

Property listing with travis county filing

Buckner RD right side of street as you enter in

1.440986

BUDGET LEASING INC

11900 Buckner RD

Volvo dealer

Zoning GR

2.440987

11900 Buckner rd

LO-MO-Co Commercial office zoned

Empty land

3.directly behind previous property couldn't find address

Empty land

Zoned DR

Buckner RD Left side of street as you enter in

1. 580620

10418 N FM 620 Austin TX 78726

SF2 grand fathered as mechanic shop

2.848454

10418 N Ranch rd 620 Austin TX 78726

SF2 grand fathered in as used car and motorcycle sales

3.826591

11805 Buckner rd Austin TX 78726

SF2 Grand fathered in as auto upholstery shop

4.440707

11809 buckner rd Austin TX 78726

SF2 zoning Grand fathered in as auto glass business

Smith glass

5.440706 and 849532

11815 buckner rd Austin TX 78726

GR zoning rezoned a few years ago from SF to GR

Magic touch auto/renovo services/Austin motor sports

Car sales and service shop

6.882712 and 928975

11817 buckner rd Austin TX 78726

SF2 Grand fathered into used car sales

1st stop auto sales and DJ Garage

Used car sales and service and inspection

7.440704 and 383104

11821 buckner rd Austin TX 78726

DR Zoning used as Commercial construction company

8.440703

11825 buckner rd Austin TX 78726

DR zoning being used as floral design and event planning company PIC needed

9.440702

11827 buckner rd Austin TX 78726

Zoned LO CO office commercial Time warner/spectrum cable using it clearly not office trucks being parked there and has millions of dollars worth of equipment in it

10.440701

11829 buckner rd Austin tx 78726

Empty house for rent zoned DR

11.422083

12011 buckner rd Austin TX 78726

Zoned DR being used as AC and heating company

Kindred Services

12.440724

12013 Buckner rd Austin TX 78726

Zoned DR being used as Cabinet Shop

13.708002

12025 Buckner RD Austin TX 78726

MCelnenny woodworks LP cabinet shop

Zoned DR house and being used as shooting range in residential neighborhood right behind my property with nothing in between

Sherif wont do anything till someone gets shot

14.441029

12029 buckner rd Austin TX 78726

Zoned DR being used as house way in the back of buckner about 8 minute walk from my property based on the map

15.813207 and 475738

12030 buckner rd Austin TX 78726
Zoned DR mobile home and another 5 acre of land



Property Profile



1: 2,400

0.1 Miles



NAD_1983_StatePlane_Texas_Central_FPS_4203_Feet

Date Printed:

Legend

Zoning

- Lake Austin, Rural Residence (LR)
- Single Family (SF-1; SF-2; SF-3; SF-4)
- Mobile Home (MH)
- Multi-Family (MF-1; MF-2; MF-3; MF-4)
- Commercial (CH; CR; CS; CS-1; GI)
- Office (GO; LO; NO)
- Industrial (IP; LI; MI; R&D; WLO)
- CBD, Downtown Mixed Use (DMU)
- ERC; NBG; TND; TOD
- Planned Unit Development (PUD)
- Agriculture, Development Reserve (AR)
- Aviation, Public, Unzoned (AV; P)
- Unclassified

Zoning Text

B-02

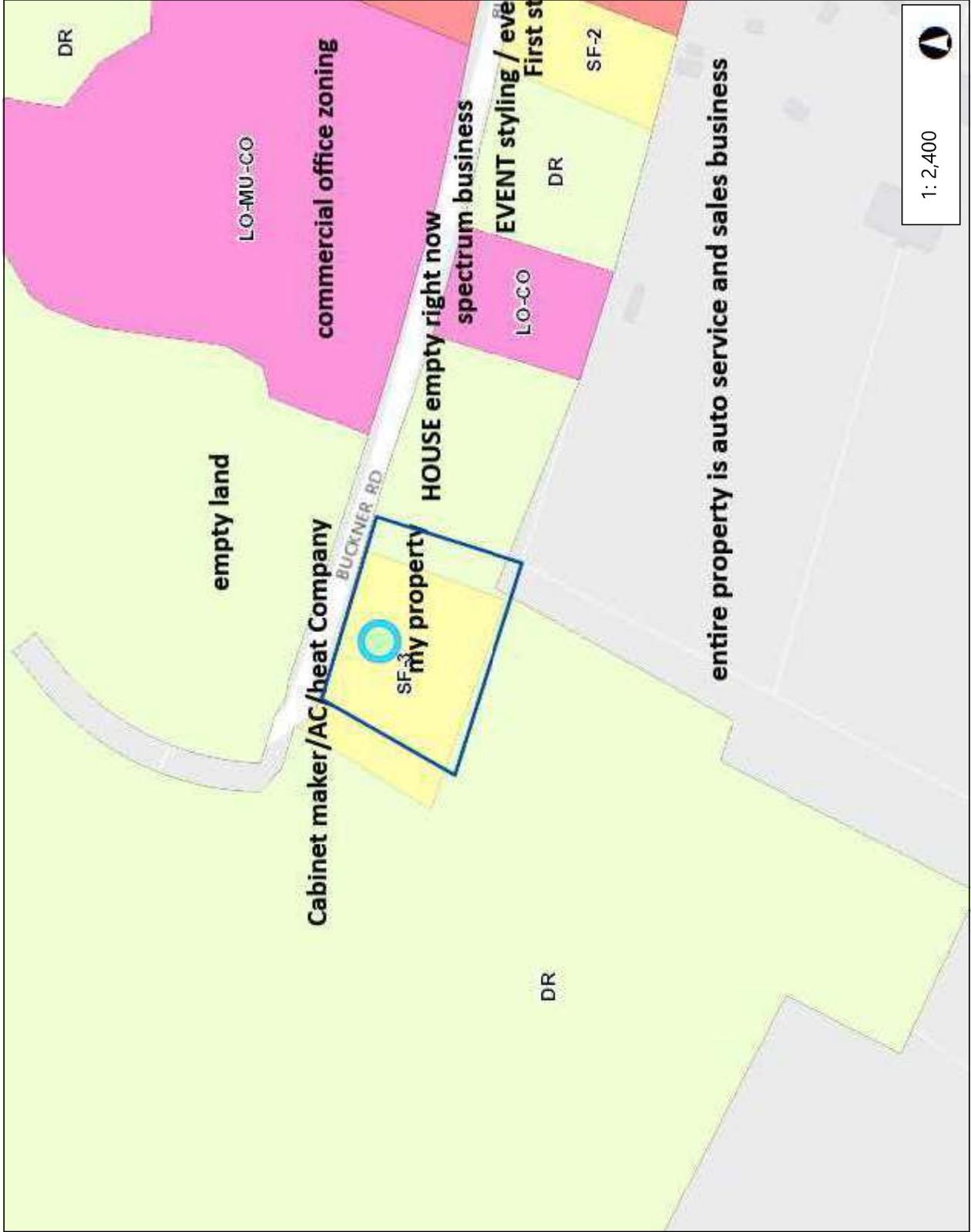
Part 1 (Additional Information)

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Notes



Property Profile



1: 2,400

0.1 Miles
0.04
0

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NAD_1983_StatePlane_Texas_Central_FPS_4203_Feet

Date Printed:

Legend

Zoning

- Lake Austin, Rural Residence (LUR)
- Single Family (SF-1; SF-2; SF-3; SF-4)
- Mobile Home (MH)
- Multi-Family (MF-1; MF-2; MF-3; MF-4)
- Commercial (CH; CR; CS; CS-1; GI)
- Office (GO; LO; NO)
- Industrial (IP; LI; MI; R&D; WLO)
- CBD, Downtown Mixed Use (DMU)
- ERC; NBG; TND; TOD
- Planned Unit Development (PUD)
- Agriculture, Development Reserve 1
- Aviation, Public, Unzoned (AV; P)
- Unclassified

Zoning Text

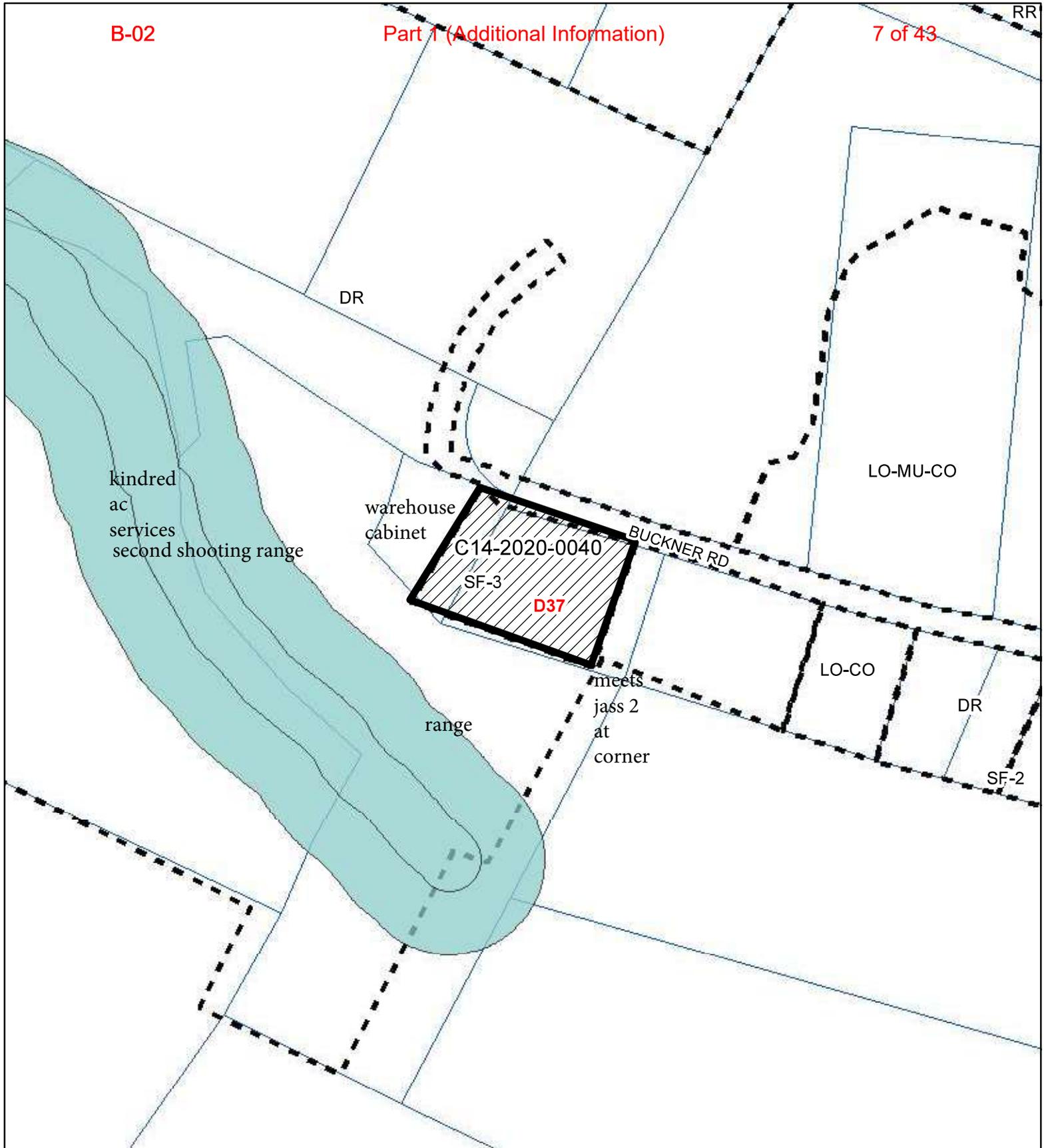
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Notes





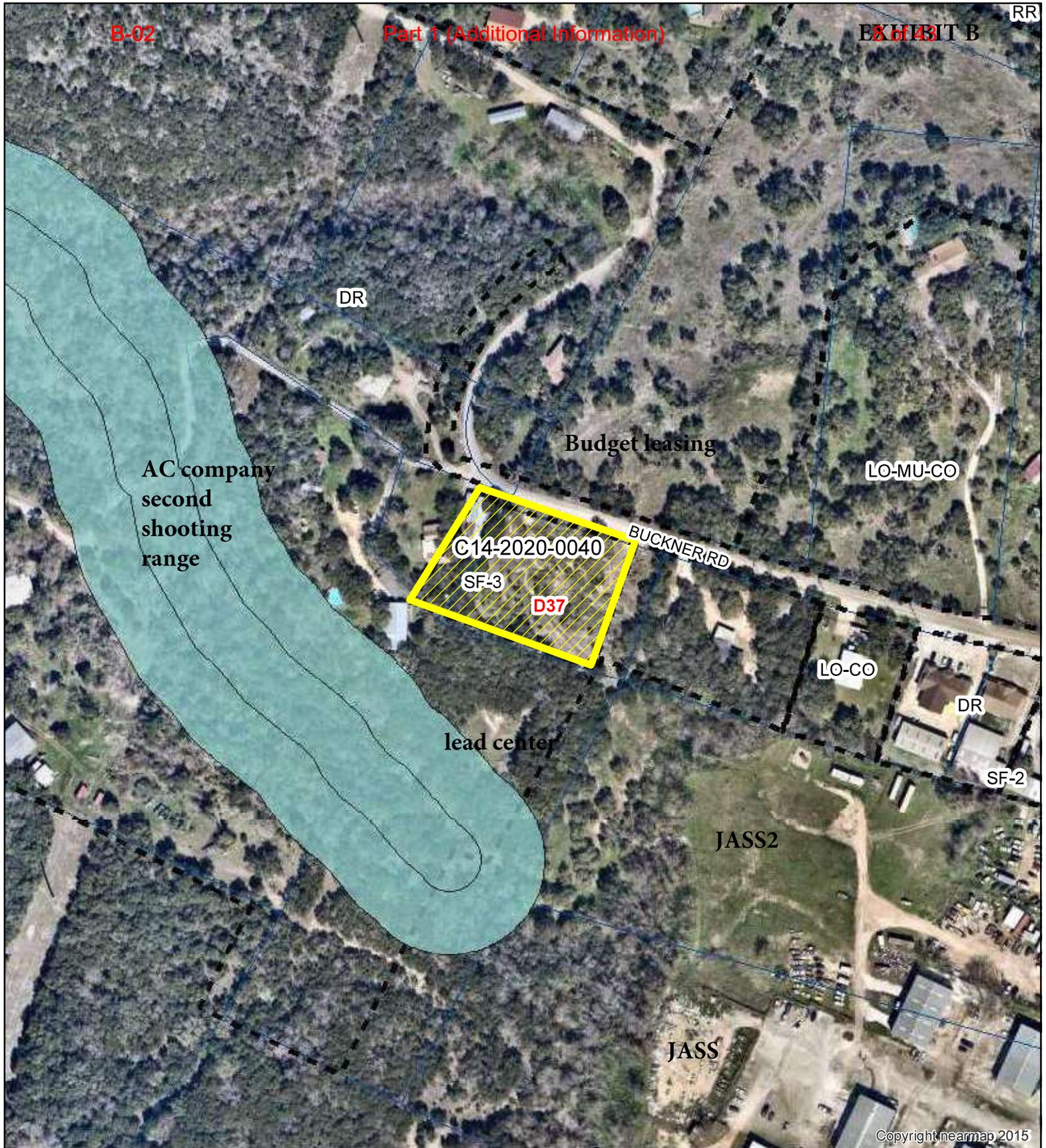
-  SUBJECT TRACT
-  ZONING BOUNDARY
-  PENDING CASE
-  CREEK BUFFER

1" = 200'

NEW LOT

ZONING CASE#: C14-2020-0040
 LOCATION: 11833 BUCKNER RD.
 SUBJECT AREA: 1.33 ACRES
 GRID: D37
 MANAGER: Sherri Sirwaitis





Copyright nearmap 2015



-  SUBJECT TRACT
-  ZONING BOUNDARY
-  PENDING CASE
-  CREEK BUFFER

1" = 200'

NEW LOT

ZONING CASE#: C14-2020-0040
 LOCATION: 11833 BUCKNER RD.
 SUBJECT AREA: 1.33 ACRES
 GRID: D37
 MANAGER: Sherri Sirwaitis



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11833 Buckner Rd
my property pic 1



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View

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Part 1 (Additional Information)

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11833 Buckner Rd

my property pic 2 shows all small trees we cut down



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View

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12025 Buckner Rd

cabinet shop uses paint and machines can create hazard in residential zoning



Imagery ©2020 CAPCOG, Maxar Technologies, U.S. Geological Survey, Map data ©2020 20 ft

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12025 Buckner Rd

cabinet making business with pallets and trash next to it and work trailers can be seen in the right and work van



Image capture: Mar 2019 © 2020 Google

Austin, Texas

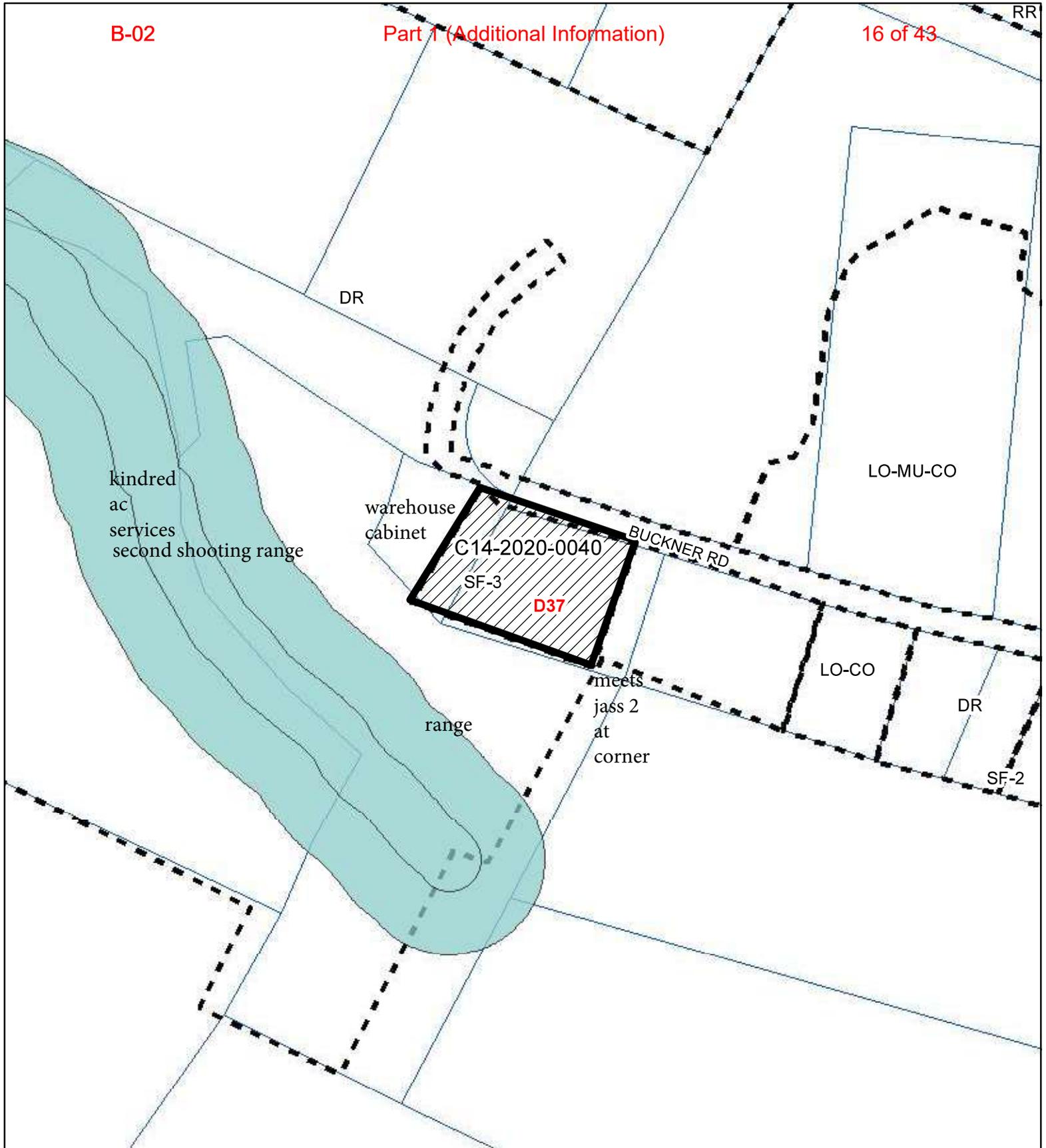
Google

Street View

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Part 1 (Additional Information)

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-  SUBJECT TRACT
-  ZONING BOUNDARY
-  PENDING CASE
-  CREEK BUFFER

1" = 200'

NEW LOT

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-  ZONING BOUNDARY
-  PENDING CASE
-  CREEK BUFFER

1" = 200'

NEW LOT

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 LOCATION: 11833 BUCKNER RD.
 SUBJECT AREA: 1.33 ACRES
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Google Maps 12025 Buckner Rd



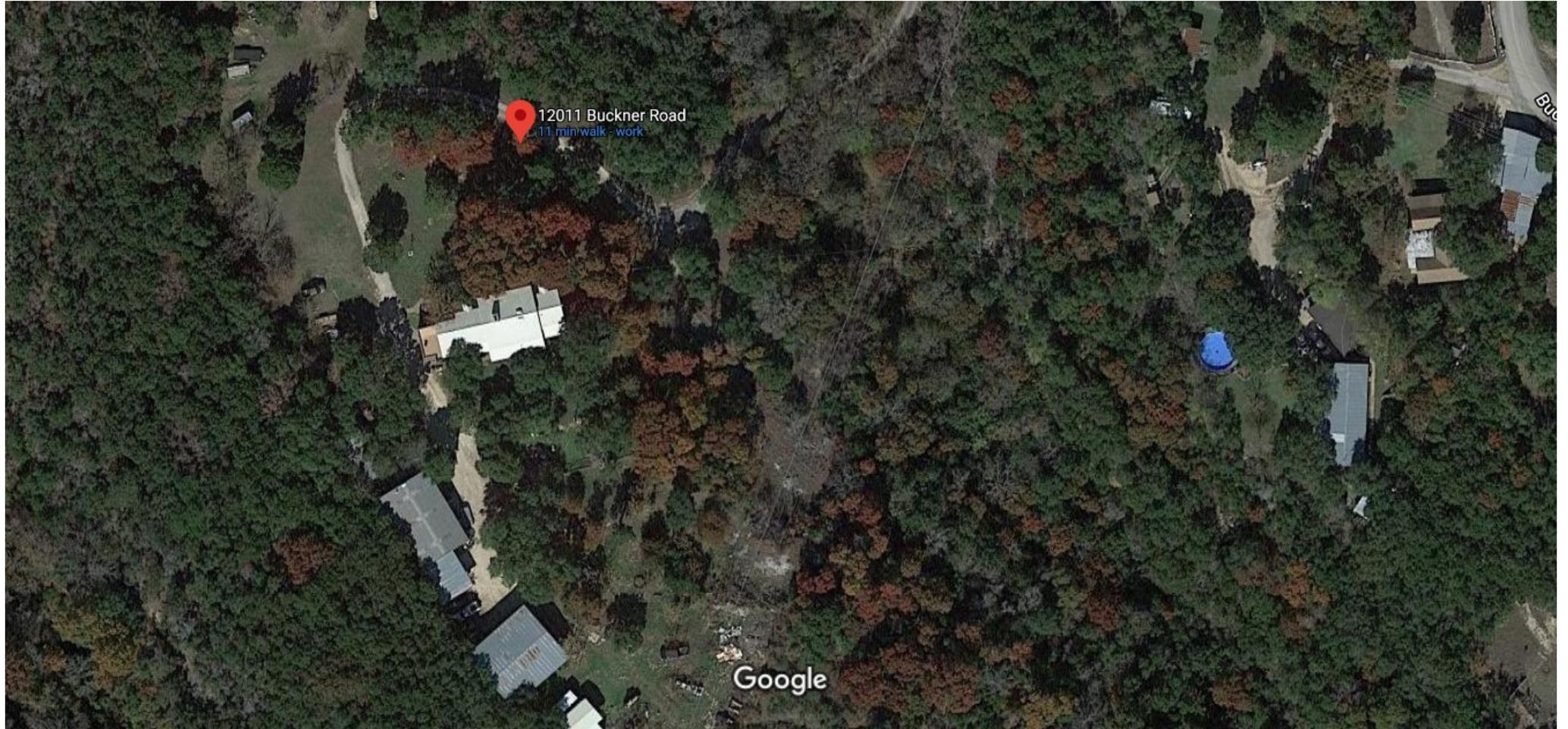
Imagery ©2020 CAPCOG, Maxar Technologies, U.S. Geological Survey, Map data ©2020 50 ft

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Google Maps 12011 Buckner Rd



Imagery ©2020 CAPCOG, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2020 50 ft

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Business Directory

Information on every company and professional organization

LOGIN

Find businesses

e.g. Tesla Motors

business name

all states

city, state, or zip code



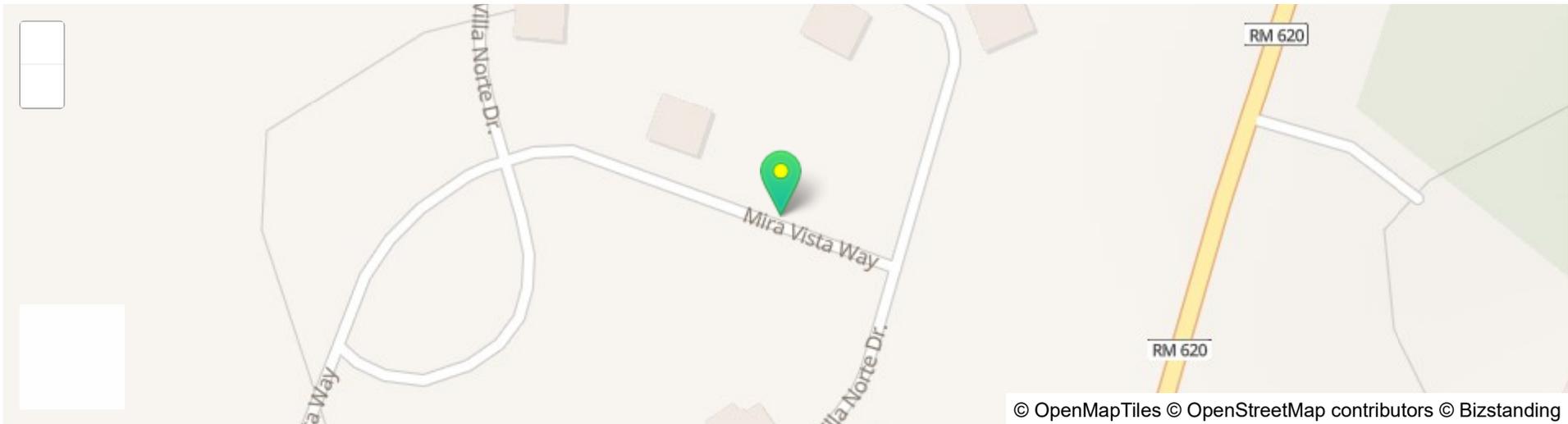
Hot				Hot			
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TX

MC

MC-951

MCELHENNY WOODWORKS, L.P



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Part 1 (Additional Information)

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MCELHENNY WOODWORKS, L.P

★ ★ ★ ☆ ☆

12025 Buckner Rd, Austin, TX 78726

[Business Background Report](#)

Company Profile

Industry: Carpentry Contractor
Doing business as: McElhenny Woodwork Lp
Registration: Dec 28, 2000
Phone: [\(512\) 335-9802](tel:(512)335-9802)
State ID: 0014454410
Business type: Domestic Limited Partnership (LP)
Members (3): Mcelhenny Co., Inc (General Partner)
Alisa Mcelhenny (Partner)
Pat Mceleheny (Partner, Managing Partner)
Agent: Patrick Mcelhenny
12025 Buckner Road, Austin, TX 78726 (Physical)
TIN: 17429805629
Categories: Carpenters

Reviews

[Write Review](#)

No reviews for MCELHENNY WOODWORKS, L.P yet.

This is my Business



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McElhenny Woodworks, LP



Bobby

Home

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MCELHENNY WOODWORKS
Cabinets * Stairs * Custom
12025 Buckner Road -- Austin
(512) 335-9802



Write a post...

Photo/Video

Tag Friends

Check in

Photos



MCELHENNY WOODWORKS, LP
Cabinets * Stairs * Custom Furniture
12025 Buckner Road -- Austin, TX 78726
(512) 335-9802



About

(512) 335-9802

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Byron Duran



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Michael Branton



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State

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[Cortera Support: 800-276-2321](#)

Geode Residential

12013 Buckner Rd
 Austin, TX 78726-1720 | [view map](#)
 (512) 784-1067

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COMPANY OVERVIEW

GEODE RESIDENTIAL is in the Business Services, N.E.C. industry in Austin, TX. This company currently has approximately 1 to 5 employees and annual sales of Under \$500,000.

Texas Siding Company - Guaranteed for Life

Easy Maintenance, Weather Protection, Stain Resistant and No Fading. Call for Free Quote!
amazingexteriors.com

COMPANY DETAILS

Location Type: Single Location
 Industry: Business Services, N.E.C.
 Ownership: Private
 Year Founded: 2014
 Sales Range: Under \$500,000
 Employees: 1 to 5

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LATEST COMPANY NEWS

B-02



There is currently no press for this company.

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RECENT COMPANY ALERTS

Credit Risk Increase	No
Overall Payments	No
Peer Payments	No
Public Records	No
Financial News	No

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COMMUNITY PAYMENT RATINGS

Average:

B-02

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5.0**(Based on 2 Ratings)****LATEST COMMUNITY REVIEWS OF THIS COMPANY (2 REVIEWS)**

Cortera is much more than an awesome business directory! It's an active community where real business people share the real deal on real businesses.

It's invaluable intel that's now available for FREE.

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From: Cindy Smith
To: [Sirwaitis, Sherri](#)
Subject: C14-2020-0040
Date: Tuesday, May 12, 2020 7:55:31 AM

*** External Email - Exercise Caution ***

I live next door at 12013 Buckner Road. The subject property is in between two residential properties and our neighbor owns the property behind it. Our well is very near the western property line. We've heard the proposed development is an automotive shop and used car lot. **its already contaminated by lead for over 10 years no complain there and they support it** The very definition of GR is ...serving neighborhood and community needs... There is already a used car dealer up the road, Volvo is building on the other side of the road, there's an automotive shop at the front of the road. Our community doesn't need more junky cars on the road and I don't want them to put in something without the proper grease/oil traps and disposal because our well could possibly become tainted. Our well is our only water source. I also don't want my property value to go down. **insults my business and we have to go through proper building and permitting and also we must have proper protections such as very large oil drums on site and seperate drum for transmission fluid and seperate one for coolant on site or when we get inspected we get very hefty fine and can be shut down all together. the way the entire street and area is majority auto business including volvo anyone who comes into that street will not be doing residential bc no one wants to live next to all businesses** The used car place up the road already has moved a line of cars outside their fence and they are right up the edge of the narrow road. **can not be held liable for what other businesses do wrong when its not my property and I cant control the other businesses on the street , I got 1.3 acres for that reason so i have plenty enough room and on the back I also have second 1 acre location for extra room** It's not a pleasant experience and I fear that another such business will add to the unsightly mess, but my largest fear is my well being contaminated and my property value going down. **it makes you wonder how I am the issue but they have no problem with their other 2 neighbors who have AC business out of their house and shooting range that feeds lead into their water , no problem with over 10 year old lead contamination**

Mr. Zavareh cut down all the heritage oaks on the property, started building up the building forms, brought in gravel, etc. when the property wasn't zoned for this building. That very act doesn't show me good faith that the property will be developed within city codes which will be safe for my residence. It does show me that he will try anything in hopes that he won't be caught. Did he have a building permit? Did he go through proper planning? **incorect accusation about heritage trees ,no heritage trees city arborist checked and found none since the stumps are still present. if neighbors wouldn't rush to call travis county with complaint right away and they wouldnt give me wrong info this mess would have never have happend , my neighbors are "little too involved in other peoples business" to point that is causing issues for others.I didnt build anything I was given instructions by travis county that I can clear the lot and line up my pads with wood but not to pour concrete and** **CAUTION: This email was received at the City of Austin, from an EXTERNAL source. Please use caution when clicking links or opening attachments. If you believe this to be a malicious and/or phishing email, please forward this email to CSIRT@austintexas.gov.**

My husband and I would like to attend the online zoning and platting commission on May 19, 2020

B-02

Part 1 (Additional Information)

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Tamerlane Enterprises

12015 Buckner Rd, Austin, TX 78726

(512) 331-5186



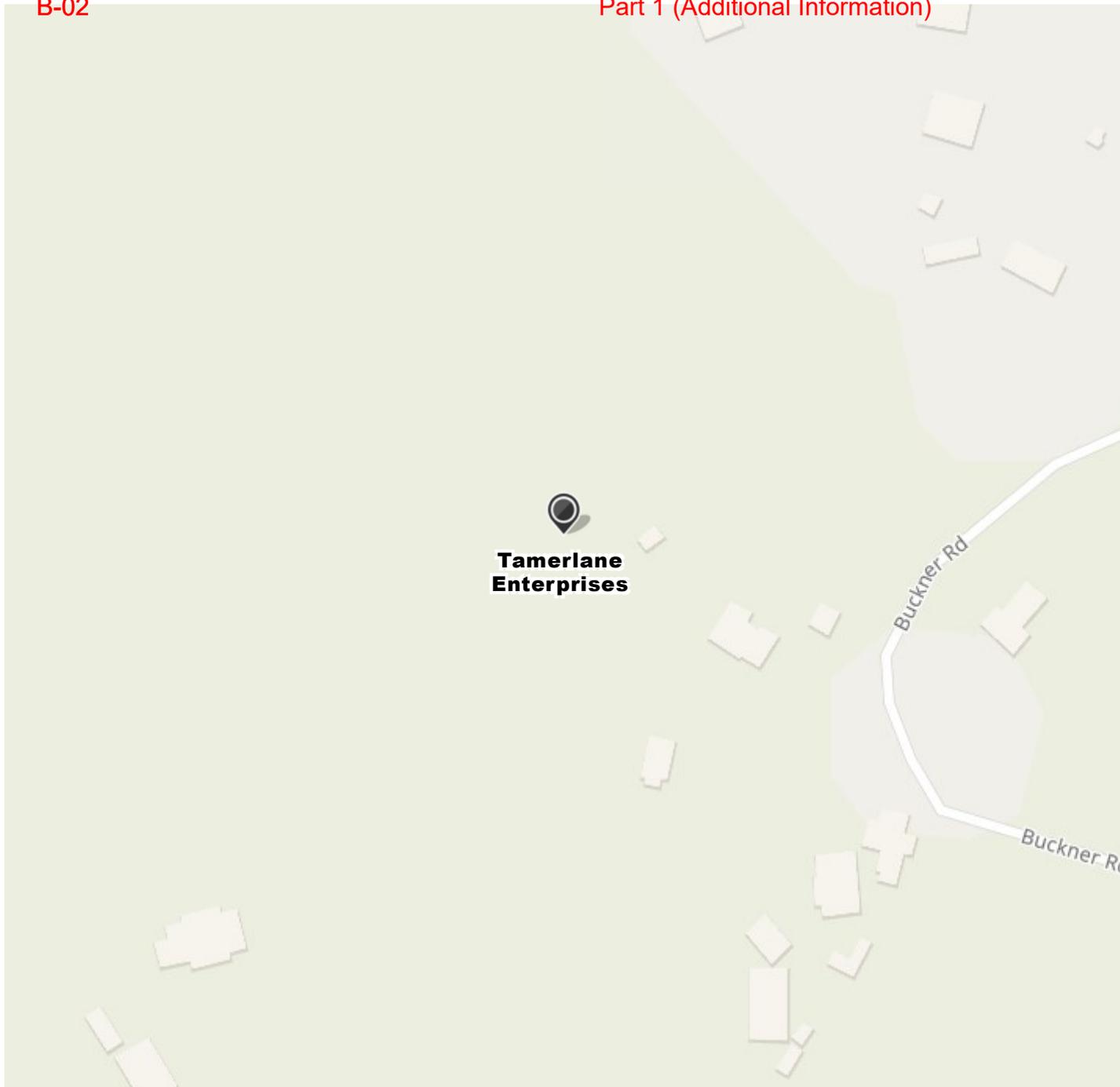
About This Place



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C14-2020-0040 SS 1774
 MARTENS, STEPHANIE
 Or Current Resident
 AUSTIN LOST AND FOUND PETS
 9300 TEA ROSE TRAIL
 AUSTIN TX 78748

C14-2020-0040 SS 0170250313
 JASS 2 INC
 Or Current Resident
 STE 108
 4210 SPICEWOOD SPRINGS RD
 AUSTIN TX 78759-8662

Mutiple business

C14-2020-0040 SS 0170250314
 JASS INC
 Or Current Resident
 STE 108
 4210 SPICEWOOD SPRINGS RD
 AUSTIN TX 78759-8662

multiple business

C14-2020-0040 SS 1228
 MURPHY, PATRICK
 Or Current Resident
 SIERRA CLUB, AUSTIN REGIONAL GROUP
 PO BOX 4998
 AUSTIN TX 78765

C14-2020-0040 SS 0170280101
 SMITH PHILIP M
 Or Current Resident
 12013 BUCKNER RD
 AUSTIN TX 78726-1720

**Business
 GEODE
 RESIDENTIAL**

C14-2020-0040 SS 0172280122
 KINDRED JAMES A
 Or Current Resident
 12011 BUCKNER RD
 AUSTIN TX 78726-1720

**Business KINDRED
 AC SERVICE**

C14-2020-0040 SS 0170250301
 RIVER PLACE HOLDINGS CORPORATION
 Or Current Resident
 %SHANNON HEBERT
 5316 RIVER PLACE BLVD
 AUSTIN TX 78730-1404

**empty house
 commercial
 lease**

C14-2020-0040 SS 0172280119
 SUVA JERRY FRANKLIN II & RITA GARCIA SUVA
 Or Current Resident
 6807 DAURGHTY AVE
 AUSTIN TX 78757

C14-2020-0040 SS 0170280103
 SILVERMAN DEVELOPMENT LTD
 Or Current Resident
 % CARLOS ALMAQUER
 2300 S MCCOLL RD STE A
 MCALLEN TX 78503-1775

privous owner

C14-2020-0040 SS 0172280120
 METTES HAL J & CAROLINE J
 Or Current Resident
 12015 BUCKNER RD
 AUSTIN TX 78726-1720

Tamerlane enterprise

C14-2020-0040 SS 5714655
 CITY OF AUSTIN
 Or Current Resident
 ZONING AND PLATTING COMMISSION
 RAMIN ZAVAREH
 1507 TERRACE VIEW DRIVE
 CEDAR PARK TX 78613

C14-2020-0040 SS 654
 SMITHERMAN, JIM
 Or Current Resident
 THE PARKE HOA
 11149 RESEARCH BLVD #100
 AUSTIN TX 78759

C14-2020-0040 SS 275
 YARBROUGH, BABS
 Or Current Resident
 VOLENTE NEIGHBORHOOD ASSN.
 8100 JOY RD.
 VOLENTE TX 78641

C14-2020-0040 SS 0170250302
 TIME WARNER CABLE TEXAS LLC
 Or Current Resident **Business**
 % REAL ESTATE DEPT
 7820 CRESCENT EXECUTIVE DR
 CHARLOTTE NC 28217-5500

C14-2020-0040 SS 0170250303
 BODINE JOI **Resoulion**
 Or Current Resident **Hospice**
 11825 BUCKNER RD
 AUSTIN TX 78726-1716

C14-2020-0040 SS
 CITY OF AUSTIN
 Or Current Resident
 ZONING AND PLATTING COMMISSION
 SHERRI SIRWAITIS PAZ 5TH-FLOOR
 AUSTIN TX 78767

C14-2020-0040 SS 1530
 CAUVIN, ROGER
 Or Current Resident
 FRIENDS OF AUSTIN NEIGHBORHOODS
 311 W. 5TH ST.
 1006
 AUSTIN TX 78701

C14-2020-0040 SS 1239
 SCOTT, TRAVIS
 Or Current Resident
 LEANDER ISD POPULATION AND SURVEY ANALYSTS
 303 ANDERSON ST.
 COLLEGE STATION TX 77840

C14-2020-0040 SS 0172280121
 MCELHENNY PATRICK M & ALISA R
 Or Current Resident **MCELHENNY WOOD**
 12025 BUCKNER RD **WORKS**
 AUSTIN TX 78726-1720

C14-2020-0040 SS 0172280127
 CRUMP E EUGENE
 Or Current Resident
 12030 BUCKNER RD
 AUSTIN TX 78726-1719

C14-2020-0040 SS 0172280127
 CRUMP JAMES ELDON
 Or Current Resident
 12030 BUCKNER RD
 AUSTIN TX 78726-1719

C14-2020-0040 SS 0172250301
 BUDGET LEASING INC **COMMERCIAL**
 Or Current Resident **VOLVO**
 7216 N INTERSTATE HWY 35
 AUSTIN TX 78752-2604

C14-2020-0040 SS 1596
 SCOTT, DEBBIE
 Or Current Resident
 TNR BCP - TRAVIS COUNTY NATURAL RESOURCES
 700 LAVACA ST.
 AUSTIN TX 78767

C14-2020-0040 SS 1528
 DIRECTOR, EXECUTIVE
 Or Current Resident
 BIKE AUSTIN
 1300 W OLTORF STREET
 SUITE 6
 AUSTIN TX 78704



Shannon Hebert

(866) 974-5220

River Place Holdings

11829 Buckner Rd - Office Space- Short Term

Coworking Space Available in Austin, TX



HIGHLIGHTS

- Quiet
- Large back porch
- Surrounded by oak trees

SPACE	SIZE	TERM	RATE	SPACE USE	CONDITION	AVAILABLE
-------	------	------	------	-----------	-----------	-----------

1st Floor	1,568 SF	Negotiable	Upon Request	Office	N/A	TBD
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Short- term office or Creative space off of 620 near Anderson Mill and 4 Points. Are you needing a “quiet” space away from Home? We are offering flexible terms with the challenging months ahead. Choose your Workspace: - Lounge access: daily appointments 8am - 8pm Monday-Saturday. Limited to 3 people at any given time. \$100 daily - Private Room, unfurnished (3 available)24/7 access and usage of kitchen/bathroom. \$750 monthly Take the space by the day, the week, or by the month. We are flexible and will work with you! Bring your computer and hotspot to the country.

- Space available from coworking provider
- Fits 4 - 6 People
- 3 Private Offices
- 1 Conference Room
- Central Air and Heating
- Kitchen
- Private Restrooms
- Natural Light
- After Hours HVAC Available
- Shower Facilities
- New kitchen appliances
- New fixtures
- Large open common area

ABOUT THE PROPERTY

Located on a quiet, country road off of 620. Spacious property surrounded by trees. Easy access to 183, Anderson Mill, and 2222.

Greenbelt view. Up to three offices available and conference lounge area.

TRANSPORTATION

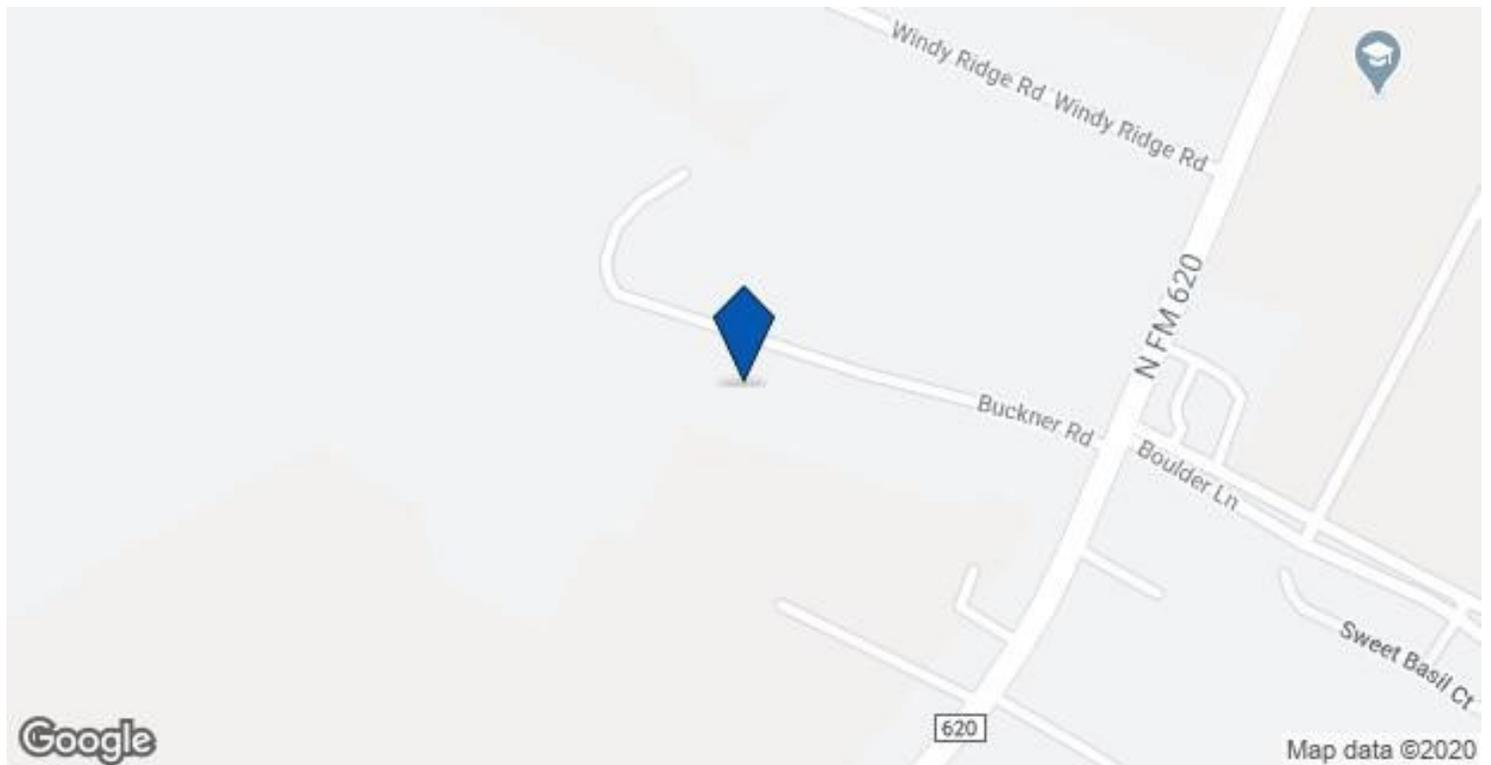
COMMUTER RAIL

Lakeline Station Commuter Rail (Capital MetroRail)		10 min drive	4.6 mi
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AIRPORT

Austin-Bergstrom International Airport		47 min drive	29.5 mi
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MAP OF 11829 BUCKNER RD AUSTIN, TX 78726





92554601_10217072193092796_7618669824394133504_n



IMG_5499



93281765_10217072176052370_3778172594444828672_n



IMG_5505



IMG_5639

IMG_5640



IMG_5240



IMG_5491



IMG_2983



IMG_5638



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Part 1 (Additional Information)

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From: Cindy Smith
To: [Sirwalits, Sheri](#)
Subject: C14-2020-0040
Date: Tuesday, May 12, 2020 7:55:31 AM

*** External Email - Exercise Caution ***

I live next door at 12013 Buckner Road. The subject property is in between two residential properties and our neighbor owns the property behind it. Our well is very near the western property line. We've heard the proposed development is an automotive shop and used car lot. **its already contaminated by lead for over 10 years no complain there and they support it** The very definition of GR is ...serving neighborhood and community needs... There is already a used car dealer up the road, Volvo is building on the other side of the road, there's an automotive shop at the front of the road. Our community doesn't need more junky cars on the road and I don't want them to put in something without the proper grease/oil traps and disposal because our well could possibly become tainted. Our well is our only water source. I also don't want my property value to go down. **insults my business and we have to go through proper building and permitting and also we must have proper protections such as very large oil drums on site and seperate drum for transmission fluid and seperate one for coolant on site or when we get inspected we get very hefty fine and can be shut down all together. the way the entire street and area is majority auto business including volvo anyone who comes into that street will not be doing residential bc no one wants to live next to all businesses** The used car place up the road already has moved a line of cars outside their fence and they are right up the edge of the narrow road. **can not be held liable for what other businesses do wrong when its not my property and I cant control the other businesses on the street , I got 1.3 acres for that reason so i have plenty enough room and on the back I also have second 1 acre location for extra room**It's not a pleasant experience and I fear that another such business will add to the unsightly mess, but my largest fear is my well being contaminated and my property value going down. **it makes you wonder how I am the issue but they have no problem with their other 2 neighbors who have AC business out of their house and shooting range that feeds lead into their water , no problem with over 10 year old lead contamination**

Mr. Zavareh cut down all the heritage oaks on the property, started building up the building forms, brought in gravel, etc. when the property wasn't zoned for this building. That very act doesn't show me good faith that the property will be developed within city codes which will be safe for my residence. It does show me that he will try anything in hopes that he won't be caught. Did he have a building permit? Did he go through proper planning?**incorrect accusation about heritage trees, no heritage trees city arborist checked and found none since the stumps are still present. if neighbors wouldn't rush to call travis county with complaint right away and they wouldnt give me wrong info this mess would have never have happend , my neighbors are "little too involved in other peoples business" to point that is causing issues for others.I didnt build anything I was given instructions by travis county that I can clear the lot and line up my pads with wood but not to pour concrete and CAUTION: This email was received at the City of Austin, from an EXTERNAL source.** Please use caution when clicking links or opening attachments. If you believe this to be a malicious and/or phishing email, please forward this email to CSIRT@austintexas.gov.

My husband and I would like to attend the online zoning and platting commission on May 19, 2020

B-02

Part 1 (Additional Information)

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Travis CAD

Property Search Map Search

Property Search Results > 1 - 1 of 1 for Year 2020

Export Results

New Search

Click the "Details" or "Map" link to view more information about the property or click the checkbox next to each property and click "View Selected on Map" to view the properties on a single map.

Property Address Legal Description

Property ID	Geographic ID	Type	Property Address	Owner Name	DBA Name	Appraise
<input type="checkbox"/> 440706	0170250306	Real	11815 BUCKNER RD TX 78726	SAMAR SIAVASH &	MAGIC TOUCH AUTO / RENOVO SERVICES	

Questions Please Call (512) 834-9317

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