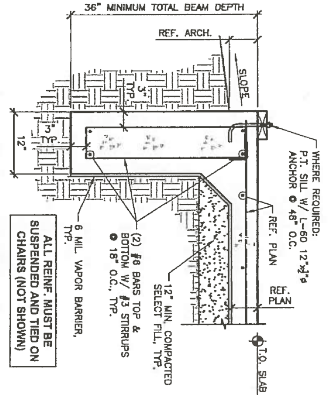
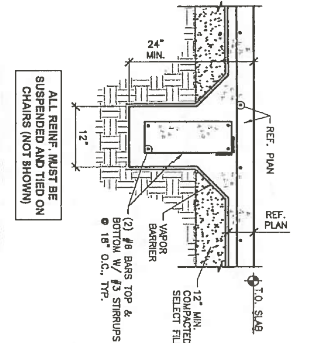


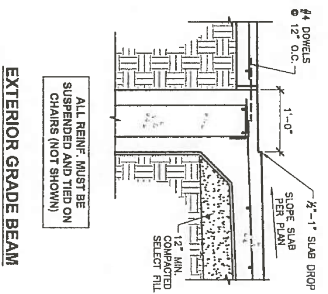
0-1 = 2.375 MW



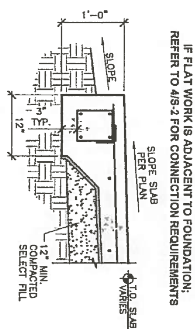
0-1 = 275 mm



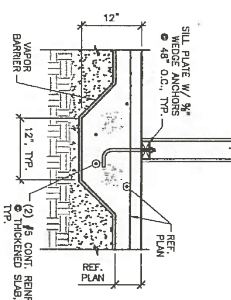
HALF SIZE: 2 1/2" x 3 1/2"



HALF SIZE: $\frac{1}{2}'' = 1'-0''$

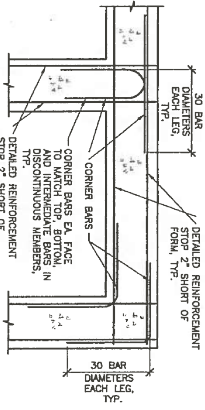


FULL SIZE: 1" x 1" = 1" x 1"
HALF SIZE: 1/2" x 1/2" = 1/2" x 1/2"

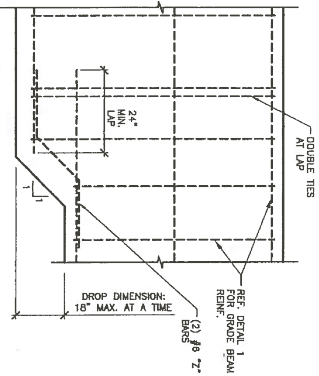


GRADE BEAM NOTES

1. When 80 degree hooks are scheduled or detailed for top bars, corner bars may be omitted.
2. Match size, location and number of horizontal beam and wall bars, except that where there are more than 2 top or bottom bars, only the inside and outside bars must be matched.



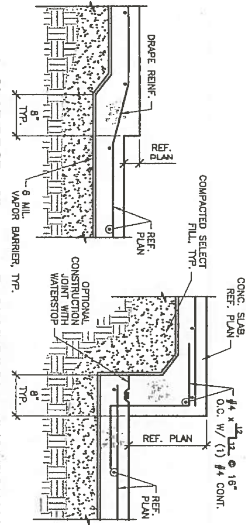
HALF SIZE: $\chi_2'' = 1'-0''$



HALF SIZE: $K'' = 1'-0$

1. Typical section marks and details shown are "typical" and shall apply to similar

3. All beams are to be a minimum of 12" wide by 36" deep and 12" wide by 36" deep. All beams are to be a minimum of 12" wide by 36" deep and 12" wide by 36" deep. All beams are to be a minimum of 12" wide by 36" deep and 12" wide by 36" deep.
4. All exterior beams must exceed a minimum of 12" wide by 36" deep and 12" wide by 36" deep. All exterior beams must exceed a minimum of 12" wide by 36" deep and 12" wide by 36" deep.
5. All connections are to be made in a mechanical fashion.
6. Reinforcing bars shall be designed, fabricated, and placed in accordance with the latest edition of the ACI Code.
7. Reinforcing bars shall be ASTM A615 Grade 60, except #3 and #4 bar shall be grade 40.
8. Conventional reinforcing bars shall have a minimum yield of 60,000 psi and a minimum tensile strength of 75,000 psi. All bars shall be a minimum of 1/2" diameter and 24" maximum length.
9. Decks shall be a minimum of 1/2" thick and 24" wide by 36" deep. All decks shall be a minimum of 1/2" thick and 24" wide by 36" deep.
10. All concrete shall be normal weight and shall have a minimum compressive strength of 3,000 psi at 28 days. Concrete shall be to be per ACI 318.



12. Water shall not be added to the concrete mix at the jobsite. Approved admixtures

13. Embroidered cordons, flowers, and glass must be blowdry, impregnated with a cordite and glass embedded with a salt, wet or beam (from 100 to 150 microns) of the salt, wet or beam with salt, from 120 to 150 microns.
14. Cordite, glass, and glass must be blowdry, impregnated with a cordite and glass embedded with a salt, wet or beam (from 100 to 150 microns) of the salt, wet or beam with salt, from 120 to 150 microns.
15. All reinforcement must be clean and free of all corrosion, dirt, grease, and other foreign matter prior to corrosion treatment.
16. Heat must be used in the fabrication or finalization of reinforcement, except in curing straight bars to length.
17. In cables, provided the salt is ± 0.5 to ± 0.7 times the amount of salt, placed on the disposal with 1:1000 ammonia from source and of salt. This includes any residual from the salt and to standard corrosion product.
18. Reinforcing bars and cables and salt-cordite must be impregnated or present with a salt, wet or beam (from 100 to 150 microns) of the salt, wet or beam with salt, from 120 to 150 microns.
19. Reinforcing steel shall be as follows: 1) 1/2" to 2" diameter; 2) 1/2" to 2" diameter; 3) 1/2" to 2" diameter; 4) 1/2" to 2" diameter; 5) 1/2" to 2" diameter; 6) 1/2" to 2" diameter; 7) 1/2" to 2" diameter; 8) 1/2" to 2" diameter; 9) 1/2" to 2" diameter; 10) 1/2" to 2" diameter; 11) 1/2" to 2" diameter; 12) 1/2" to 2" diameter; 13) 1/2" to 2" diameter; 14) 1/2" to 2" diameter; 15) 1/2" to 2" diameter; 16) 1/2" to 2" diameter; 17) 1/2" to 2" diameter; 18) 1/2" to 2" diameter; 19) 1/2" to 2" diameter; 20) 1/2" to 2" diameter; 21) 1/2" to 2" diameter; 22) 1/2" to 2" diameter; 23) 1/2" to 2" diameter; 24) 1/2" to 2" diameter; 25) 1/2" to 2" diameter; 26) 1/2" to 2" diameter; 27) 1/2" to 2" diameter; 28) 1/2" to 2" diameter; 29) 1/2" to 2" diameter; 30) 1/2" to 2" diameter; 31) 1/2" to 2" diameter; 32) 1/2" to 2" diameter; 33) 1/2" to 2" diameter; 34) 1/2" to 2" diameter; 35) 1/2" to 2" diameter; 36) 1/2" to 2" diameter; 37) 1/2" to 2" diameter; 38) 1/2" to 2" diameter; 39) 1/2" to 2" diameter; 40) 1/2" to 2" diameter; 41) 1/2" to 2" diameter; 42) 1/2" to 2" diameter; 43) 1/2" to 2" diameter; 44) 1/2" to 2" diameter; 45) 1/2" to 2" diameter; 46) 1/2" to 2" diameter; 47) 1/2" to 2" diameter; 48) 1/2" to 2" diameter; 49) 1/2" to 2" diameter; 50) 1/2" to 2" diameter; 51) 1/2" to 2" diameter; 52) 1/2" to 2" diameter; 53) 1/2" to 2" diameter; 54) 1/2" to 2" diameter; 55) 1/2" to 2" diameter; 56) 1/2" to 2" diameter; 57) 1/2" to 2" diameter; 58) 1/2" to 2" diameter; 59) 1/2" to 2" diameter; 60) 1/2" to 2" diameter; 61) 1/2" to 2" diameter; 62) 1/2" to 2" diameter; 63) 1/2" to 2" diameter; 64) 1/2" to 2" diameter; 65) 1/2" to 2" diameter; 66) 1/2" to 2" diameter; 67) 1/2" to 2" diameter; 68) 1/2" to 2" diameter; 69) 1/2" to 2" diameter; 70) 1/2" to 2" diameter; 71) 1/2" to 2" diameter; 72) 1/2" to 2" diameter; 73) 1/2" to 2" diameter; 74) 1/2" to 2" diameter; 75) 1/2" to 2" diameter; 76) 1/2" to 2" diameter; 77) 1/2" to 2" diameter; 78) 1/2" to 2" diameter; 79) 1/2" to 2" diameter; 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237) 1/2" to 2" diameter; 238) 1/2" to 2" diameter; 239) 1/2" to 2" diameter; 240)

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES.

2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT ADDRESS
1401 E. 3RD STREET
AUSTIN, TEXAS

CLIENTS NAME:
ARCHITECT WILLIAM HODGE

Genesis 1 Engineering Company
Commercial • Residential
G1E 6104 South First St., Ste.105
Austin, TX 78745
Office: 512-899-2246
Fax: 512-899-2203
T.B.P.E. Registered Firm #F-2565

**TYPICAL
FOUNDATION DETAILS**

VERSION 2.0
DATE: 11-17-98
FV/GAG / GAG
SUB:
AS NOTED
ASST:

S-2

2 of 7

City of Austin
REVIEWED FOR CODE COMPLIANCE

S-2
2017

1

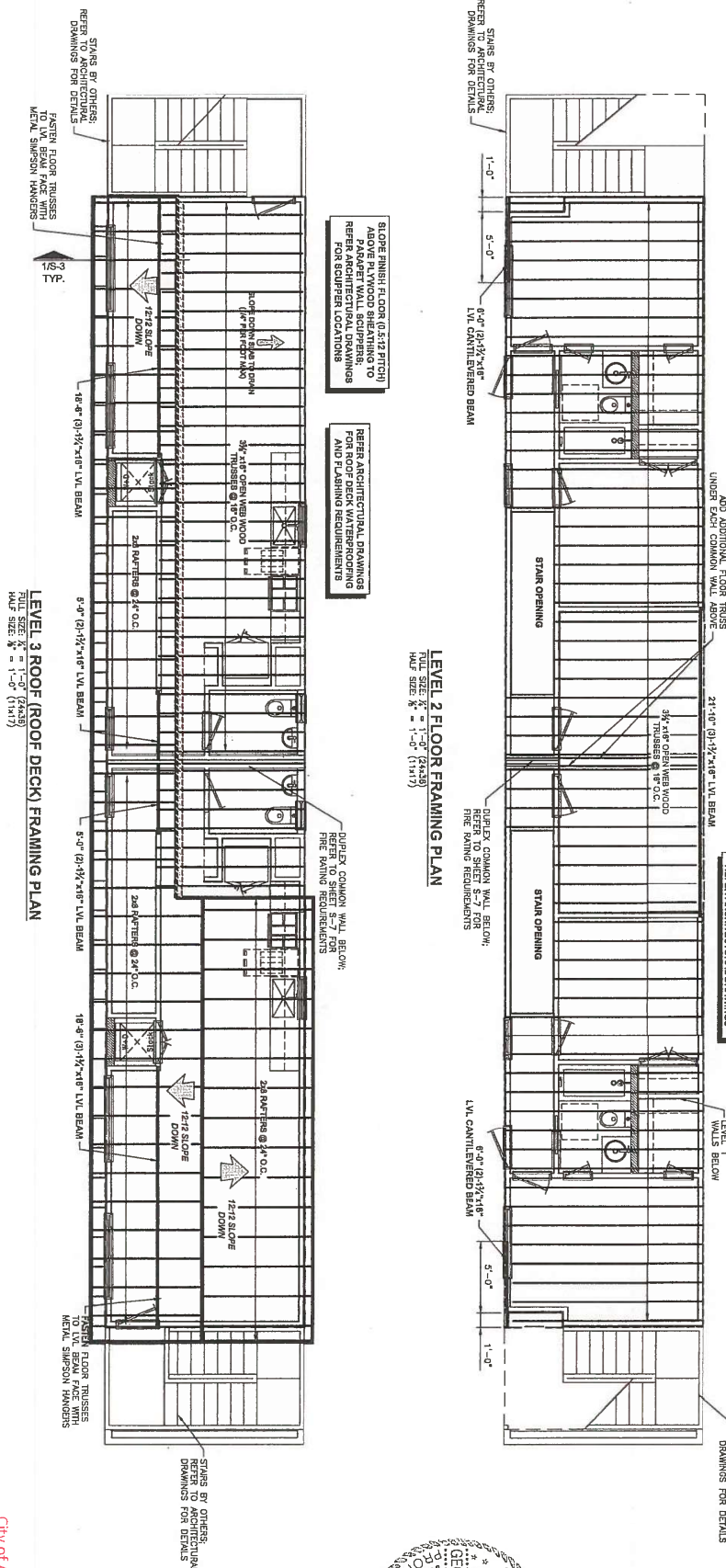
1. Framing joists shall vary all dimensions with the architect's drawings if the contractor finds discrepancies, contractor shall notify his Design Engineer immediately if the contractor finds them at all times.
2. Do NOT state dimensions on plans.
3. Framing members on the plan are shown for conceptual purposes based on the typical spacing. Do NOT base quantity take off on the number of members shown.
4. Construct ceiling framing spanning the short direction where possible. Reference "Ceiling Joist Minimum Span Table" on sheet S-6 for appropriate joist sizes.
5. Refer to "Header Schedule" on sheet S-6 for typical header beam requirements.

LEGEND

36" TALL PARAPET WALL ABOVE
ROOF DECK FINISHED FLOOR

Approval Plans, Correction Notices:

1. Client or Designated Agents are not allowed to make attempts to approved plans without prior written approval from the Reviewing Authority.
2. Designated Agent, Design Engineer and concurrence from the Reviewing Authorities (unless Client or Designated Agent, shall bear all liabilities associated with the changes and will hold Clients a) Responsible for the completion of such changes liability.
3. Client Authority must be notified in writing to the Design Engineer that corrections required by the Client Authority holds jurisdiction in order for the Design Engineer to process the required corrections through the final Reviewing Authority for Approval, where required.



City of Austin
REVIEWED FOR CODE COMPLIANCE



TABLE 5 - TWB (T-TYPE) WALL BRACING

MODEL NO.	BRACE LENGTH (L) (FEET)	WALL HEIGHT (H) (FEET)	REQUIRED INSTALLATION ANGLE OF THE BRACE TO THE HORIZONTAL (DEGREES)	FASTENERS (QUANTITY)	TOP AND BOTTOM EACH END STUD PLATES
TWB10	0'-0"	8	55°	2-16d	1-6d
TWB12	0'-0"	8	45°	2-16d	1-6d
TWB14	1'-0"	10	45°	2-16d	1-6d

FOR 2x4 TWB: 1 INCH = 25.4MM, 118S = 4.4IN

THE TWB WALL BRACING STRAP IS NOT RECOGNIZED TO REPLACE OR BE USED AS AN ALTERNATE TO BRACED WALL. CONSTRUCTION METHODS DESCRIBED IN THE CODE OF WALL BRACING WITH THE TWB10 OR TWB14 STRAP INSTALLED IN ACCORDANCE WITH ALLOWABLE IS A WALL. THE TWB STRAP RESIST TENSION AND COMPRESSION LOADS, AND MUST NOT BE CONSIDERED FOR OTHER SHEAR RESISTING ELEMENTS OR COMPONENTS. THE ALLOWABLE BRACING STRAP LOAD MUST NOT BE EXCEEDED FOR SHORT WALLS. THE TWB STRAP MUST BE INSTALLED IN THE CENTER OF THE WALL STUDS. THE TWB STRAP MUST BE SPACED 16 INCHES ON CENTER MAXIMUM. THE TWB WALL BRACING STRAP MUST BE INSTALLED IN THE INSTALLATION ANGLE SPECIFIED IN THE TABLE.

(OPTIONAL WHERE FEASIBLE)

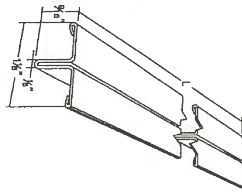
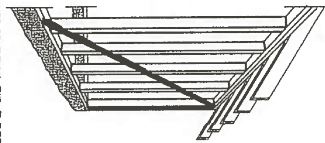


FIGURE 5A-TYPICAL TWB (T-TYPE) BRACE



OPTIONAL: INSTALL TWB STRAPS AT ALL CORNERS WHERE FEASIBLE (BOTH DIRECTIONS)

WALL BRACING LEGEND
<p>DESIGNED BY GENESIS 1 ENGINEERING</p> <p>EXT-1.1 Continuous wood framing panel assembly. Solid sheath entire building in 1/2" wood framing and sheath with 6d common nails at 16" o.c. 1/4" sheath at 12" o.c. center at supported edges and 6" o.c. center at the intermediate supports. Horizontal block at wood panels.</p> <p>INT-1.1 Gypsum board: Minimum thickness: 1/2" (Construction method: 13 gpm, 1.58" long, 184d nails, 16" o.c. 1/4" sheath at 12" o.c. center at supported edges and 6" o.c. center at the intermediate supports. Horizontal block at wood panels.) o.c. 1/4" sheath at 12" o.c. center at supported edges and 6" o.c. center at the intermediate supports. Horizontal block at wood panels.) o.c. 1/4" sheath at 12" o.c. center at supported edges and 6" o.c. center at the intermediate supports. Horizontal block at wood panels.)</p> <p>INT-1.2 Minimum thickness: 1/2" (Construction method: 13 gpm, 1.58" long, 184d nails, 16" o.c. 1/4" sheath at 12" o.c. center at supported edges and 6" o.c. center at the intermediate supports. Horizontal block at wood panels.) o.c. 1/4" sheath at 12" o.c. center at supported edges and 6" o.c. center at the intermediate supports. Horizontal block at wood panels.) o.c. 1/4" sheath at 12" o.c. center at supported edges and 6" o.c. center at the intermediate supports. Horizontal block at wood panels.)</p>

Approved Plans Correction Notes:

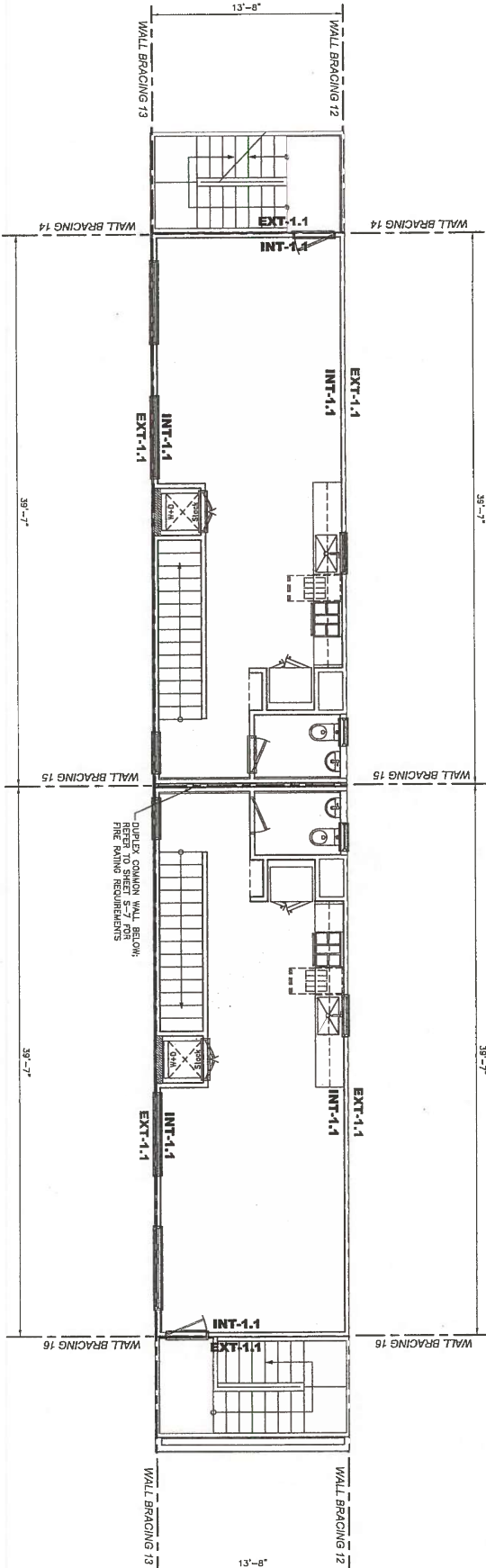
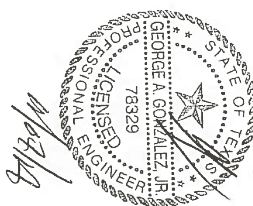
1. Client or Designated Agents are not allowed to make changes to approved plans without prior written approval from the Design Engineer and concurrence from the Reviewing Authorities, otherwise Client, or Designated Agent, shall incur all liabilities associated with the changes and will hold Genesis 1 Engineering harmless of such incurred liability.
2. The Design Engineer shall be responsible for the design and construction of the project and shall be held liable by the Local Authority having jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required.

WALL BRACING NOTES

1. The design of the wall bracing for this new project is based on the 2015 edition of the International Residential Code (IRC 2015).
2. Method of wall bracing shall be at the Contractor's discretion. Bracing in accordance with Chapter 10, Section 1002.2 to 4 and Method found in Table 1002.2 to 4.
3. If construction method deviates from the provided method in these drawings, contractor shall notify the design Engineer and designated City of Austin Inspector for approval of alternative method.

DIMENSION NOTE:

1. Wall bracing dimension presented only for City of Austin plan review purposes.
2. For framing dimensions refer to architectural floor plans.



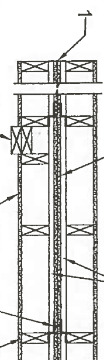
LEVEL 2 WALL BRACING PLAN
RULE SIZE: 1/4" = 1'-0" (24x36)
WALL SIZE: 1/4" = 1'-0" (12x12)

City of Austin
REVIEWED FOR CODE COMPLIANCE

Approved Plans Correlation Notes:

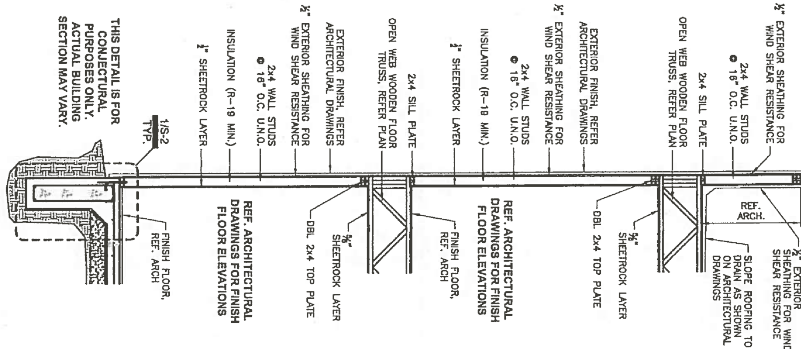
1. Client or Designated Agents are not allowed to make changes to approved plans without prior written approval from the Design Engineer and concurrence from the Reviewing Authorities, otherwise Client, or Designated Agent, shall incur all liabilities associated with the changes and will not Genies 1
2. Client or Designated Agent shall submit in writing to the Design Engineer field conditions required by the Local Authority having Jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, when required.

Design No. U347 Bearing Wall Rating-2H.

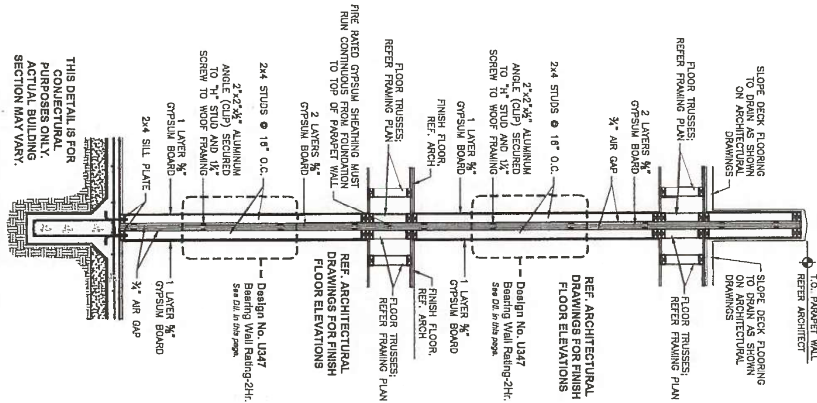


1. Steel track.
2. 1 layer 3/8" Gypsum board.
3. 2 layers 1" Gypsum X-Rated board.
4. Aluminum clips.
5. 2"x4" wood studs@16" O.C.
6. Wall partition interaction, 2 nominal
7. 3/4" air gap

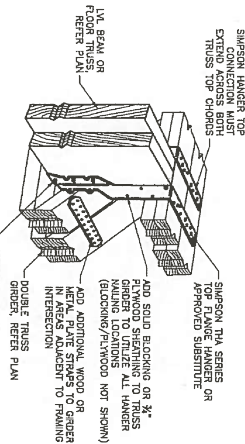
1 TYPICAL EXTERIOR WALL SECTION N.T.S.



2 TYPICAL EXTERIOR WALL SECTION N.T.S.



3 MEMBER TO TRUSS CONNECTION NOT TO SCALE



City of Austin
REVIEWED FOR CODE COMPLIANCE
1/04/17

From: [REDACTED]
To: [Ramirez, Elaine](#)
Subject: FW: 1401 East Third
Date: Monday, May 11, 2020 2:34:48 PM

My original email to City staff questioning the construction at 1401 E 3rd.

From: [REDACTED]
Sent: Wednesday, January 24, 2018 1:02 PM
To: [DSD Help](#)
Cc: [REDACTED]
Subject: 1401 East Third

This message is from Jeff Thompson. [bc-jeffrey.thompson@austintexas.gov]

I sit on the Planning Commission and one of the residents in my district asked me about a new house going up at 1401 E 3rd Street, 78702.

It appears to have approved plans for less than the required set back, but there was never a BOA hearing or other variance. Can you please explain how they are allowed to build so close to another house and within the set back?

Jeffrey Thompson
Boards and Commissions

Scheduled Meeting Disclosure Information: Written disclosure is required by visitors when attending a scheduled meeting with a City Official regarding a municipal question for compensation on behalf of another person. Anyone scheduling or accepting a meeting invitation with a City Official must either acknowledge that the disclosure requirement does not apply or respond to the following survey: <https://www.surveymonkey.com/r/BCVisitorLog>

IMPORTANT NOTICE: The City of Austin provides e-mail addresses for members of its boards and commissions for their use as board members. This address should not be used for private or personal messages. The views expressed in e-mail messages reflect the views of the authors alone, and do not necessarily reflect the views of any board or commission of which the author may be a member. In particular, the views expressed here do not necessarily reflect those of the City of Austin, or any of its departments, employees or officials. E-mail messages may be subject to required public disclosure under the Texas Public Information Act.

From: [REDACTED]
Subject: FW: 1401 E 3rd Street
Date: Monday, May 11, 2020 2:42:25 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[D5619B4E5E1648509A9623C8BE4D07E6.png](#)
[8FF5708083434FEA868AB1891DEEC906.png](#)

Several weeks later I'm still chasing the issue. You can see from the pictures that the development is still in early stages. The response is : inspector will notice.

To be told now that the inspector didn't raise the issue early enough is frustrating.

From: [REDACTED]
Sent: Friday, March 2, 2018 4:13 PM
To: [REDACTED]
Subject: Fwd: 1401 E 3rd Street

Jeff Thompson
Planning Commission D3

Begin forwarded message:

From: "Johns, Renee" <Renee.Johns@austintexas.gov>
Date: March 2, 2018 at 3:00:04 PM CST
To: "Thompson, Jeffrey - BC" <bc-Jeffrey.Thompson@austintexas.gov>, "Olsen, Dillon" <Dillon.Olsen@austintexas.gov>
Subject: RE: 1401 E 3rd Street

Jeffrey,

Two things:

1. If it is too close, this will be called out by the inspector associated with this project-DeeAnn Afra
2. Fences are not always the determination of a lot line. Again, this inspector will look for this.

Renee Johns

Planner Senior – Expedited Review

[City of Austin Development Services Department](#)

One Texas Center, 505 Barton Springs Road, 7th Floor

Office: 512.974.2260



Follow us on [Facebook](#), [Twitter](#) & [Instagram](#) @DevelopmentATX

We want to hear from you! Please take a few minutes to complete our [online customer survey](#).

Nos gustaría escuchar de usted. Por favor, tome un momento para [completar nuestra encuesta](#).

Scheduled Meeting Disclosure Information:

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From: Thompson, Jeffrey - BC

Sent: Friday, March 02, 2018 9:59 AM

To: Johns, Renee <Renee.Johns@austintexas.gov>; Olsen, Dillon
<Dillon.Olsen@austintexas.gov>

Subject: Re: 1401 E 3rd Street

But the foundation is easily less than 5 ft from the property line. Here is a picture of the actual building.



Jeff Thompson
District 3
Planning Commissioner

Office: 512-314-1830

From: Johns, Renee

Sent: Thursday, March 1, 2018 3:41:33 PM

To: Thompson, Jeffrey - BC; Olsen, Dillon

Subject: RE: 1401 E 3rd Street

Jeffrey,

This is an approved plan and there is a projection into the 5 foot setback. This is a common concern, but the code does allow for eaves and other incidentals to project 2 ft. into any setback, LDC 25-2-513 B. If you look at sheet A201, you can see the elevation view of the proposed residence. On this elevation, you can see the footprint of the building stops at the 5 ft. setback and the eaves project into the setback. Again this is an allowed and common design.

I hope this answers your question.

Renee Johns

Planner Senior – Expedited Review

[City of Austin Development Services Department](#)

One Texas Center, 505 Barton Springs Road, 7th Floor

Office: 512.974.2260



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We want to hear from you! Please take a few minutes to complete our [online customer survey](#).

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From: Thompson, Jeffrey - BC

Sent: Thursday, March 01, 2018 3:08 PM

To: Johns, Renee <Renee.Johns@austintexas.gov>; Olsen, Dillon
<Dillon.Olsen@austintexas.gov>

Subject: 1401 E 3rd Street

Hi Dillon,

I'm looking into a case on behalf of a district 3 constituent. She is concerned that

the house being built at 1401 E 3rd does not have a 5 foot side setback.

Looking at the plan (2017-043148 PR), it clearly shows that the house encroaches on the 5 foot set back line.

Can you tell me if this is in fact an approved plan and if so can you please explain why?

Thank you so much for your time.

Jeff Thompson
District 3
Planning Commissioner

Office: 512-314-1830

Jeffrey Thompson
Boards and Commissions

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Jeffrey Thompson
Boards and Commissions

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Jeffrey Thompson
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From: Ron Thrower
To: [Ramirez, Elaine](#)
Subject: RE: BOA Case C15-2020-0020
Date: Monday, May 11, 2020 5:04:38 PM
Attachments: [image001.png](#)

*** External Email - Exercise Caution ***

Elaine,

Making sure the below got to BOA Membnbers for this case on for tonight. Let me know please.

Be smart. Be safe. Be kind.

Ron Thrower



510 South Congress, Suite 207

Mail: P.O. Box 41957

Austin, Texas 78704

512-476-4456 office

512-731-2524 cell



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From: Ron Thrower
Sent: Monday, May 11, 2020 12:55 PM
To: Ramirez, Elaine <Elaine.Ramirez@austintexas.gov>
Subject: BOA Case C15-2020-0020

Elaine,

Can you please forward this to all Board Members –

Board of Adjustment members,

For full disclosure, I am a registered Lobbyist with the City of Austin. I am not working for any paying client on this case, and none of my questions or comments are meant to be taken as lobbying. My questions and comments are only to gain clarity to the situation.

We were asked to review the materials for the above referenced case. While this does appear to be a surveying error, it would be helpful to understand a few items for this case:

1. Has the survey for which the error occurred been made public?
2. The new survey finds the property to be wider at the alley by 0.44' (33.97' from Building Permit set vs 34.41' from updated survey). The new survey only reflects the encroachments to the side setback but does not reflect distances to Navasota Street Right-of-way. In theory, with the building designed at 13'-10" in width coupled with the 2.77' setback of the building on the east property line, the distance to the Navasota Street Right-of-way on the southern end of the building should be +/-17.81'. Can this be verified?
3. Does the decreased setback create a fire hazard? Are non-combustible materials used along the eastern property line? Is the house sprinkled?
4. The building plans reflects two 36" doors opening outward on the east side of the proposed house. Did no one notice that the door did not open completely or was too close to the fence (assuming it is on the property line. No documentation appears to exist in the records showing the location of the fence.)

Again, this appears to be a surveyor error and it is unfortunate that it has reached this point. While it would be nice to have answers to the questions herein, we support any decision the BOA may reach for this case.

Be smart. Be safe. Be kind.

Ron Thrower



510 South Congress, Suite 207

Mail: P.O. Box 41957

Austin, Texas 78704

512-476-4456 office

512-731-2524 cell



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From: Susan Benz
To: [Ramirez, Elaine](#)
Cc: [REDACTED]
Subject: Fwd: BOA Case # C15-2020-0020 - I object
Date: Tuesday, May 12, 2020 9:28:33 AM

*** External Email - Exercise Caution ***

Elaine,

Good morning. I've just read the email from Jeff Thompson (below) who served many years on our neighborhood plan contact team. The fact that he pointed out the error in the layout of the foundation to the City early on and several times and no action was taken by Code Enforcement or Building Inspection is extremely unfortunate. My personal belief is that this case should be investigated as to where the failure to enforce the code took place so that it can be avoided again.

Please convey the message to the Board of Adjustment that the East Cesar Chavez Neighborhood Plan Contact Team is even more strongly opposed to any variance or waiver given to this project.

Most sincerely,

Susan Benz
Business Rep and Treasurer
East Cesar Chavez Neighborhood Plan Contact Team

Susan Benz | [Benz Resource Group](#)
1101 - B E 6th St - Medina Street Entrance
Austin, TX 78702
512-220-9542
[REDACTED]

Keep Calm and Carry On ... and wash your hands!

----- Forwarded message -----

From: Amy Thompson <[REDACTED]>
Date: Mon, May 11, 2020 at 11:24 PM
Subject: Fwd: BOA Case # C15-2020-0020 - I object
To: David Brearley <[REDACTED]>, Susan Benz
<[b\[REDACTED\]](#)>, Pamela Colloff <[REDACTED]>

----- Forwarded message -----

From: Thompson, Jeffrey - BC [REDACTED]
Date: Mon, May 11, 2020 at 1:22 PM
Subject: BOA Case # C15-2020-0020 - I object
To: Ramirez, Elaine <Elaine.Ramirez@austintexas.gov>
Cc: Amy Thompson <[REDACTED]>

I would like to strongly state my objection to the request for relief from set back requirements at 1401 E. 3rd. My neighbor Amy Thompson (no relation) pointed out the property to me early in its construction. It was clear from viewing the property that the builders were not abiding by the standard setback.

I wrote to City staff alerting them of the situation in January 2018 when the project was simply a foundation on the ground. Over the next weeks I sent several emails including photos of setback infringement. Each time I was assured by staff that if there were errors they would be caught at inspection.

I support changes to City code that will allow more and denser housing, especially in our City Core. I have also supported changes that allow streamlining of approval to make development easier. But I have never supported relaxation of laws that were intended to ensure the safety of our residents. To waive those requirements now would simply be allowing the creation of substandard housing because the developer and City made mistakes and do not want to pay the price for them.

Jeff Thompson

1408 Willow Street

Austin, TX 78702

Jeffrey Thompson
Boards and Commissions

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From: Pamela Colloff
To: [Ramirez, Elaine](#)
Cc: [REDACTED]
Subject: opposition to request in BOA Case # C15-2020-0020
Date: Monday, May 11, 2020 11:49:08 AM

*** External Email - Exercise Caution ***

Dear Ms. Ramirez:

I would like to express my strenuous opposition to the request for a setback variance in BOA Case # C15-2020-0020. My primary residence is located within 500 feet of 1401 E. 3rd Street, which is the property in question.

The structure at 1401 E. 3rd virtually abuts the neighboring property. The foundation is clearly FAR less than 5 feet from the property line.

This is an obvious fire hazard. It is not hard to imagine how a small fire could quickly consume multiple structures given their current proximity to each other. Allowing such a set back variance would be a clear danger to public safety, both for residents and first responders.

I would encourage you to look at this property in person, since it will immediately become clear to you--in ways that words and measurements cannot--why this is a hazard to our entire neighborhood.

I urge you to reject the request for a setback variance in BOA Case # C15-2020-0020. Thanks very much for considering this request.

Best wishes,

Pamela Colloff
1305 E. 2nd Street
Austin TX 78702

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