

**PLANNING COMMISSION
HILL COUNTRY ROADWAY SITE PLAN REVIEW SHEET**

CASE NUMBER: SPC-2019-0429C **PC DATE:** June 23, 2020

PROJECT NAME: Vega Multifamily

ADDRESS: 5313 Vega Avenue

AREA: 24.774 acres

APPLICANT: Greg Weaver, St. Andrew's Episcopal School 512-703-9200
1112 W 31st Street
Austin, TX 78705

AGENT: Greg Weaver, St. Andrew's Episcopal School 512-703-9200
1112 W 31st Street
Austin, TX 78705

CASE MANAGER: Rosemary Avila 512-974-2784
Rosemary.avila@austintexas.gov

COUNCIL DISTRICT: 8

WATERSHED: Barton Creek (BSZ, DWPZ)

NEIGHBORHOOD PLAN: East Oak Hill

WATERSHED ORDINANCE: Comprehensive Watershed Ordinance

T.I.A.: N/A

CAPITOL VIEW: N/A

PROPOSED DEVELOPMENT:

The applicant requests approval of a Hill Country Roadway Site Plan in order to construct four multifamily buildings, 330 units total. The site is located within the Low Intensity Zone of Southwest Parkway.

SUMMARY STAFF RECOMMENDATION FOR HCRC SITE PLAN:

Staff recommends approval of this Hill Country Roadway site plan. The site plan complies with all applicable requirements of the Land Development Code and the zoning ordinance (Ord No. 20151008-015). All administrative requirements will be met prior to site plan release.

The site plan must be approved by the Planning Commission because of its location within the Hill Country Overlay. All Hill Country Roadway requirements have been met.

EXISTING ZONING:

The site is zoned GR-MU-CO-NP. Multifamily use is a permitted use in the zoning district. The Conditional Overlay limits the following:

- A. The following uses are prohibited uses on the Property:
- | | |
|----------------------------------|-------------------------------|
| Automotive rentals | Bail bond services |
| Automotive repair services | Business or trade school |
| Automotive sales | Business support services |
| Automotive washing (of any type) | Commercial off-street parking |
| | Communications services |

Drop-off recycling collection facility
 Exterminating services
 Food preparation
 Funeral services
 Hospital services (general)
 Hotel-motel
 Indoor entertainment

Indoor sports and recreation
 Outdoor sports and recreation
 Research services
 Theater
 Outdoor entertainment
 Pawn shop services
 Short-term rental

B. The following uses are conditional uses of the Property:

Alternative financial services
 Community recreation (private)
 Group Home
 Class II Residential treatment

Medical offices (exceeding 5,000 sq. ft. gross floor area)
 Community recreation (public)
 Hospital services (limited)

PROJECT INFORMATION:

TOTAL SITE AREA: 24.774 acres

EXIST. ZONING: GR-MU-CO-NP

REQUIRED PARKING: 564

MAX. BLDG. COVERAGE: 75%

MAX. IMPERV. CVRG: 20%

ALLOWED F.A.R.: 1:1 (HCR)

PROPOSED ACCESS: Vega Avenue

PROVIDED PARKING: 574

PROP. BLDG CVRG: 11.7%

PROP. IMP. CVRG: 19.7%

PROPOSED F.A.R.: 0.37:1

SUMMARY COMMENTS ON SITE PLAN:

LAND USE: This request is for approval of a Hill Country Roadway site plan. This site is located within the Low Intensity Zone of Southwest Parkway. The site plan proposes construction of multifamily buildings.

ENVIRONMENTAL: This site is in the Drinking Water Protection Zone, in the Barton Creek Watershed which is classified as the Barton Springs Zone. All Hill Country Roadway and zoning requirements have been met. All comments are cleared.

TRANSPORTATION: All comments are cleared.

SURROUNDING CONDITIONS: Zoning/ Land Use

North: Southwest Parkway then DR/ Vacant

East: LR-MU-NP/ School

South: GR-CO-NP/ School

West: Vega Avenue then MF- 4-CO-NP/ Apartments

NEIGHBORHOOD ORGANIZATION:

Austin Lost and Found Pets

Aviara HOA

Bike Austin

City of Rollingwood

Covered Bride Property Owners Association, Inc

East Oak Hill Neighborhood Assoc.

Friends of Austin Neighborhoods

Neighborhood Empowerment Foundation

Oak Acres Neighborhood Association

Oak Hill Assoc. Of Neighborhoods (OHAN)

Oak Hill Trails Association

Save Our Springs Alliance

SEL Texas

Sierra Club, Austin Regional Group

TNR BCP- Travis County Natural Resources



7500 Rialto Boulevard, Building II, Suite 100, Austin, Texas 78735
t 512.439.4700 LJA.com TBPE F-1386

September 26, 2019

Development Services Department
City of Austin
P.O. Box 1088
Austin, Texas 78767

Re: **Vega Multifamily
Plans for Site Development
Engineer's Summary Letter
LJA Project Number A214-0416**

To Whom it May Concern:

Attached is the proposed Site Development Plans for the Vega Multifamily project. Vega Multifamily is a proposed multifamily residential development consisting of 330 multifamily units located in the City of Austin Full Purpose Jurisdiction in Travis County, Texas (MAPSCO Grid 612L and City of Austin Grid No. C20/D20). The project includes four (4) buildings, one (1) parking garage, drive aisles, surface parking, one retention/irrigation type water quality pond, one (1) detention pond, and associated utilities.

The subject tract is located at the southeast corner of the intersection of Vega Avenue and Southwest Parkway. The property is bound by vacant land to the south and an existing school to the east. The Austin City Grid number for the property is C20 and D20; the Mapsco Grid number is 612L. The current address is 6113 Southwest Parkway, Austin, Texas, Travis County, 78735.

The property is part of the St. Andrew's School Miller Tract Preliminary Plan and a final plat titled Lot 1 Block A Miller Tract was submitted as C8-2015-0042.1A. legal description of the tract is provided below.

24.774 acres in the Thomas Anderson League Survey No. 17, Abstract No. 2 in Travis County, Texas, being a portion of a 93.342 acre tract conveyed to St. Andrew's Episcopal School in a Special Warranty Deed executed September 10, 2012 and recorded in Document No. 2012152060 of the Official Public Records of Travis County, Texas.

The property is located within the City of Austin's full purpose jurisdiction and the zoning onsite is Community Commercial Mixed Use with a Conditional Overlay and Neighborhood Plan Combining District (GR-MU-CO-NP). The property is shown in the Oak Hill Northwest Quadrangle,

Texas, 7.5 Minute Series. The Travis County Property ID for the subject property is 310576 (Geo ID 0407370205) as shown on the official tax records.

The entire tract lies within the Barton Creek Watershed (USGS Cataloging Unit: 12090205) and drains to Sycamore Creek, a tributary of Barton Creek. The subject tract is located within the Edward's Aquifer Contributing Zone, as seen on the TCEQ GIS mapping of the Edwards Aquifer Zones. The subject property is not located within any floodplains or floodways, as shown on the Flood Insurance Rate Map of Travis County, Map Number 48453C0580H.

The property is in the Austin Water service area for water and wastewater service. The property is within the Austin Independent School District Boundary and Fire Protection falls within the boundaries of Austin Fire Department (AFD).

The property is currently vacant. No known habitable structures exist onsite. No known hazardous materials or waste contamination are suspected onsite.

UTILITIES

Water and wastewater service will be provided by the Austin Water. Electric Service will be provided by Austin Energy. Telecommunication service can be provided by AT&T and Time Warner. Texas Gas indicated that natural gas is available along Southwest Parkway.

DRAINAGE/DETENTION

The property is situated within the Barton Creek Watershed and is classified as a Barton Springs Zone. Water Quality and Detention will be provided onsite. See Engineers Report and Site Development Plans for detailed calculations.

The property is not located in any FEMA floodplains or floodways as shown on the Flood Insurance Rate Map of Travis County, Map Number 48453C0580H.

WATER QUALITY / 2-YEAR STORM RUNOFF

The property is situated within the Barton Creek Watershed and is classified as a Barton Springs Zone. Water Quality and Detention will be provided onsite and will meet the requirements of the Save Our Springs criteria of the Environmental Criteria Manual. See Engineers Report and Site Development Plans for drainage maps and plans that include detailed calculations.

To comply with the water quality requirements, runoff from the improvements will be conveyed to a proposed retention/irrigation water quality pond. The pond will be designed as a sedimentation/filtration pond and will irrigate the entire water quality volume to a spray irrigation field located onsite. The ECM was used to complete the design of the proposed water quality improvements.

DETENTION

Detention is proposed to be provided onsite. In developed conditions, runoff from paved, roofed, and landscaped areas is captured by proposed storm sewer inlets and conveyed to the splitter structure upstream of the proposed water quality improvements onsite. The proposed detention pond will detain the stormwater flows directed from the splitter box and from natural area that drains to the pond via overland flow. An outfall structure is designed to limit the peak flows of the design storms at the Study Point to rates less than or equal to existing conditions. The PondPack Detention Analysis and Summary which includes the model for the existing and proposed improvements with the detention basin is provided in the Engineering Report.

ENVIRONMENTAL FEATURES/ENDANGERED SPECIES**Environmental Features**

The property contains no known environmental features onsite. No known suitable habitat for endangered species exists onsite.

VARIANCES/WAIVERS/UNDERGROUND STORAGE TANKS**Variances/Waivers**

There are no variances or waivers identified in association with this proposed site development plans.

Underground Storage Tanks

There are no known underground storage tanks neither located within the boundary of the proposed subdivision, nor are there any proposed.

IMPERVIOUS COVER

The property is situated within the Barton Springs Zone and Contributing Zone and is therefore limited to 20% impervious cover. A slope map is included in the site development plans and includes the Q-1/Q-2 tables for calculating net site area and allowable impervious cover. The allowed impervious cover is 4.835 acres, and the proposed is 4.68 acres (19.38%).

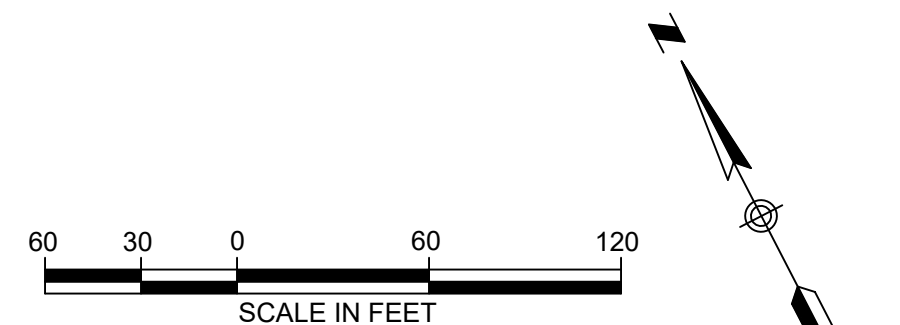
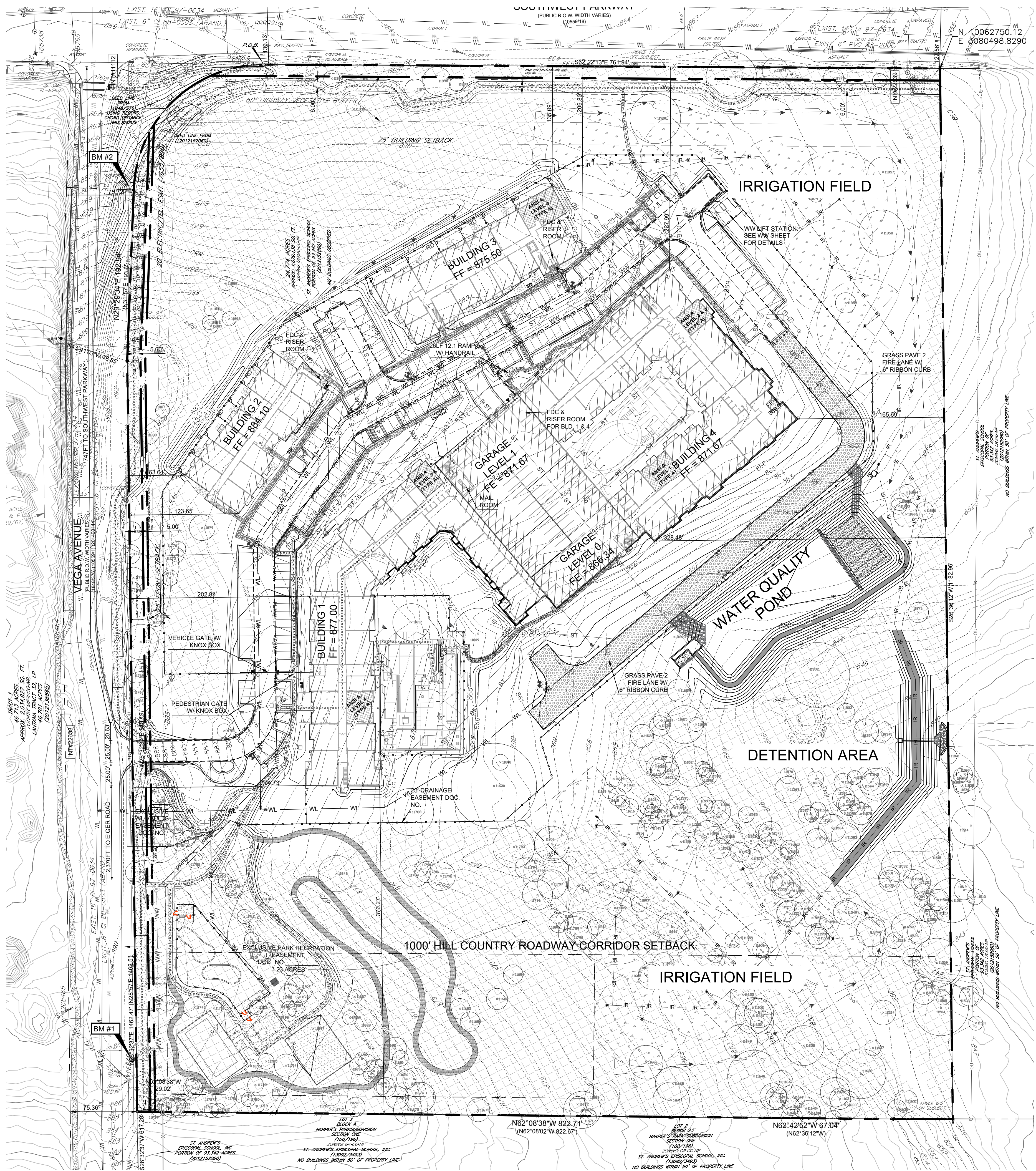
We trust this information will help in your evaluation of the project. If you have any questions, do not hesitate to call or email.

Sincerely,


Michael P. Porvaznik, P.E.
Senior Project Manager

9/26/19





LEGEND		
PROPOSED	EXISTING	
		CONTOUR LINE
		40% NATURAL AREA
		CONCRETE SIDEWALK
		PERVIOUS SIDEWALK
		GRASS PAVERS
		SIDEWALK RAMP
		HANDICAPPED PARKING SPACE & SIDEWALK RAMP
		CROSSWALK
ST	ST	STORM SEWER LINE
WW	WW	WASTEWATER LINE
		WASTEWATER SERVICE
WL	WL	WATER LINE
		WATER SERVICE
		CONDENSATE RECOVERY
		IRRIGATION LINE
		WATER VALVE
		FIRE HYDRANT
		WASTEWATER MANHOLE
		STORMSEWER MANHOLE
		CURB INLET
		GRATE INLET
		1/2" REBAR FOUND (OR AS NOTED)
		1/2" REBAR WITH CAP FOUND
		1/2" REBAR WITH CHAPARRAL CAP SET
		WATER METER
		UTILITY POLE
		OVERHEAD UTILITIES
		ELEC. UTILITY
		ELEC. MANHOLE
		LIGHT POLE
		TELEPHONE UTILITY
		UNDERGROUND FIBER OPTIC MARKER
		TELEPHONE MANHOLE
		UNDERGROUND GAS MARKER
		CHAIN LINK FENCE

BENCHMARK INFORMATION:

BM #1: SQUARE CUT ON CONCRETE BASE OF METAL TRANSMISSION POLE LOCATED ALONG THE EAST SIDE OF VEGA AVENUE APPROX. 23' NORTH OF A WASTEWATER MANHOLE NEAR THE SOUTHWEST CORNER OF THE SUBJECT TRACT.

ELEVATION = 888.67'
VERTICAL DATUM: NAVD 88 (GEOID 128)

BM #2: SQUARE CUT ON CONCRETE BASE OF METAL TRANSMISSION POLE LOCATED ALONG THE EAST SIDE OF VEGA AVENUE APPROX. 200' SOUTH OF THE INTERSECTION OF VEGA AVENUE AND SOUTHWEST PARKWAY.

ELEVATION = 876.47'
VERTICAL DATUM: NAVD 88 (GEOID 128)

NATURAL AREA CALCULATIONS

SITE AREA = 24.173 ACRES
REQ'D 40% NATURAL AREA = 9.67 ACRES
PRESERVED NATURAL AREA = 10.553 ACRES (42.5%)

*NOTE: IF ANY ENCROACHMENT INTO PRESERVED NATURAL AREA OCCURS, AREA SHALL BE REVEGETATED PER CITY OF AUSTIN STANDARD SPECIFICATION 609S

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

Know what's below.
Call before you dig.

SITE PLAN RELEASE	
FILE NUMBER: SPC-2019-0429C	EXPIRATION DATE: _____
CASE MANAGER: JONATHAN DAVILA	APPLICATION DATE: 09/27/2019
APPROVED ADMINISTRATIVELY ON: _____	
APPROVED BY PLANNING COMMISSION ON: _____	
APPROVED BY CITY COUNCIL ON: _____	
under Section 142 of Chapter 25-5 of the Austin City Code.	

DEVELOPMENT SERVICES DEPARTMENT	
DATE OF RELEASE: _____	Zoning: _____
Rev. No. 1 _____	Correction No.1 _____
Rev. No. 2 _____	Correction No.2 _____
Rev. No. 3 _____	

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

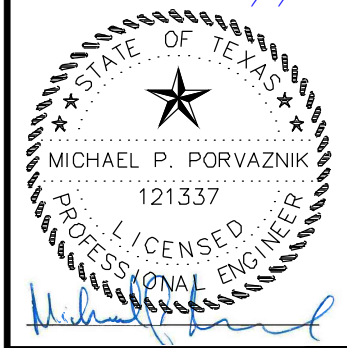
VEGA MULTI-FAMILY
PLANS FOR SITE DEVELOPMENT

OVERALL PROJECT LAYOUT

5313 VEGA AVENUE

REVISIONS	
NO	DESCRIPTION

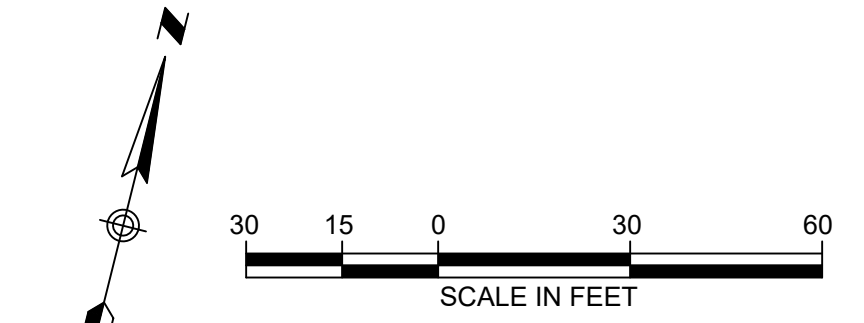
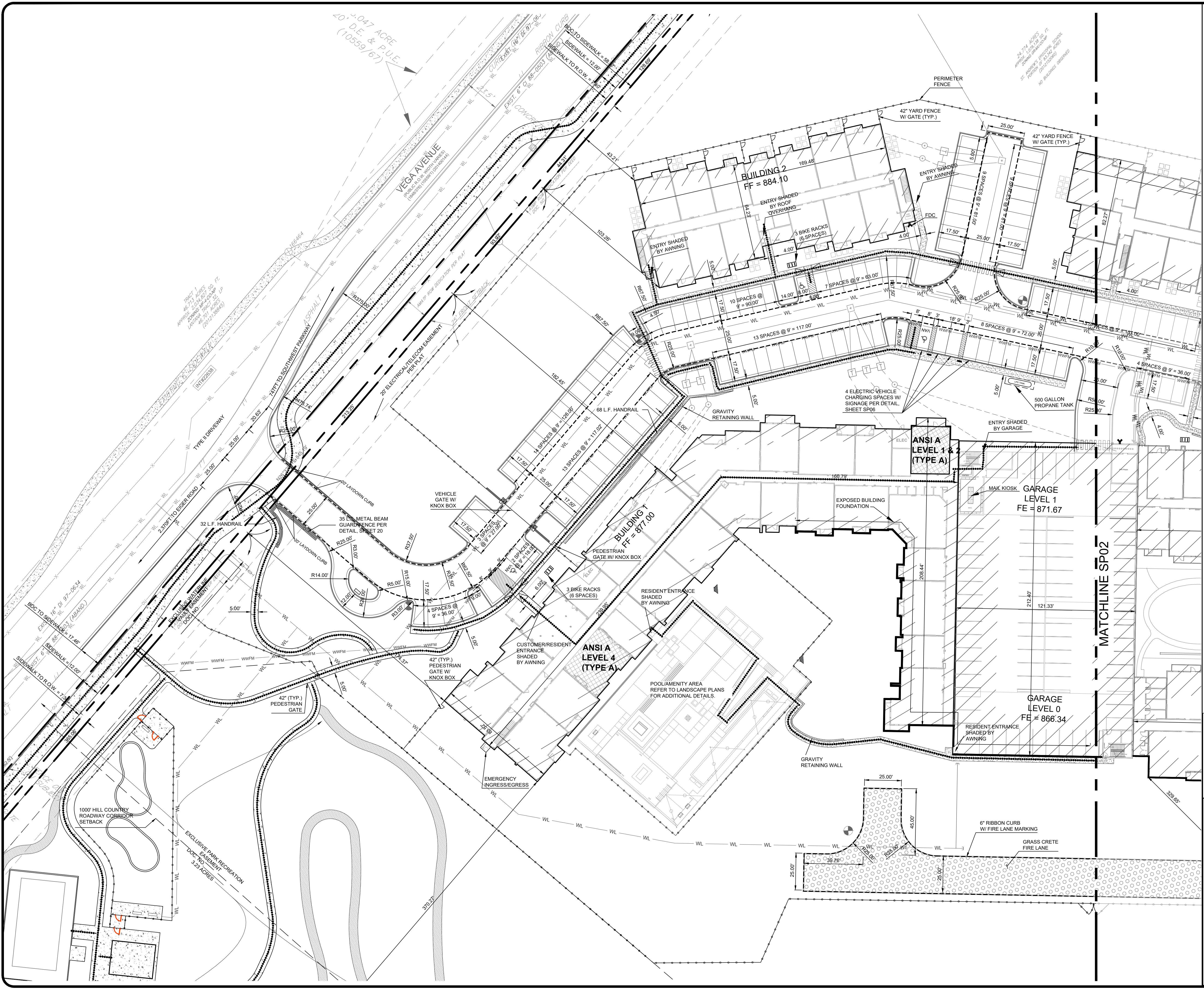
DATE: 09/27/2019	DESIGNED BY: KCQ
	DRAWN BY: KCQ
	CHECKED BY: SDM
	DRAWING NAME: A214-0416-SPD-1000



Phone 512.439.4700
Fax 512.439.4716
FRN-F-1386

LJA Engineering, Inc.
7500 Riata Boulevard
Building II, Suite 100
Austin, Texas 78735

JOB NUMBER: A214-0416
OP01
SHEET NO. 06
OF 87 SHEETS



PROPOSED	EXISTING	
[Symbol]	[Symbol]	CONCRETE SIDEWALK
[Symbol]	[Symbol]	PERMEABLE CONCRETE SIDEWALK
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- NOTES:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
 3. ALL SIDEWALKS ADJACENT TO BACK OF CURB SHALL BE 5' WIDE. ALL OTHER SIDEWALKS SHALL BE 4' WIDE UNLESS OTHERWISE NOTED.
 4. PAVEMENT SHALL BE CONCRETE OR ASPHALT AS REQUIRED. REFER TO GEOTECHNICAL REPORT FOR PAVEMENT REQUIREMENTS.
 5. THE SECURITY GATES MUST HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. IF THE GATES ARE TO BE CONTROLLED BY AN ELECTRIC GATE OPERATOR, THE EQUIPMENT MUST BE LISTED IN ACCORDANCE WITH UL325. GATES INTENDED FOR AUTOMATIC OPERATION MUST BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200. UPON ACTIVATION OF A KNOX SWITCH, THE GATE SHALL OPEN AND REMAIN OPEN UNTIL SWITCH IS RESET.
 6. IN COMPLIANCE WITH HILL COUNTRY ROADWAY REQUIREMENTS, THE BUILDING DESIGN SHALL UTILIZE STONE AND WOOD-LIKE FIBER CEMENT SIDING FOR THE EXTERIOR MATERIALS, PER THE ARCHITECTURAL PLANS. THE DESIGN DOES NOT INCLUDE MIRROR GLASS.

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APPROVED BY PLANNING COMMISSION ON: _____	
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VEGA MULTI-FAMILY PLANS FOR SITE DEVELOPMENT

DETAILED SITE PLAN SHEET 1

5313 VEGA AVENUE

NO.	DATE	BY	REVISIONS	DESCRIPTION

DATE: 7/12/2019

DESIGNED BY: KCQ

DRAWN BY: KCQ

CHECKED BY: SDM

DRAWING NAME: A214-0416-SP01.DWG

STATE OF TEXAS

MICHAEL P. PORVAZNIK

121337

PROFESSIONAL ENGINEER

LJA Engineering, Inc.

Phone 512.439.4700

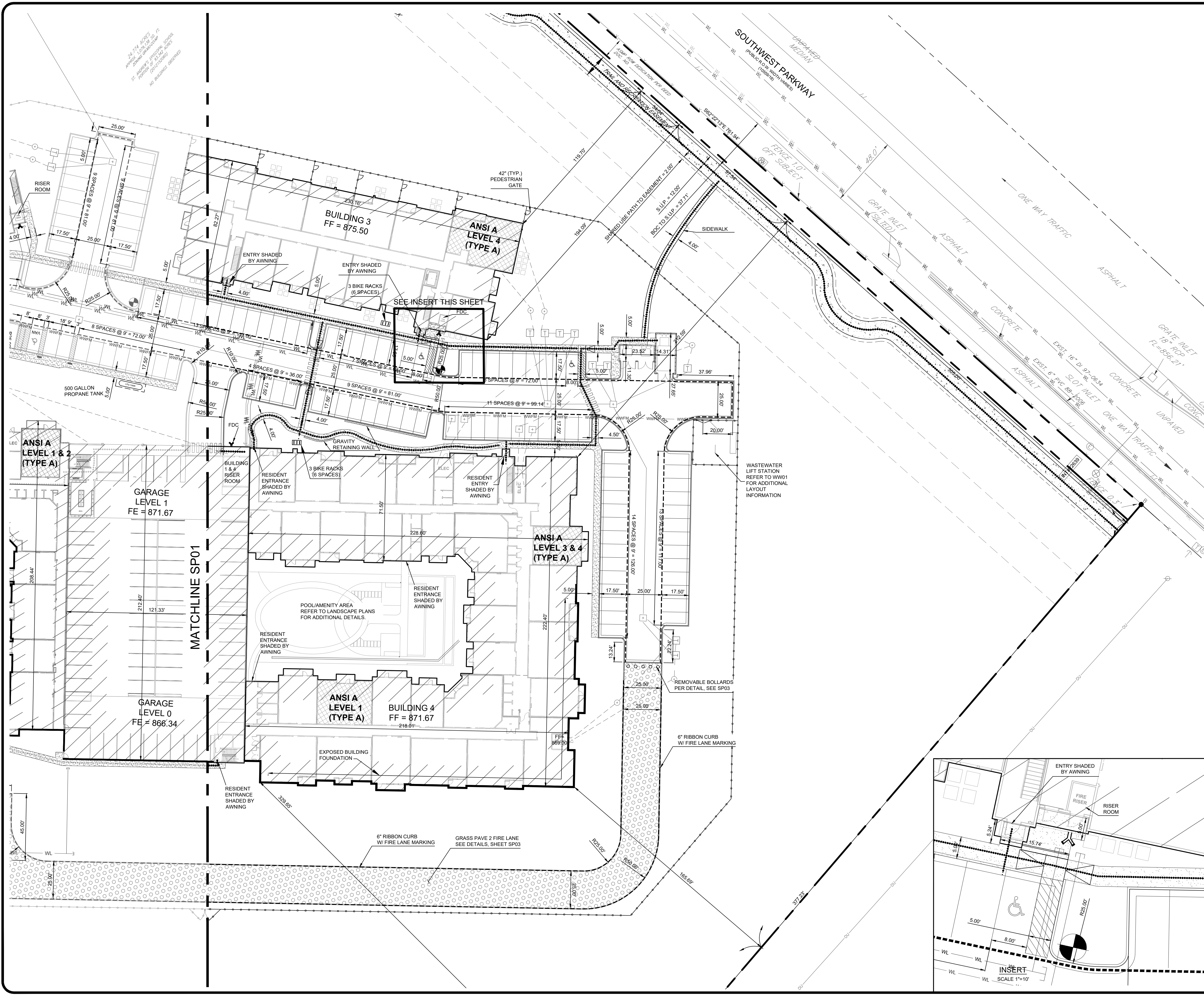
Fax 512.439.4716

7500 Riata Boulevard

Building II, Suite 100

Austin, Texas 78735

JOB NUMBER:	A214-0416
SP01	
SHEET NO.	16
OF 87	SHEETS



24774-0000
APPROVED FOR RECORD
BY: JONATHAN DAVILA
DATE: 06/15/2020
NO DAMAGES OBSERVED

30 15 0 30 60
SCALE IN FEET

LEGEND

PROPOSED	EXISTING	
[Pattern]	[Pattern]	CONCRETE SIDEWALK
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811
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DEVELOPMENT SERVICES DEPARTMENT

DATE OF RELEASE: _____ Zoning: _____
Rev. No. 1 _____ Correction No.1 _____
Rev. No. 2 _____ Correction No.2 _____
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SPC-2019-0429C

DATE: 7/12/2019

DESIGNED BY: KCQ

DRAWN BY: KCQ

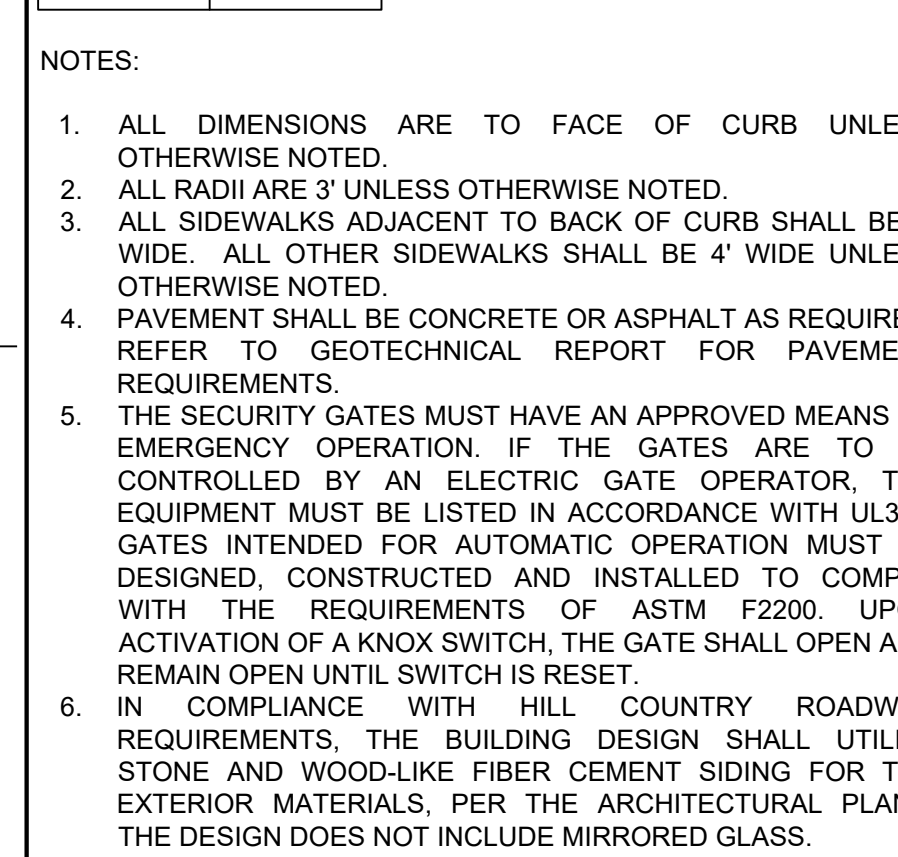
CHECKED BY: SDM

DRAWING NAME: A214-0416-P-SPI1 DWG



JOB NUMBER:
A214-0416

SHEET NO.



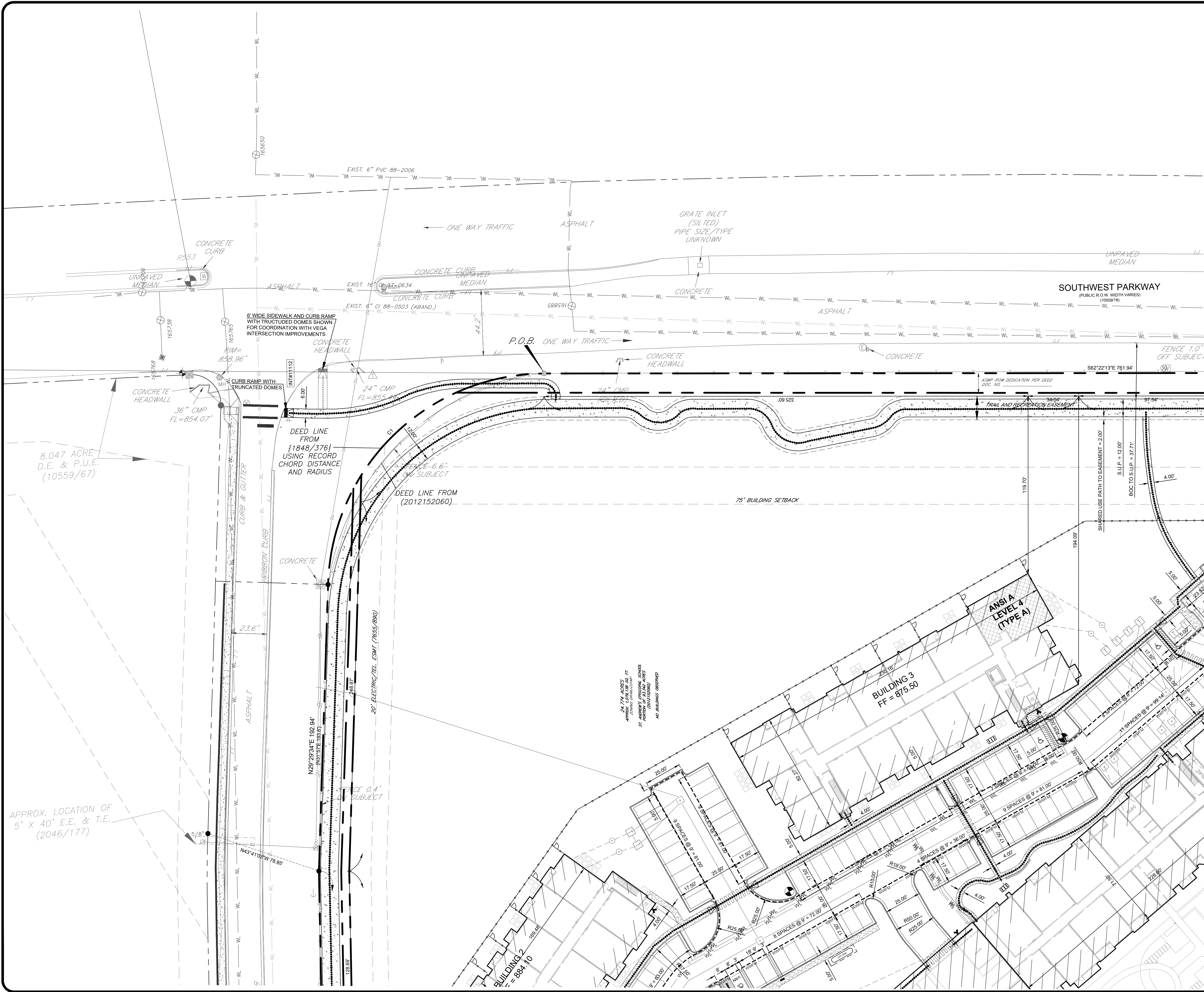
SITE PLAN RELEASE

RELIGION/ETHNICITY/SEX/AGE/SEX/AGE

SPC-2019-0429C

1102 00 02 11 022.0

4/27/24-10/15-2024
User: C:\Users\j...
Last Modified: Jun 12, 2024 - 09:41
Plot Date/Time: Jun 12, 2024 - 09:55:43



LEGEND

PROPOSED	EXISTING	DESCRIPTION
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NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS ADJACENT TO BACK OF CURB SHALL BE 5' WIDE. ALL OTHER SIDEWALKS SHALL BE 4' WIDE UNLESS OTHERWISE NOTED.
- PAVEMENT SHALL BE CONCRETE OR ASPHALT AS REQUIRED. REFER TO GEOTECHNICAL REPORT FOR PAVEMENT REQUIREMENTS.
- THE SECURITY GATES MUST HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. IF THE GATES ARE TO BE CONTROLLED BY AN ELECTRIC GATE OPERATOR, THE EQUIPMENT MUST BE LISTED IN ACCORDANCE WITH UL325. GATES INTENDED FOR AUTOMATIC OPERATION MUST BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200. UPON ACTIVATION OF A KNOX SWITCH, THE GATE SHALL OPEN AND REMAIN OPEN UNTIL SWITCH IS RESET.
- IN COMPLIANCE WITH HILL COUNTRY ROADWAY REQUIREMENTS, THE BUILDING DESIGN SHALL UTILIZE STONE AND WOOD-LIKE FIBER CEMENT SIDING FOR THE EXTERIOR MATERIALS. PER THE ARCHITECTURAL PLANS. THE DESIGN DOES NOT INCLUDE MIRRORING GLASS.

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

811
Know what's below.
Call before you dig.

SITE PLAN RELEASE

FILE NUMBER: SPC-2019-0429C EXPIRATION DATE: 09/27/2019
CASE MANAGER: JONATHAN DAVILA APPLICATION DATE: 09/27/2019
APPROVED ADMINISTRATIVELY ON: _____
APPROVED BY PLANNING COMMISSION ON: _____
APPROVED BY CITY COUNCIL ON: _____
under Section 142 of Chapter 25-5 of the Austin City Code.

DEVELOPMENT SERVICES DEPARTMENT
DATE OF RELEASE: _____ Zoning: _____
Rev. No. 1 _____ Correction No.1 _____
Rev. No. 2 _____ Correction No.2 _____
Rev. No. 3 _____

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

VEGA MULTI-FAMILY PLANS FOR SITE DEVELOPMENT

DETAILED SITE PLAN SHEET 4

5313 VEGA AVENUE

DATE: 7/12/2019
DESIGNED BY: KCQ
DRAWN BY: KCQ
CHECKED BY: SDM
DRAWING NAME: 2/14/2019-SP04-12002

LJA Engineering, Inc.
7500 Riata Boulevard
Building II, Suite 100
Austin, Texas 78735
Phone 512.439.4700
Fax 512.439.4716
FRNF-1386

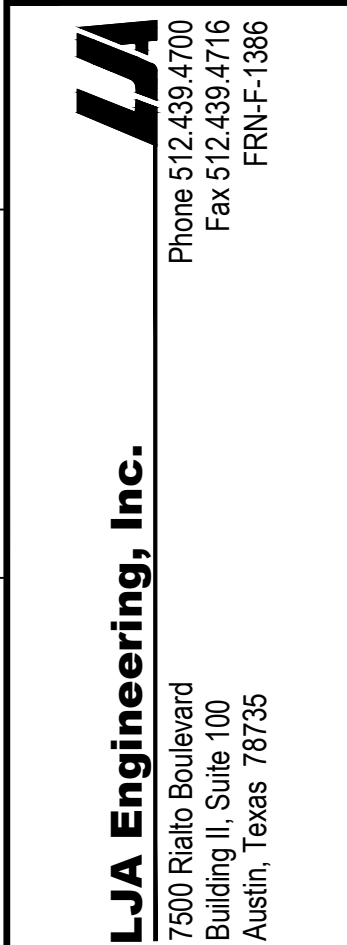
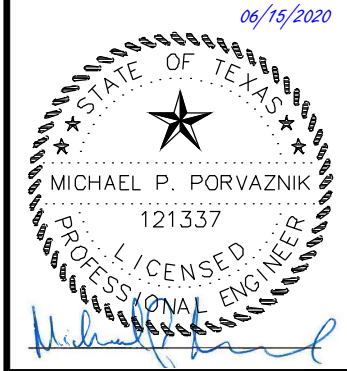
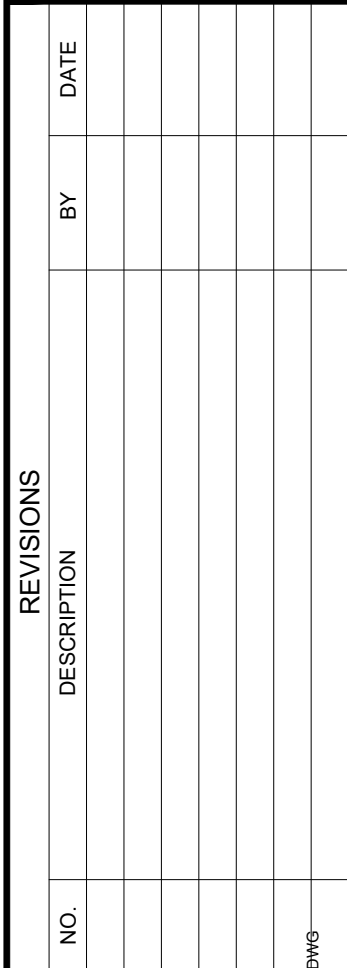
JOB NUMBER:
A214-0416

SP04

SHEET NO.
19

OF 87 SHEETS

SPC-2019-0429C



FIRE DEPARTMENT

1. THE AUSTIN FIRE DEPARTMENT REQUIRES ASPHALT OR CONCRETE PAVEMENT PRIOR TO CONSTRUCTION AS AN ALL WEATHER SURFACE).
2. HYDRANTS MUST BE INSTALLED WITH THE CENTER OF THE 4-INCH OPENING AT LEAST EIGHTEEN (18) INCHES ABOVE FINISHED GRADE. THE 4-INCH OPENING MUST FACE THE DRIVEWAY OR STREET WITH A THREE (3) TO SIX (6) FOOT SETBACK FROM CURBSIDE). NO OBSTRUCTION IS ALLOWED WITHIN THREE (3) FEET OF ANY HYDRANT AND THE 4-INCH OPENING MUST BE TOTALLY UNOBSTRUCTED FROM THE STREET.
3. TIMING OF INSTALLATION: WHEN FIRE PROTECTION FACILITIES ARE INSTALLED BY THE DEVELOPER, SUCH FACILITIES INCLUDE ALL SURFACE ACCESS ROADS WHICH SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. WHERE ALTERNATE METHODS OF PROTECTION ARE PROVIDED, AS APPROVED BY THE FIRE CHIEF, THE ABOVE MAY BE MODIFIED OR WAIVED.
4. ALL PERVIOUS/DECORATIVE PAVING SHALL BE ENGINEERED AND INSTALLED FOR 80,000 LB. LIVE VEHICLE LOADS. ANY PERVIOUS/DECORATIVE PAVING WITHIN 100' OF ANY BUILDING MUST BE APPROVED BY THE FIRE DEPARTMENT.
5. COMMERCIAL DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN TEN (10) FEET OF OPENINGS, COMBUSTIBLE WALLS, OR COMBUSTIBLE EAVE LINES.
6. FIRE LANES DESIGNATED ON SITE PLAN SHALL BE REGISTERED WITH CITY OF AUSTIN FIRE MARSHAL'S OFFICE AND INSPECTED FOR FINAL APPROVAL.
7. VERTICAL CLEARANCE REQUIRED FOR FIRE APPARATUS IS 14 FEET FOR FULL WIDTH OF ACCESS DRIVE.
8. FIRE DEPARTMENT ACCESS ROADS AND WATER SUPPLY FOR FIRE PROTECTION MUST BE INSTALLED AND SERVICEABLE PRIOR TO AND DURING BUILDING CONSTRUCTION.

CITY OF AUSTIN ELECTRIC UTILITY NOTES

1. THE ELECTRIC UTILITY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. THE UTILITY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER 8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
2. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH AN EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRICAL FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING, AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
3. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
4. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COST INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
5. ANY RELOCATION OF EXISTING ELECTRIC FACILITIES SHALL BE AT OWNERS EXPENSE.

SITE PLAN RELEASE NOTES

1. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE DEVELOPMENT SERVICES DEPARTMENT.
2. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
3. ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE LAND DEVELOPMENT CODE (CHAPTER 25-10). ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
4. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
5. ALL EXISTING STRUCTURES SHOWN TO BE REMOVED WILL REQUIRE A DEMOLITION PERMIT FROM THE CITY OF AUSTIN DEVELOPMENT SERVICES DEPARTMENT.
7. A DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NON-CONSOLIDATED OR PLANNING COMMISSION APPROVED SITE PLANS.
8. FOR DRIVEWAY CONSTRUCTION, THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGE TO UTILITIES.
9. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A CONCRETE PERMIT IS REQUIRED.
10. COMPLIANCE WITH THE COMMERCIAL AND MULTI-FAMILY RECYCLING ORDINANCE IS MANDATORY FOR MULTI-FAMILY COMPLEXES WITH 100 OR MORE UNITS AND BUSINESS AND OFFICE BUILDINGS WITH 100 OR MORE EMPLOYEES ON SITE.

SITE PLAN REQUIREMENTS PER RESTRICTIVE COVENANT (C14R-86-077)

- A) ANY STRUCTURE CONSTRUCTED ON THIS SITE SHALL NOT EXCEED FOUR STORIES OR A HEIGHT GREATER THAN 60 FEET, WHICHEVER IS LESS.
- B) AFTER CERTIFICATE OF OCCUPANCY IS ISSUED BY THE CITY OF AUSTIN, THE OWNER SHALL:
- (i) PROVIDE FIELD NOTES FOR THE PORTION OF THE SITE SITUATED WITHIN THE 100-YEAR FLOODPLAIN, AND
- (ii) NOT OBJECT TO SAID FLOODPLAIN AREA BEING REZONED "RR" RURAL RESIDENCE DISTRICT AS DEFINED IN CHAPTER 13-2 OF THE AUSTIN CITY CODE.

GENERAL NOTES

1. FOR MORE DETAILED SITE PLAN INFORMATION SEE "SITE PLAN" SHEET SP-1.
2. SEE SHEET EC-1 FOR TREE TYPES AND SIZES.
3. ALL PROPOSED SIDEWALK RAMPS ARE TYPE 1B.
4. FOR EXISTING BUILDINGS LOCATED WITHIN 50 FEET OF THIS SITE, SEE SHEET SP-1.
5. ALL DIMENSIONS ARE TO FACE OF CURB IN PARKING AND DRIVE AISLE AREAS.
6. ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT SHALL BE REVEGETATED AND ALL PERMANENT EROSION/SEDIMENTATION CONTROLS COMPLETED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS FOR THAT PHASE. TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE ADJUSTED AS NEEDED PRIOR TO THIS RELEASE TO INSURE THAT SUBSEQUENT AREAS ARE ADEQUATELY COVERED. ADDITIONALLY, ANY AREA WITHIN THE LIMIT OF CONSTRUCTION OF THE PROJECT WHICH IS NOT ADEQUATELY REVEGETATED SHALL BE BROUGHT INTO COMPLIANCE PRIOR TO THE RELEASE OF CERTIFICATE OF OCCUPANCY.
7. BICYCLE PARKING SHALL BE CLASS III, RACK TYPE I, 1-4 SPACES. REFER TO DETAIL 710S-1 ON THIS SHEET.
8. FIRE DEPARTMENT ACCESS LANES WILL REQUIRE WHITE LETTERING ON A RED BACKGROUND WITH THE WORDS "FIRE ZONE/ TOW AWAY ZONE" IN LETTERS AT LEAST 3 INCHES TALL AT INTERVALS OF 35 FEET OR LESS.
9. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.
10. CONTRACTOR AND/OR SUBCONTRACTOR SHALL TAKE EVERY PRECAUTION TO NOT DAMAGE CONSTRUCTED CURB AND GUTTER, PAVEMENT AND/OR SIDEWALKS. ANY DAMAGE TO CONSTRUCTED CURB AND GUTTER, PAVEMENT AND/OR SIDEWALKS MAY RESULT IN THE RECONSTRUCTION OF THE DAMAGED AREA(S) BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
11. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
12. EXTERIOR LIGHTING ABOVE THE SECOND FLOOR IS PROHIBITED IN THE GO, LR, GR, CS, OR CS-1 ZONING DISTRICTS, WHEN ADJACENT TO AN SF-5 OR MORE RESTRICTIVE ZONING DISTRICT.

COMPATIBILITY STANDARDS NOTES:

- a. ALL EXTERIOR LIGHTING WILL BE HOODED OR SHIELDED FROM THE VIEW OF ADJACENT RESIDENTIAL PROPERTY. (SECTION 25-2.106f)
- b. ALL DUMPSTERS AND ANY PERMANENTLY PLACED REFUSE RECEPTACLES WILL BE LOCATED AT A MINIMUM OF TWENTY (20) FEET FROM A PROPERTY USED OR ZONED AS SF-5 OR MORE RESTRICTIVE. (SECTION 25-2.106f)
- c. THE USE OF HIGHLY REFLECTIVE SURFACES, SUCH AS REFLECTIVE GLASS AND REFLECTIVE METAL ROOFS, WHOSE PITCH IS MORE THAN A RUN OF SEVEN (7) TO A RISE OF TWELVE (12), WILL BE PROHIBITED. (SECTION 25-2.106f)
- d. THE NOISE LEVEL OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 DBA AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL USES. (SECTION 25-2.106f)

SCREENING:

1. COMPATIBILITY SCREENING ALONG NORTHERN PROPERTY LINE, WHERE ADJACENT TO SINGLE FAMILY ZONING, SHALL BE ACCOMPLISHED BY PRESERVATION OF EXISTING DENSE VEGETATION.
2. SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR EQUAL QUALITY TO PRINCIPAL BUILDING MATERIALS.

VEGA MULTIFAMILY

Total Project Area	=	24.774	Ac.	1,079,138	s.f.
Dedicated ROW	=	0.373	Ac.		
Net Site Area	=	24.214	Ac.	1,062,910	s.f.
Zoning	=	GR-MU-CO-NP			
Allowable Imp Cover *	=	4.843	Ac.	20%	210,951 SF
Maximum FAR	=	1,062.910	S.F.	1 : 1	
Allowable Height	=	60	ft		
Allowable Building Coverage	=	75	%		
Land use	=	Multi-family			
Austin Full Purpose Jurisdiction	=				
*90% allowable per zoning, 20% allowable per BSZ					

Site Total					
Total Imp Cover	=	4,759	Ac.	19.7%	207,314 SF
Total Bldg Coverage	=	2,909	Ac.	11.7%	126,721 SF
Total Parking/Drives	=	1,561	Ac.		68,017 SF
Concrete / Sidewalks	=	0.226	Ac.		9,839 SF
Future Parkland	=	0.063	Ac.		2,737 SF
Public Park Sidewalks	=	0.085	Ac.		3,713 SF
Public Sidewalks	=	0.587	Ac.		25,583 SF
Porous Concrete**	=	0.167	Ac.		7,271 SF
Fire Lanes**	=	0.384	Ac.		16,726 SF

Prop FAR	=	392.093	SF	0.37	1
Prop Height	=	4	Stories	53	ft
Prop GFA	=	392,093	S.F.		
Foundation Type	=	Slab on Grade			
Proposed Density	=	13.3 Units / Acre			
Required Open Space (200sf/unit) =					66,000 SF
Provided Open Space	=				855,596 SF
**porous concrete sidewalk and Grasspave fire lanes do not count toward impervious cover calculations					

Unit / Building Mix Data

Unit Type	No.	1BR	2BR	3BR
A1	43	43		
A2	36	36		
A3	56	56		
A4	32	32		
A5	3	3		
A6	4	4		
A7	33	33		
B1	20		20	
B2	60		60	
B3	12		12	
B4	12		12	
B5	4		4	
B6	1		1	
C1	6			6
C1 - alt	8			8
Total	330	207	109	14

Parking Calculations

Type of Bedroom Units	Units	SP/Unit	Total Spaces				
1 BR	207	1.5	310.5				
2 BR	109	2.0	218				
3 BR	14	2.5	35				
	330		564				
Required Parking	=	564 Spaces					
Req'd Accessible Spaces	=	11 Spaces					
Provided Parking			Van	EV	Access.		
Surface Spaces	=	170	0	3	1	178	
Garage Spaces	=	388	0	6	2	396	
Carport Spaces	=	0	0	0	0	0	
Total Provided Parking	=	558	0	9	3	570	
Bicycle Parking	5%	28 Spaces					
Prov. Surface Parking	=	24 Spaces					
Prov. Garage Parking	=	112 Spaces					
Total	=	136 Spaces					

Minimum Site Area Calculations

Subchapter E, §4.2.1.D.6.c (MJ Combining District with GR)

Unit Type	No.	Unit GSF	# Bedrooms	Min. Req'd Site Area
A1	43	687	1	43000 sf
A2	36	767	1	36000 sf
A3	56	854	1	56000 sf
A4	32	942	1	32000 sf
A5	3	810	1	3000 sf
A6	4	1036	1	4000 sf
A7	33	972	1	33000 sf
B1	20	1149	2	24000 sf
B2	60	1231	2	72000 sf
B3	12	1307	2	14400 sf
B4	12	1340	2	14400 sf
B5	4	1542	2	4800 sf
B6	1	1315	2	1200 sf
C1	6	1529	3	7200 sf
C1 - alt	7	1520	3	8400 sf
C1 - ANSI	1	1540	3	1200 sf
TOTAL				354800 sf
SITE AREA PROVIDED				1062910 sf

GROSS FLOOR AREAS

Building	GSF (sf)
Building 1	128,569
Building 2	49,636
Building 3	66,624
Building 4	147,264
TOTAL	392,093

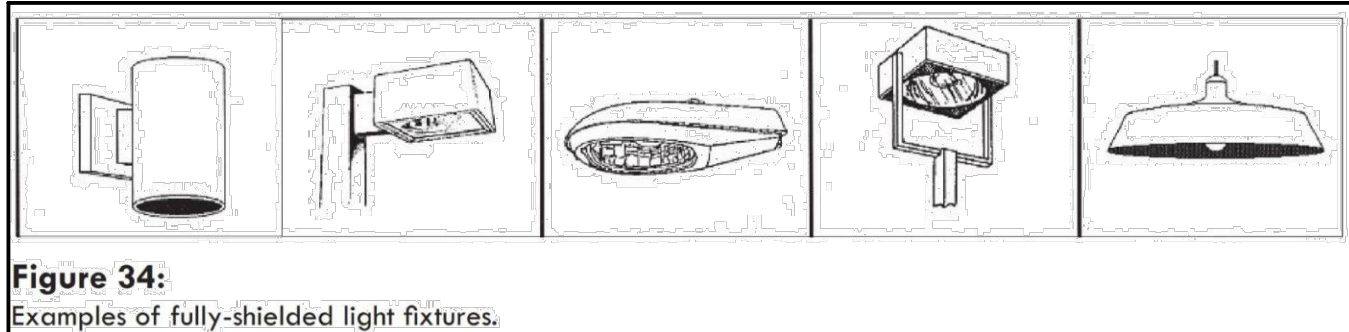
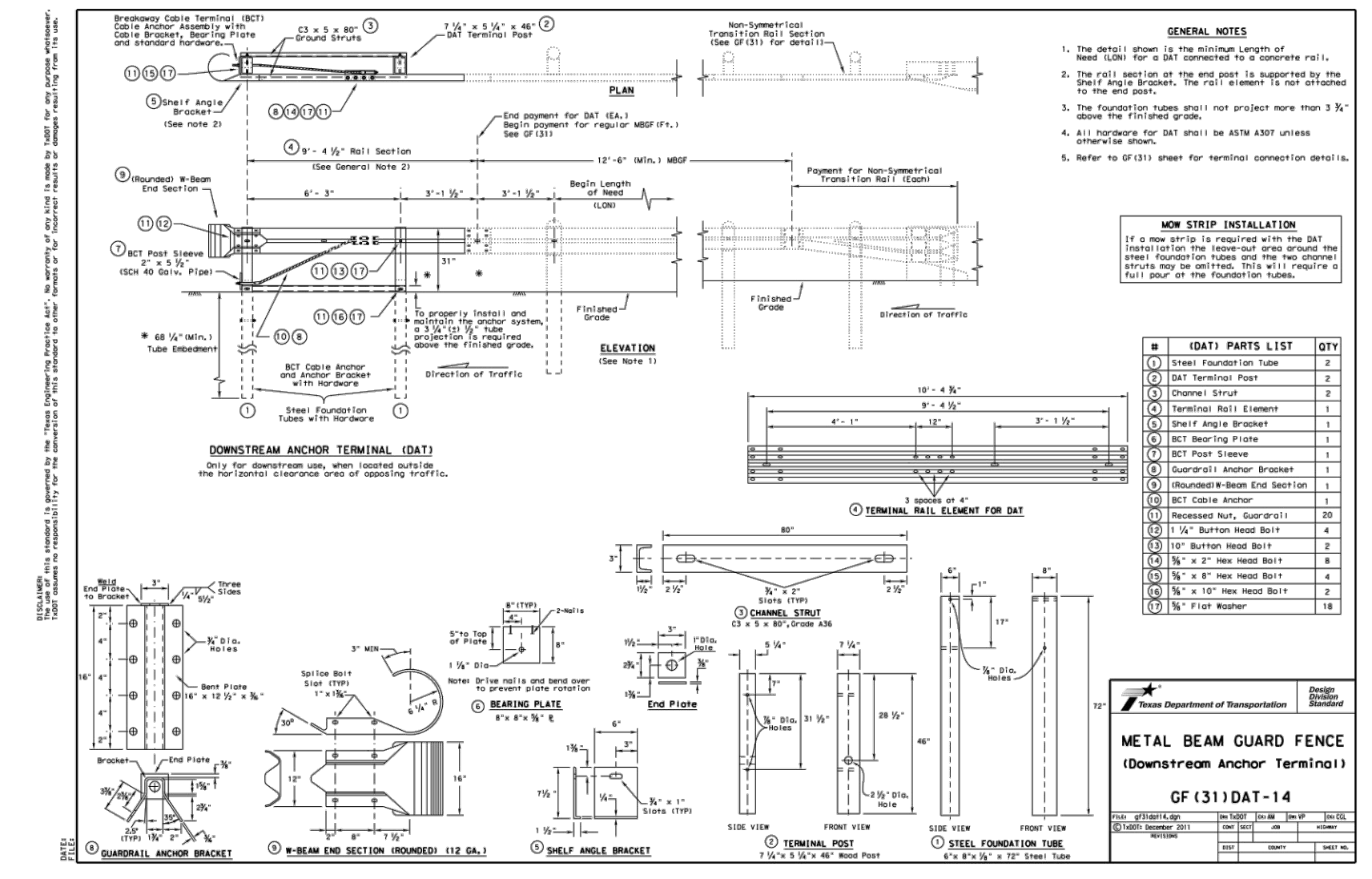
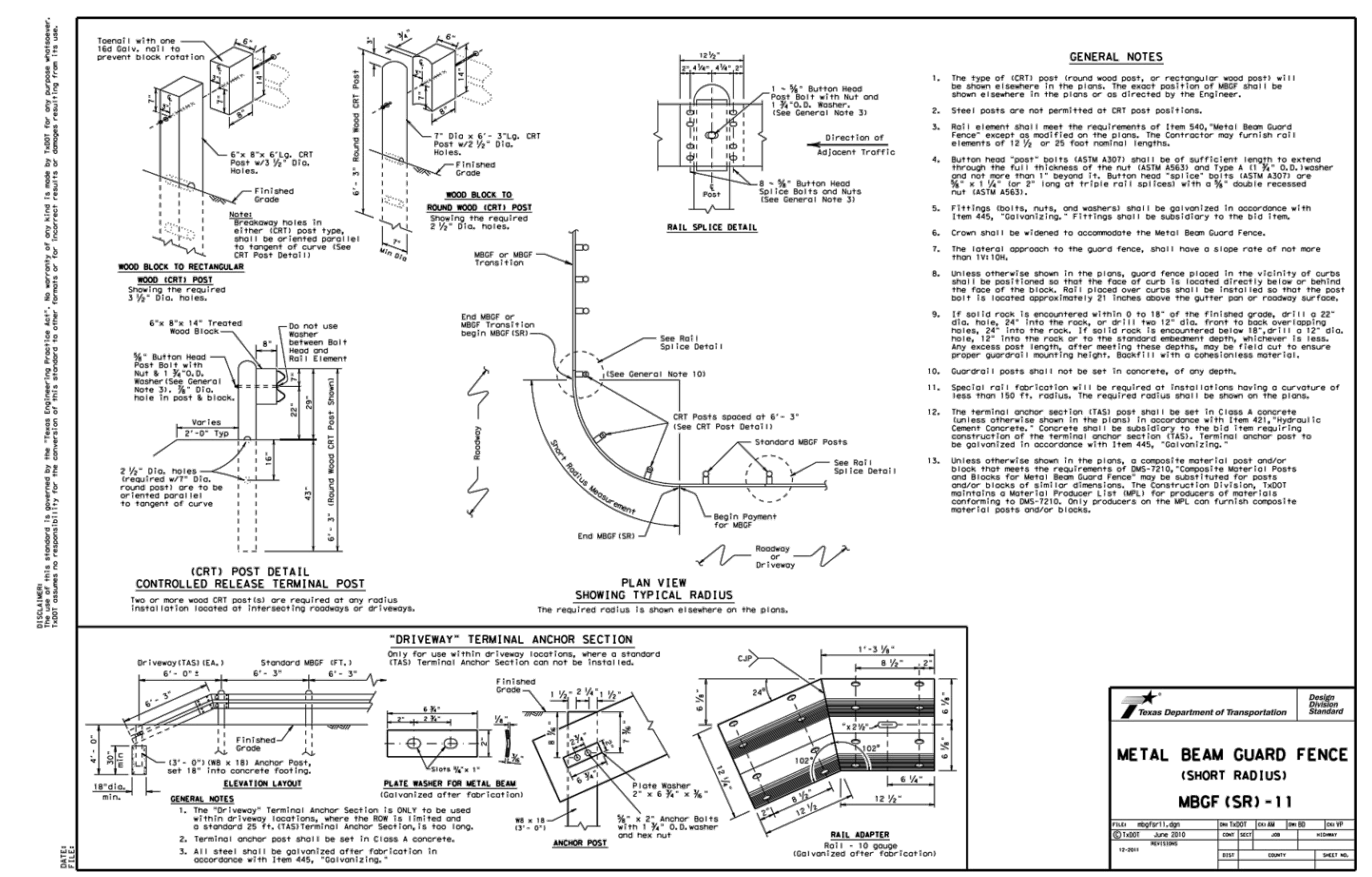
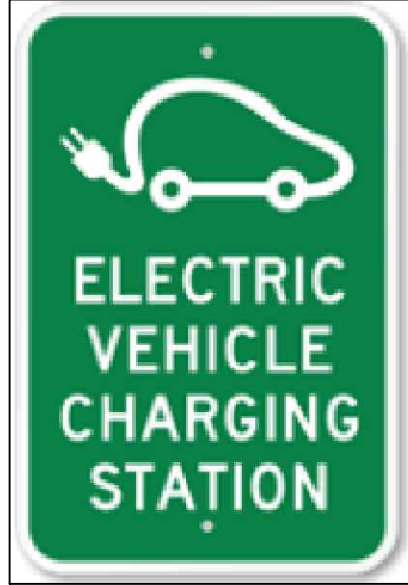


Figure 34: Examples of fully-shielded light fixtures.

EVCS PARKING SPACE SIGNS



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CASE MANAGER: JONATHAN DAVILA APPLICATION DATE: 09/27/2019
APPROVED ADMINISTRATIVELY ON: _____
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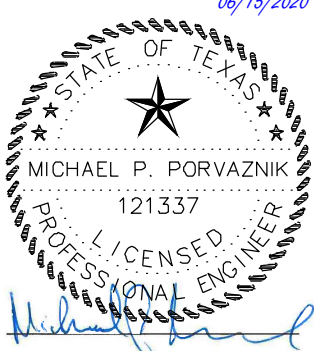
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VEGA MULTI-FAMILY
PLANS FOR SITE DEVELOPMENT
SITE NOTES AND CALCULATIONS
5313 VEGA AVENUE

REVISIONS	DATE	BY
DESCRIPTION		
NO		

DATE: 7/12/2019
DESIGNED BY: KCQ
DRAWN BY: KCQ
CHECKED BY: SDM
DRAWING NAME: 214-0416-SP06



LJA Engineering, Inc.
Phone 512.439.4700
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Austin, Texas 78735

JOB NUMBER:

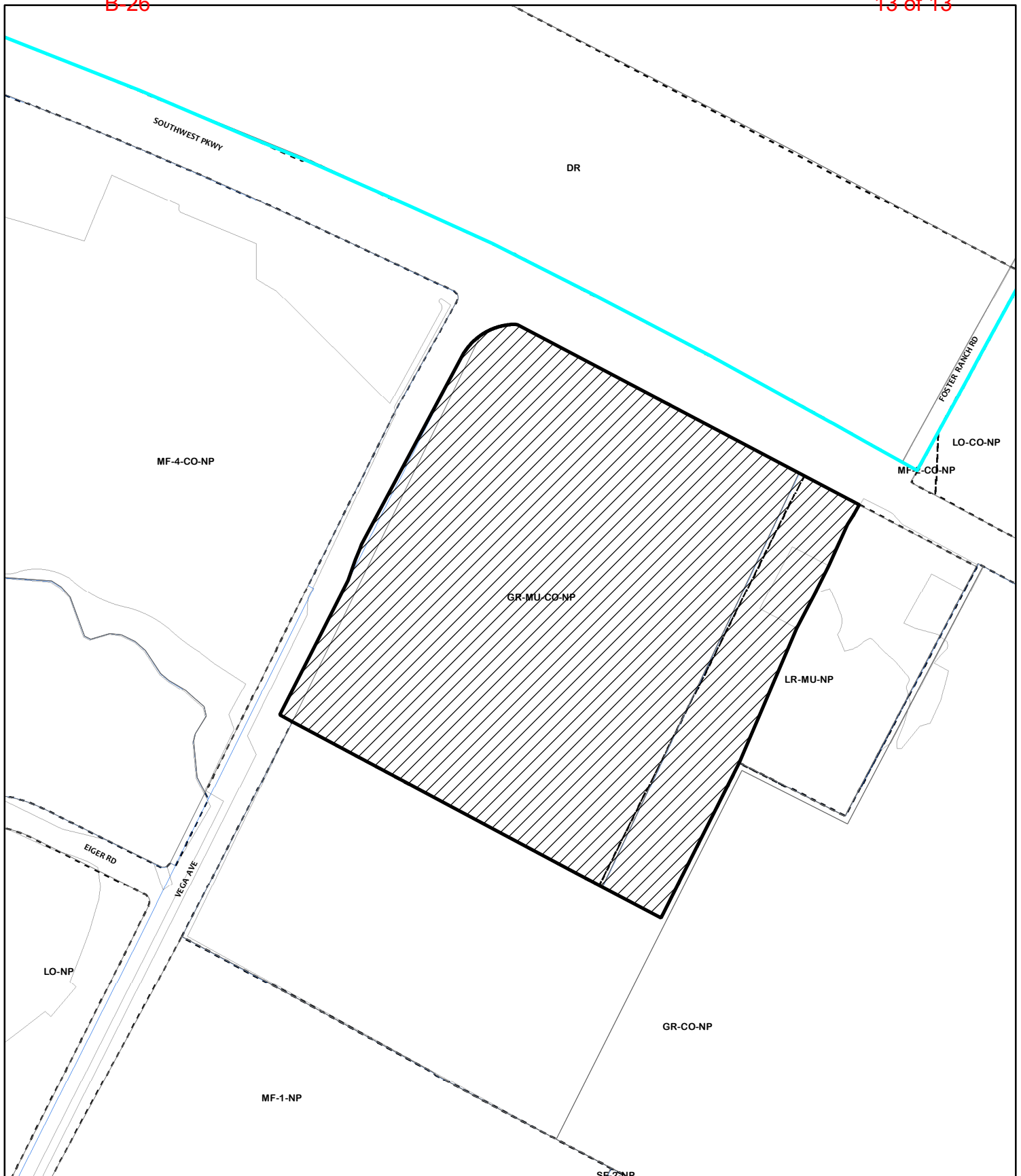
A214-0416



SP06

SHEET NO.

21
OF 87 SHEETS

SPC-2019-0429C



 **SUBJECT TRACT**
 **ZONING BOUNDARY**

0 160 320 640 Feet

CASE#: SPC-2019-0429C
 ADDRESS: 5313 Vega Avenue
 CASE NAME: Vega Multifamily
 MANAGER: Rosemary Avila



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This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

OPERATOR: R. Avila