

BOA GENERAL REVIEW COVERSHEET

CASE: C15-2020-0022

BOA DATE: June 8, 2020

ADDRESS: 305 W. 45th St

COUNCIL DISTRICT: 9

OWNER: Michael Synowiec

AGENT: N/A

ZONING: SF-3-HD-NCCD-NP (Hyde Park Neighborhood Conservation Combining District)

LEGAL DESCRIPTION: W 39.5FT OF LOT 31-32 BLK 7 HYDE PARK ADDN NO 1

VARIANCE REQUEST: decrease minimum lot size to 1,985 sq. ft, decrease minimum lot width to 39 ft. and decrease parking spaces to 1 parking spot.

SUMMARY: remodel and 2nd story addition

ISSUES: lot size was developed before March 1946, impervious cover is insufficient for additional parking due to lot size

	ZONING	LAND USES
<i>Site</i>	SF-3-HD-NCCD-NP	Single-Family
<i>North</i>	SF-3-NCCD-NP	Single-Family
<i>South</i>	SF-3-NCCD-NP	Single-Family
<i>East</i>	SF-3-NCCD-NP	Single-Family
<i>West</i>	MF-3-HD-NCCD-NP	Multi-Family

NEIGHBORHOOD ORGANIZATIONS:

- Austin Independent School District
- Austin Lost and Found Pets
- Austin Neighborhoods Council
- Bike Austin
- Central Austin Community Development Corporation
- Friends of Austin Neighborhoods
- Friends of Hyde Park
- Homeless Neighborhood Association
- Hyde Park Neighborhood Assn.
- Hyde Park Neighborhood Plan Contact Team
- Neighborhood Empowerment Foundation
- North Austin Neighborhood Alliance
- Preservation Austin
- SELTexas
- Sierra Club, Austin Regional Group



NOTIFICATIONS

CASE#: C15-2020-0022
LOCATION: 305 W 45TH STREET



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 333'



CITY OF AUSTIN

Development Services Department

One Texas Center | Phone: 512.978.4000

505 Barton Springs Road, Austin, Texas 78704

Board of Adjustment General/Parking Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # _____ ROW # _____ Tax # _____

Section 1: Applicant Statement

Street Address: _____

Subdivision Legal Description:

Lot(s): _____ Block(s): _____

Outlot: _____ Division: _____

Zoning District: _____

I/We _____ on behalf of myself/ourselves as authorized agent for _____ affirm that on Month _____, Day _____, Year _____, hereby apply for a hearing before the Board of Adjustment for consideration to (select appropriate option below):

- Erect Attach Complete Remodel Maintain Other: _____

Type of Structure: _____

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

Four horizontal blue lines for text entry.

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

Seven horizontal blue lines for text entry.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

Five horizontal blue lines for text entry.

b) The hardship is not general to the area in which the property is located because:

Five horizontal blue lines for text entry.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

- 1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

- 2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

- 3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

- 4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: _____ Date: _____

Applicant Name (typed or printed): _____

Applicant Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: _____ Date: _____

Owner Name (typed or printed): _____

Owner Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 5: Agent Information

Agent Name: _____

Agent Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

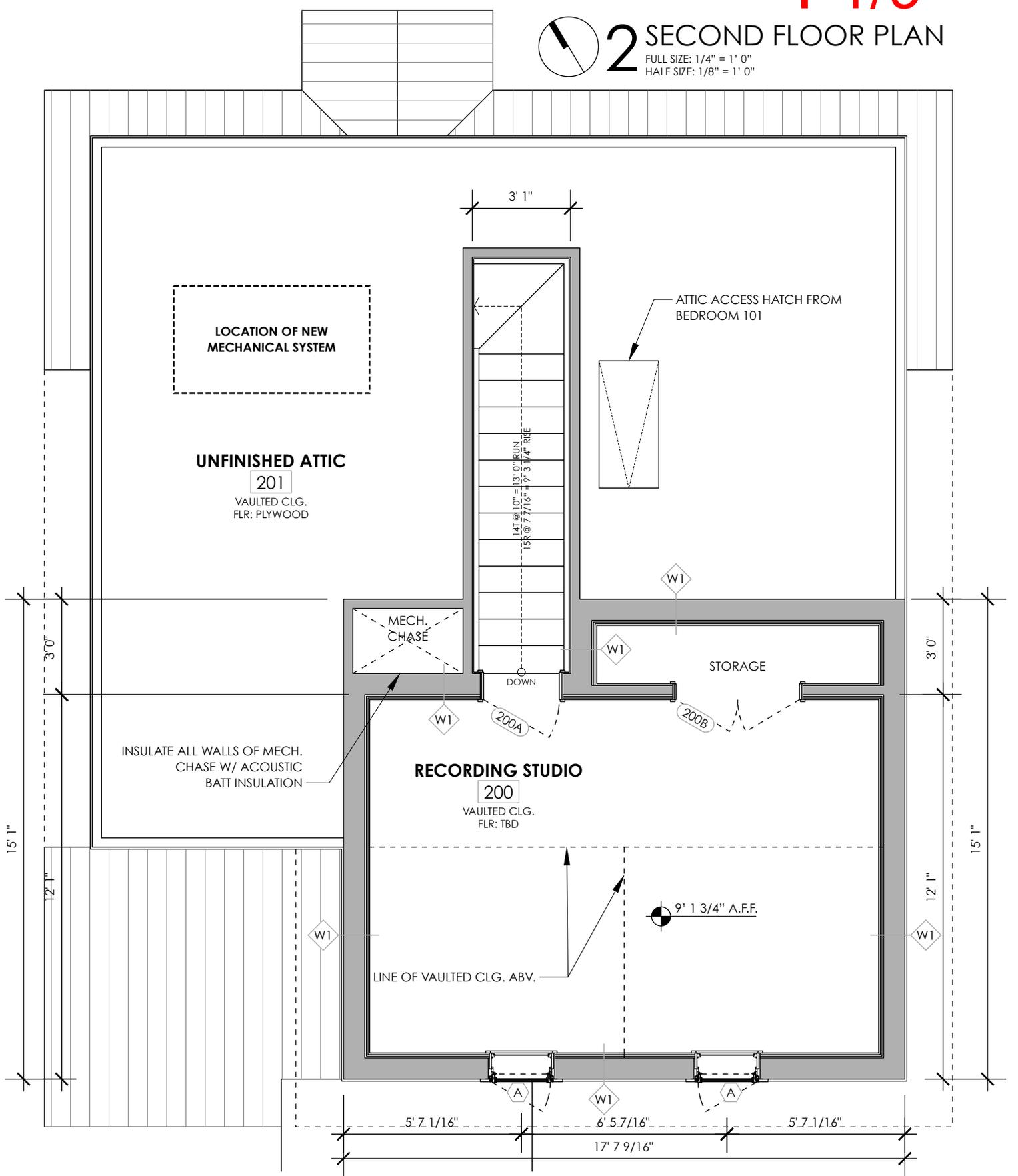
Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).



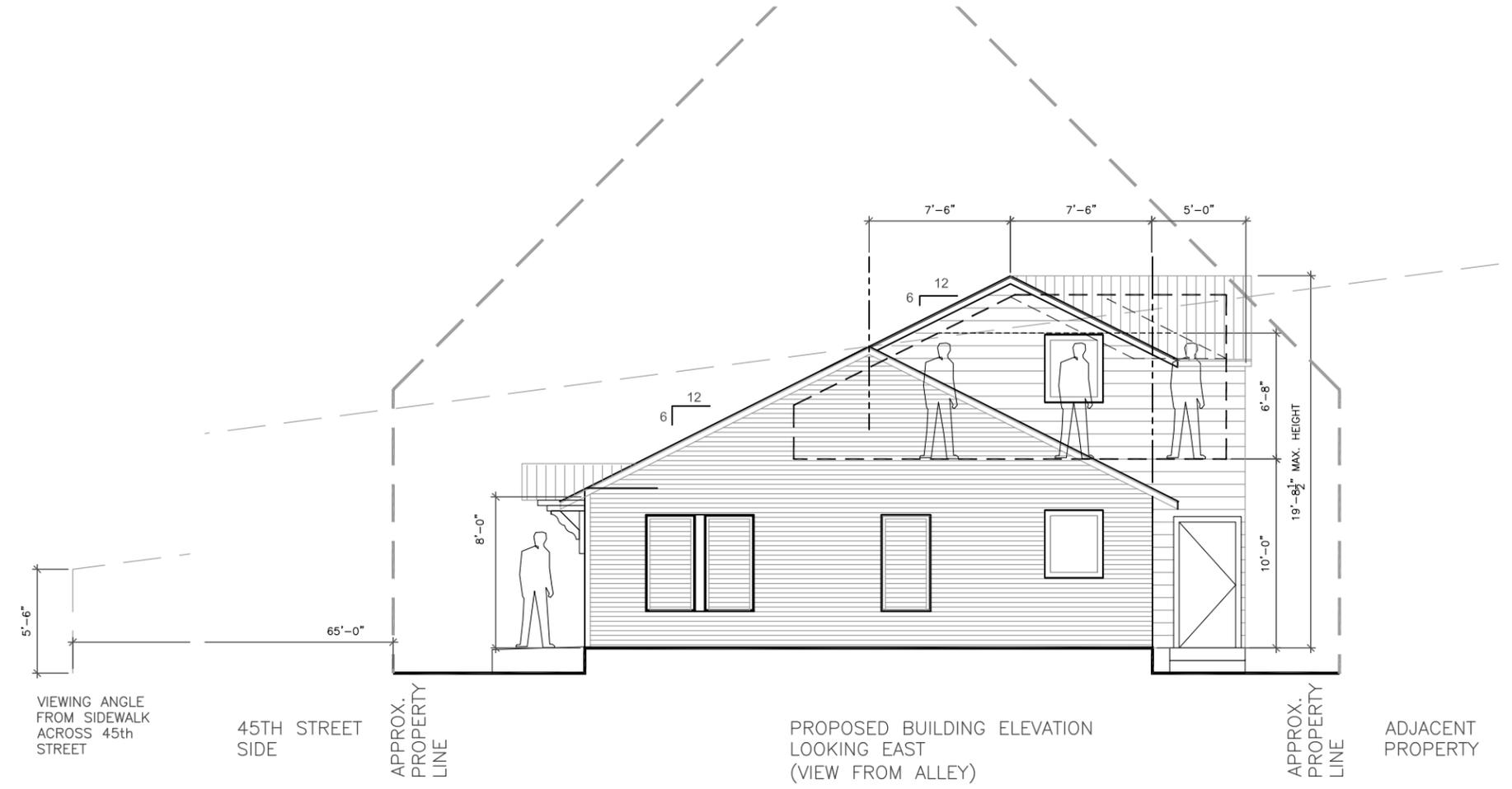
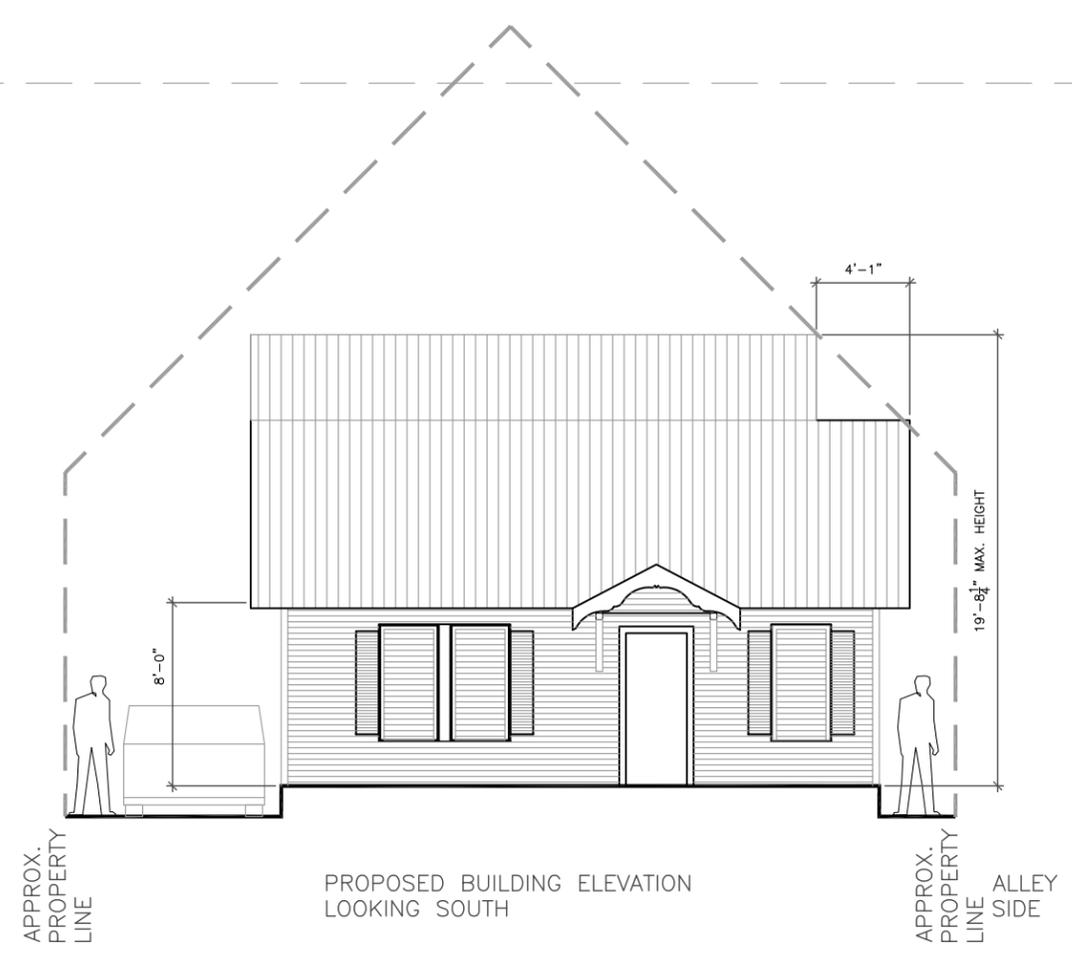
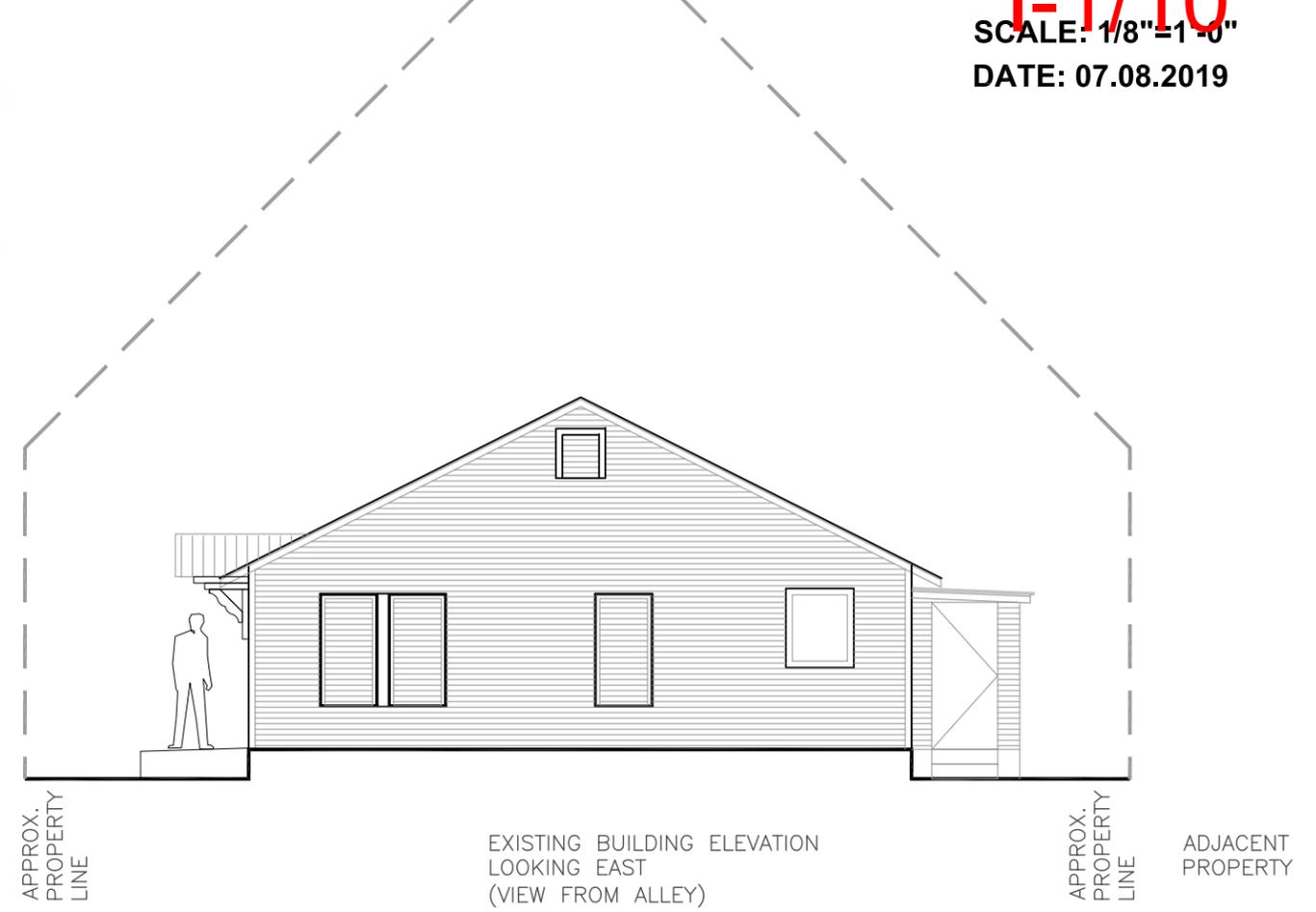
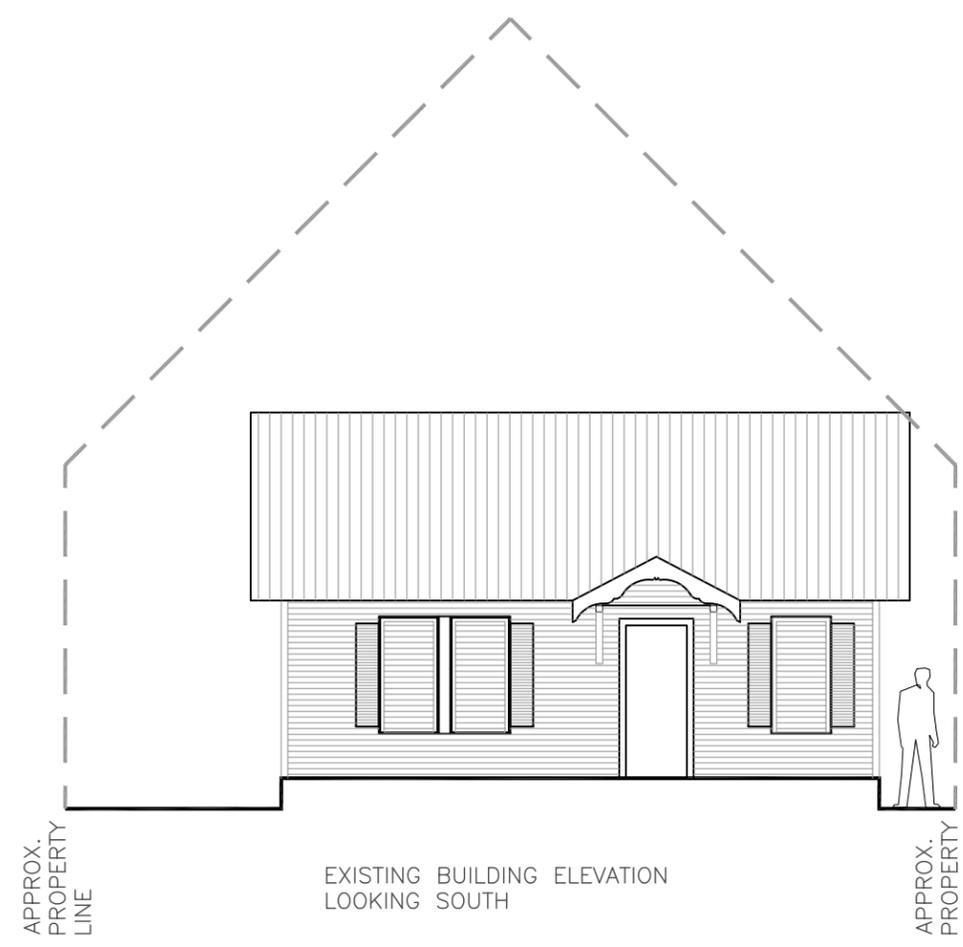
2 SECOND FLOOR PLAN

FULL SIZE: 1/4" = 1' 0"
HALF SIZE: 1/8" = 1' 0"



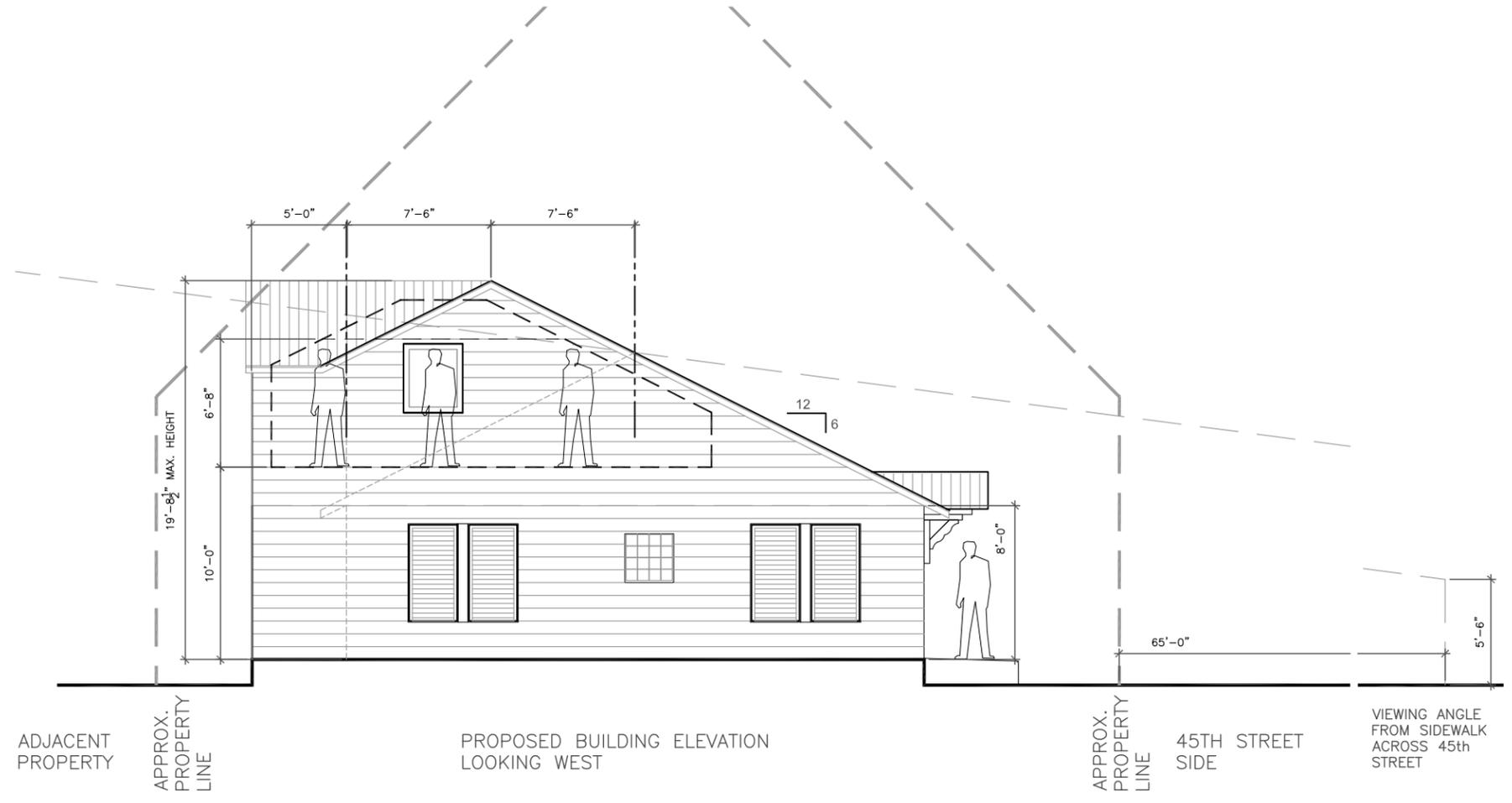
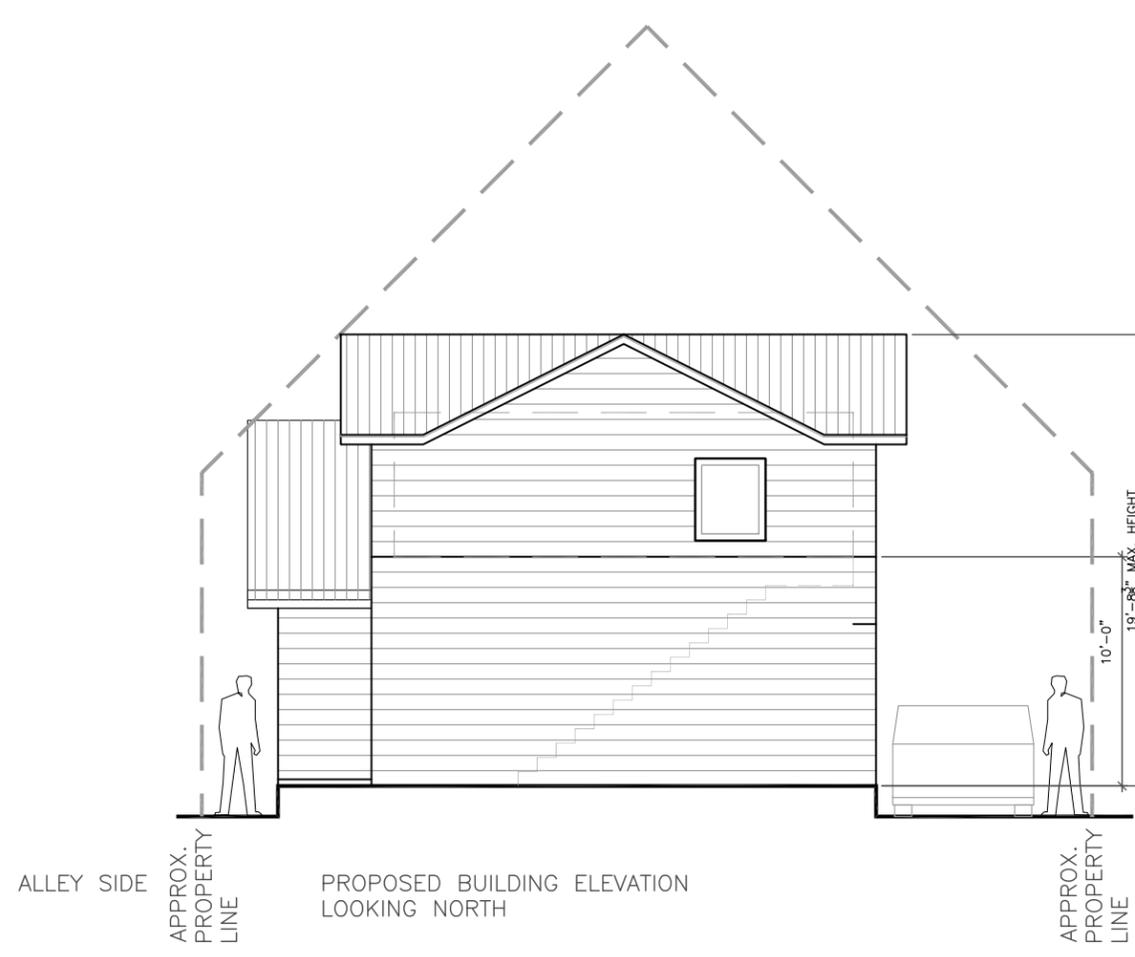
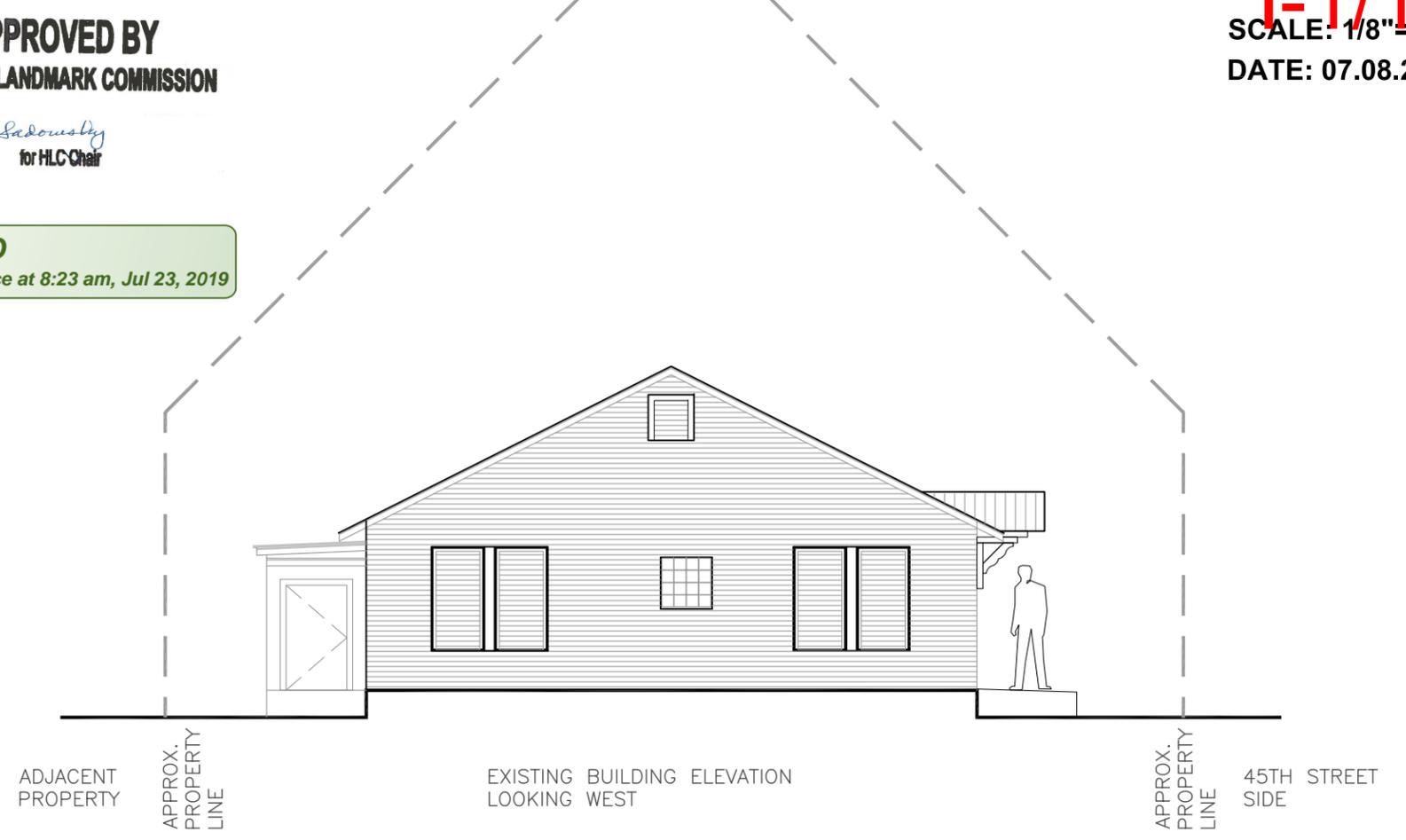
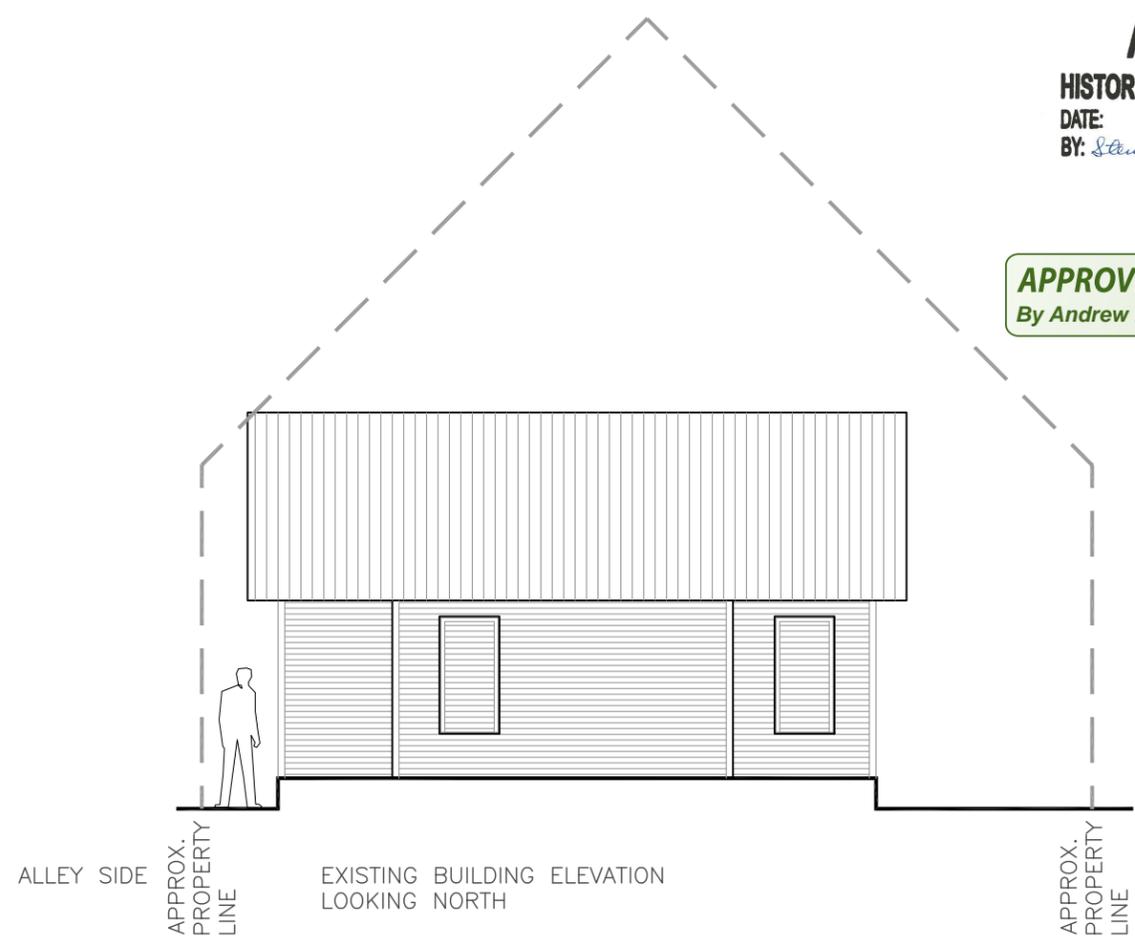
APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE:
BY: *Steve Sadowsky*
for HLC Chair

APPROVED
By Andrew Rice at 8:23 am, Jul 23, 2019



APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE:
BY: *Steve Sadomsky*
for HLC Chair

APPROVED
By Andrew Rice at 8:23 am, Jul 23, 2019



305 W 45th St
Austin, Texas
Google
Street View

I-1/12



305 West
Avenue C Alley
Avenue D Alley
HYDE
Avenue D
Avenue F

April 17, 2020

To the Board of Adjustment:

We are writing to express support for Mike Synowiec's request for a parking variance for 305 W 45th street. We own and reside at 304 W 45th street, directly across from Mr. Synowiec's home.

Houses along 45th street, including 305 W 45th street, face unique challenges. 45th street does not allow for on street parking. Those of us with homes in the middle of blocks do not have easily accessible on street parking (though the nearest side streets have an abundance of unused on street parking spaces). This creates a unique hardship in order to meet onsite parking requirements needed for home additions. Furthermore, 305 W 45th st is uniquely challenged as a very small home with very little lot space to grow.

Mr. Synowiec has been an exemplary neighbor and has worked to maintain and improve this historic home. I am confident that his plans for an addition to the home will make the home more livable and ensure this historic structure continues to contribute to the character of historic Hyde Park.

Sincerely,

 4/17/2020
M. Blake Hutson

 4/17/2020
Jessica Hoffman