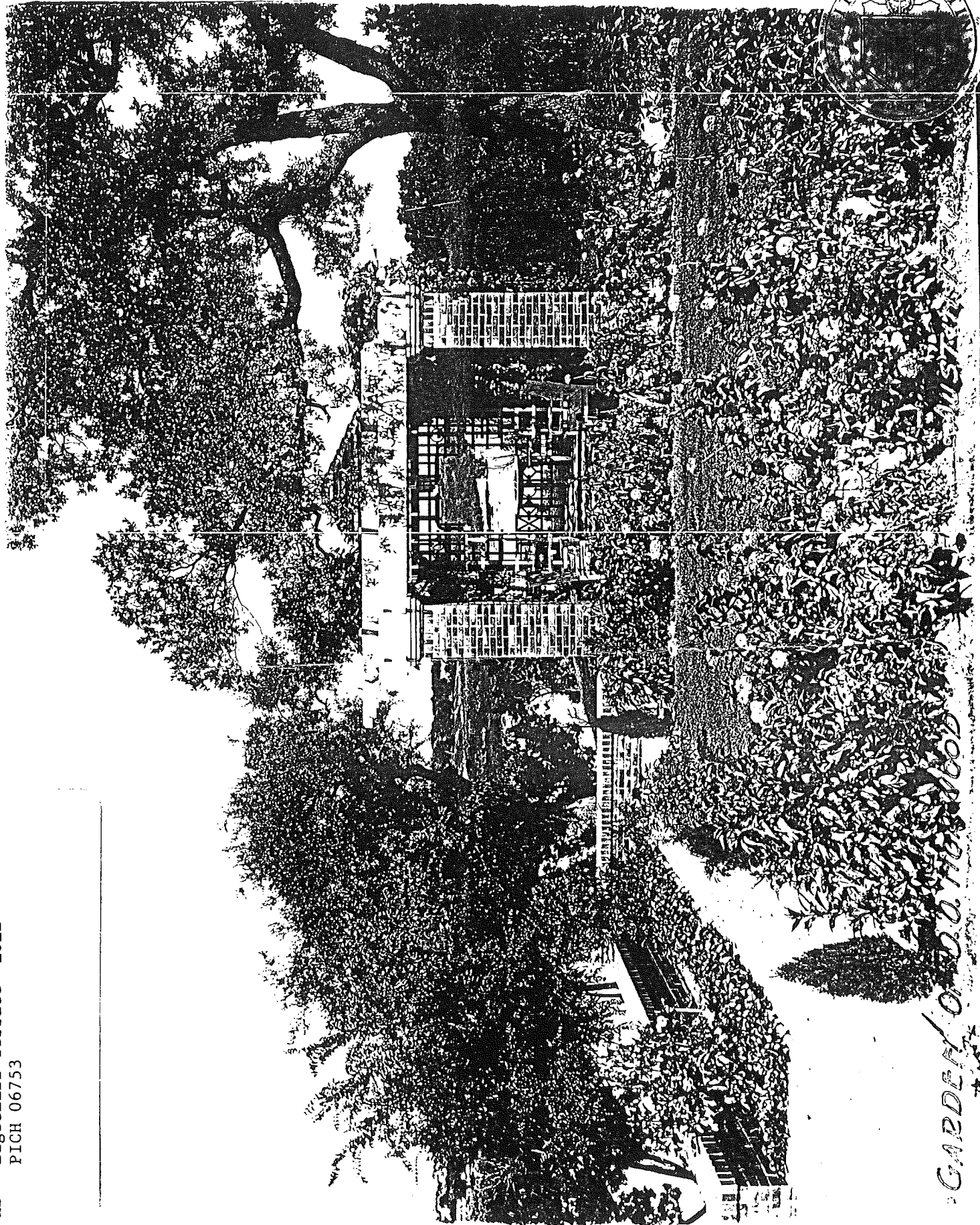








HB - Edgecliff Terrace 1012  
PICH 06753



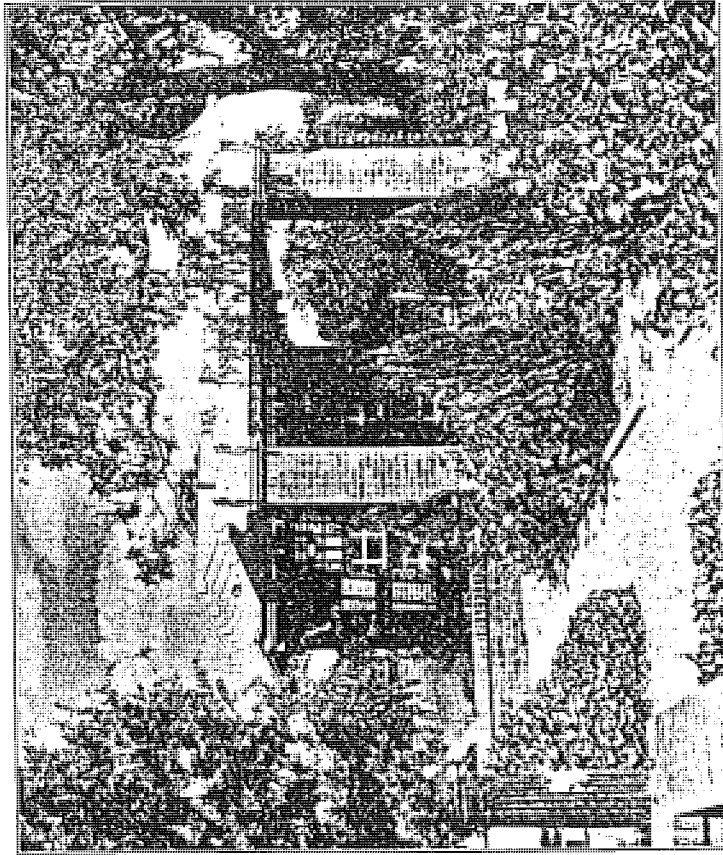




HB-EDGECLIFF TERRACE 1012

GC-SI 112 6/30/1925

A BIT OF SCENIC BEAUTY  
At The O.O. Norwood Home  
In Travis Heights



—Photograph by Gazley Co.

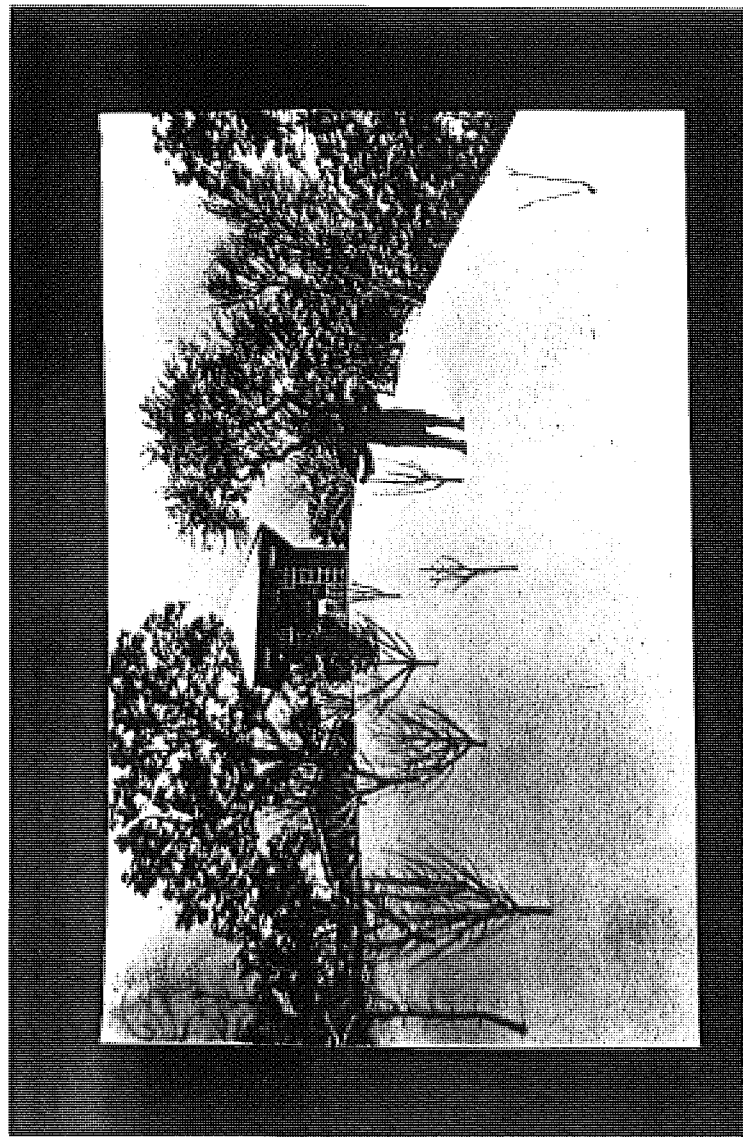
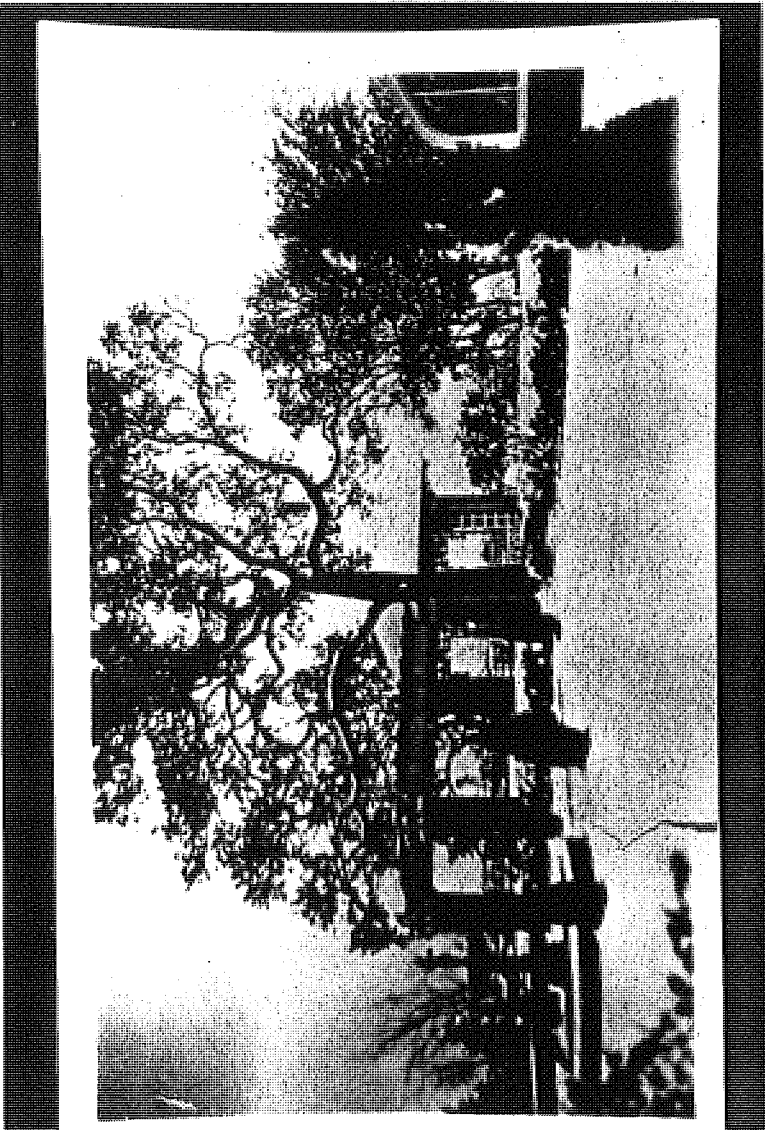
The formal flower garden with a glimpse of the river below.  
This flower garden is one of the most beautiful in town, with its Japanese tea house, beds of gorgeous flowers, conservatory, sun dial, gazing globe, and fountain. The Norwood home is one of Austin's show places.

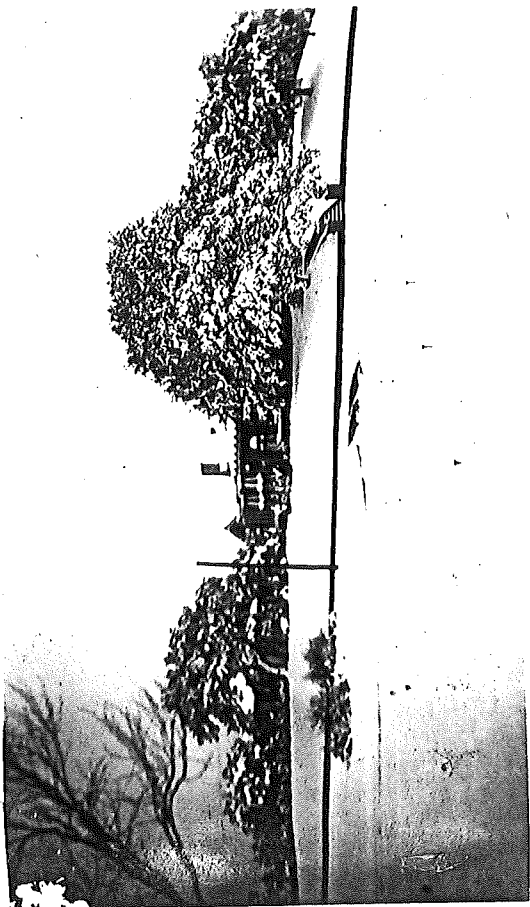
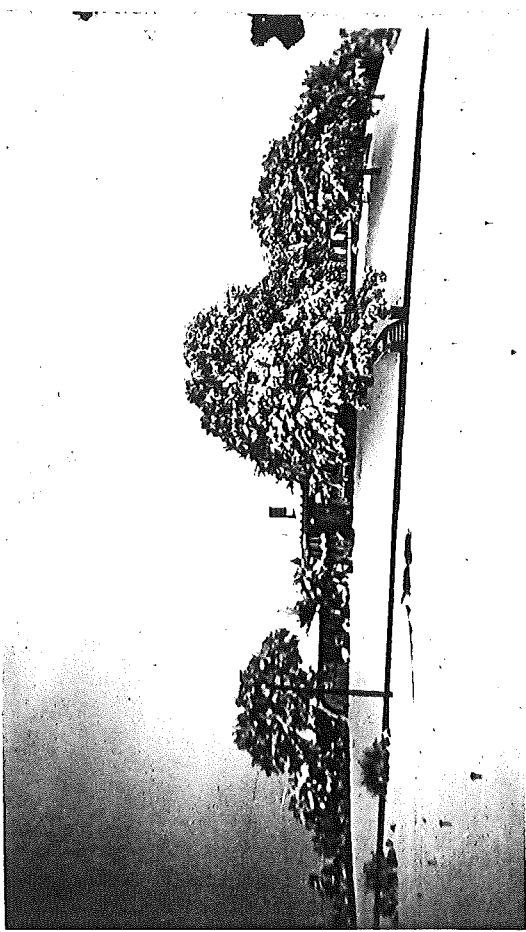
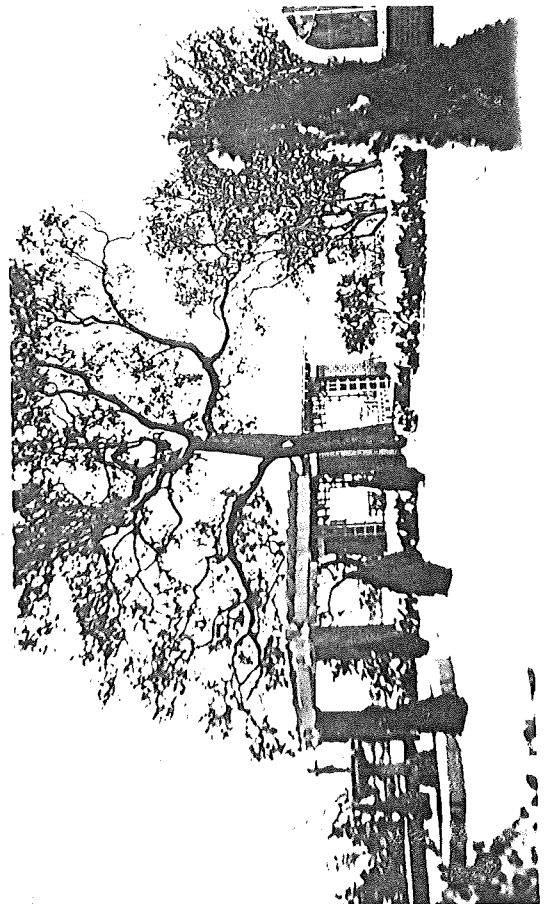
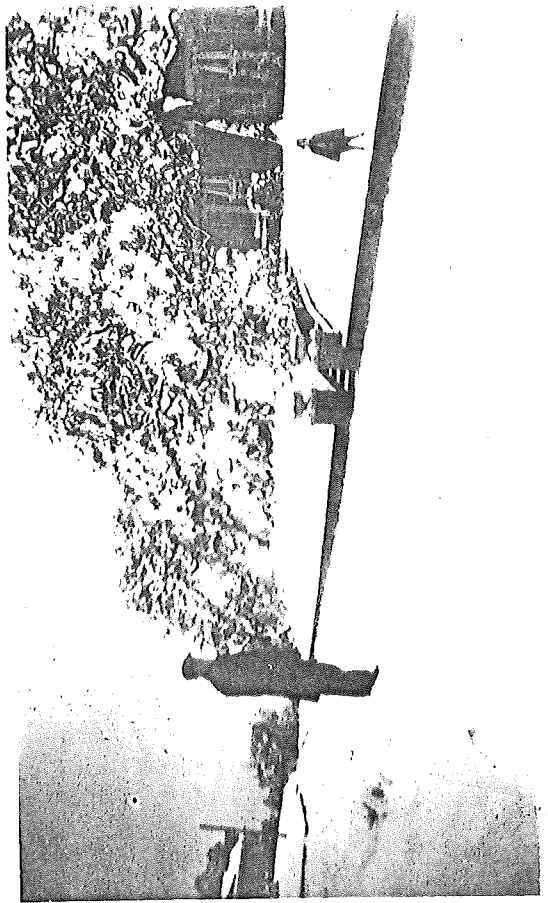
(NO STORY)  
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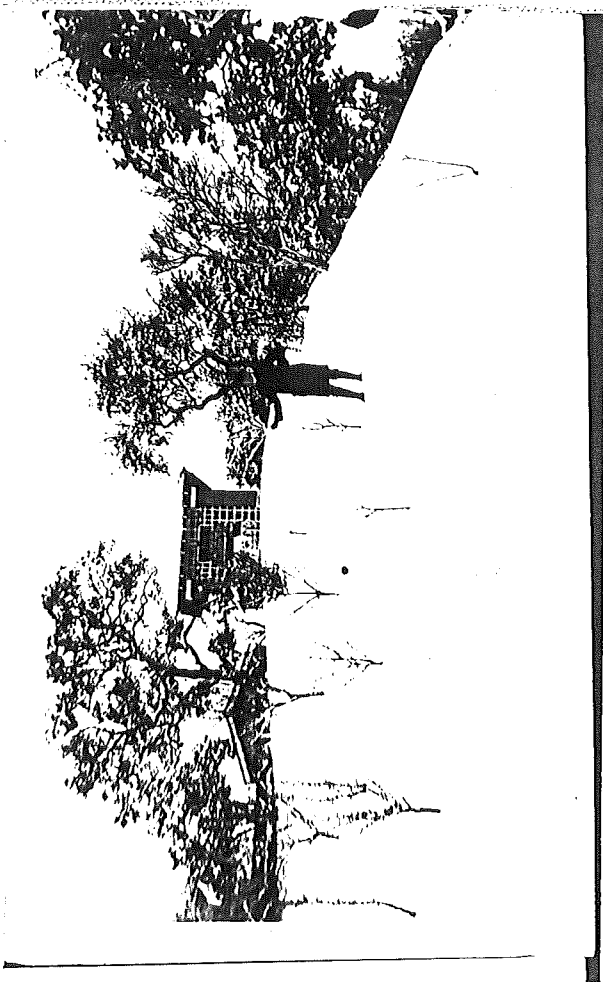
~~THE RACE~~  
The race for 1012

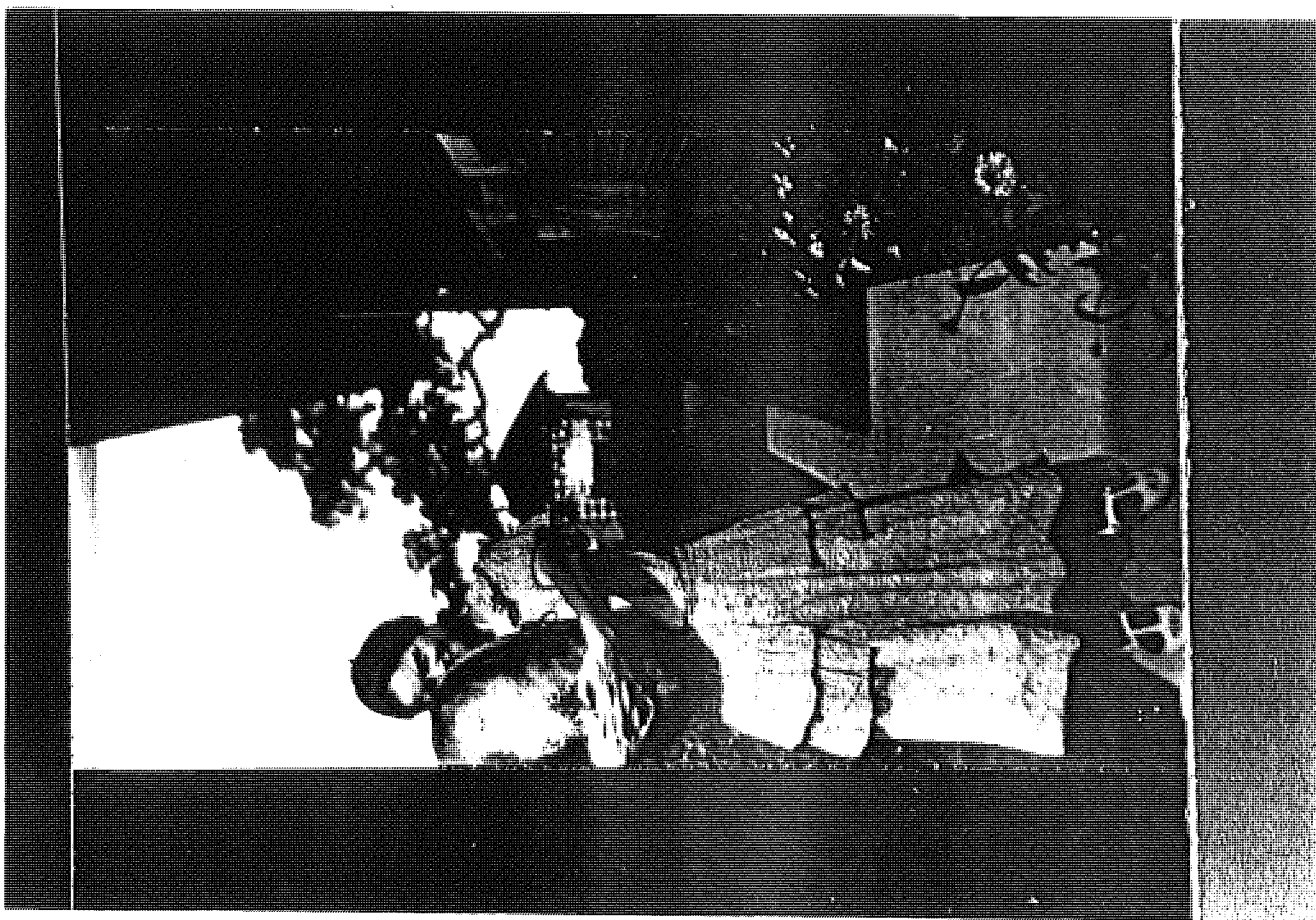
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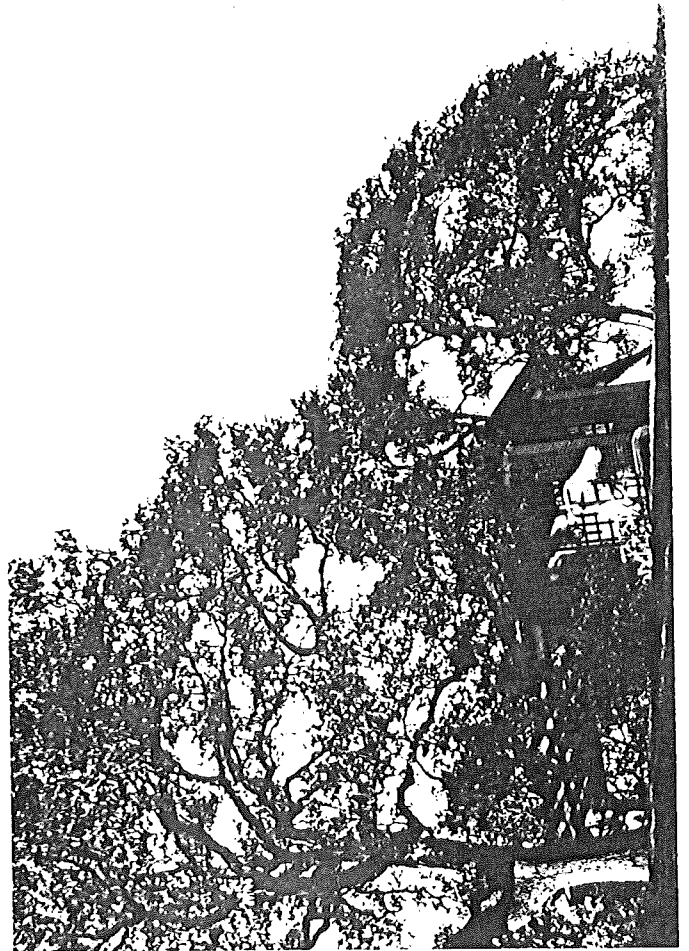
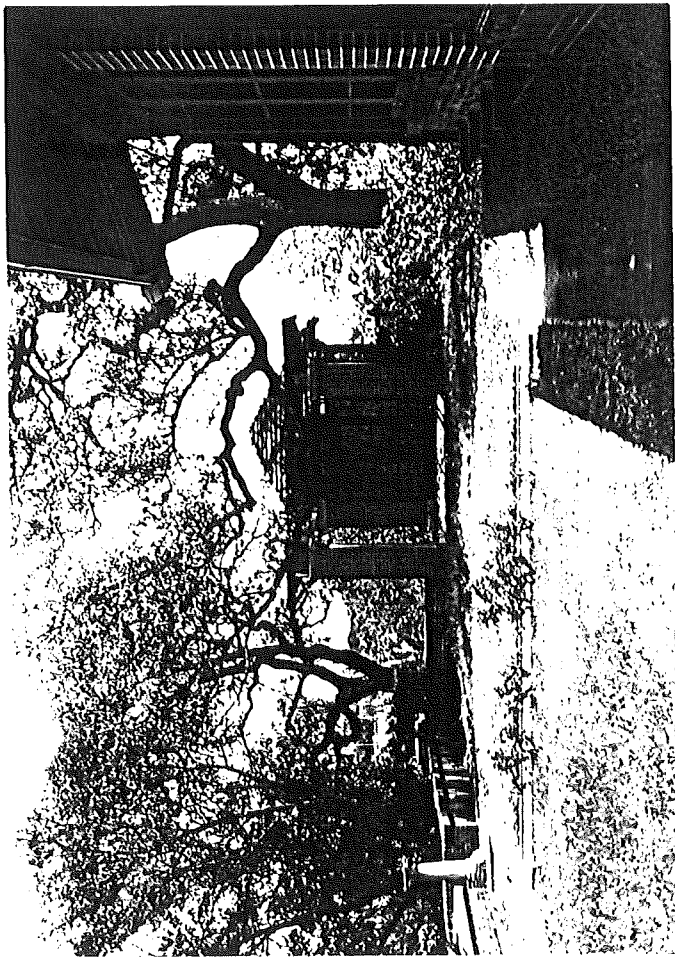
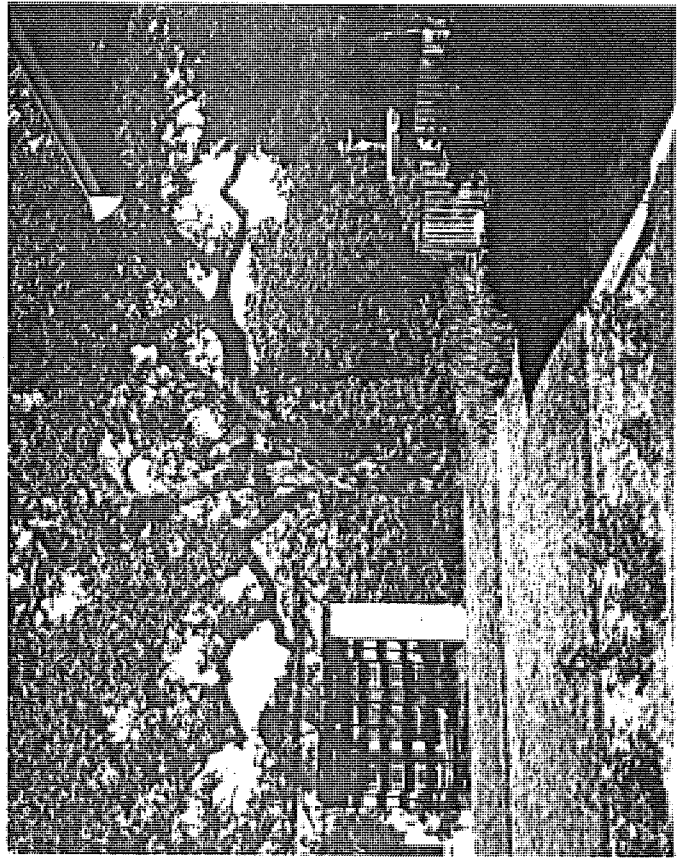
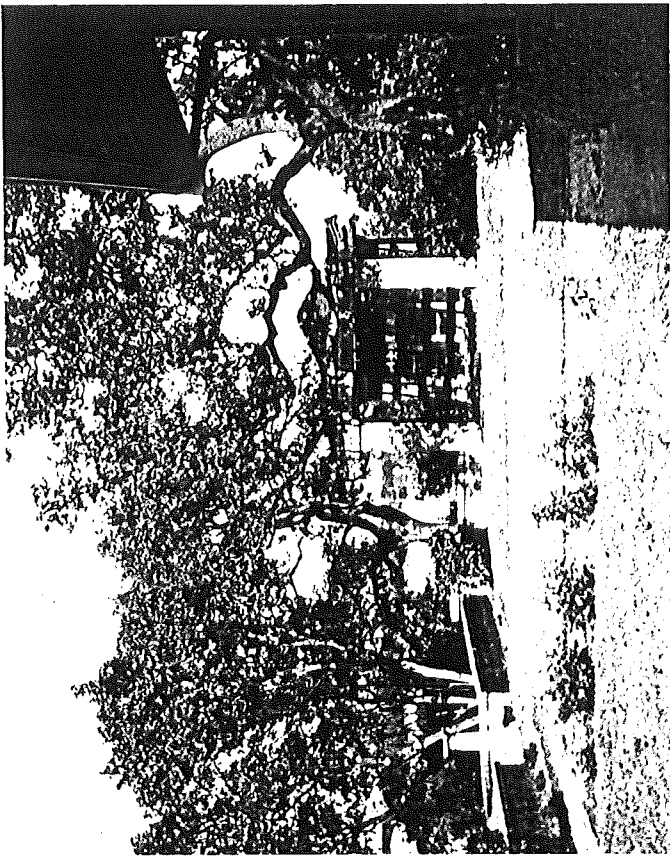


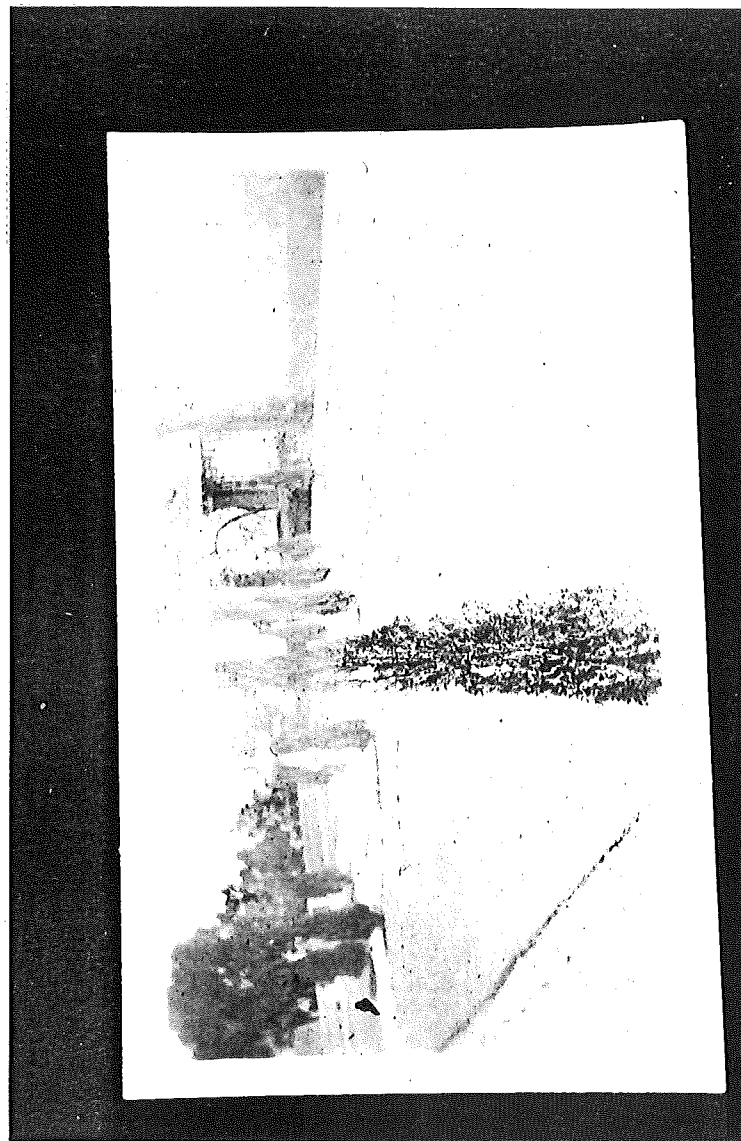
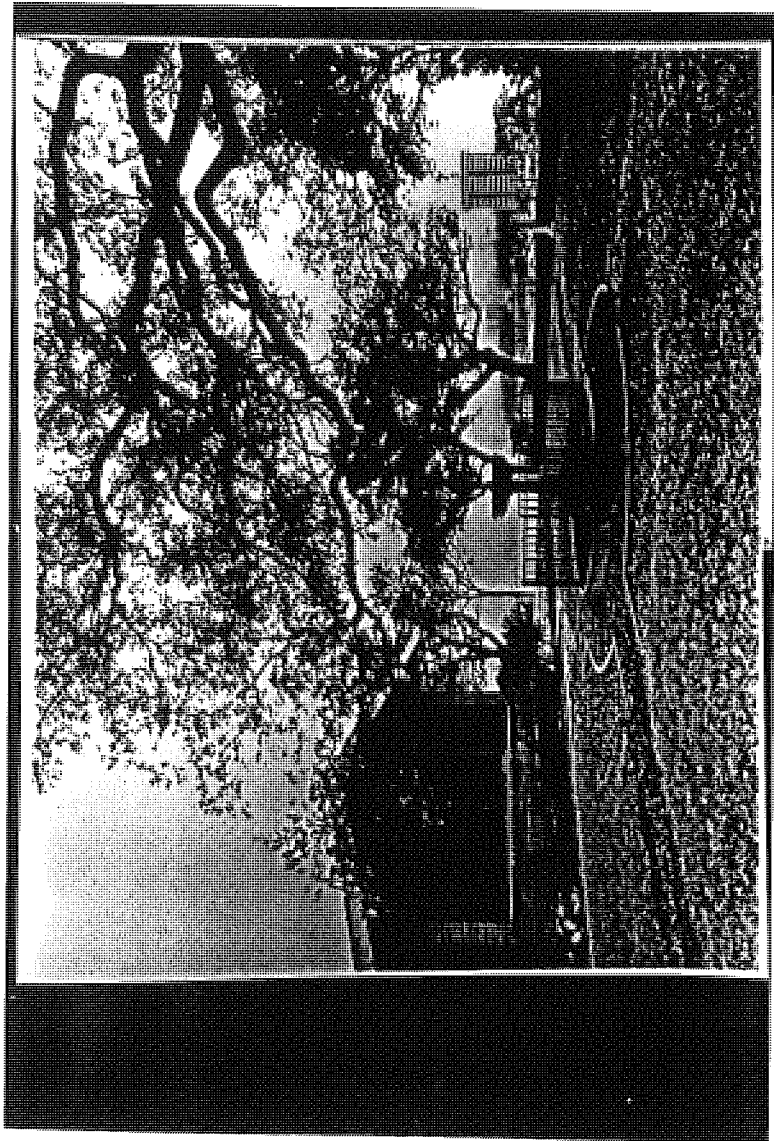


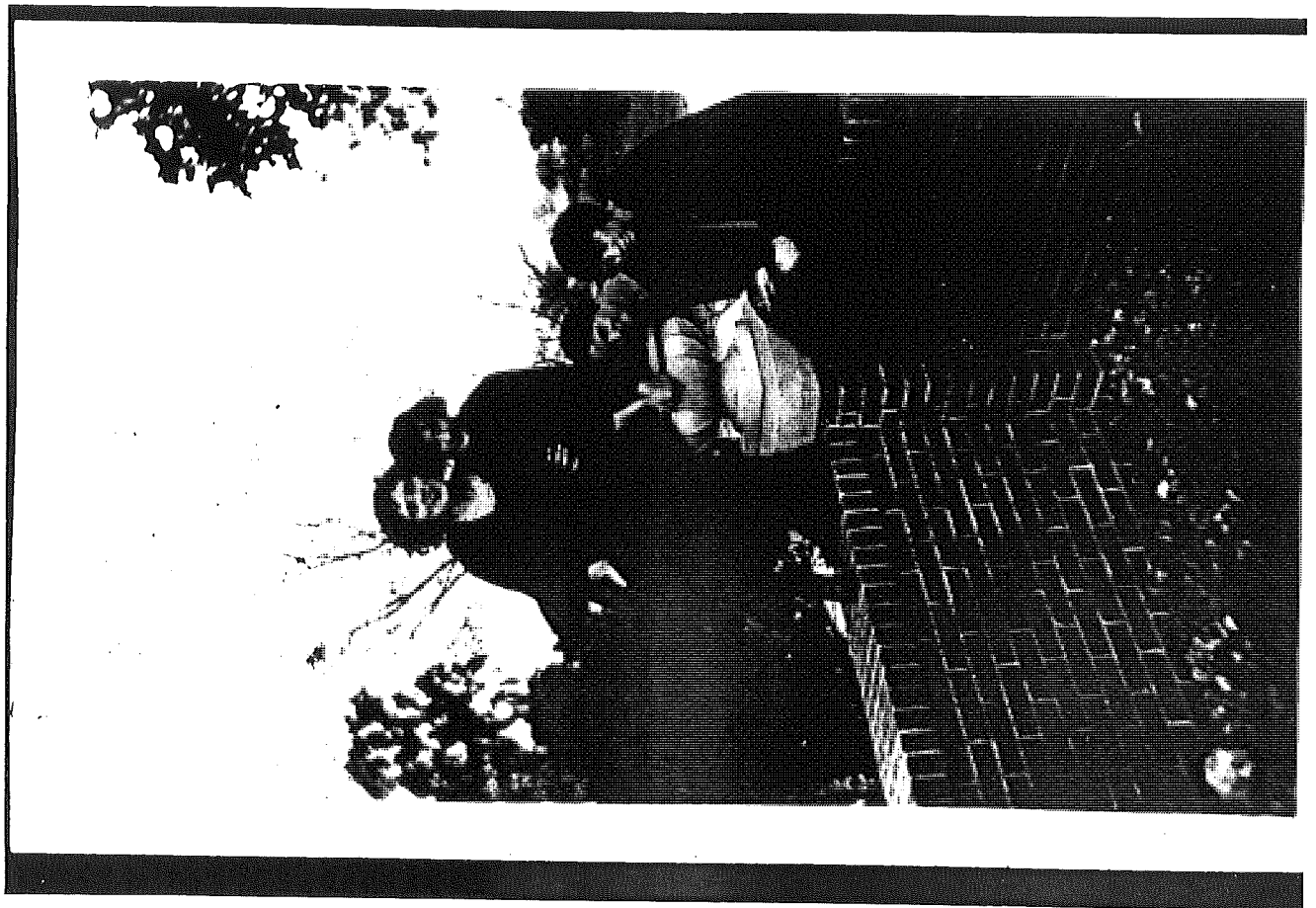






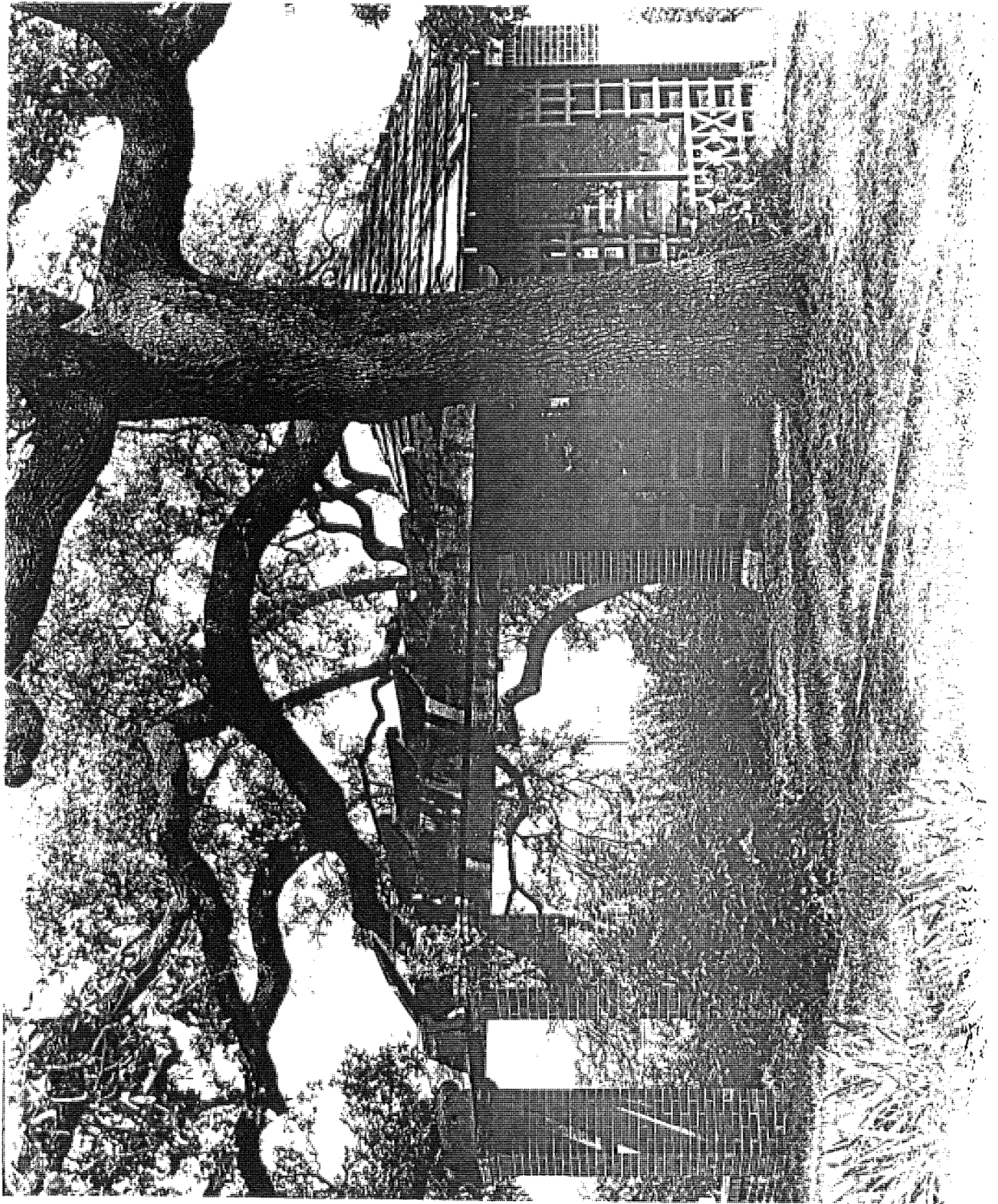


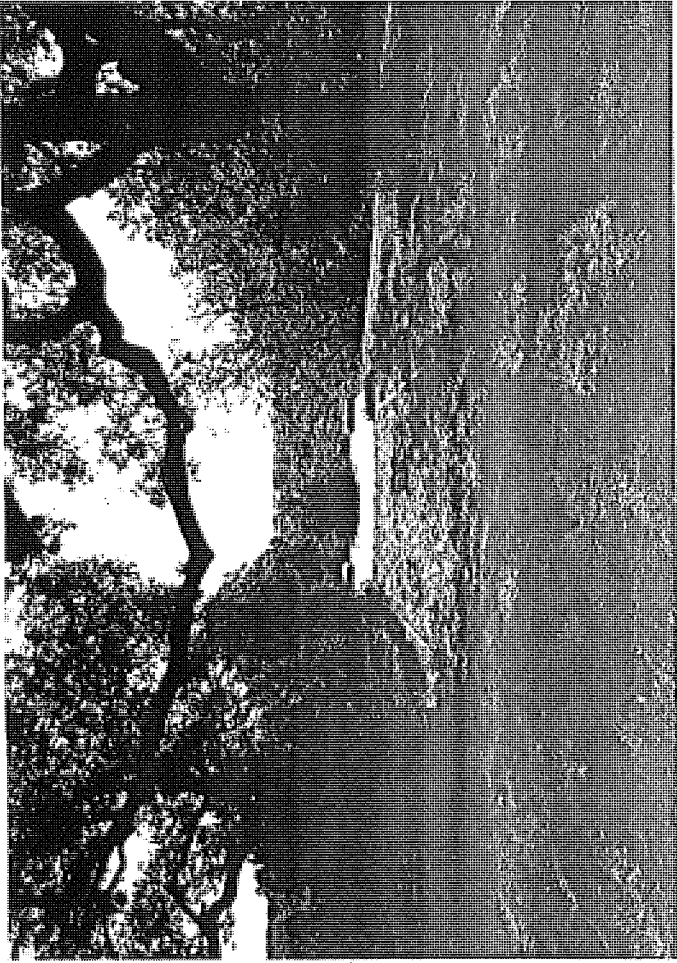
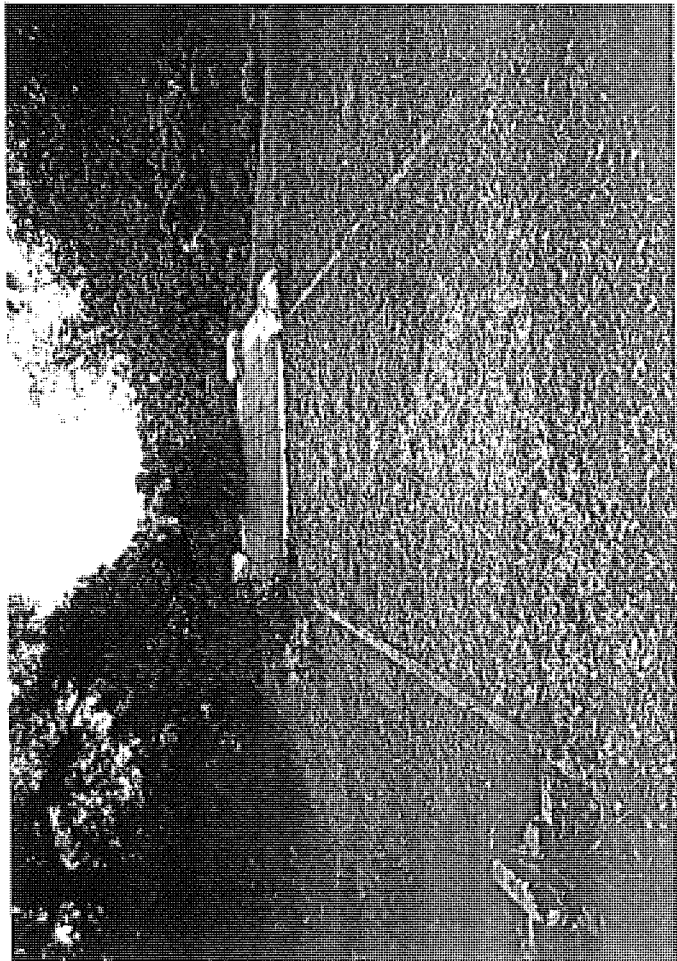
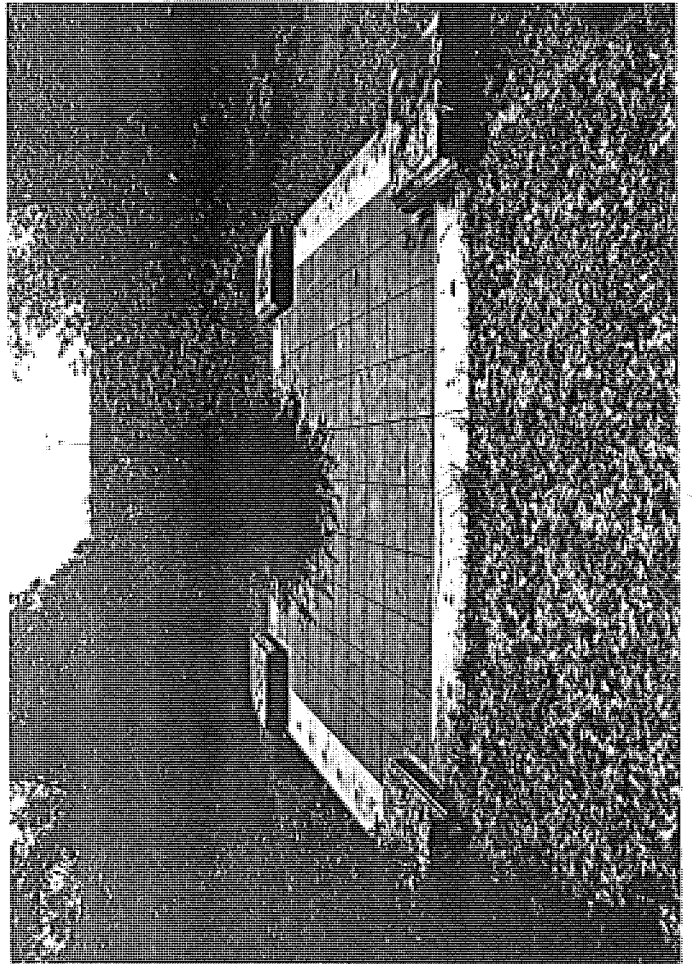


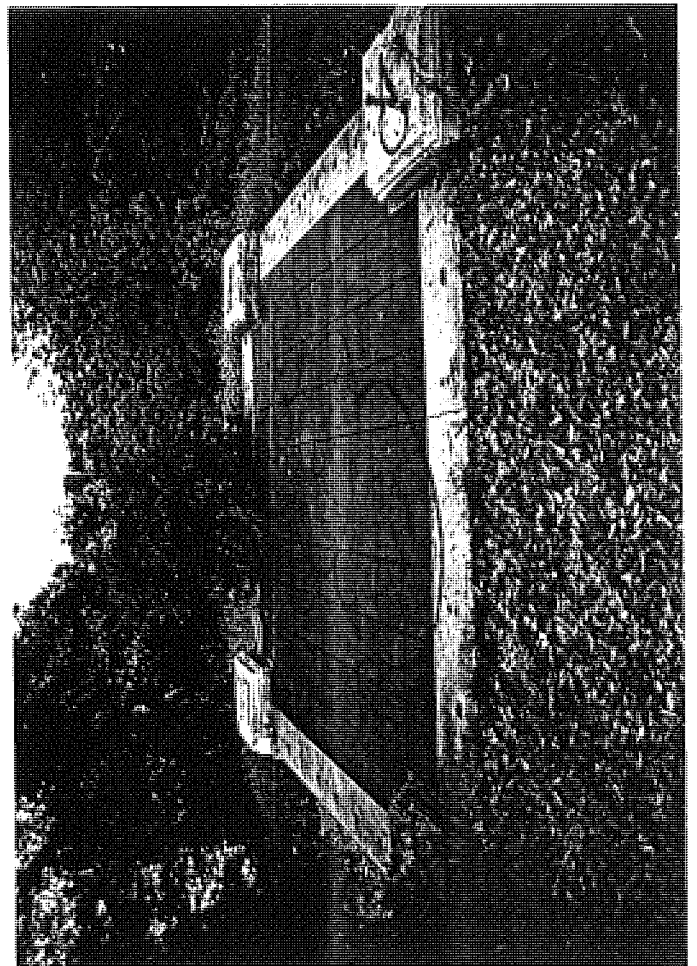
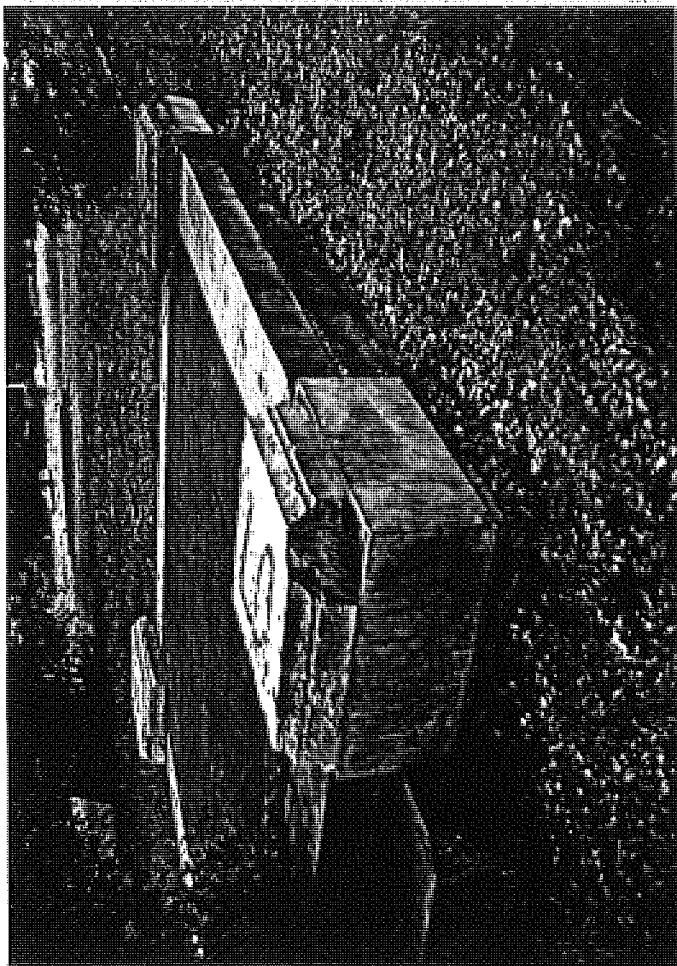




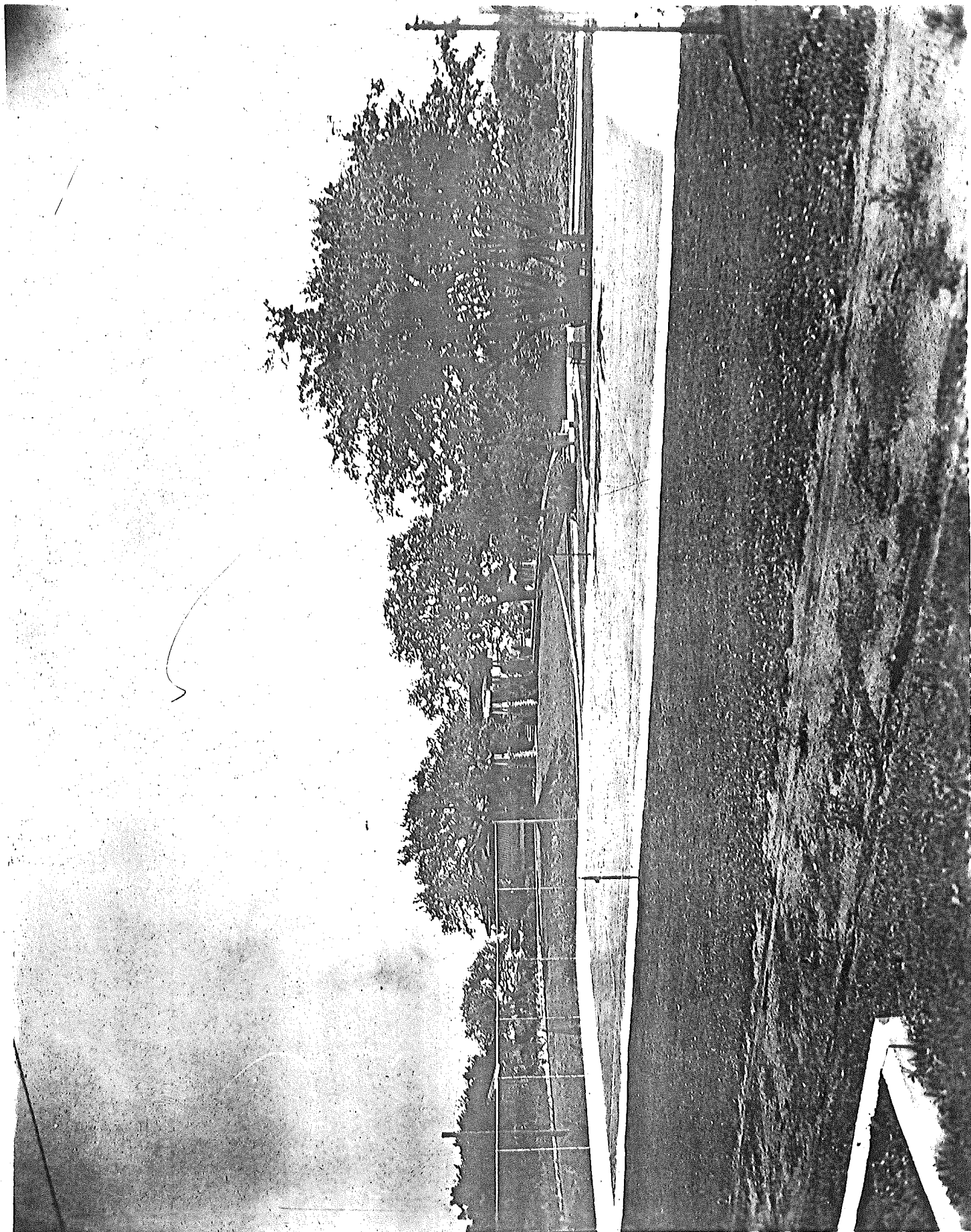
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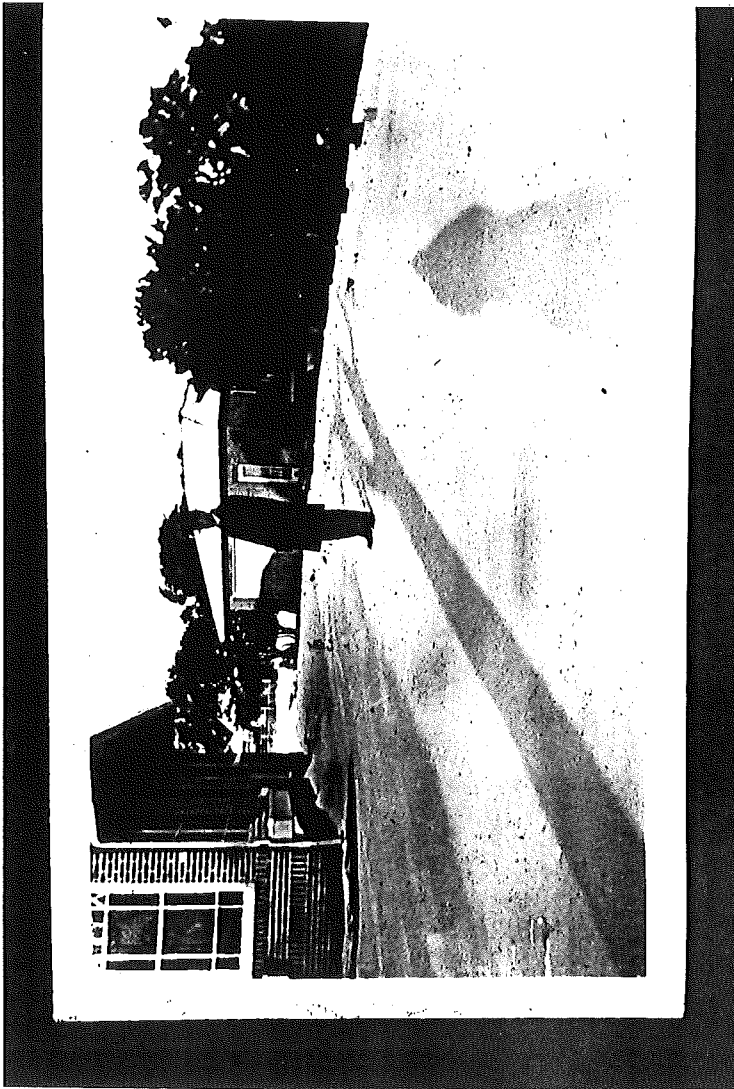
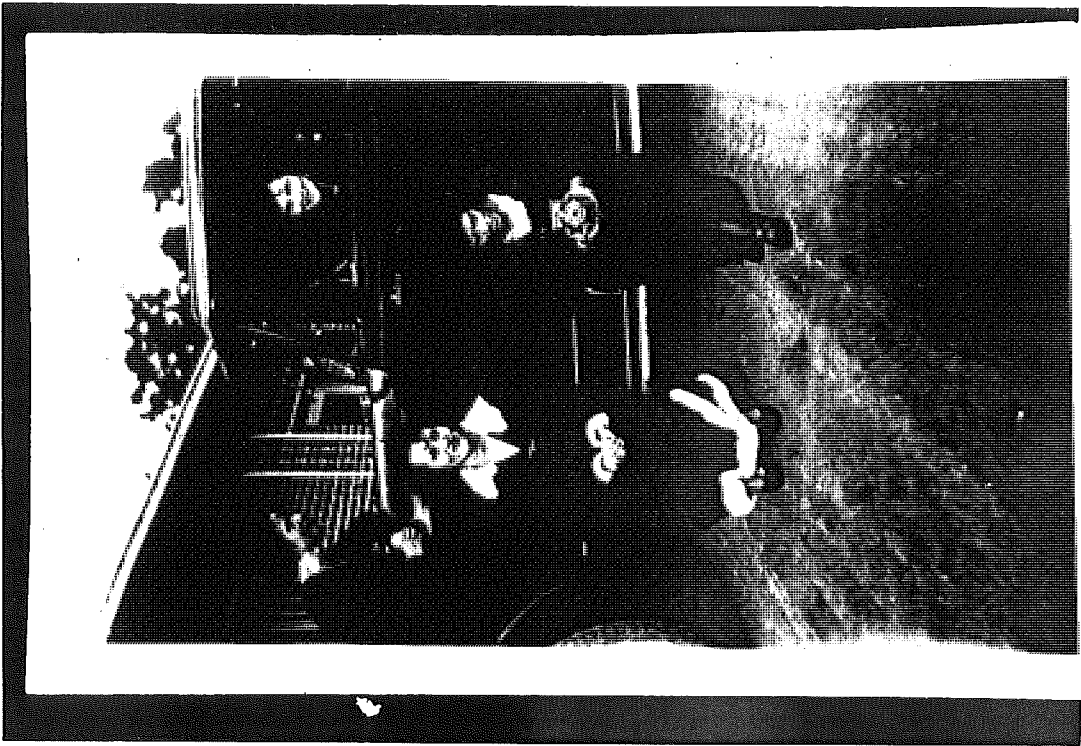




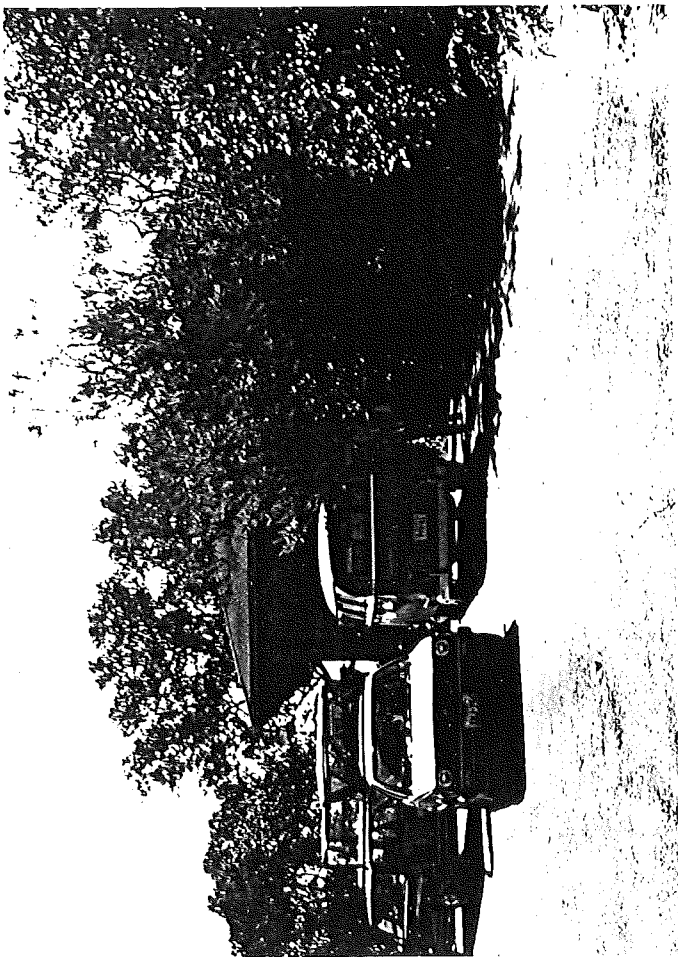
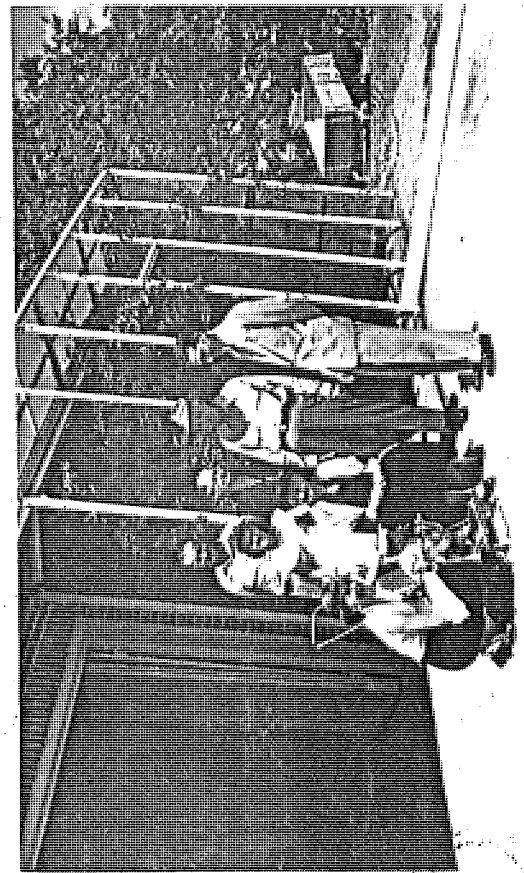
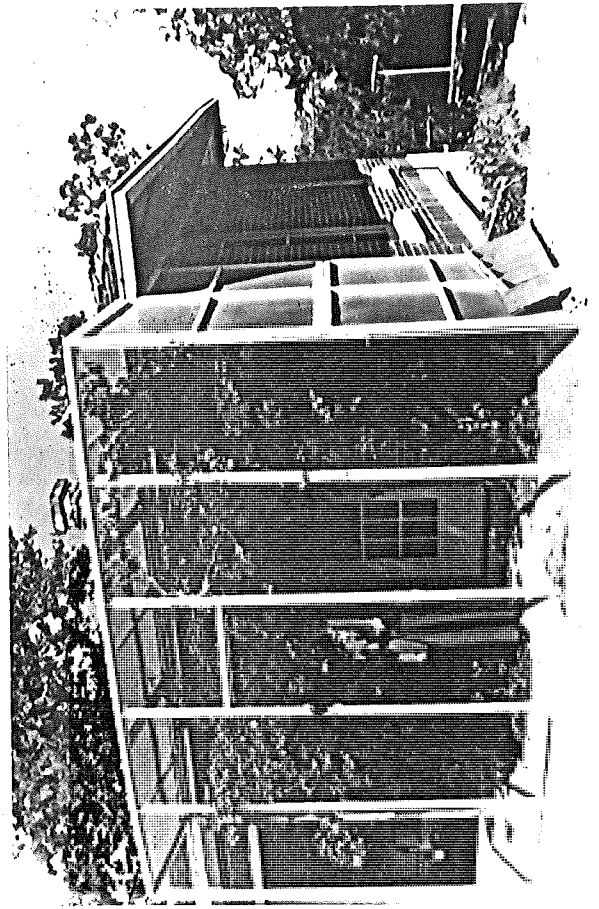


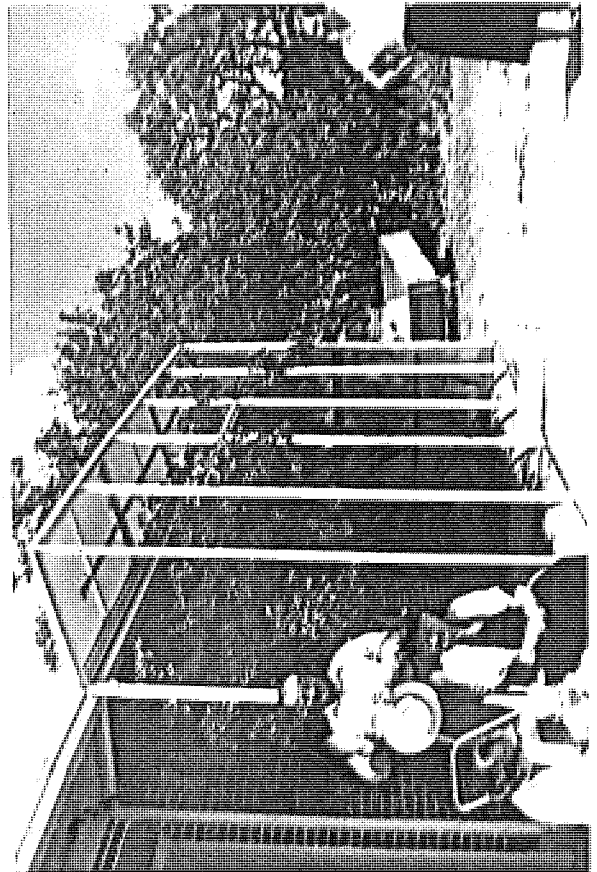
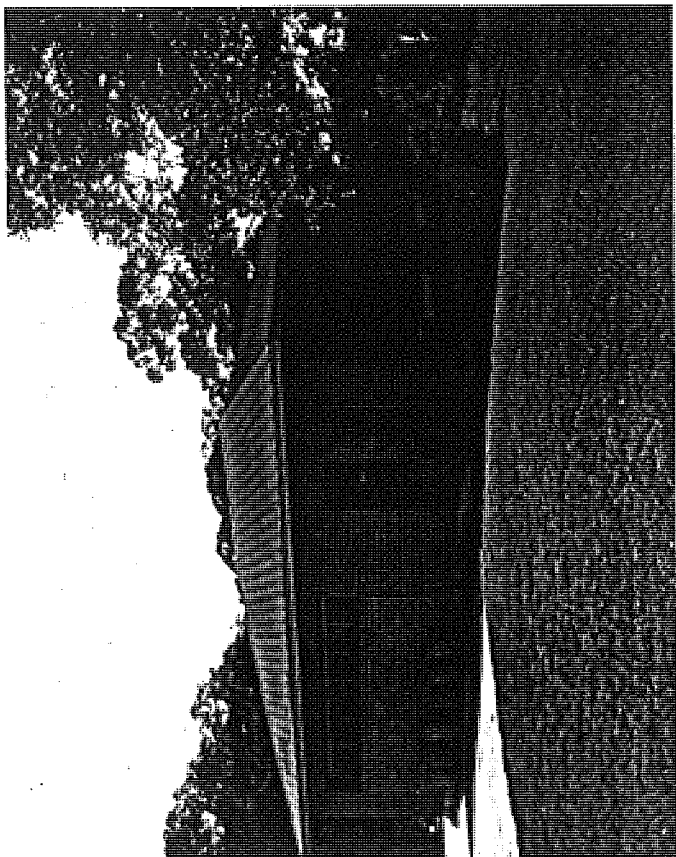


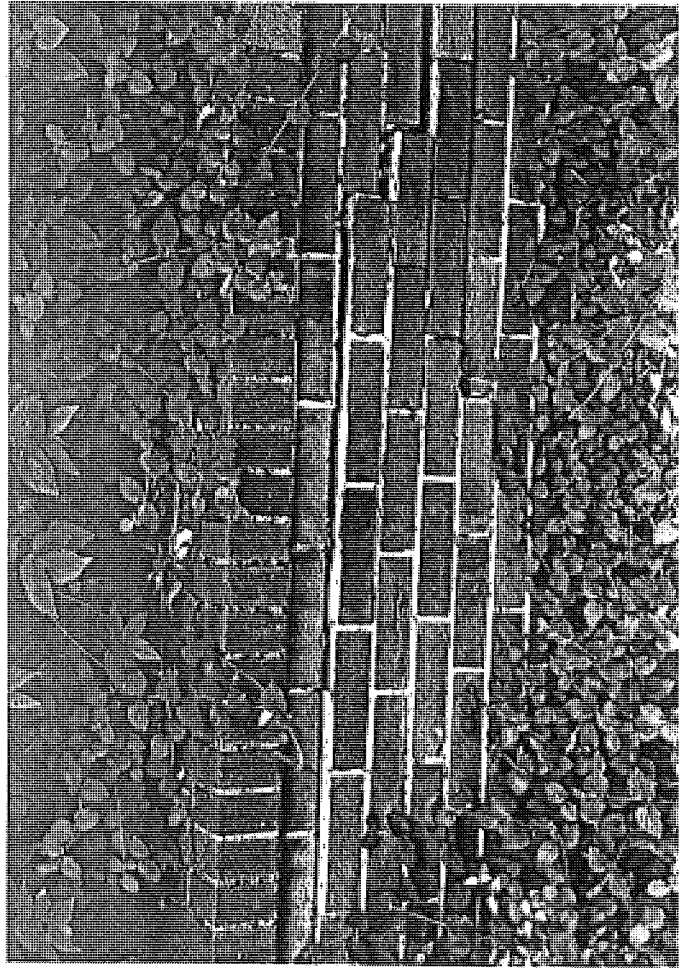
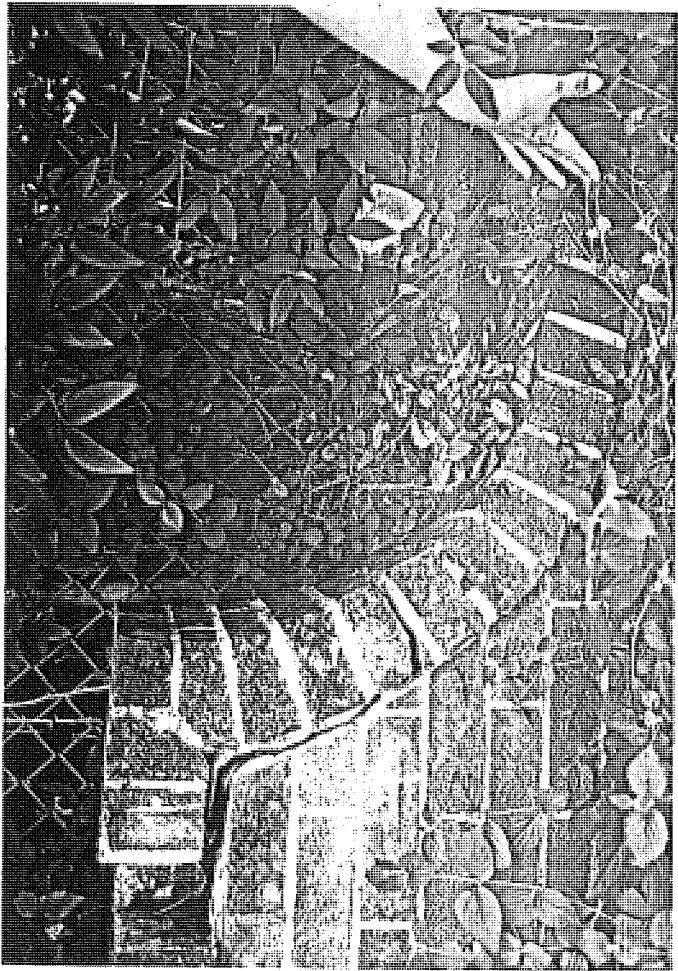




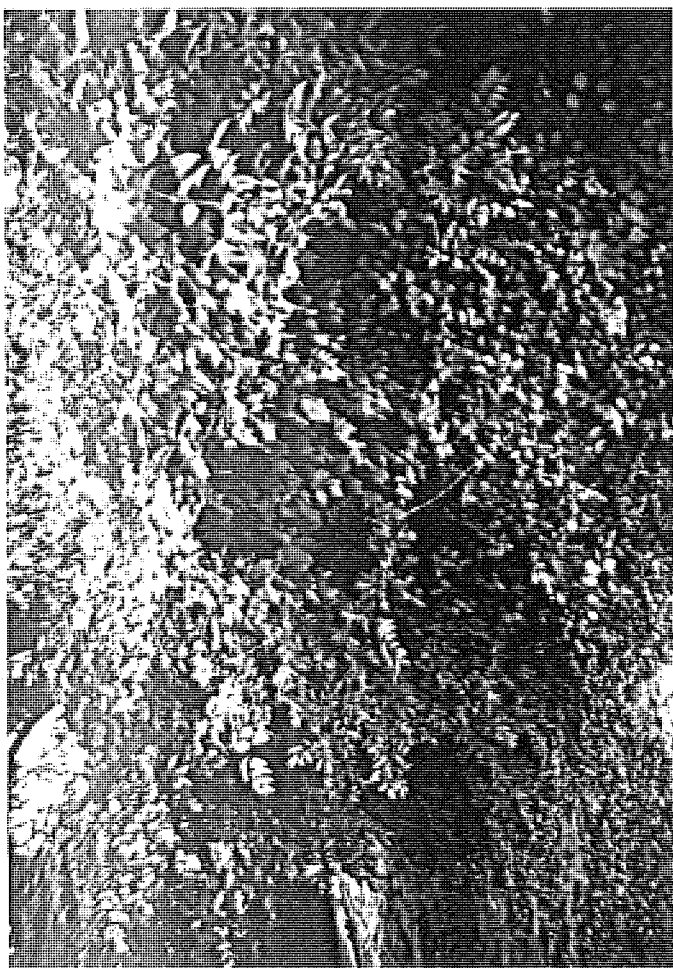
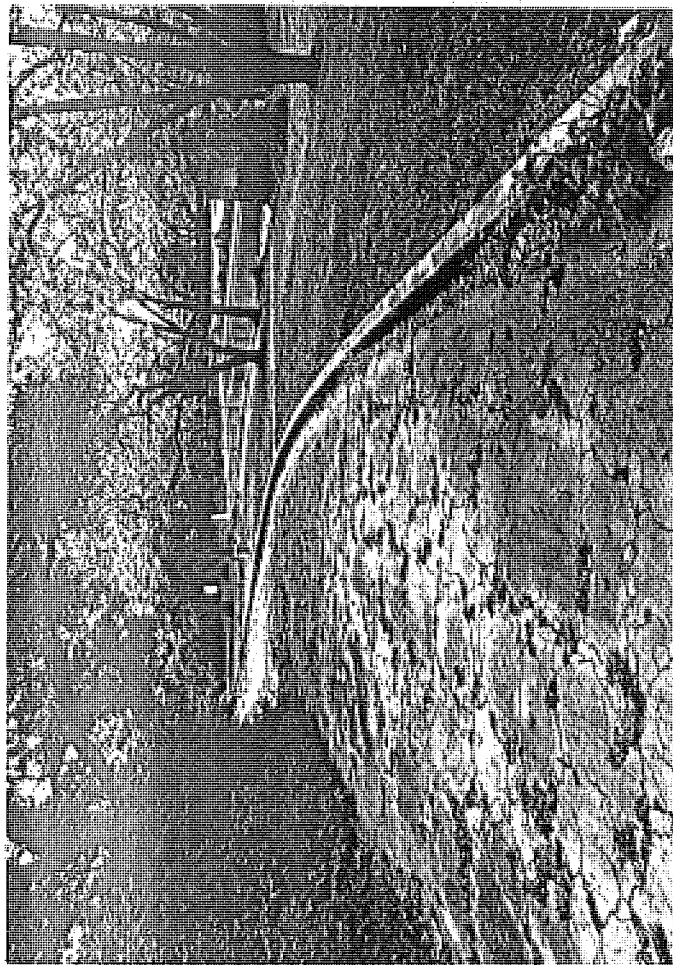
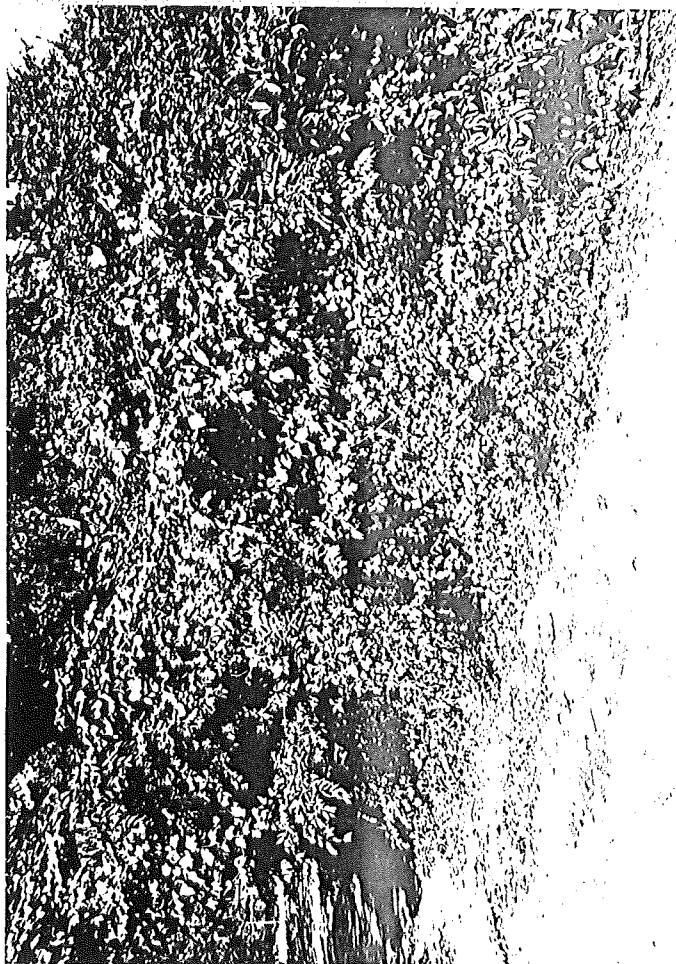


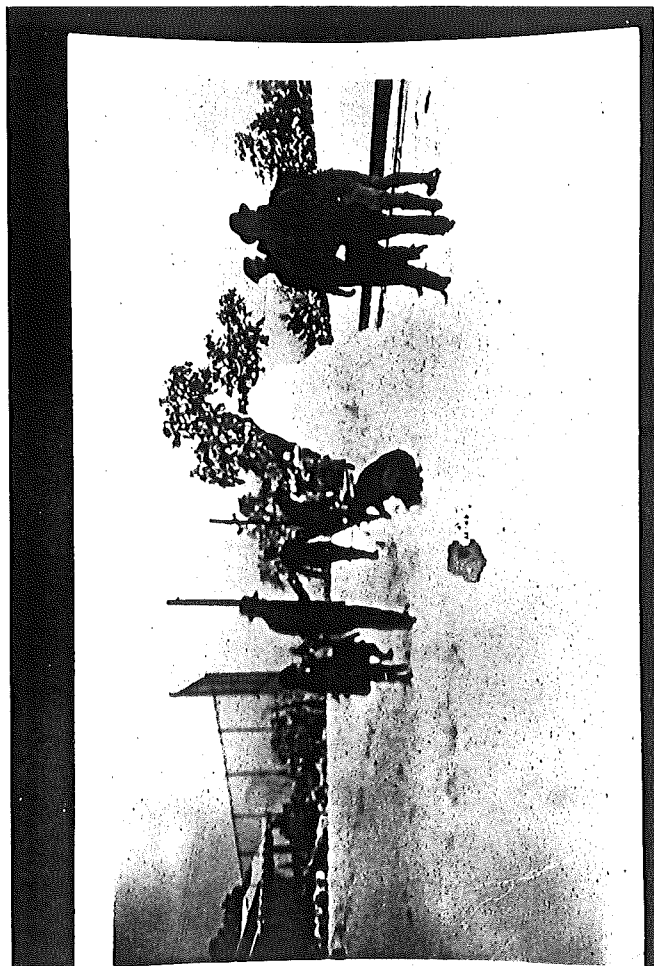
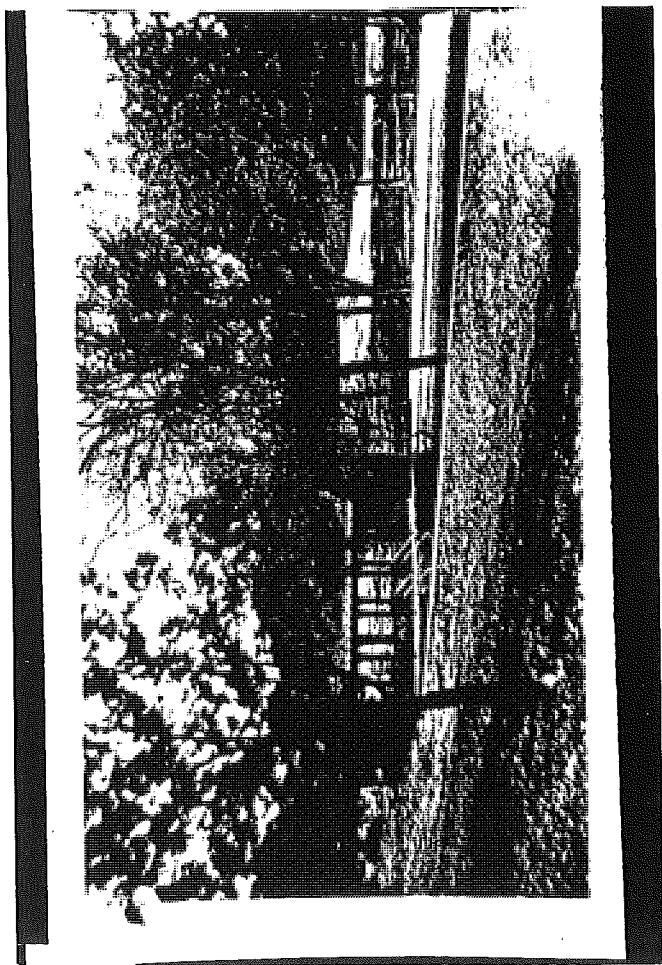
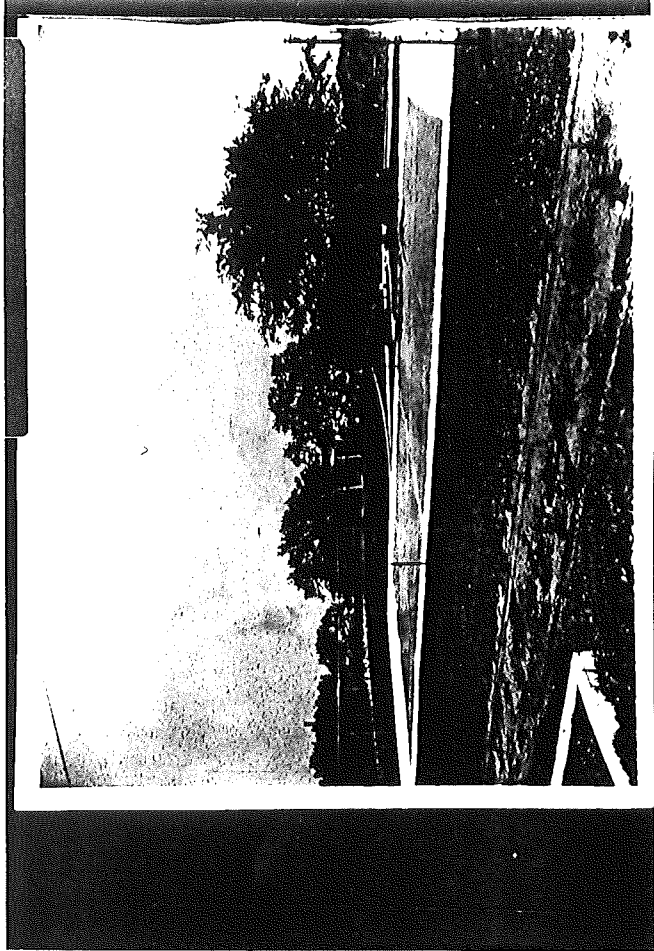




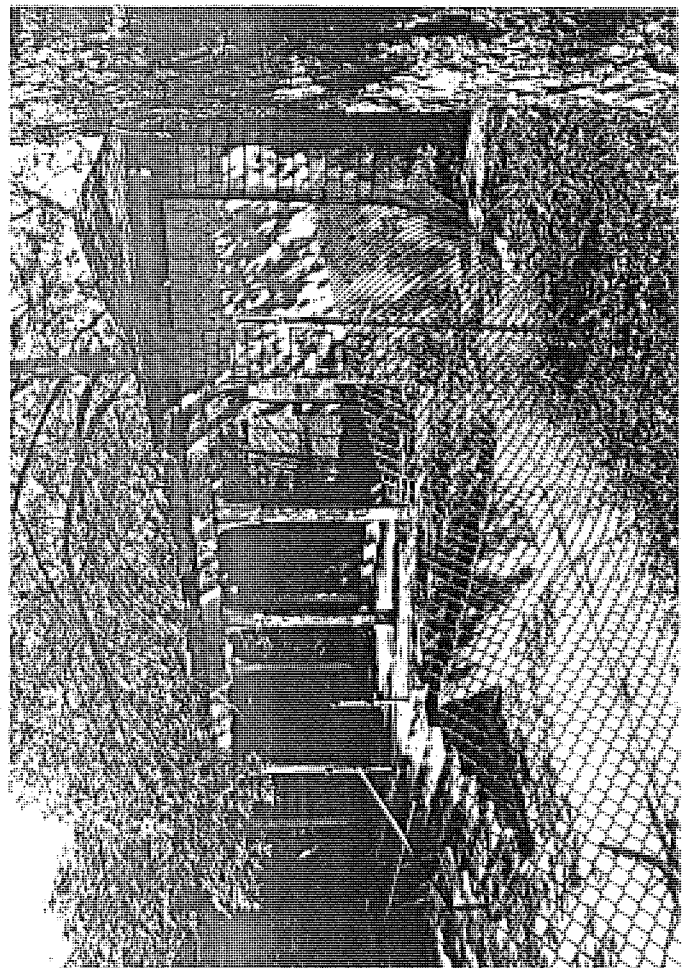
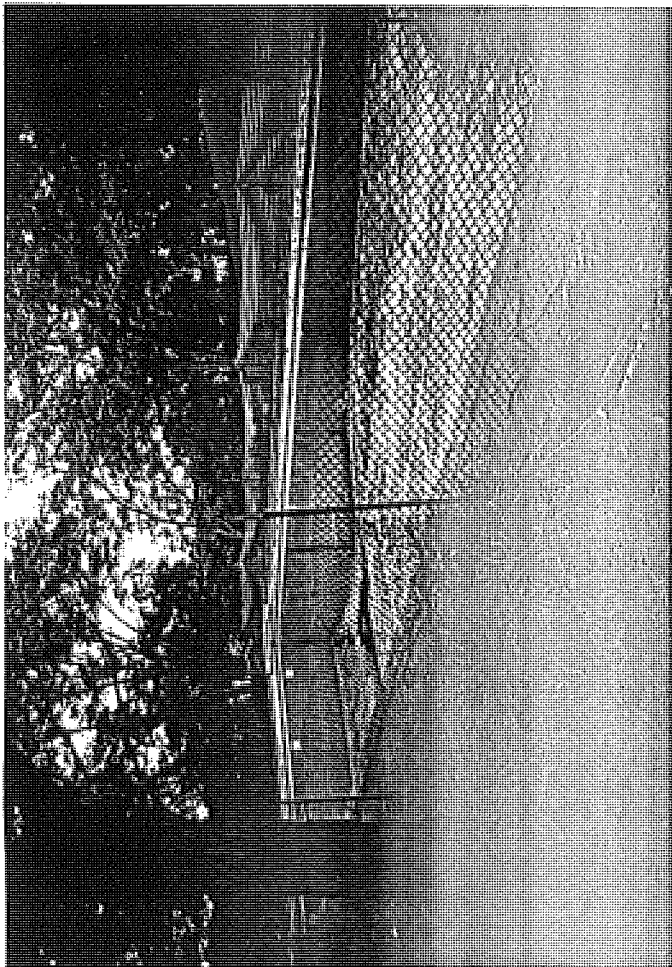
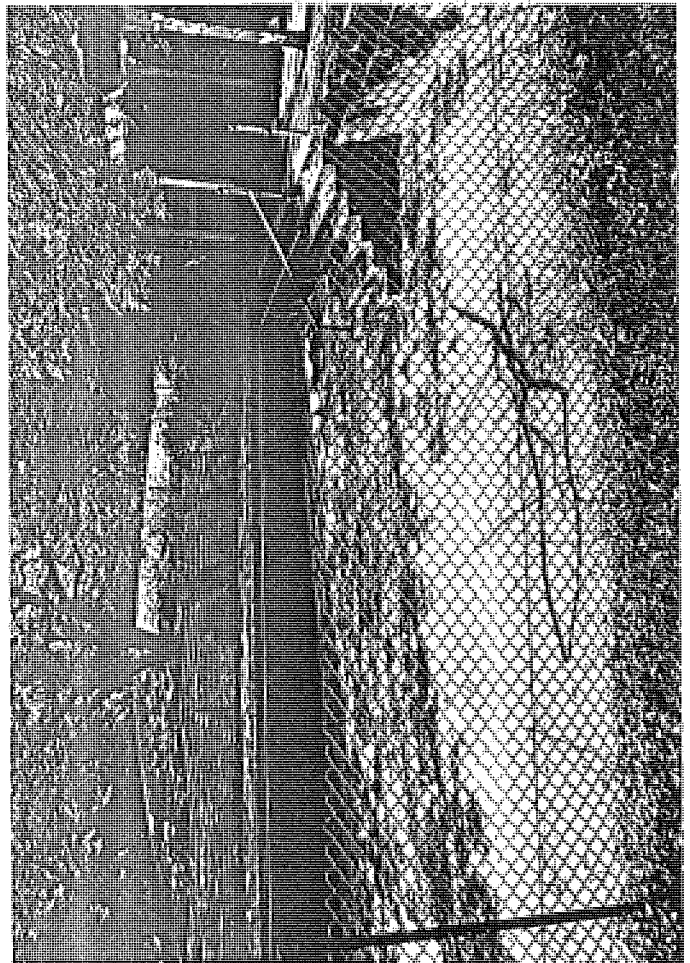
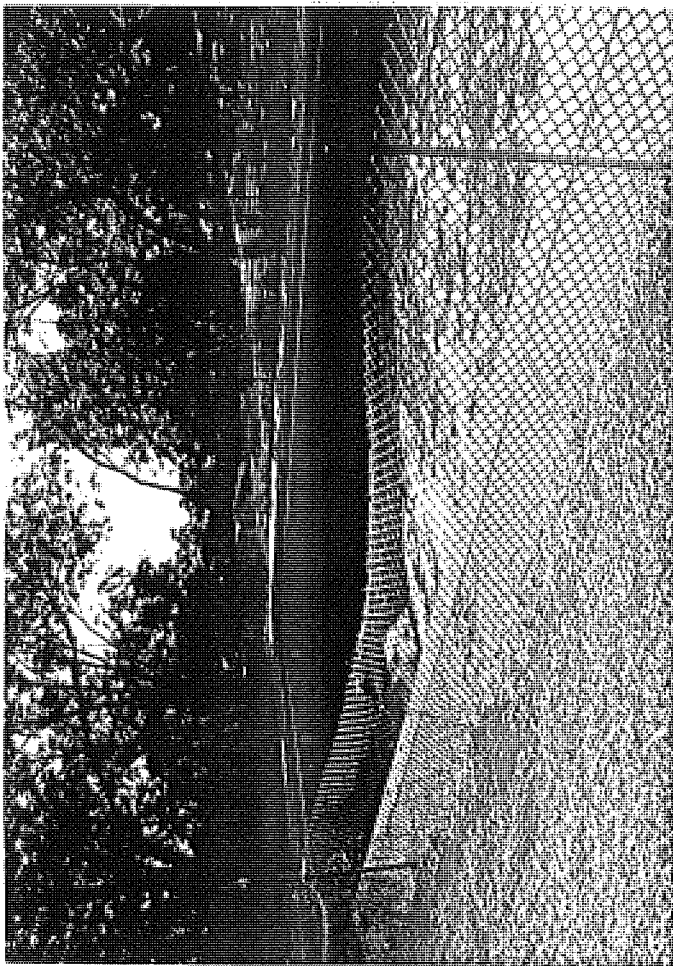




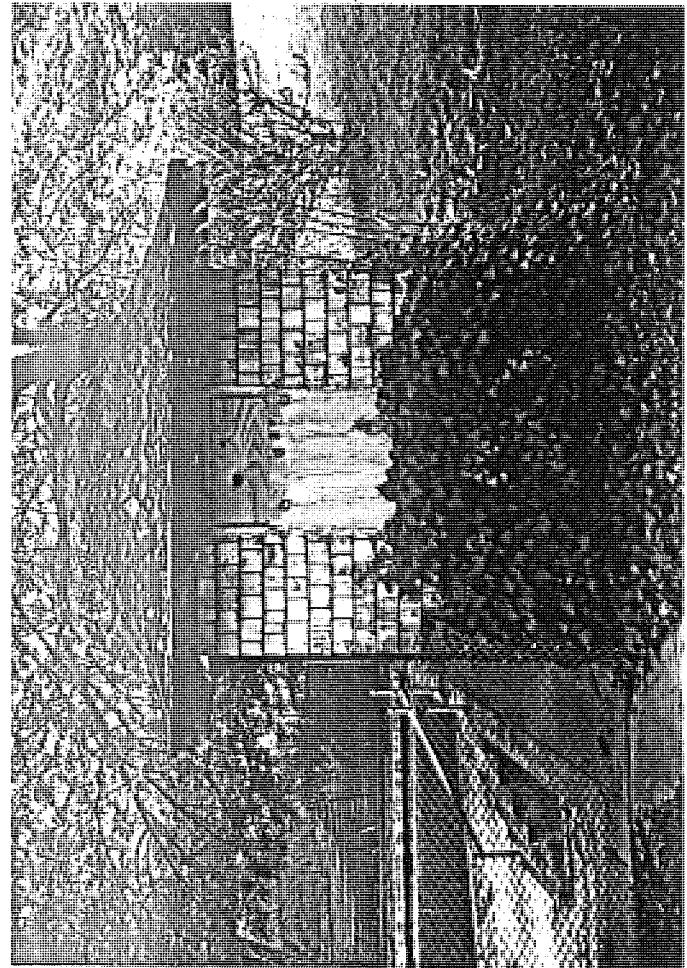
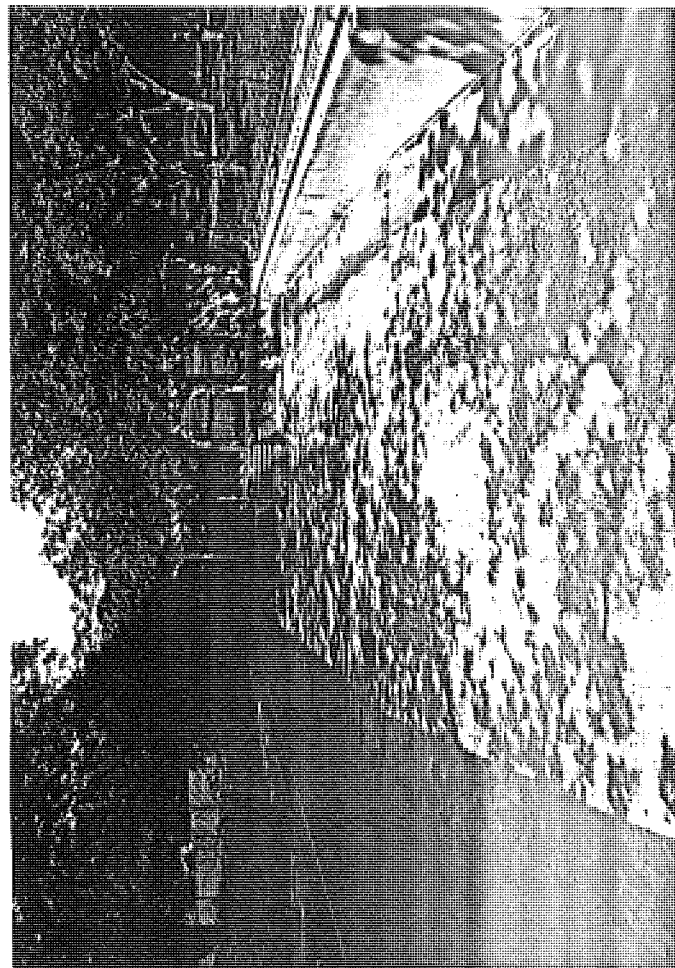
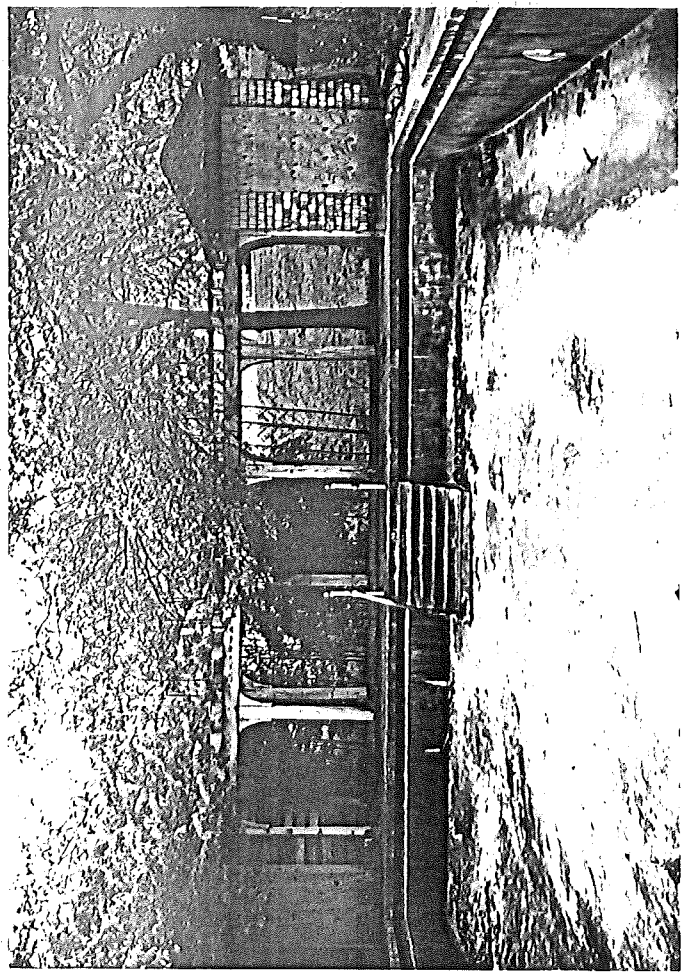
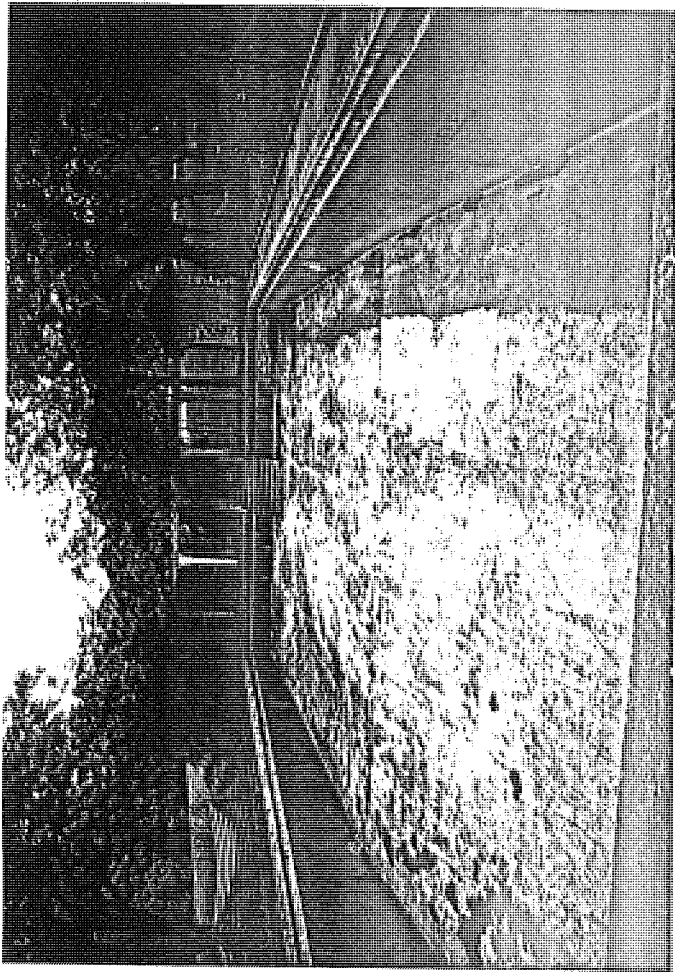








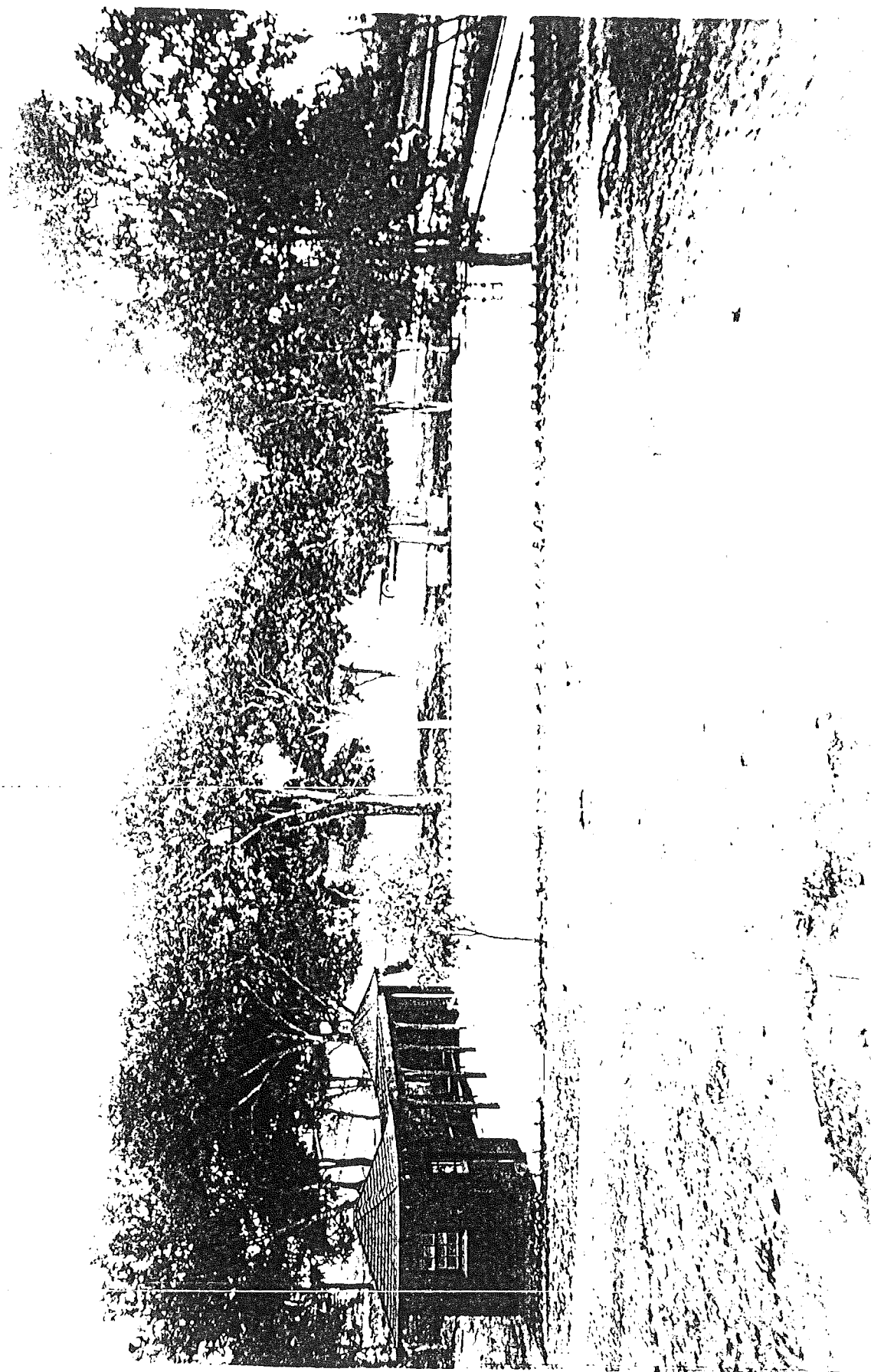




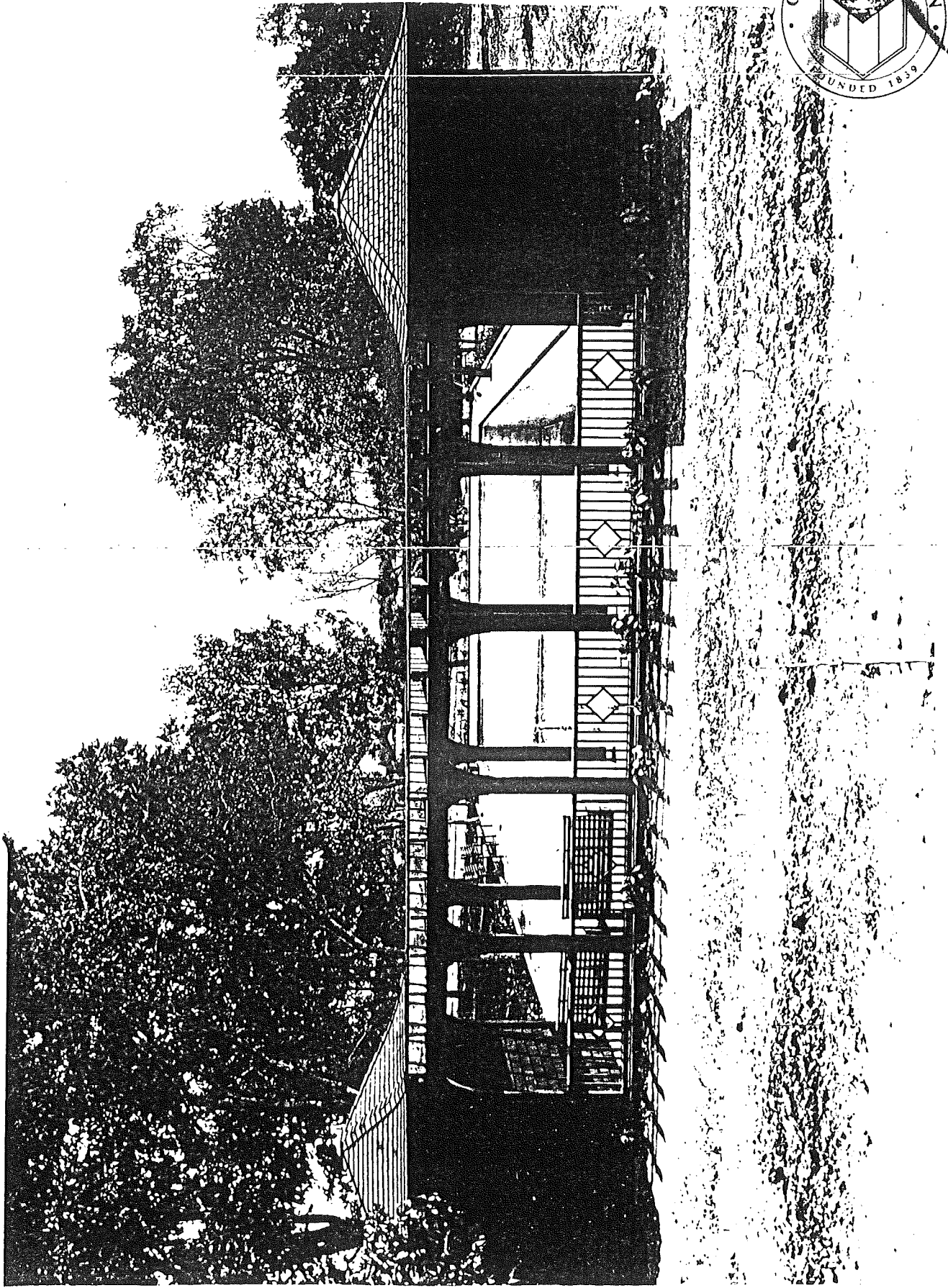


HB  
Recliff Terrace 1012  
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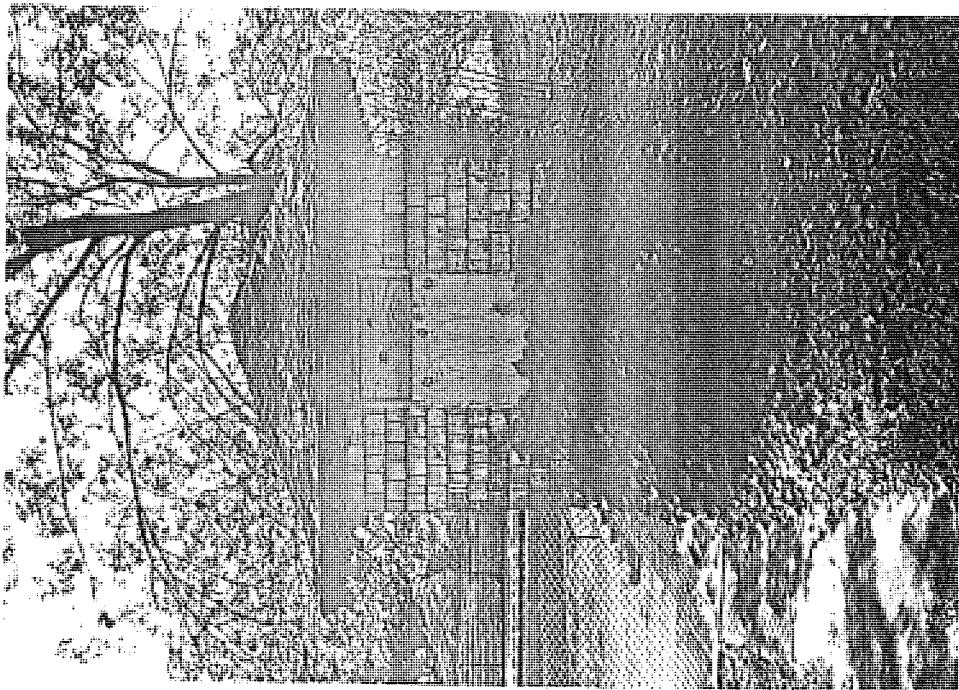
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HB - Edgecliff Terrace 1012  
PICH 06763



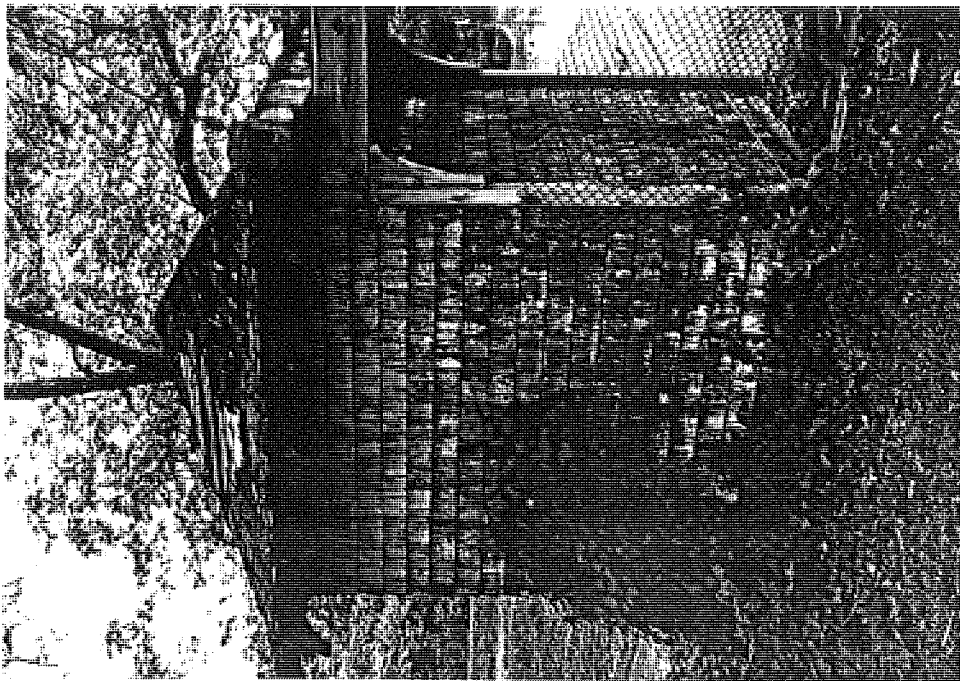


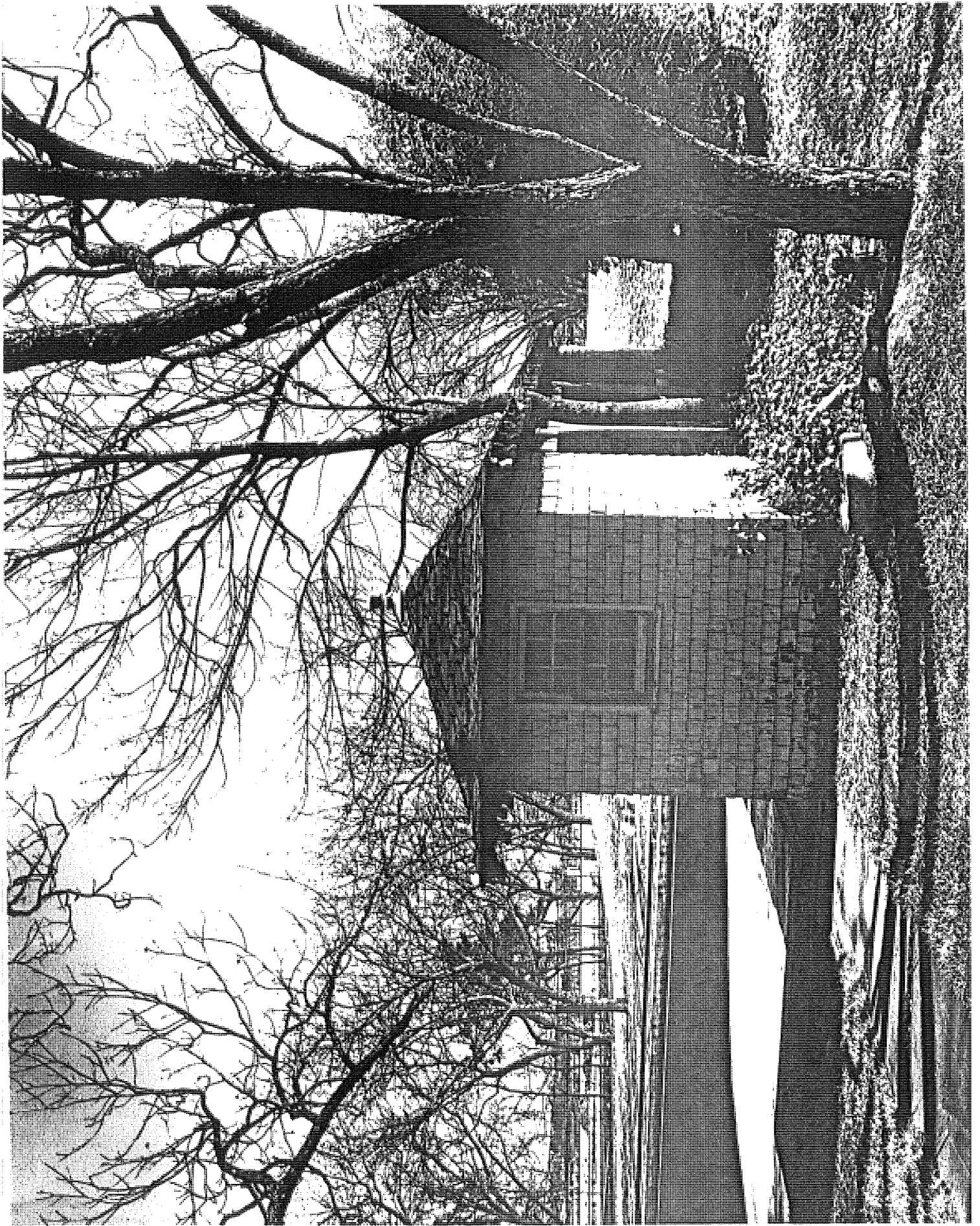


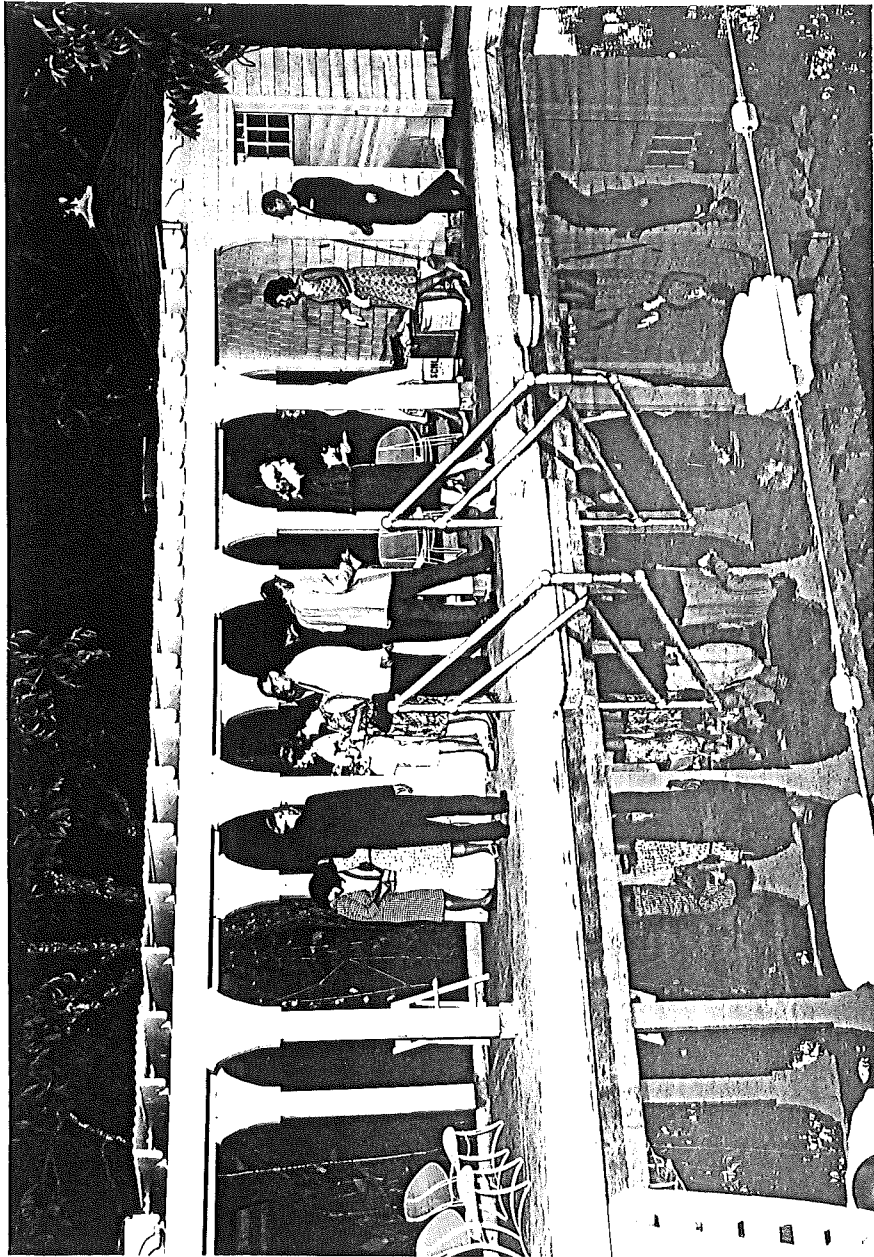




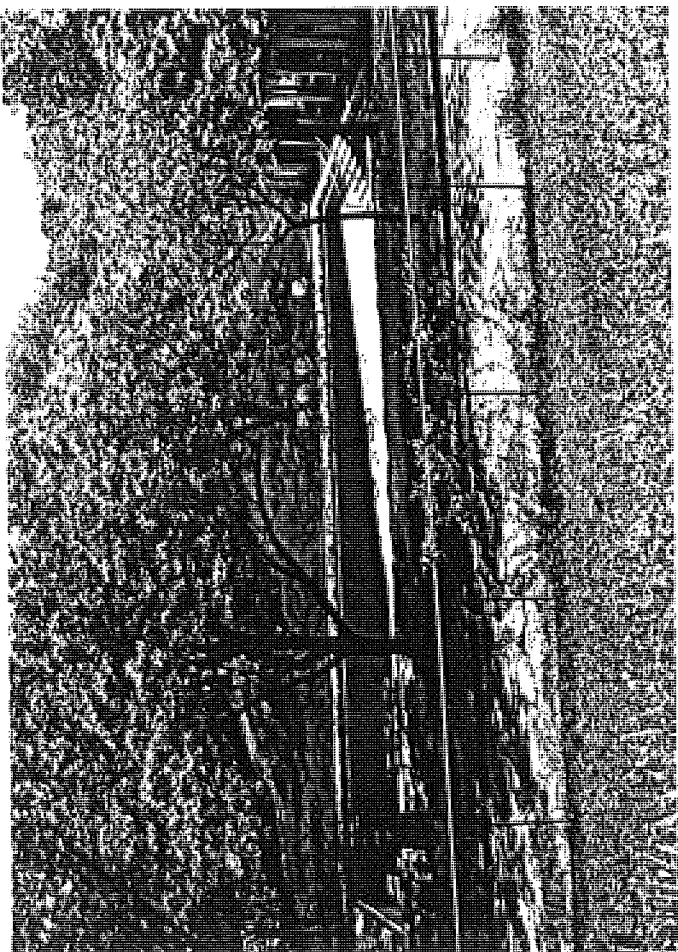
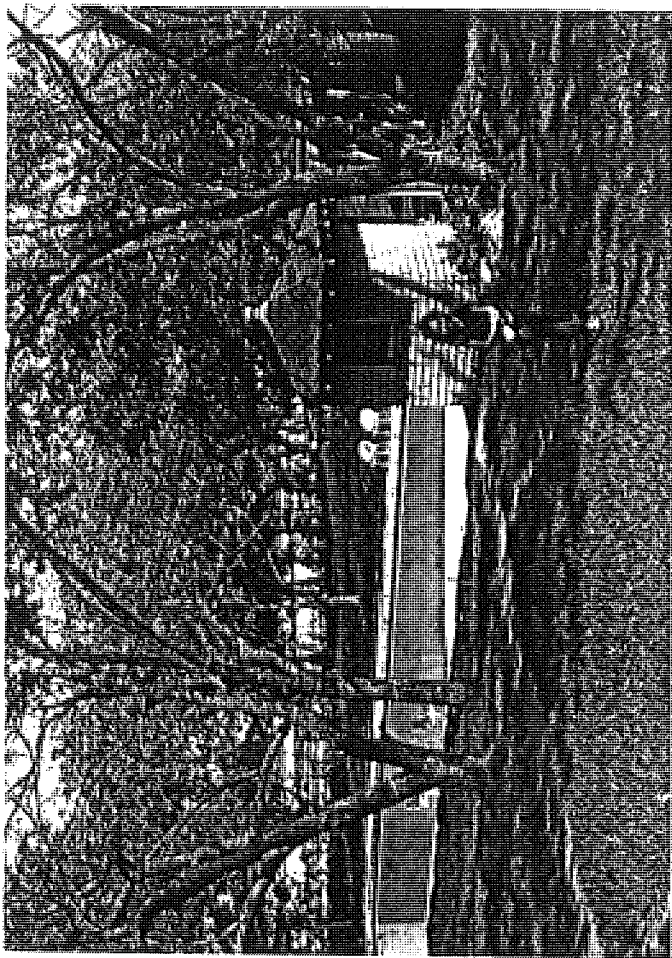
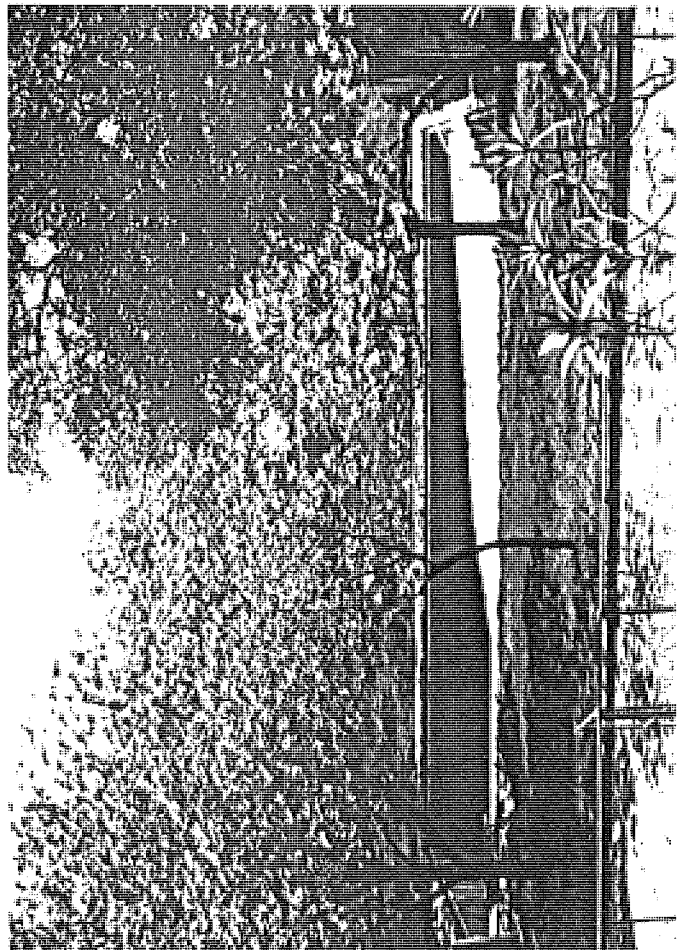
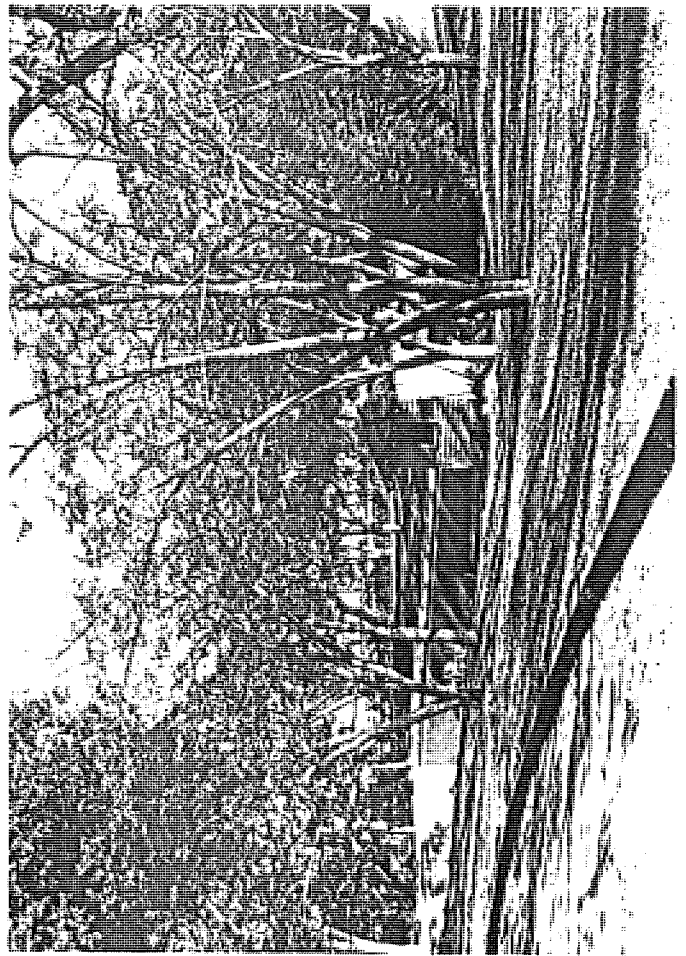


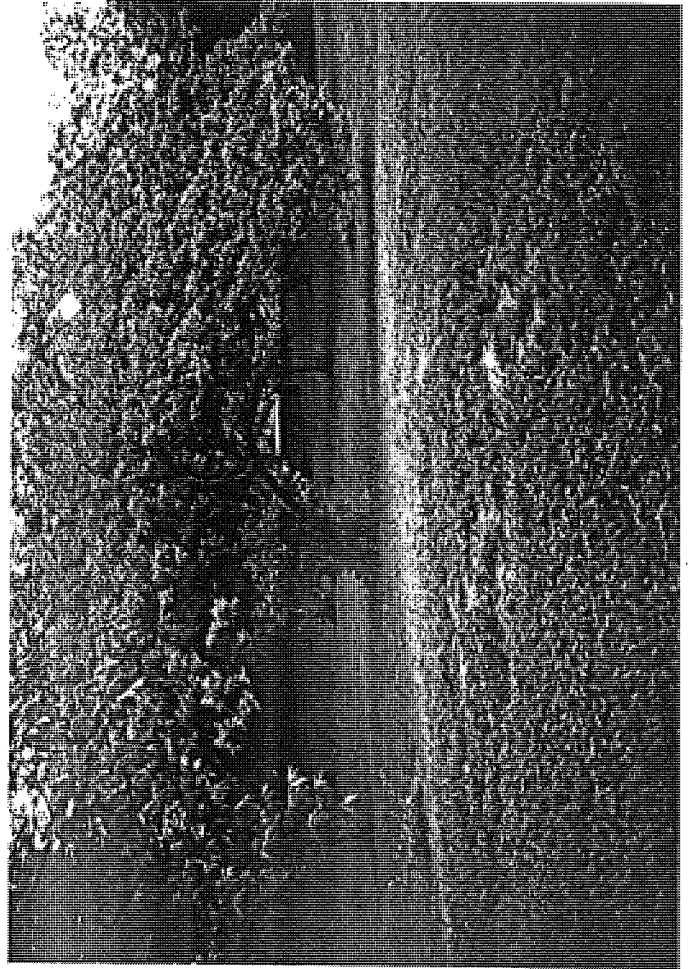
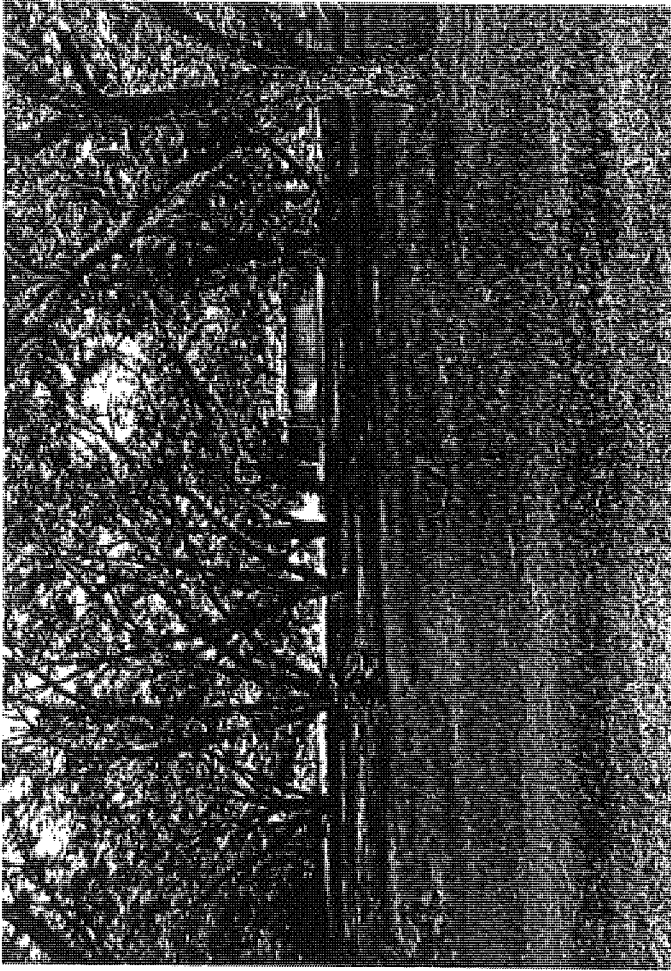




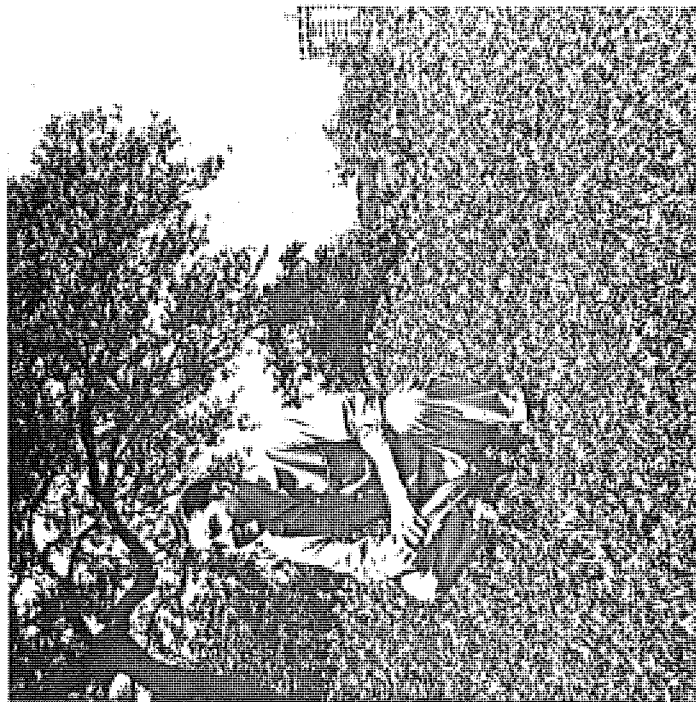




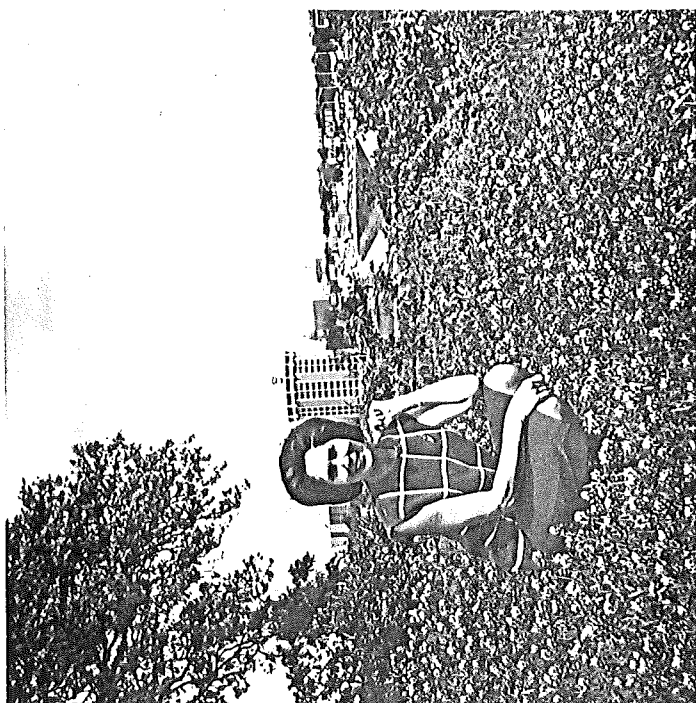




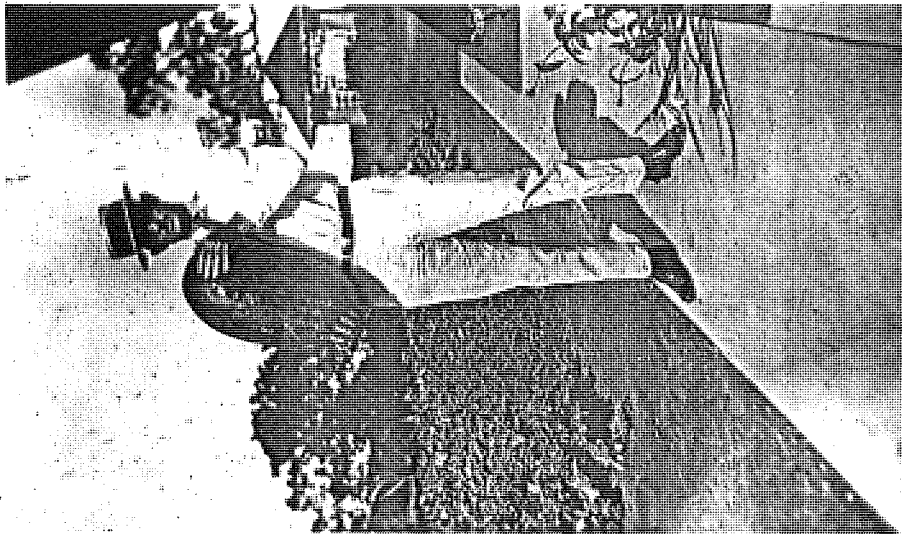




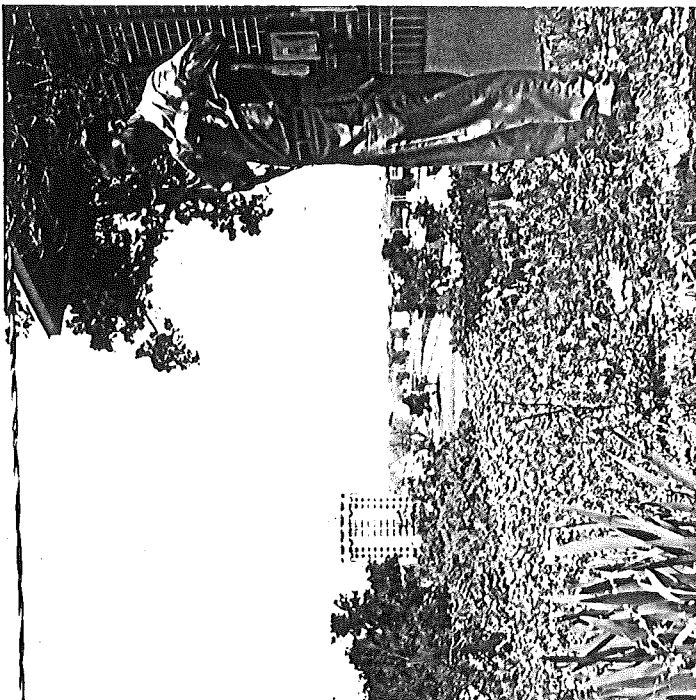
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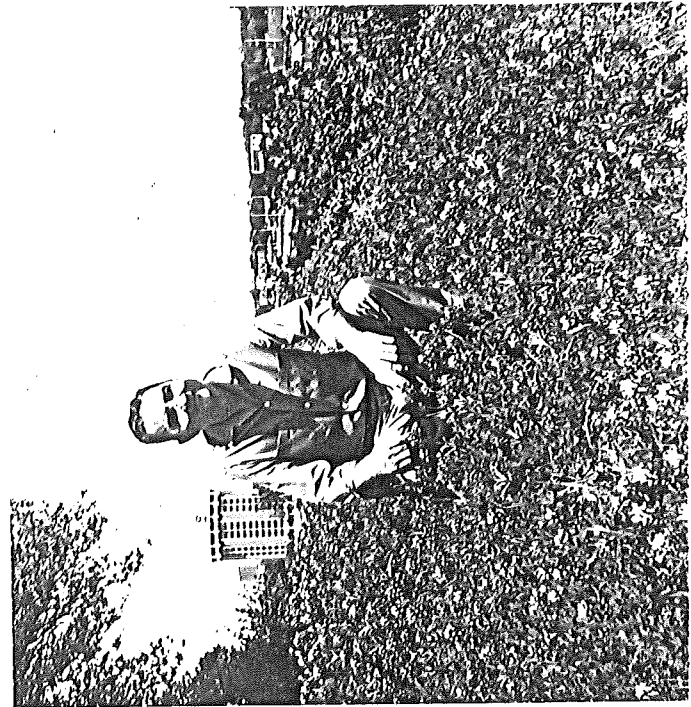
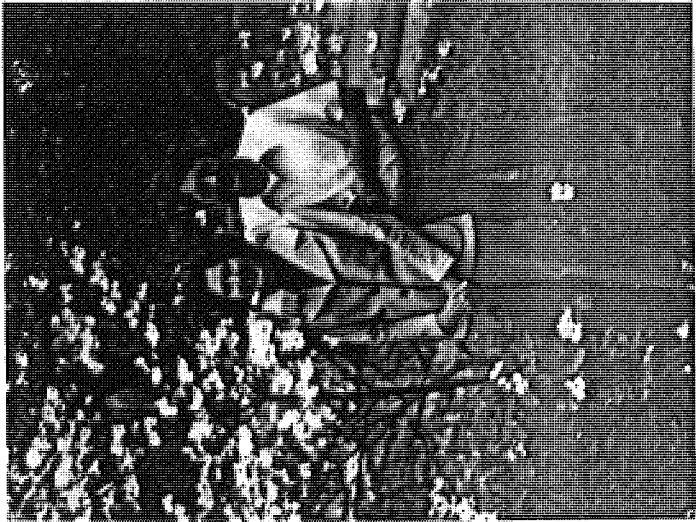


• MAY 68

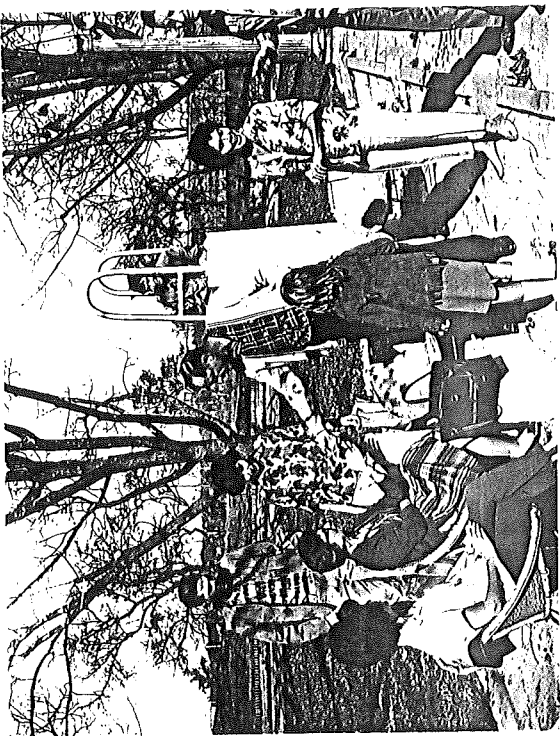


• MAY 68

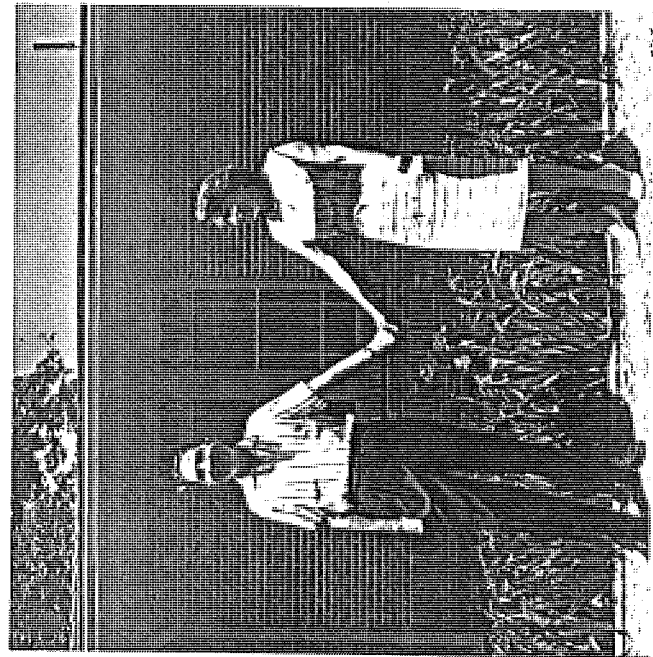




MAY 68



Christmas 1963



MAY 68

