COSMIC

CONCEPT RENDERING

FOR REFERENCE ONLY

PROJECT TEAM

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ZONING & CODE ANALYSIS

LEGAL DESCRIPTION	IMPS ONLY ON LOT 56-58 BLK 5 OLT 3 DIV O CENTRAL ROW
PARCEL ID	359114
ZONING	TOD-H-NP
BUILDING CODES	2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2014 NATIONAL ELECTRIC CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE UNIFIED DEVELOPMENT CODE
BUILDING DESCRIPTIONS	A - ONE & TWO STORY WOOD FRAMED BUILDING FOR FOOD AND BEVERAGE B - TWO STORY WOOD FRAMED BUILDING FOR FOOD AND BEVERAGE
LEGAL JURISDICTION	AUSTIN, TRAVIS, TEXAS
OCCUPANCY CLASSIFICATION	GROUP A-2
TYPE OF CONSTRUCTION	V-B
FIRE SPRINKLER	TBD

VICINITY MAP

SYMBOL LEGEND

1 / A3.0	ELEVATION	ROOM NAME 1.01 200 SF	ROOM NAME NUMBER AREA
1 A3.0	BUILDING SECTION	1.01	DOOR NUMBER
1 A3.0	WALL SECTION	1.01	WINDOW TYPE
1 A3.0	SECTION DETAIL	A1	PARTITION TYPE
1 A3.0	DETAIL	A	PLUMBING FIXTURE TYPE
		TA-1	TOILET ACCESSORY TYPE

GENERAL NOTES

1. ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES, AND TO INCLUDE ALL REQUIREMENTS OF OTHER AGENCIES HAVING JURISDICTION.
3. EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND SATISFY HIM/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATIONS OF EXISTING STRUCTURES.
4. THE CONTRACT DOCUMENTS DESCRIBE DESIGN INTENT, AND ARE NOT INTENDED TO BE ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERABLE FROM THEM.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES. ALL CLAIMS FOR ADDITIONAL WORK WILL NOT BE AWARDED FOR ANY AND ALL WORK RELATED TO SUCH COORDINATION.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE, CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY AND ALL WORK IN QUESTION.
7. ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUD OR CASEWORK UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECTS APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
8. ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITEHAND AND/OR CONDITIONS UNLESS OTHERWISE NOTED.
9. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
10. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY. WHAT IS SHOWN OR REFERRED TO PARTIALLY OR WHOLE ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
11. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DRAWINGS AT A LARGE SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS OF A SMALL SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
12. CONTRACTOR SHALL VERIFY LAYOUT OF PARTITIONS, DOORS, ELECTRICAL OUTLETS, DATA AND TELEPHONE OUTLETS, LIGHT FIXTURES, AND SWITCHES WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, TELEPHONE, DATA, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE BUT NOT LIMITED TO ALL PIPING, DUCTWORK AND CONDUIT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
13. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
14. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE.
15. IN CASE OF CONFLICTS BETWEEN ARCHITECT'S AND ENGINEER'S DRAWINGS IN THE LOCATION OF MATERIALS AND/OR EQUIPMENT, ARCHITECTURAL DRAWINGS SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH CONFLICT.
16. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, ERECTED CLEANED, AND CONDITIONED PER THE MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
17. ALL WORK NOTED AS "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. SUBMIT TO THE ARCHITECT AND OWNER SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
18. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING ANY FINISHED AREAS IN OR OUTSIDE THE JOB SITE. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
19. CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.

HISTORIC NOTES

1. THIS PROPERTY IS A CITY OF AUSTIN LANDMARK. **EXTREME** CARE SHALL BE TAKEN TO PROTECT AND PRESERVE THIS STRUCTURE DURING ALL PHASES OF WORK. IF ANY UNFORESEEN CONDITIONS ARISE, STOP WORK AND CONTACT THE ARCHITECT IMMEDIATELY. IT IS THE INTENT OF THE ARCHITECT AND OWNER THAT ALL WORK SHALL CONFORM WITH *THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES* WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING AND RECONSTRUCTING HISTORIC BUILDINGS. CONTRACTOR SHOULD BE FAMILIAR WITH THESE GUIDELINES.
(THESE CAN BE FOUND AT: www.nps.gov/tps/standards/four-treatments/standguide/index.htm)
2. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.
4. PATCH , REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE FINISHES INDICATED.
5. FOR MORE INFORMATION REGARDING DEMOLITION, REFER TO SHEETS D1.1 & D1.2.
6. APPROXIMATE CONSTRUCTION DATES OF STRUCTURES ON THE PROPERTY: 1912

DRAWING INDEX

ARCHITECTURAL

G1.0 COVER SHEET

H1.0 EXISTING & PROPOSED
H1.1 EXISTING & PROPOSED
H1.2 EXISTING & PROPOSED
H1.3 EXISTING & PROPOSED
H1.4 EXISTING & PROPOSED
H1.5 EXISTING & PROPOSED
H1.6 EXISTING & PROPOSED
H1.7 EXISTING PHOTOS - BUILDING A
H1.8 EXISTING PHOTOS - BUILDING B

D1.1 DEMOLITION PLAN - GROUND FLOOR
D1.2 DEMOLITION PLAN - SECOND FLOOR
D1.3 DEMOLITION PLAN - ROOF

A1.0 SITE PLAN
A1.1 BUILDING A - FLOOR PLAN
A1.2 BUILDING B - FLOOR PLAN
A1.3 ROOF PLAN

H2.0 EXTERIOR ELEVATIONS
H2.1 EXTERIOR ELEVATIONS
H2.2 EXTERIOR ELEVATIONS
H2.3 EXTERIOR ELEVATIONS
H2.4 EXTERIOR ELEVATIONS
H2.5 EXTERIOR MATERIALS

CLAYTON & LITTLE

REGISTERED ARCHITECT PAUL CLAYTON 19180 STATE OF TEXAS

ISSUED DATE 5.15.20
PROJECT NUMBER 19051

HLC SUBMISSION

COSMIC
1300 & 1302 E. 4th STREET
AUSTIN, TEXAS 78702

G1.0
COVER SHEET

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PHOTO DATED 11.20.19

SOUTH ELEVATION (FRONT) - EAST 4TH ST - EXISTING

SOUTH ELEVATION (FRONT) - EAST 4TH ST - PROPOSED

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SOUTH ELEVATION - EXISTING

SOUTH ELEVATION - PROPOSED

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H1.1
EXISTING & PROPOSED

PHOTO DATED 4.29.20

VIEW FROM 4TH ST. - LOOKING EAST - EXISTING

VIEW FROM 4TH ST. - LOOKING EAST - PROPOSED

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H1.2
EXISTING & PROPOSED

PHOTO DATED 4.29.20

VIEW FROM 4TH ST. - LOOKING EAST - EXISTING

VIEW FROM 4TH ST. - LOOKING EAST - PROPOSED

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H1.3
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WEST ELEVATION - EXISTING

WEST ELEVATION - PROPOSED

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H1.4

EXISTING & PROPOSED

PHOTO DATED 4.29.20

VIEW FROM PLAZA SALTILLO - NORTH ELEVATION - EXISTING

VIEW FROM SALTILLO PATH - PROPOSED

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H1.5
EXISTING & PROPOSED

PHOTO DATED 4.29.20

VIEW OF NORTH ELEVATION - EXISTING

VIEW OF NORTH ELEVATION - PROPOSED

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H1.6

EXISTING & PROPOSED

BUILDING A - EAST ELEVATION

BUILDING A - SOUTH ELEVATION

BUILDING A - WEST ELEVATION

BUILDING A - SOUTH ELEVATION

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H1.7
BUILDING A - EXISTING PHOTOS

BUILDING B - WEST ELEVATION

BUILDING B - EAST ELEVATION

BUILDING B - NORTH ELEVATION

BUILDING B - SOUTH ELEVATION

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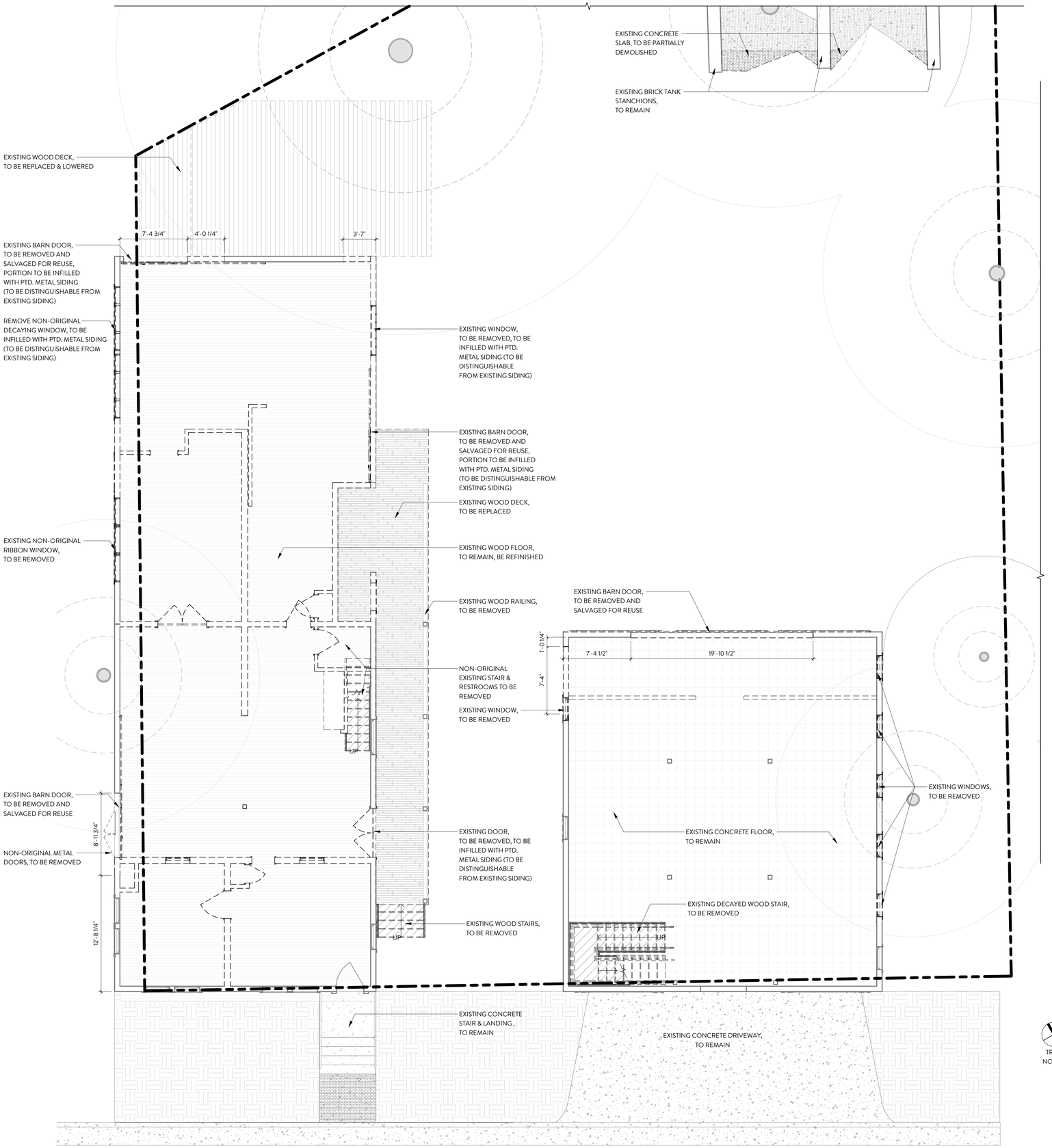
H1.8

BUILDING B - EXISTING PHOTOS



1 DEMOLITION PLAN
3/16" = 1'-0"

PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION
- WOOD FLOORING
- WOOD DECKING
- TILE FLOORING
- CONCRETE FLOORING

DEMOLITION NOTES:

1. DOCUMENT ALL AREAS TO BE SELECTIVELY DEMOLISHED PRIOR TO PERFORMING ANY WORK. DOCUMENTATION TO INCLUDE PHOTOGRAPHS AND MEASURED DRAWINGS. DOCUMENTATION TO BE CLEARLY LABELED AND DELIVERED TO ARCHITECT AND OWNER.

2. REFERENCE HISTORICAL NOTES ON COVER SHEET.

3. THE DEMOLITION STAGE IS CRITICAL TO THE SUCCESS OF THIS PROJECT AND MUST BE CONSIDERED A STAGE OF DISCOVERY. EXTREME CARE MUST BE TAKEN TO NOT DESTROY ORIGINAL MATERIALS. RECKLESS DESTRUCTION OF SALVAGEABLE, RE-USEABLE ORIGINAL MATERIALS WILL NOT BE ALLOWED AND GC WILL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED MATERIALS.

4. THE INTENT OF THE DEMOLITION PLAN IS TO REMOVE ALL ITEMS NOT REQUIRED FOR THE FINISHED PROJECT; OR THAT IS IN CONFLICT WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE/ RELOCATE ALL SUCH ITEMS AS REQUIRED FOR CONSTRUCTION.

5. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.

6. SALVAGE ALL DOORS & DOOR HARDWARE, LIGHT FIXTURES & ALL ITEMS NOTED ON DEMOLITION PLAN. REVIEW WITH ARCHITECT & OWNER TO DETERMINE ITEMS FOR REUSE.

7. ITEMS NOTED TO BE SAVED OR SALVAGED FOR REUSE ARE TO BE STORED ON SITE, FOR REUSE BY THE OWNER OR GENERAL CONTRACTOR AT THIS SITE. ALL ITEMS NOTED REMOVE/RETAIN FOR FUTURE USE SHALL BE PHOTOGRAPHED IN PLACE, CLEARLY LABELED AND STORED.

8. PATCH , REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE FINISHES INDICATED.

9. PROTECT EXISTING TREES TO CITY OF AUSTIN STANDARDS.

10. REMOVE ROTTED WOOD WHEN ENCOUNTERED. DOCUMENT EXISTING CONDITION FOR REPLACEMENT. REVIEW SCOPE WITH ARCHITECT PRIOR TO REMOVAL.

11. AFTER PARTIAL DEMOLITION, ARCHITECT AND STRUCTURAL ENGINEER TO REVIEW AND ADVISE FOR REPAIR/ MODIFICATION SCOPE.

12. EXISTING WALLS AND STRUCTURE ARE NOT NECESSARILY SHOWN IN THEIR ENTIRETY OR ABSOLUTELY CORRECT LOCATION. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION AND OR CLARIFICATION.

13. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.

14. REFERENCE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR DEMOLITION WORK ASSOCIATED WITH NEW SYSTEMS CONSTRUCTION AND FOR THE EXTENT OF EXISTING SYSTEMS TO BE REMOVED.

15. COORDINATE SUPPORT FOR NEW WALL OPENINGS (OR WALLS TO BE REMOVED) WITH STRUCTURAL DRAWINGS. WHERE APPLICABLE, INSTALL NEW STRUCTURAL MEMBERS (OR ADEQUATE SHORING/BRACING) BEFORE CUTTING OPENINGS.

16. ALL DIMENSIONS AND CONDITIONS ABUTTING THE EXISTING CONSTRUCTION ARE APPROXIMATE. ALL SUCH CONDITIONS SHALL BE FIELD VERIFIED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT DURING THE PRE-BID INVESTIGATION OR POST CONTRACT AWARD. OPENING SIZES NOTED ON THE DEMOLITION DRAWINGS ARE TO BE COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS, PRIOR TO CUTTING OPENINGS.

17. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.

18. POTABLE WATER AND ELECTRICITY WILL BE PROVIDED BY THE OWNER AS NEEDED FOR DEMOLITION & CONSTRUCTION PHASES.

CLAYTON & LITTLE

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D1.0

DEMOLITION PLAN - GROUND FLOOR

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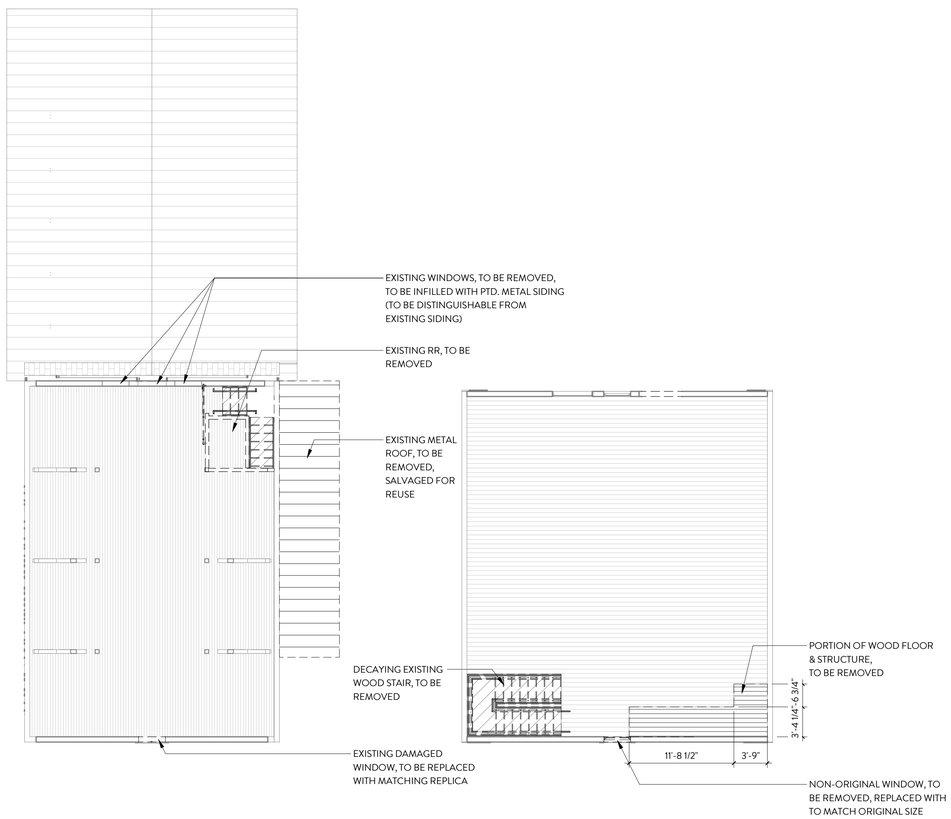

TRUE NORTH

1 DEMOLITION PLAN - SECOND FLOOR

1/8" = 1'-0"

PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION
- WOOD FLOORING
- WOOD DECKING
- TILE FLOORING
- CONCRETE FLOORING

DEMOLITION NOTES:

1. DOCUMENT ALL AREAS TO BE SELECTIVELY DEMOLISHED PRIOR TO PERFORMING ANY WORK. DOCUMENTATION TO INCLUDE PHOTOGRAPHS AND MEASURED DRAWINGS. DOCUMENTATION TO BE CLEARLY LABELED AND DELIVERED TO ARCHITECT AND OWNER.

2. REFERENCE HISTORICAL NOTES ON COVER SHEET.

3. THE DEMOLITION STAGE IS CRITICAL TO THE SUCCESS OF THIS PROJECT AND MUST BE CONSIDERED A STAGE OF DISCOVERY. EXTREME CARE MUST BE TAKEN TO NOT DESTROY ORIGINAL MATERIALS. RECKLESS DESTRUCTION OF SALVAGEABLE, RE-USEABLE ORIGINAL MATERIALS WILL NOT BE ALLOWED AND GC WILL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED MATERIALS.

4. THE INTENT OF THE DEMOLITION PLAN IS TO REMOVE ALL ITEMS NOT REQUIRED FOR THE FINISHED PROJECT; OR THAT IS IN CONFLICT WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE/ RELOCATE ALL SUCH ITEMS AS REQUIRED FOR CONSTRUCTION.

5. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.

6. SALVAGE ALL DOORS & DOOR HARDWARE, LIGHT FIXTURES & ALL ITEMS NOTED ON DEMOLITION PLAN. REVIEW WITH ARCHITECT & OWNER TO DETERMINE ITEMS FOR REUSE.

7. ITEMS NOTED TO BE SAVED OR SALVAGED FOR REUSE ARE TO BE STORED ON SITE, FOR REUSE BY THE OWNER OR GENERAL CONTRACTOR AT THIS SITE. ALL ITEMS NOTED REMOVE/RETAIN FOR FUTURE USE SHALL BE PHOTOGRAPHED IN PLACE, CLEARLY LABELED AND STORED.

8. PATCH , REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE FINISHES INDICATED.

9. PROTECT EXISTING TREES TO CITY OF AUSTIN STANDARDS.

10. REMOVE ROTTED WOOD WHEN ENCOUNTERED. DOCUMENT EXISTING CONDITION FOR REPLACEMENT. REVIEW SCOPE WITH ARCHITECT PRIOR TO REMOVAL.

11. AFTER PARTIAL DEMOLITION, ARCHITECT AND STRUCTURAL ENGINEER TO REVIEW AND ADVISE FOR REPAIR/ MODIFICATION SCOPE.

12. EXISTING WALLS AND STRUCTURE ARE NOT NECESSARILY SHOWN IN THEIR ENTIRETY OR ABSOLUTELY CORRECT LOCATION. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION AND OR CLARIFICATION.

13. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.

14. REFERENCE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR DEMOLITION WORK ASSOCIATED WITH NEW SYSTEMS CONSTRUCTION AND FOR THE EXTENT OF EXISTING SYSTEMS TO BE REMOVED.

15. COORDINATE SUPPORT FOR NEW WALL OPENINGS (OR WALLS TO BE REMOVED) WITH STRUCTURAL DRAWINGS. WHERE APPLICABLE, INSTALL NEW STRUCTURAL MEMBERS (OR ADEQUATE SHORING/BRACING) BEFORE CUTTING OPENINGS.

16. ALL DIMENSIONS AND CONDITIONS ABUTTING THE EXISTING CONSTRUCTION ARE APPROXIMATE. ALL SUCH CONDITIONS SHALL BE FIELD VERIFIED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT DURING THE PRE-BID INVESTIGATION OR POST CONTRACT AWARD. OPENING SIZES NOTED ON THE DEMOLITION DRAWINGS ARE TO BE COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS, PRIOR TO CUTTING OPENINGS.

17. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.

18. POTABLE WATER AND ELECTRICITY WILL BE PROVIDED BY THE OWNER AS NEEDED FOR DEMOLITION & CONSTRUCTION PHASES.

CLAYTON & LITTLE

REGISTERED ARCHITECT PAUL CLAYTON 19180 STATE OF TEXAS

ISSUED DATE	5.15.20
PROJECT NUMBER	19051

HLC SUBMISSION

COSMIC

1300 & 1302 E. 4th STREET
AUSTIN, TEXAS 78702

D1.1

DEMOLITION PLAN - SECOND FLOOR

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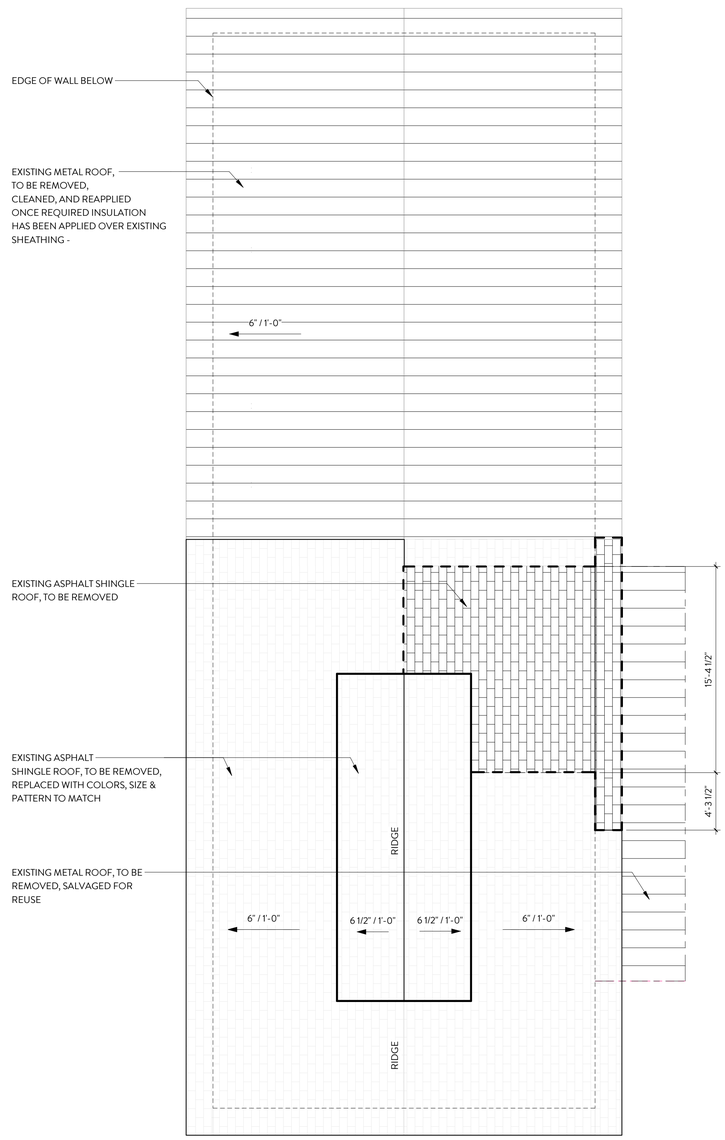

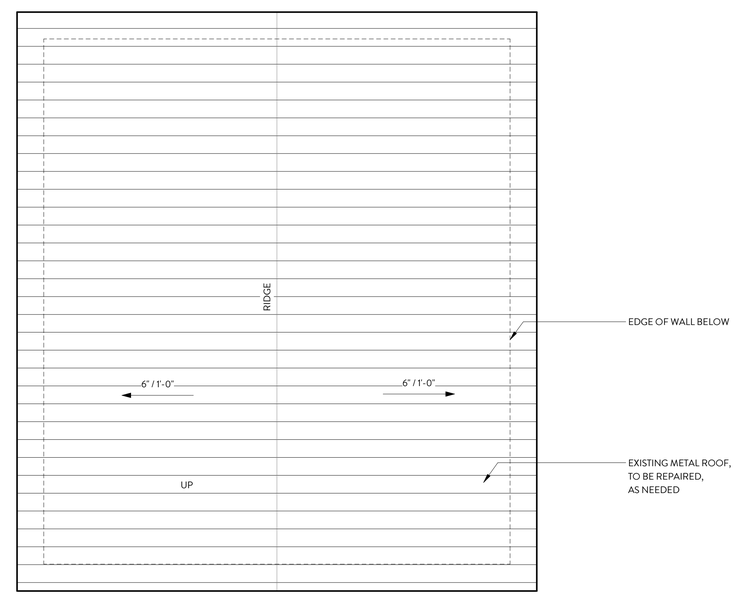

TRUE NORTH

1 DEMOLITION PLAN - ROOF
3/16" = 1'-0"

DEMOLITION NOTES:

1. DOCUMENT ALL AREAS TO BE SELECTIVELY DEMOLISHED PRIOR TO PERFORMING ANY WORK. DOCUMENTATION TO INCLUDE PHOTOGRAPHS AND MEASURED DRAWINGS. DOCUMENTATION TO BE CLEARLY LABELED AND DELIVERED TO ARCHITECT AND OWNER.

2. REFERENCE HISTORICAL NOTES ON COVER SHEET.

3. THE DEMOLITION STAGE IS CRITICAL TO THE SUCCESS OF THIS PROJECT AND MUST BE CONSIDERED A STAGE OF DISCOVERY. EXTREME CARE MUST BE TAKEN TO NOT DESTROY ORIGINAL MATERIALS. RECKLESS DESTRUCTION OF SALVAGEABLE, RE-USEABLE ORIGINAL MATERIALS WILL NOT BE ALLOWED AND GC WILL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED MATERIALS.

4. THE INTENT OF THE DEMOLITION PLAN IS TO REMOVE ALL ITEMS NOT REQUIRED FOR THE FINISHED PROJECT; OR THAT IS IN CONFLICT WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE/ RELOCATE ALL SUCH ITEMS AS REQUIRED FOR CONSTRUCTION.

5. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.

6. SALVAGE ALL DOORS & DOOR HARDWARE, LIGHT FIXTURES & ALL ITEMS NOTED ON DEMOLITION PLAN. REVIEW WITH ARCHITECT & OWNER TO DETERMINE ITEMS FOR REUSE.

7. ITEMS NOTED TO BE SAVED OR SALVAGED FOR REUSE ARE TO BE STORED ON SITE, FOR REUSE BY THE OWNER OR GENERAL CONTRACTOR AT THIS SITE. ALL ITEMS NOTED REMOVE/RETAIN FOR FUTURE USE SHALL BE PHOTOGRAPHED IN PLACE, CLEARLY LABELED AND STORED.

8. PATCH , REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE FINISHES INDICATED.

9. PROTECT EXISTING TREES TO CITY OF AUSTIN STANDARDS.

10. REMOVE ROTTED WOOD WHEN ENCOUNTERED. DOCUMENT EXISTING CONDITION FOR REPLACEMENT. REVIEW SCOPE WITH ARCHITECT PRIOR TO REMOVAL.

11. AFTER PARTIAL DEMOLITION, ARCHITECT AND STRUCTURAL ENGINEER TO REVIEW AND ADVISE FOR REPAIR/ MODIFICATION SCOPE.

12. EXISTING WALLS AND STRUCTURE ARE NOT NECESSARILY SHOWN IN THEIR ENTIRETY OR ABSOLUTELY CORRECT LOCATION. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION AND OR CLARIFICATION.

13. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.

14. REFERENCE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR DEMOLITION WORK ASSOCIATED WITH NEW SYSTEMS CONSTRUCTION AND FOR THE EXTENT OF EXISTING SYSTEMS TO BE REMOVED.

15. COORDINATE SUPPORT FOR NEW WALL OPENINGS (OR WALLS TO BE REMOVED) WITH STRUCTURAL DRAWINGS. WHERE APPLICABLE, INSTALL NEW STRUCTURAL MEMBERS (OR ADEQUATE SHORING/BRACING) BEFORE CUTTING OPENINGS.

16. ALL DIMENSIONS AND CONDITIONS ABUTTING THE EXISTING CONSTRUCTION ARE APPROXIMATE. ALL SUCH CONDITIONS SHALL BE FIELD VERIFIED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT DURING THE PRE-BID INVESTIGATION OR POST CONTRACT AWARD. OPENING SIZES NOTED ON THE DEMOLITION DRAWINGS ARE TO BE COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS, PRIOR TO CUTTING OPENINGS.

17. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.

18. POTABLE WATER AND ELECTRICITY WILL BE PROVIDED BY THE OWNER AS NEEDED FOR DEMOLITION & CONSTRUCTION PHASES.

CLAYTON & LITTLE

REGISTERED ARCHITECT PAUL CLAYTON 19180 STATE OF TEXAS

ISSUED DATE	5.15.20
PROJECT NUMBER	19051

HLC SUBMISSION

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AUSTIN, TEXAS 78702

D1.2

DEMOLITION PLAN - ROOF

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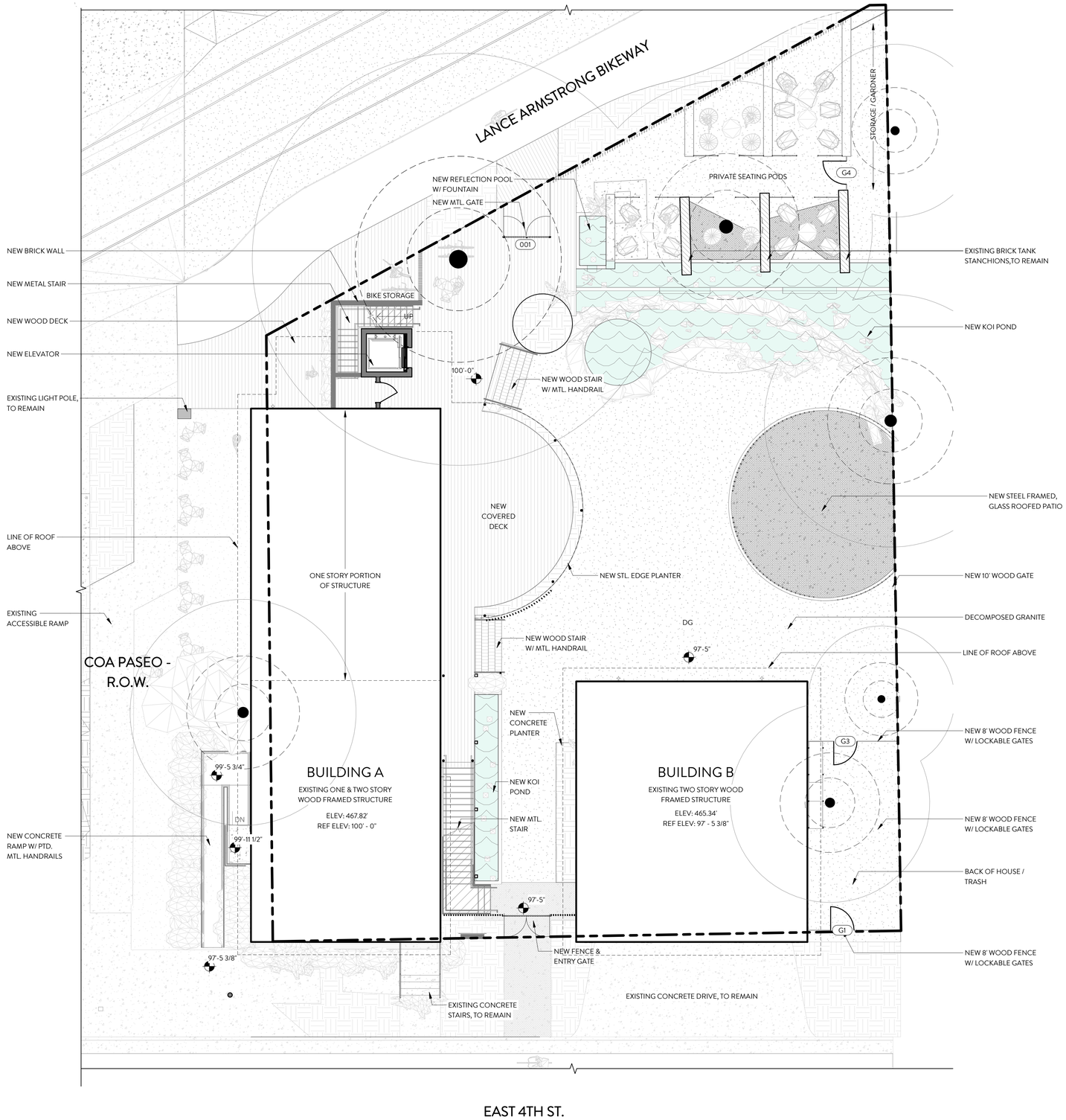

TRUE NORTH

1 SITE PLAN
1/8" = 1'-0"

PLAN LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- WOOD DECKING
- CONCRETE FLOORING
- BRICK PAVERS, RE: LANDSCAPE
- PLANTER AREA / GRASS, RE: LANDSCAPE
- KOI POND
- DECOMPOSED GRANITE

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SITE PLAN

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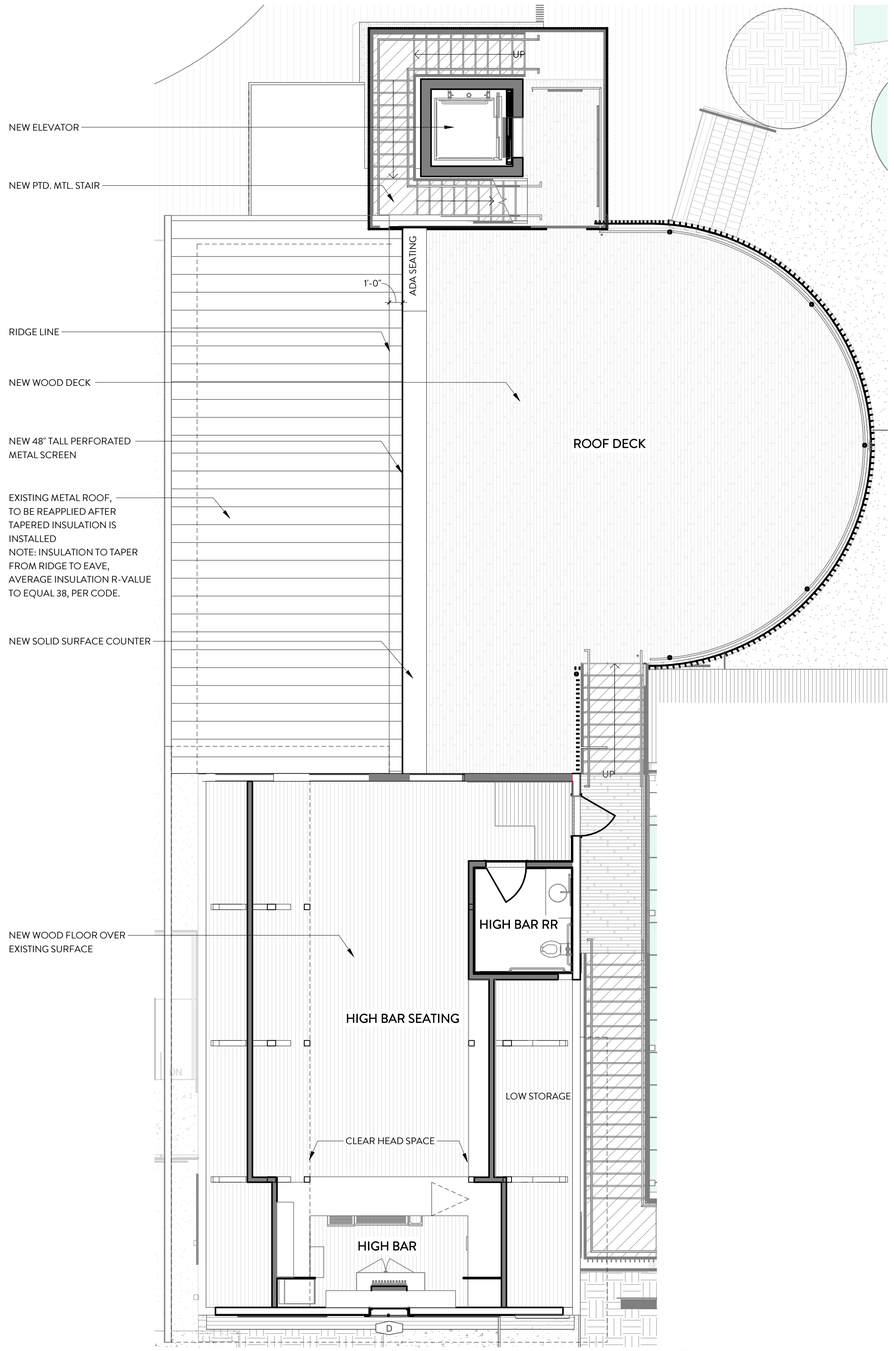
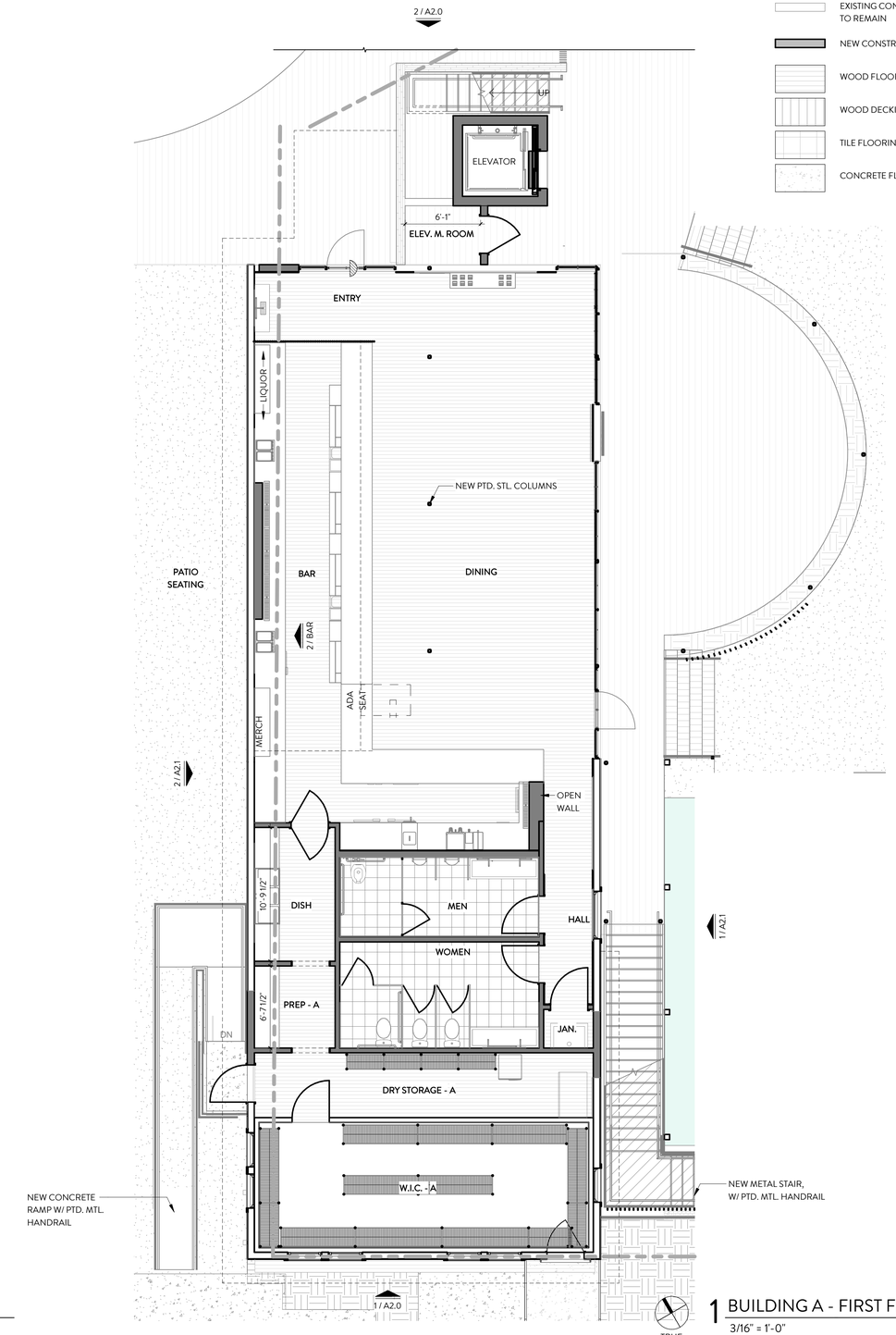


TRUE NORTH

2 BUILDING A - SECOND FLOOR PLAN

3/16" = 1'-0"



TRUE NORTH

1 BUILDING A - FIRST FLOOR PLAN

3/16" = 1'-0"

PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- WOOD FLOORING
- WOOD DECKING
- TILE FLOORING
- CONCRETE FLOORING

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BUILDING A- FLOOR PLAN

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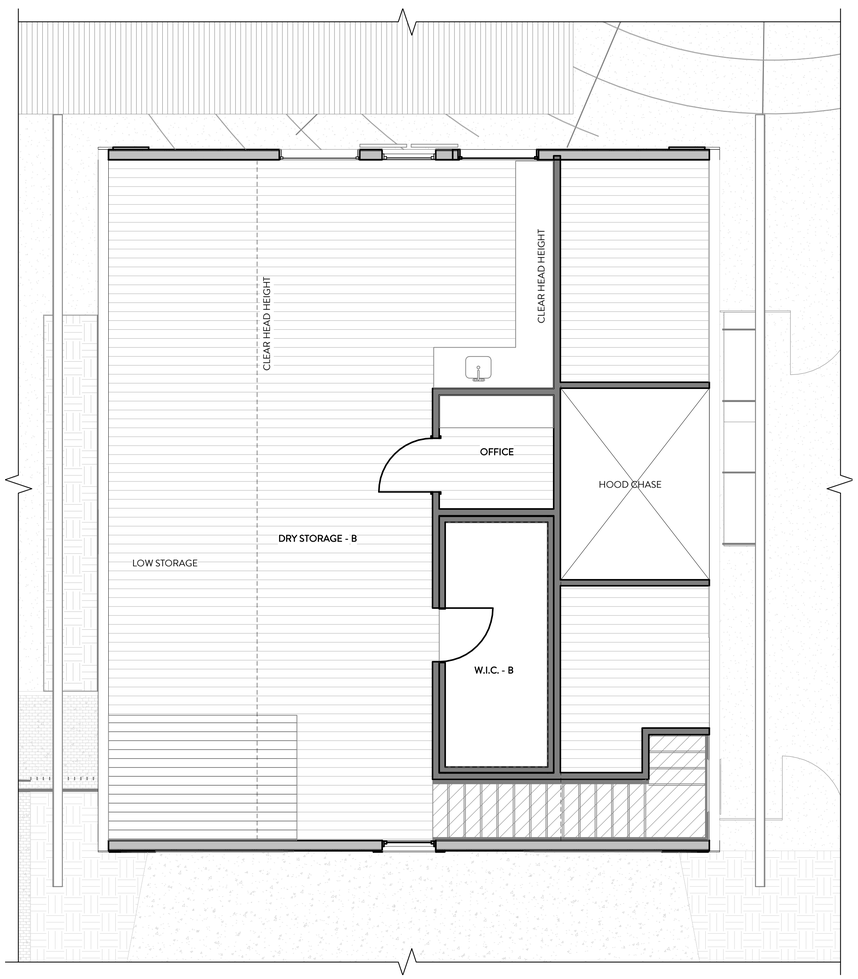
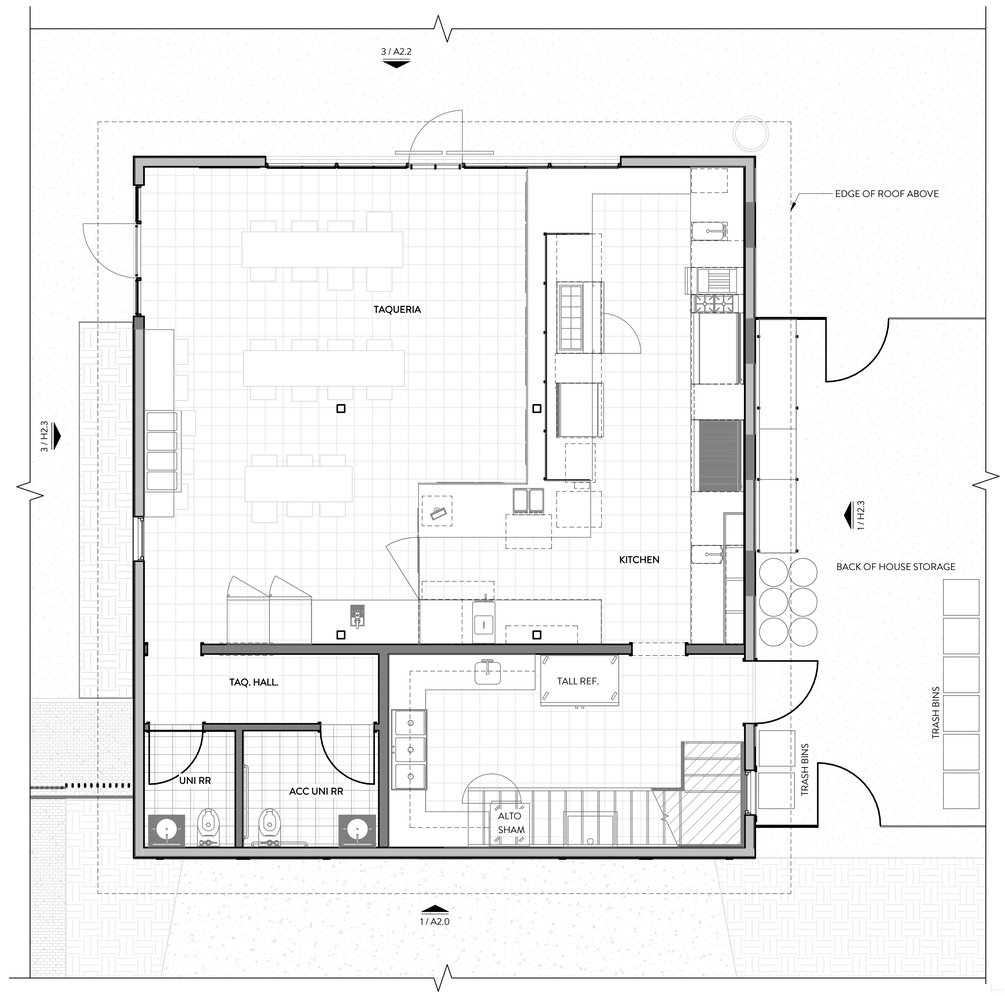


TRUE NORTH

2 BUILDING B - SECOND FLOOR PLAN
1/4" = 1'-0"



TRUE NORTH

1 BUILDING B - FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- WOOD FLOORING
- WOOD DECKING
- TILE FLOORING
- CONCRETE FLOORING

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A1.2

BUILDING B - FLOOR PLAN

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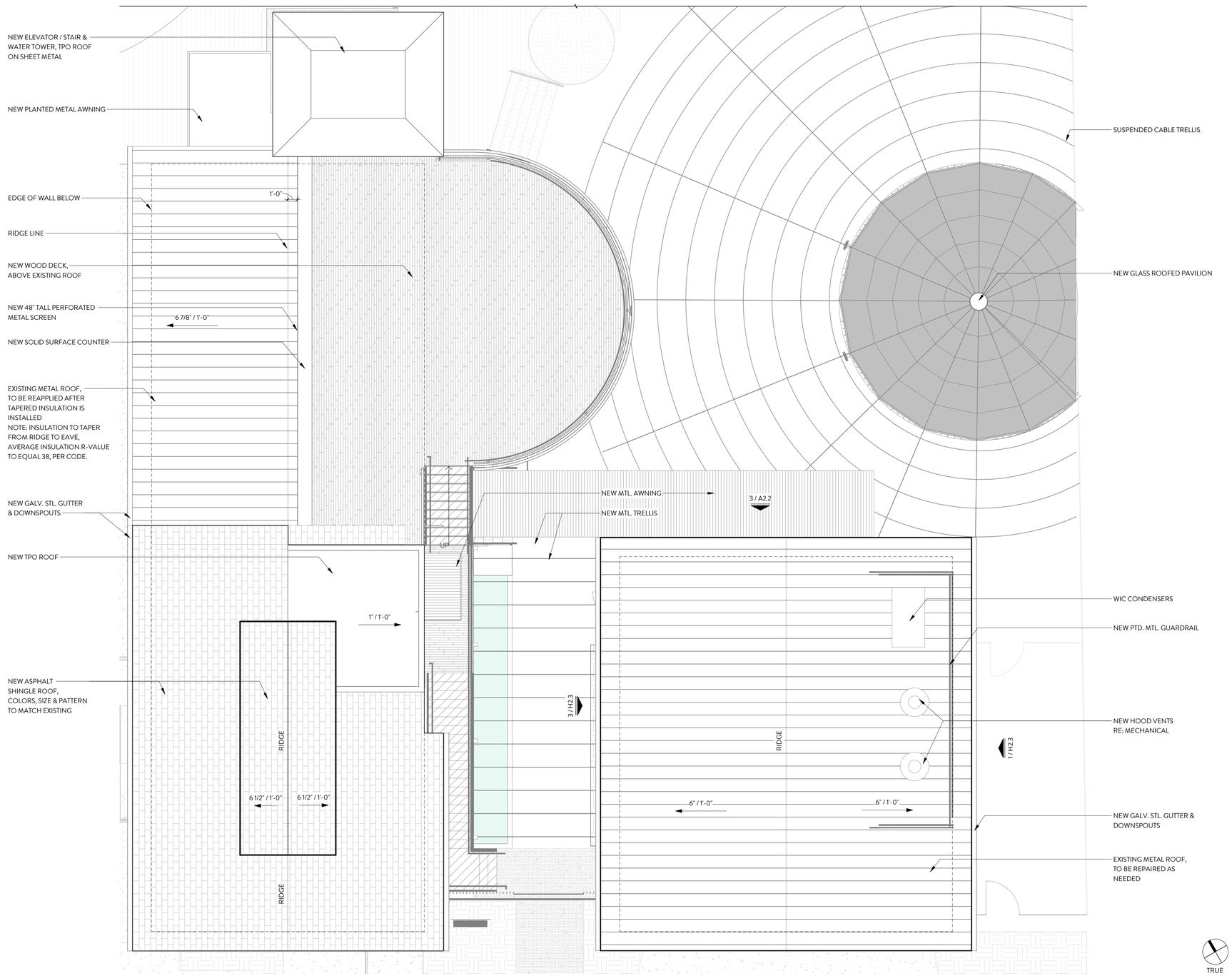

1 ROOF PLAN
3/16" = 1'-0"

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A1.3
ROOF PLAN

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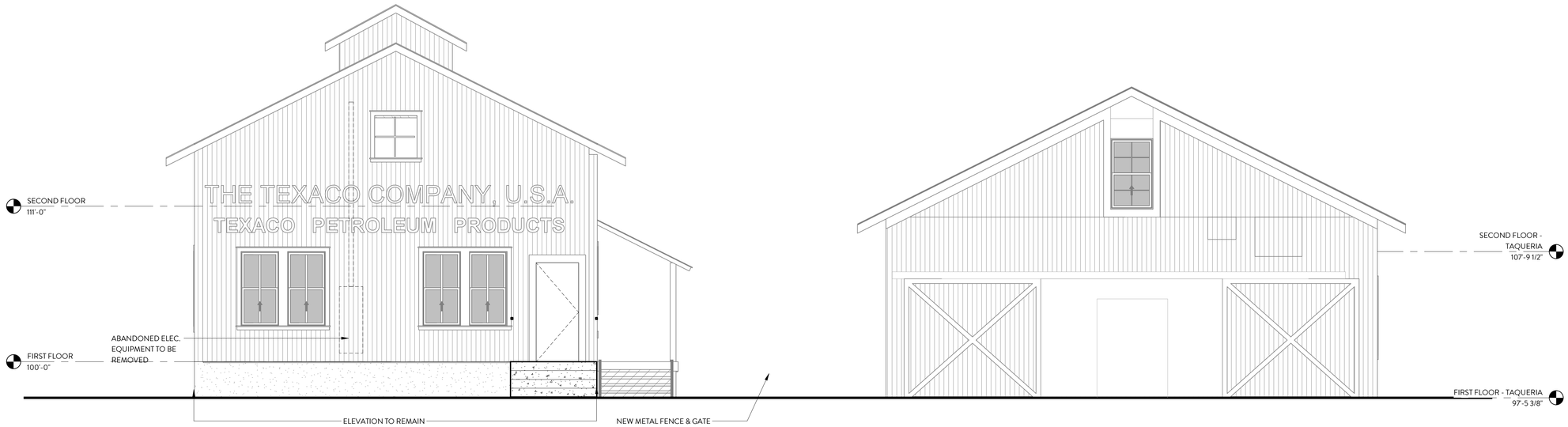
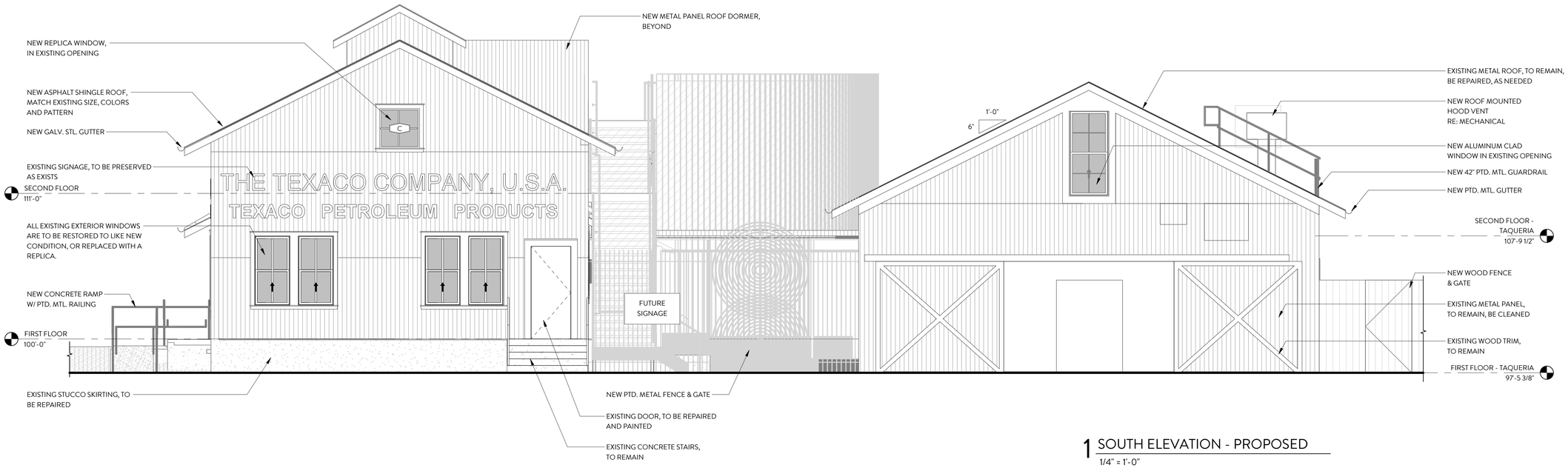


2 SOUTH ELEVATION - EXISTING

1/4" = 1'-0"



1 SOUTH ELEVATION - PROPOSED

1/4" = 1'-0"

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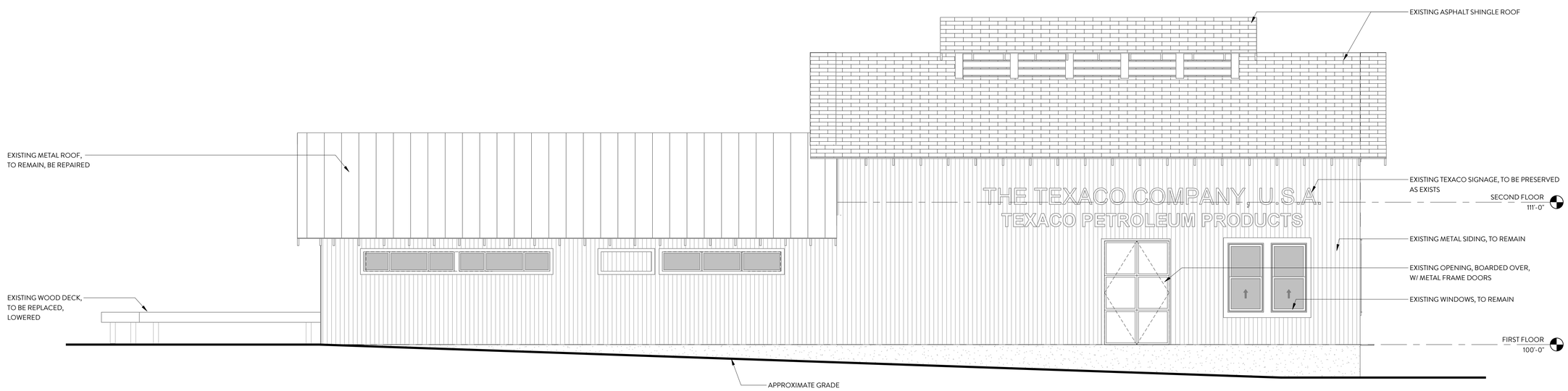
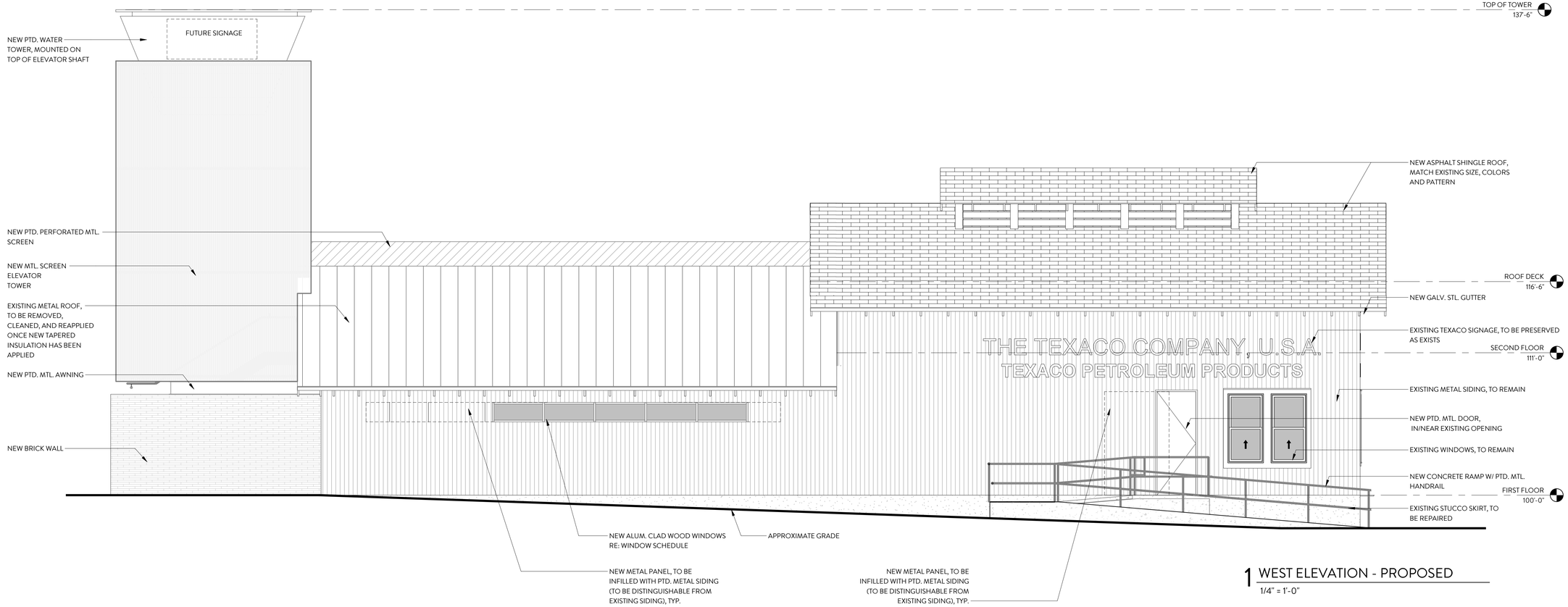
AUSTIN, TEXAS 78702

H2.0

EXTERIOR ELEVATIONS



2 WEST ELEVATION - EXISTING
1/4" = 1'-0"



1 WEST ELEVATION - PROPOSED
1/4" = 1'-0"

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PROJECT NUMBER 19051

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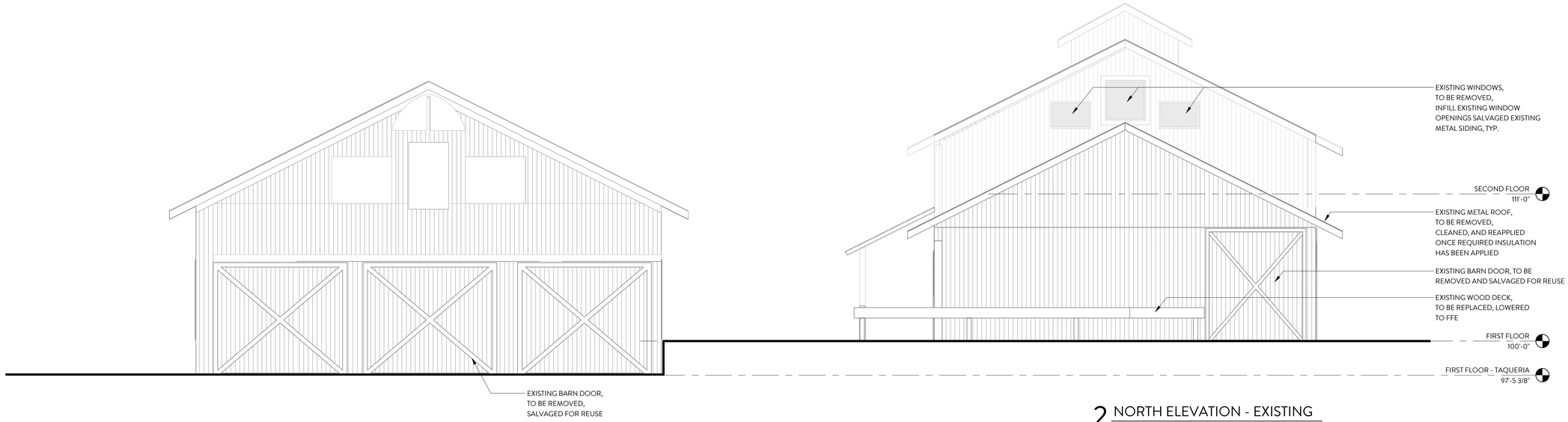
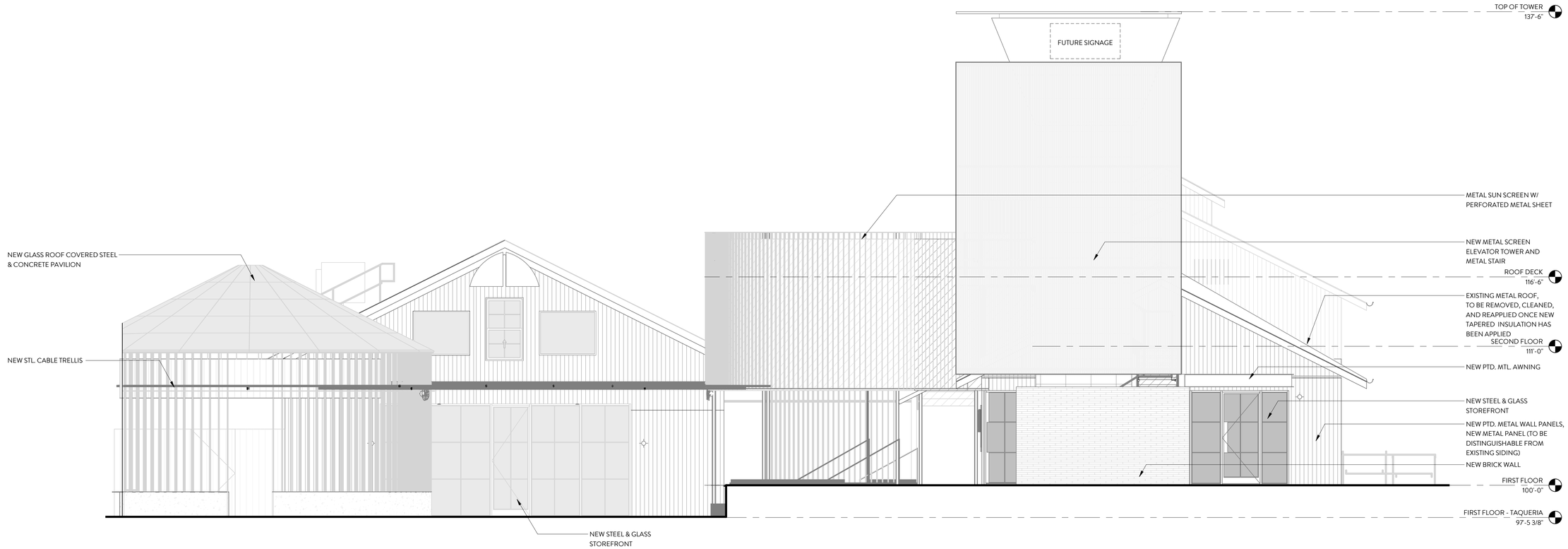
AUSTIN, TEXAS 78702

H2.1
EXTERIOR ELEVATIONS



2 NORTH ELEVATION - EXISTING
1/4" = 1'-0"



1 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"

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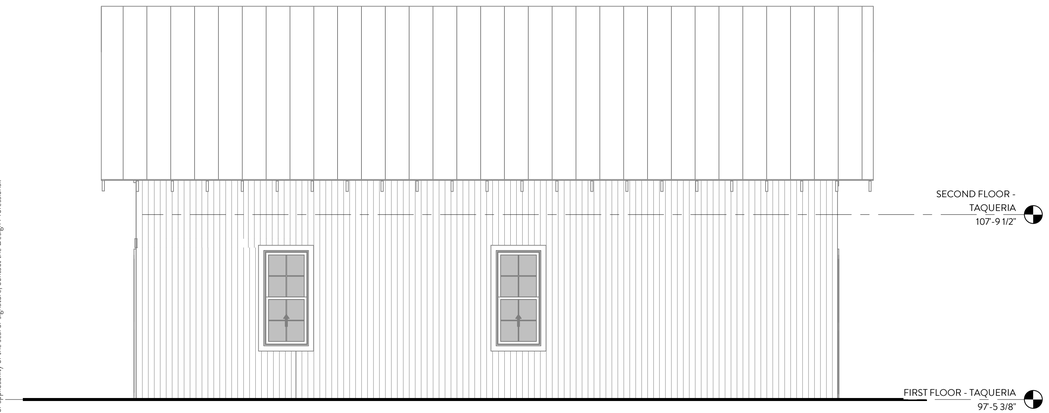
REGISTERED ARCHITECT
PAUL CLAYTON
19180
STATE OF TEXAS

ISSUED DATE 5.15.20
PROJECT NUMBER 19051

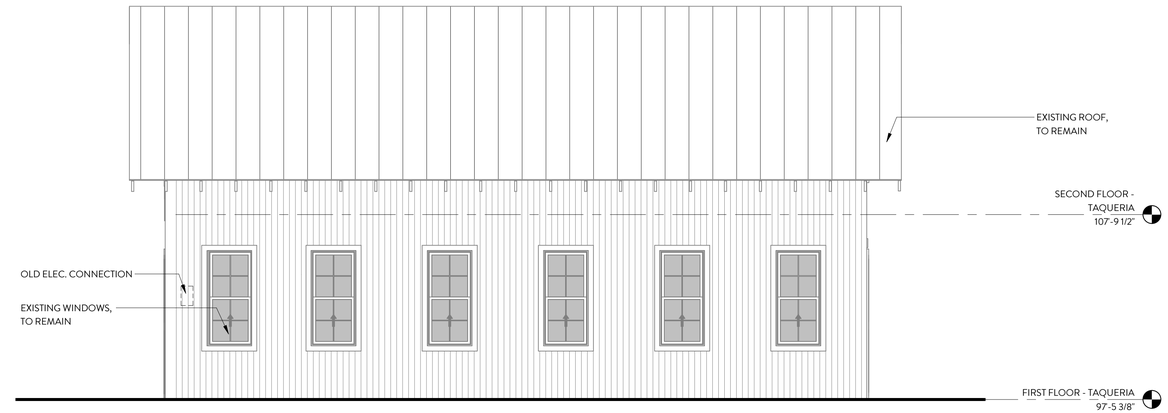
HLC SUBMISSION

COSMIC
1300 & 1302 E. 4th STREET
AUSTIN, TEXAS 78702

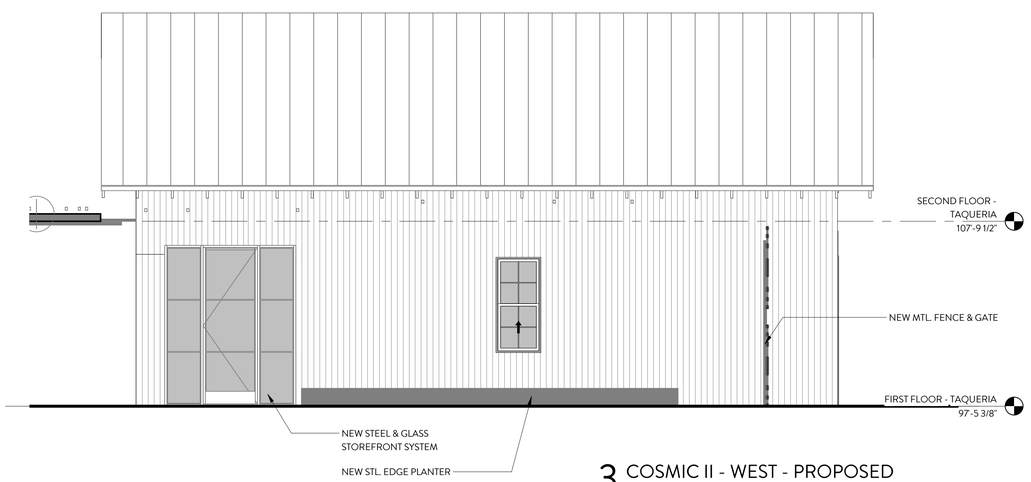
H2.2
EXTERIOR ELEVATIONS



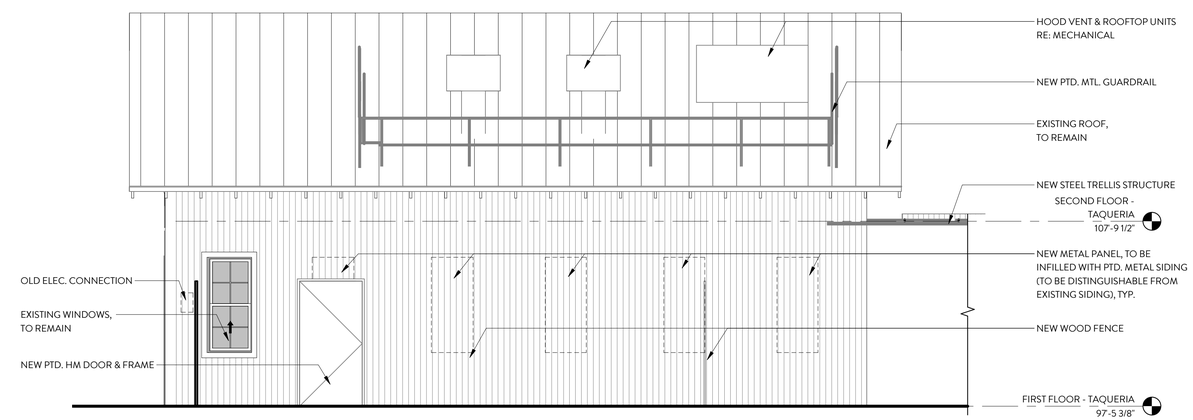
4 COSMIC II - WEST - EXISTING
1/4" = 1'-0"



2 COSMIC II - EAST - EXISTING
1/4" = 1'-0"



3 COSMIC II - WEST - PROPOSED
1/4" = 1'-0"



1 COSMIC II - EAST - PROPOSED
1/4" = 1'-0"

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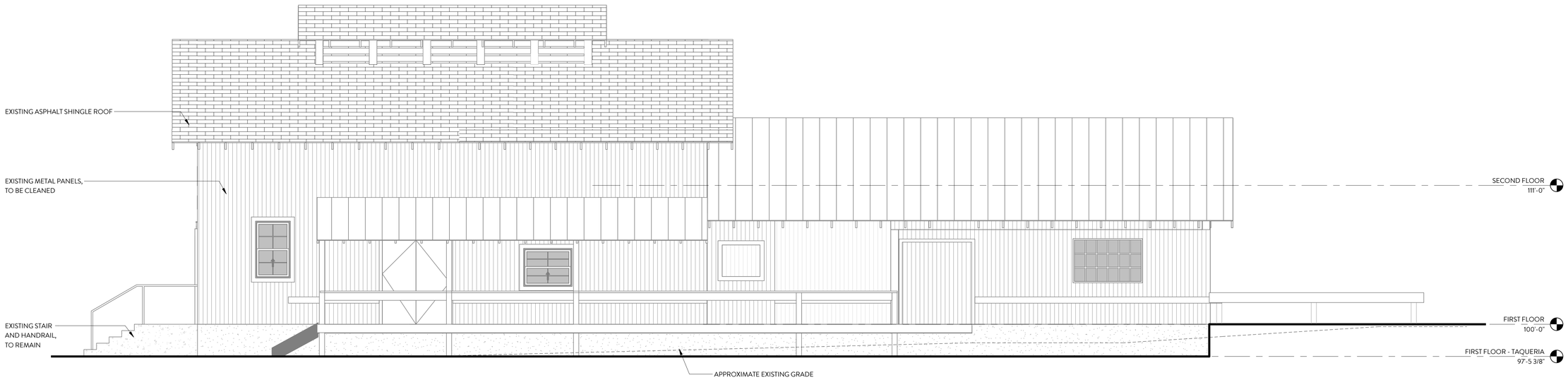
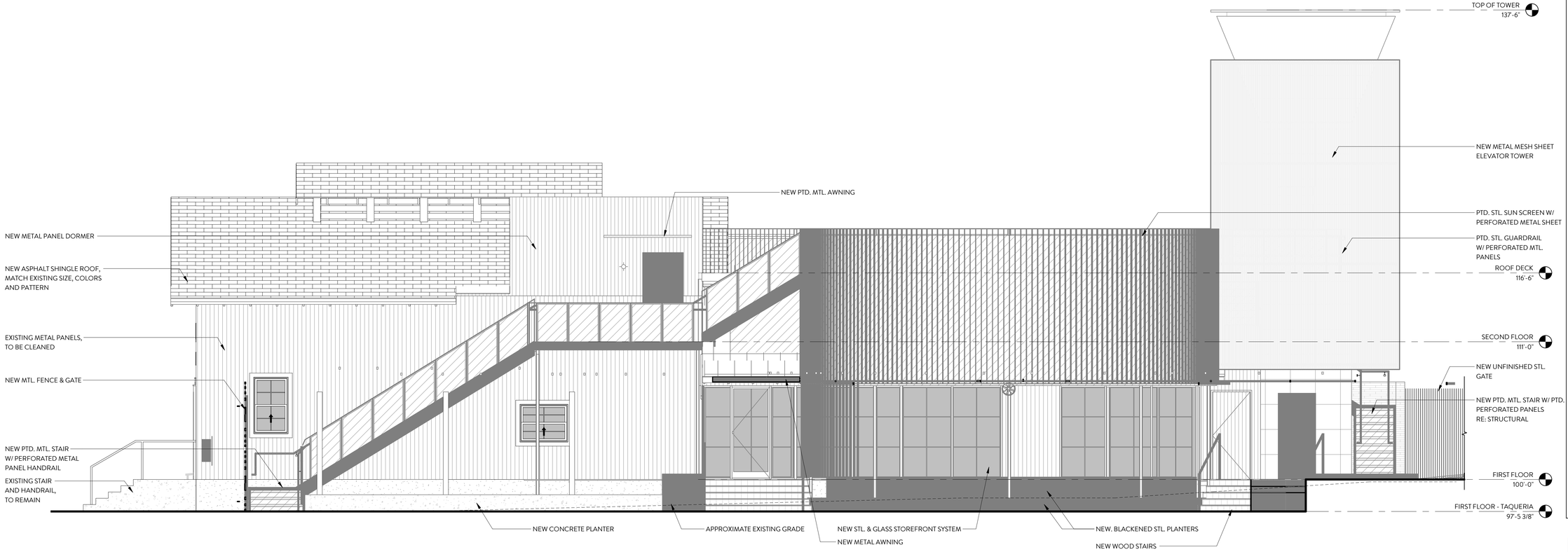
H2.3
EXTERIOR ELEVATIONS



1 COSMIC I - EAST - EXISTING
1/4" = 1'-0"



2 COSMIC I - EAST - PROPOSED
1/4" = 1'-0"

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H2.4
EXTERIOR ELEVATIONS

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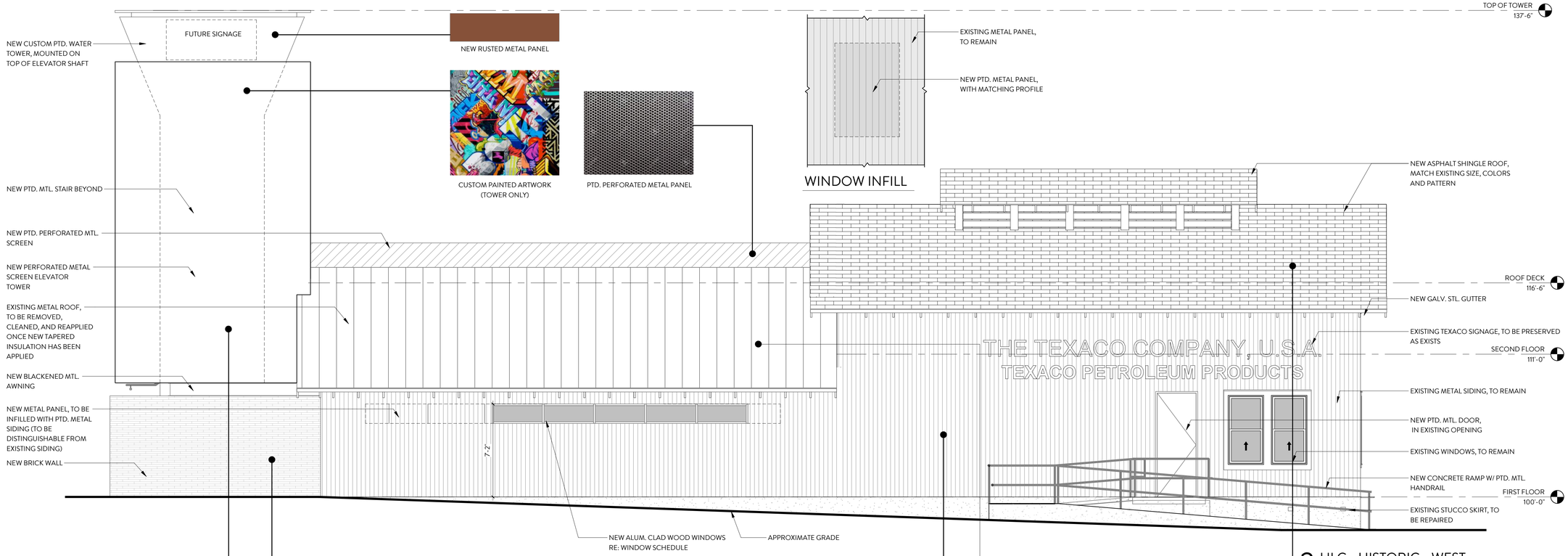
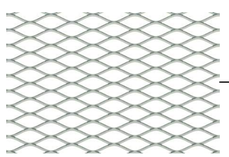
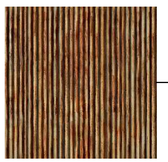


2 HLC - HISTORIC - WEST
1/4" = 1'-0"



NATURAL REBAR ENCLOSURE, TO RUST OVER TIME

NEW BRICK VENEER

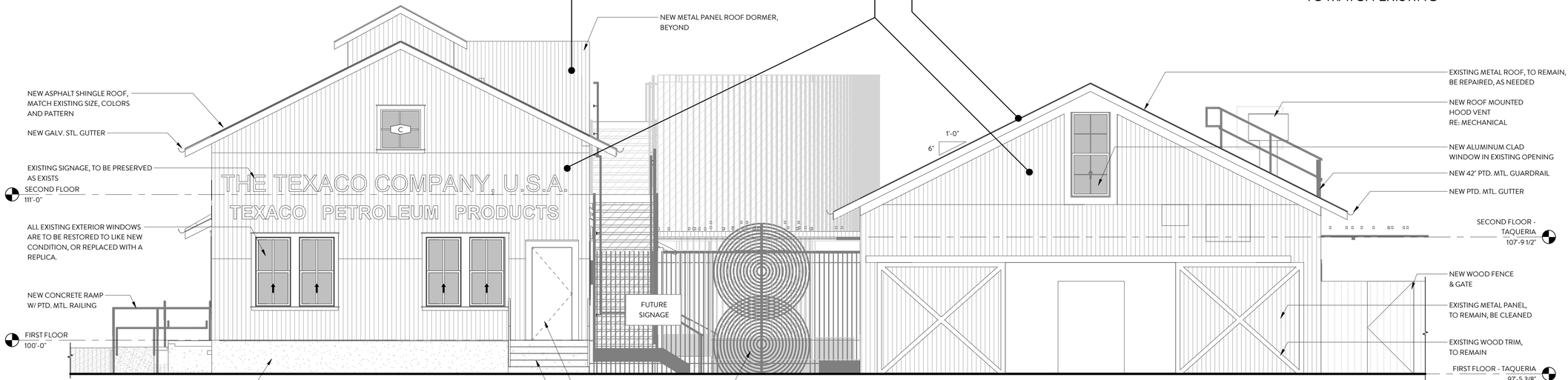


RUSTED CORRUGATED METAL SIDING

EXISTING CORRUGATED METAL SIDING

EXISTING METAL ROOF

NEW ASPHALT SHINGLES, COLOR, SIZE & PATTERN TO MATCH EXISTING



1 HLC - MATERIALS - SOUTH
1/4" = 1'-0"

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H2.5
EXTERIOR MATERIALS