G-1/118 0 Maich size, location and number of horizontal beem and wall bare, except that where there are more than 2 top or bottom bers, only the inside and cuiside bars must be matched. Where 80 degree hocks are scheduled or detailed for top bars, comer bars may be omitted. GRADE BEAM NOTES TYPICAL CORNER BAR REINFORCEMENT
RUL SIZE 1. - 11-0. (OPTIONAL) TYPICAL DETAIL 
GHANGE IN GRADE BEAM DEPTH

BUT SEE 1: - 1'-0' SLOPE FULL SIZE 1' = 1'-0'
HAUF SIZE 1' = 1'-0' TP. 독등2 DETAILED REINFORCEMENT STOP 2" SHORT OF FORM, TYP. CORNER BARS EA, FACE
TO MATCH TOP, BOTTOM,
AND INTERMEDIATE BARS IN
DISCONTINUOUS MEMBERS,
TYP. AT LAP CORNER BARS WHERE REQUIRED:
P.T. SILL W/ L-60 12"%"6
ANCHOR © 48" O.C. (PLAN VIEW SECTION DETAIL) 삨 REF. PLAN REF. STOP 2" SHORT OF FORM, TYP. ALL REINF. MUST BE SUSPENDED AND TIED ON CHAIRS (NOT SHOWN) (2) #8 BARS TOP & BOTTOM W/ #3 STIRRUPS 0 18" O.C., TYP. 6 MIL VAPOR BARRIER, TYP. SELECT FILL, TYP. - REF. DETAIL 1 FOR GRADE BEAM REINF. 72 -(2) #8 \*Z\* BARS **♦**1.0. SLAB All concrete shell be normal weight and shall have a minimum compressive strength of 3,000 p.s.l. at 28-days. Concrete design mix shall be as per ACI 318 a. Deposit concretie as neerly as possible to its final location to avoid aggregation due to rehendling and flowing. Do sol subject concrete to eny procedure which might hause segregation. Do not use mechanical vibratore to relocate concrete. 7. Roinforcing bers shell be ASTM A615 Grado 60, except #3 and #4 bar bes shell be grade 40 Reinforcing bars shall be designed, febricated, and placed in accordance with the stest edition of the ACI Code. OUNDATION NOTES: . Continuous reinforcing bareshall have a minimum lap of 30 diameters or 24", whichever is greater. Provide corner bare for all continuous reinforcing bare at all comers with a minimum lap of 30 diameters or 24" whichever is greater. . All concrete shall be consolifated by use of a mechanical vibrator. . No accelerators are to be used in the event of cold weather. All exterior beams must extend a minimum of 12" into undisturbed soil or to rock. If full rock is encountered beneath the beam, the beam depth may be reduced. The sudmum reduction in beam depth may not exceed 65% of the origin depth. Specific emission must be obtained from the engineer prior to beam construction. Typical section merks and details shown are "typica!" and shall apply to similar traitons. All beams are to be a minimum of 12" wide by 38" deep (extancy) and 12" wide by 1" deep (niterior), slab to be 40" thick, unless noted otherwise (U,N,O,) on undation layout. 2 INTERIOR GRADE BEAM, TYP,
PUL SIZE 17 = 17-0\* A- SLAB DROP < 3" ALL REINF, MUST BE SUSPENDED AND TIED ON CHAIRS (NOT BHOWN) -REF. PLAN VAPOR BARRIER, TYP. THESE DETAILS APPLY TO SLAB DROPS THAT OCCUR OVER GRADE BEAMS 7 SLAB DROP SECTIONS
PULL SIZE: 1' = 1'-0'
HAUF SIZE: X' = 1'-0' REF. PLAN (2) #8 BARS TOP & BOTTOM W/ #3 STIRRUPS 0 18" O.C., TYP. ♦T.O. SIAB B- SLAB DROP > 3" (OPTIONAL) CONC. SLAB, REF. PLAN 0 12" O.C. O.C. W/ (1) #4 CONT. S AT CARPORT, TYP.

BULL SZE, 1' = 1'-0'
HAUF SZE 3' = 1'-0' Heat shell not be used in the fabrication or installation of reinforcement, except in culting straight bare to length. 13. Embedded canddilla, slavera, and gipra med bit following mulmorates. Condribt and place ambedded within a siba, wait, of some (ober than those passing through) shall not be imper in position attended the manufact than 1.04 the overall through and shall write. Or being within the place of the condribt shall not be included and other than those through and shall not allowed shall not be spatially dissert than those distinctions or within the product dissert than those distinctions. Water shall not be added to the concrete mix at the jobsite. Approved edmixtures may be added to improve workability. ALL REINF. MUST BE SUSPENDED AND TIED ON CHAIRS (NOT SHOWN) 18. The welding of reinforcing steel will not be permitted. 71. Reinforcing bars for foolings and slabs-on-prade shall be supported on precast concrete blocks at 3'-0" O.C. or bar chairs with sheet metal or plastic bases at 4'-0" O.C. 16. In slabs, provide (2) #4 x 4+0\* bars at each re-ontrant comer, placed on the diagonal with 1-Inch clearance from comer and top of slab. This includes any racillinear holes made due to standard construction practices. 14. All reinforcement shall be clean and froe of all concrete, dirt, gresse, and other foreign material prior to concrete placement. All reinforcing bars shall conform to ASTM A-815. Reinforcing steel clear cover shall be as follows, unless otherwise noted Stabs on grade 1 1/2" top, 3" bottom & sides Footings and Grade Beams: 3" top, bottom and sides Embedded conduits, pipes, and sleaves shall be of approved pleasic or galvanized etael not thinner then slenderd schedule 40 steel pipe. SLOPE SLAB - ½"-1" SLAB DRO IF FLAT WORK IS ADJACENT TO FOUNDATION;
REFER TO 4/S-2 FOR CONNECTION REQUIREMENTS SLOPE EXTERIOR GRADE BEAM
AT PORCH, TYP.
RUL SIZE 1" = 1"-0"
HUF SIZE 3" = 1"-0" ALL REINF. MUST BE SUSPENDED AND TIED ON CHAIRS (NOT SHOWN) SLOPE SLAB Approved Plans Correction Notes:

Approved Plans Correction Notes:

1. Client to Designated Aquanta are and allowed to make changes to approved plans without prior written approved from the Design Engineer and concurrence from the Reviewing Authorities, otherwise Crisent, or Designated Aquant, shall incorr us illubilities associated with the orbanges and with Lond Genesis 1. Engineering harmises which for long the liability.

2. Client, or Designated Agent shall submit in writing to the Design Engineer field conditions are also that the liability.

2. Client, or Designated Agent shall submit in writing to the Design Engineer to process the required by the Local Authority having Justication in cords for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval. whom required. COMPACTED SELECT FILL WARIES SLAB WEDGE ANCHORS

#8 O.C., TYP.-REVIEWED FOR CODE COMPLIANCE 5 AT INTERIOR WALL, TYP.

RUL SEE: 1' = 1'-0'
PUL SEE: 1' = 1'-0' BARRIER City of Austin 12", TYP. CENSED. 78329 THICKENED SLAB,

S-2

AU-17-73
AU-17-73
AU-17-73
AU-17-73
VERSION 2.0
AU-18 FI
EV/GAG / GG
EV/GAG / GG

TYPICAL
FOUNDATION DETAILS
SINGLE-FAMILY DUPLEX

Genesis 1 Engineering Company
Commercial • Residential
G1 E 610 South First St. Ste. 105
Austin, TX. 78745
Office 512.899-2246
Engineer First #F-2565

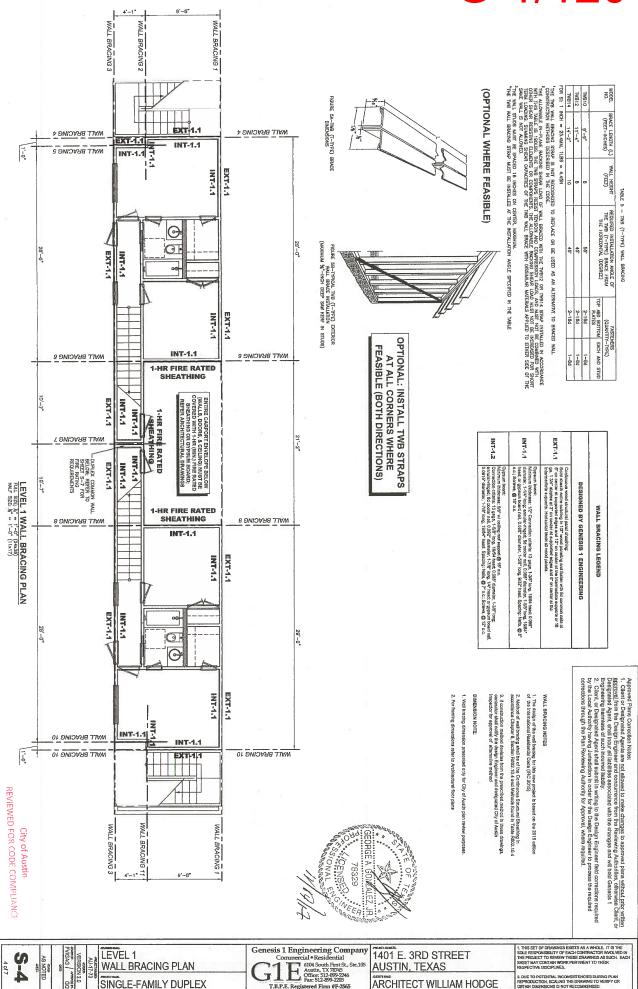
1401 E. 3RD STREET AUSTIN, TEXAS THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOUR RESPONSIBILITY OF EACH CONTRACTOR PROJUCED IN THE PROJUCT TO REVIEW THESE DRAWINGS AS SOUL. EACH SCHED HAY CONTRAIN WORK PERTURENT TO THEIR RESPECTIVE DISOPPLANES.

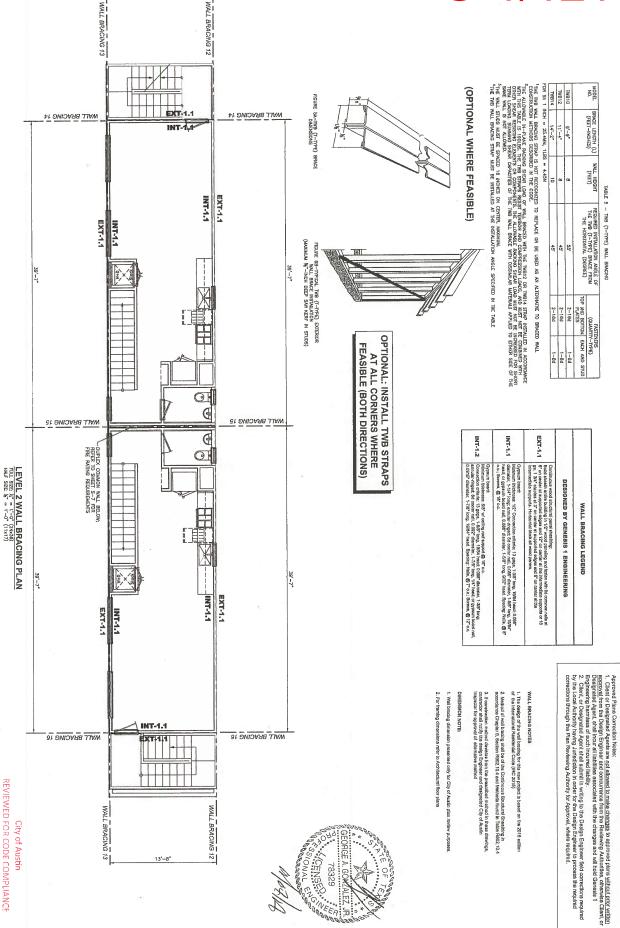
2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN.

G-1/119<sup>-1</sup> Г STARS BY OTHERS; REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS: STAIRS BY OTHERS;
REFER TO ARCHITECTURAL
DRAWINGS FOR DETAILS REFER ARCHITECT FOR ROOFING REQUIREMENTS 12 FASTEN FLOOR TRUSSES
TO LVL BEAM FACE WITH
METAL SIMPSON HANGERS— 2x4 CEILING JOISTS © 24" O.C. ROOF FRAMING SECTION, TYP. 2x6 RAFTERS • 24" O.C. 1.0 SLOPE PINISH FLOOR (0.5:12 PITCH)
ABOVE PLYWOOD SHEATHING TO
ABOVE WALL SCUPPERS;
REFER ARCHITECTURAL DRAWINGS
FOR SCUPPER LOCATIONS 5'-0" 1/S-3 TYP. LVL CANTILEVERED BEAM - LYL BEAM; REFER PLAN M - SIMPSON TRUSS HANGER T.O. PARAPET WALL
REFER ARCHITECT 0 -2x4 BRACE © EACH STUD/RAFTER PARAPET WALL FRAMING: 2x4 STUDS 0 24" O.C. 2x8 (MIN.) LEDGER, FASTEN TO EACH - 18'-6" (3)-1%"x16" LVL BEAM REFER PLAN REFER ARCHITECTURAL DRAWINGS FOR ROOF DECK WATERPROOFING AND FLASHING REQUIREMENTS ADD ADDITIONAL FLOOR TRUSS STAIR OPENING Do NOT scale off dimensions on plans. Framing contractor shall verify all dimensions with the architectural drawings. If the contractor finds discrepancies, contractor shall notify the Design Engineer Immediately or the contractor shall bear all liefulity. Refer to "Header Schedule" on sheet S-6 for typical header size requirements Construct ceiling framing spanning the short direction where possible. Reference "Ceiling Joist Maximum Span Table" on sheet S-6 for appropriate joist sizes. NOTES: Framing members on this plan are shown for conjectural purposes based on the typical spacing. Do NOT base quantity take offs base on the number of members LEVEL 3 ROOF (ROOF DECK) FRAMING PLAN FULL SZEE K' = 1'-0' (24338)
HULF SIZE: K' = 1'-0' (11417) LEVEL 2 FLOOR FRAMING PLAN
FULL SIZE: K' = 1'-0' (24338)
HUF SIZE: K' = 1'-0' (1117) 21'-10" (3)-13/"x18" LVL BEAM 9 **Q** -DUPLEX COMMON WALL BELOW; REFER TO SHEET S-7 FOR FIRE RATING REQUIREMENTS -DUPLEX COMMON WALL BELOW:
REFER TO SHEET S-7 FOR
FIRE RATING REQUIREMENTS 5'-0" (2)-1%"×16" LVL BEAM ENTIRE CARPORT ENVELOPE BELOW
(WALLB, DORROR, & CEILING) MUST BE
COVERED WITH 1-HR (MIN.) FIRE RATED
SHEATHING OR OYPSUM BOARD;
REFER ARCHITECTURAL DRAWINGS STAIR OPENING 2x8 RAFTERS @ 24" O.C. 18'-6" (3)-1%"×18" LVL BEAM -----ZA RAFTERS @ : 8'-0" (2)-1%"x18" — O. REFER TO S-6 FOR FRAMING NOTES WALLS BELOW 36" TALL PARAPET WALL ABOVE ROOF DECK FINISHED FLOOR LEGEND 0 Approved Plans Correction Notes:

1. Celant or Designated Aparts are not elicowed to make changes to approved plans willhood prior written approved from the Design Engineer and computeriors from the Reviewing Juliparia (blank or Designated Agent, ship Incidence and computeriors from the Serviewing Juliparia (blank or Designated Agent, ship Incidence associated with the orthogose and with biol Gennetic 1 Engineering harmaes and sincer in carried below.

2. Cellent, or Designated Agent shall submit in writing to the Design Engineer folial corrections equired by the Local Authority having Jurisdiction in order for the Design Engineer to process the required by the Local Authority having Jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required. 5'-0" FASTEN FLOOR TRUSSES TO LYL BEAM FACE WITH METAL SIMPSON HANGERS REVIEWED FOR CODE COMPLIANCE REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS -STARS BY OTHERS; REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS City of Austin CENSES. 78329 Genesis 1 Engineering Company
Commercial • Residential
G11 F 6104 South First St. Sts.105
Austin, TX 78745
Austin, TX 78745
Face 151.2-899-2206
T.B.P.E. Registered Firm #F-2565 1401 E. 3RD STREET AUSTIN, TEXAS AS NOTED S-3 3 of 7 STRUCTURAL FRAMING PLAN SINGLE-FAMILY DUPLEX ARCHITECT WILLIAM HODGE







REVIEWED FOR CODE COMPLIANCE

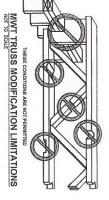


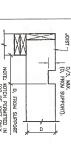
1401 E. 3RD STREET AUSTIN, TEXAS ARCHITECT WILLIAM HODGE

IAIAI	200	SHEA	SHEATHING	
THANK	01000	SIDE 1	SIDE 2	114000011014
EXTERIOR 4"	2x4 @ 16" 0.C.	%e" 0SB	½" GWB	R-12
EXTERIOR 6"	2x6 9 16" C.C.	%° osa	F. CMB	R-20
INTERIOR 4"	2x4 @ 16" O.C.	₩9 %	E CWG	
INTERIOR 6"	2x6 @ 16" O.C.		12 0110	SOUN
EXT. SHEAR 4"		FWD "%	%" GWB	SOUN
EXT. SHEAR 6"	2x4 0 16 0.C.	15" GWB	¥, cwa ¥, cwa	SOUN R-1
INT. SHEAR 4"	2x4 0 16" 0.C.	½" GWB STR I 1%2" STR I 1%2"	A GWB	SOUN R-1 R-2
INT CUEAD 8"	2x6 0 16" 0.C. 2x6 0 16" 0.C.	5TR I 1942* STR I 1942*	72. GMB 72. GMB 74. GMB	SOUND R-12 R-20 SOUND

A CLIES OB SOLID BLOCKING BEO'D AT ALL WOOD BANEL EDGES
82
104
L OR II Bd
TO FRAMING   SIZE   EDGES
ORIENTATION MAX. FASTENER SPACING

H-CLIPS OR SOLID BLOCKING REQUILAR ALL WOOD PANEL EDGES









DBL 2x10

HU210-2 HU26-2

(4) 10d (6) 10d (6) 10d

-(3) 1% x (12"-18")

K\* A307 THRU-BOLTS 24\* O.C.; (2) ROWS, TYP.

DBL. 2x8

HU26-2 HU214 HU24-2

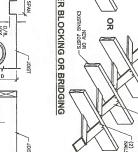
(6) 10d (10) 10d (10) 10d (10) 10d (12) 10d (4) 10d (8) 10d (8) 10d (14) 10d

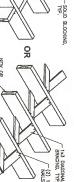
(6) 10dx1.5 (6) 10dx1.5 (8) 10dx1.5 (2) 10d (4) 10d

DOUBLE LVL

DBL 2×14 HU210-2 DBL 2x12 DBL 2x8

(14) 10d (14) 18d





HANGER # FASTENER

NEW OR

JOIST PENETRATION LIMITATIONS	

DO/3 DO/3.	BORED HOLES ALLOWED ONLY ON INTERIOR & OF BEAM. SPACE A MINIMUM OF ZX THE DIA. OF THE LARGEST HOLE

HEADER SIZE NON-STRUCTURAL
DBL 2x4 2'-6'
DBL 2x6 3'-6'
DBL 2x8 4'-6'
DBL 2x10 5'-6'
DBL 2x12 B'-6'

STRUCTURAL SHEATHING 3'-8" 4'-8" 5'-6" 5'-6" 7'-6"

HEAGER SCHEDULE
SAWN LUMBER HEADERS NOT OTHERWISE SPECIFIED
HAX. ALLOWABLE SPAN, FT.

SOUTHERN PINE, UNLESS NOTED OTHERWISE

# NAILS, TYPICA NOT TO SCAL TAL DIRECTION TO BROWNING THE WALLS THE

m	Ē		æ	₹∨	΄,	$\Delta$	7
	LUME		$\geq$		$\langle\!\langle$		1
	ER BI		2		_	7	
	OCK.		EXISTING JOISTS		(	S STN	N
	NG OF		S S		/	1	V
	LUMBER BLOCKING OR BRIDGING	75		/			
	GING	7	1	M	1		H
					1	1	/

2×10 2×8

> HU26 HU24

> > (6) 10d (4) 10d

(2) 10dx1.5 (4) 10dx1.5

-(2) 1%"x (12"-18") LYL BEAM

YE" WOOD SCREWS
(3") COMMON
6 12" O.C.;
(3) ROWS, TYP.

(4) 10dx1.5

(2) 164

B B	NOTE: NOTICHNO NOTE: NOTICHNO NOTE: NOTICHNO NOT	< % SPAN JOIST
Ю		

# JOIST NOTCHING LIMITA I YUNS

# Solid wood 2x blocking shall be provided between joists over supports and at ends of cuntiavered joists.

 Provide double joists under all interior partitions oriented paratiel to joists. Joiet bridging shall be provided in rows not exceeding 8-0° on star where joist depth exceeds 8° or where one side of the joist of supported continuously by plywood or wood sheathing.

2. Trusses shall be designed by a Professional Engineer Icensed in Taxas (Iruss designer).

ulactured wood trusses shall be matel plate connected trusses designed and fibricated in accordance with the all Design Stantard For Matel Pete Connected Wood Truss uction (ANSUTPI 1-1985).

Inless noted otherwise, the following materials are typical:

#2 spf, klin dried 15% MC

mber shall be idin-dried and shall have a moisture content at of manufacture between 7% and 15% by weight.

Streatting: APA-rated panets, thickness or span-rating as noted. Plywood: APA-rated exterior exposure, thickness as noted. Framing lumber: #2 southern pine, kin dried 15% MC

Edator si pletia stali he bolled in ten frundskin ven 174-inch
schor volte at 72-inchas (48-inchas) il voo ornea regiety on
conter vilth minimum embadment of 7-inchas. 3" square, 3 gage
tentingsplete vesthum shall be provided and installed at every sit
anchor.

Plaise in contact with concrets or mesonry shall be pressure-treated. 4. All stot walls shall be framed with a single plate at the bottom and a disuble pitale at the top. Spicers in top-plates shall be staggered by more than 48-inches and nalled with (8) 16d common naive on both sides of the spilce.

APA EWS 1" rim board.

2950 FB 2.0E, APA certified

cdor plates shall be manufactured by a Wood Truss
of Amarica member plate supplate. Contractor plates shall
elech blokerase inflature and shall conform to ASTM
ISSn state, grade 33 maintrum. B, plates shall be G60
ad in accordance with ASTM ASZ4/ASZ4m. arection shall be in accordance with Commentary And and allone For Hendling, Installing And Brecing Metal anacted Wood Trusses (TPI HIB-81).

MANUFACTURED WOOD TRUBSES

6. All framing members framing into the side of a header shall be litached using malel jots hangers stand to support the full design bads and intallied in accordance with the jotst hanger vanufacturor's recommendations.

 Contractor shall contact the Design Engineer for darification to discrepancies found on the field. Special pre-final framing inspection shall be conducted pre-restallation of insulation

Based

THE 2015 IRC CODE OR CONSULT WITH DESIGN ENGINEER

 All exterior and interior walls shall have 2 x 4 wood stude at 16" o.g. unless notes otterwise. All wood beams and other wood shudural members shall be supplied by a qualified manufacturer.

 Contractor to Install 2 x 8 well blocking at accessible bathroon walls for accessible grab bare. Contractor to use 2 x 6 strong backs for roof rafter purkns, see
 top load bearing walls beneath. Framing contractors to install temporary wind bracing while hain structure frame is being constructed.

Cutting or altering of trusses is not permitted.
 Coordinate with mechanical for duct chase sizes & locations

 All transing shall be done in accordance with nationally-recognized framing standards, as reference in international Residential Code 2015 3. Headors shall be as altown on the drawings. If not shown on drawings, headors shall be as personad in Table R892.7.1 of the Infarrabora Regarduld Code. Contact Engineer for headors not shown on the drawings and not specified in Table R802.7.1

Incided: ACQ treated to per AWPA treatment standards, designated as (P.T.) on the standards, designated as (P.T.) on the drawings, kiln-deded after treatment (SOAT) where noted: Use Simpson Zinex (S185) connectors or approved substitute.

11. Sher wall (brazed wells) and oddror wall shealthing shall be oxizinforgrade, APA made plywood, nailed with 8D common naile at 6-inches on centure sit panel edges and 12-inches on centure its panel edges.

 All trusses are bottom chord bearing U.N.O.
 Trusses with multiple point leads shall be designed for abalanced leading. . Trus configurations shown are schematic. Truss designer sell determine truss configuration. Center opening of trusses are to remain clear of diagonal ribers to allow clearance for HVAC diretwork.

ASTM A307, U.N.O., drill holes 1/16\* larger from bot dia., use ASTM F844 standard washers at both ends (outside diameter of the washer which be at least 2.5 times the both diameter).

8. Provide double studs at all wall comers and on each side of all openings. All weed alud walls shall be full height between floors without intermediate plate line, unless noted otherwise.

Wallstuds shall be tripled at beam supports.

Rod thenthing shall be satirize greate, APA and phytocod. sashing shall be naded with 8D common rasis at 8 inchase on their granel edges and 12-brintes on contax at infammalias proofs. Sheathing shall be label with the face grain spendicular to the offices, continuous over three or more proprise with plants staggered. Hodge are required at all promoted stores.

Simpson Strong-Tie or approved substitute

24. Contractor to install 2 x 8 wall blocking @ upper Nichen cabinet areas.

Г

		PORT OF THE PERSON NAMED IN
(FOR SOUTHERN PINE	OF DRITIES	
∯2 LU	A TRIOL	

	200	348	170	SyR.	100	2vc	MEMBER	COOLING LINE
0 18" O.C.	@ 24" O.C.	<b>9</b> 18" O.C.	@ 24" O.C.	9 16" O.C.	@ 24" O.C.	@ 16" O.C.	SPACING (IN.)	By country is
25'-7"	17'-7"	21'-7"	13'-11"	16'-11"	9'-3"	10'-9"	MAX. ALLOWABLE SPAN (FT.)	יייייייייייייייייייייייייייייייייייייי

on Internat	2010	3410	200	3	200	SYR.	207	200	
on International Residential Code Table (iL=10 psf; DL=5 psf L/∆=240)	₾ 24" O.C.	0 18" O.C.	@ 24" O.C.	0 18" O.C.	@ 24" O.C.	@ 16° O.C.	@ 24" O.C.	@ 16" O.C.	
Code Table R802.4(1) L/A=240)	20'-11"	25'-7"	17'-7"	21'-7"	13'-11"	16'-11"	9'-3"	10'-9"	, ,

	UTHERN PINE #2 L	CEILING JOIST	
V111	LUMBER NOT OTH	MAXIMUM SPAN T	
THE PARTY OF THE P	THERWISE SPECIFIED	ABLE	
	9		

1. Besed on Singson Stropy-Tis,
2. Honggra shave not for monthal dimensioned lumber,
(1.5° thick). For rough som lumber use Simpson "US"
or "UT" seeis integra, or opproved substitute.
3. Use oil ordishole feature holies.
4. Use only monificativene opproved featurens.
4. Use oil ordishore in exterior conditions must be MD. Golv.

CEILING DUTHERN PINE MEMBER 2x4	CEILING JOIST MAXIMUM BPANTABLE NN PINE \$2 LUMBER NOT OTHERW BER SPACING (IN.) MAX. AIL BER SPACING (IN.) MAX. AIL SPAN  © 18" O.C. 10"-1  © 24" O.C. 9"-3	BELHAR JONST MAXMMUM BERM TABLE  BELHAR LINBERS NOT OTHERWISE SPECIFED)  MEMBERS SPACING (NA) MAX. ALLOWRIE.  MEMBERS SPACING (NA) MAX. ALLOWRIE.  DE 16" O.C. 10"-9".  2x4 0 2x* O.C. 9"-3"
MEMBER	SPACING (IN.)	MAX. ALLOWABLE SPAN (FT.)
Sud	@ 16" O.C.	10'-9"
EAT.	@ 24" O.C.	9'-3"
o n	9 16° O.C.	16'-11"
0.42	@ 24" O.C.	13'-11"
3.0	0.C.	21'-7"

	· · · · · · · · · · · · · · · · · · ·	2" 2"	
MULTIPLE LVL FASTENING DETAIL	QUADRUPLE LVL		(4) 1%; LVA, BE
VL DETAIL	LE LVL	½"ø A307 THRU-BOLTS ● 24" O.C.; (2) ROWS, TYP.	(4) 1%"x (12"-18") LVL BEAM

MULTIPLE LVL FASTENING DETAIL NOT TO SCALE	QUADRUPLE LVL	% A307 THRU-BOLTS	(4) 1%"x (12"-18")



VERSION 2.0
SAME APPORT

S-6 AS NOTED

10-11	
AU-17	TYPICAL FRAMING DETAILS
73	SINGLE-FAMILY DUPLEX



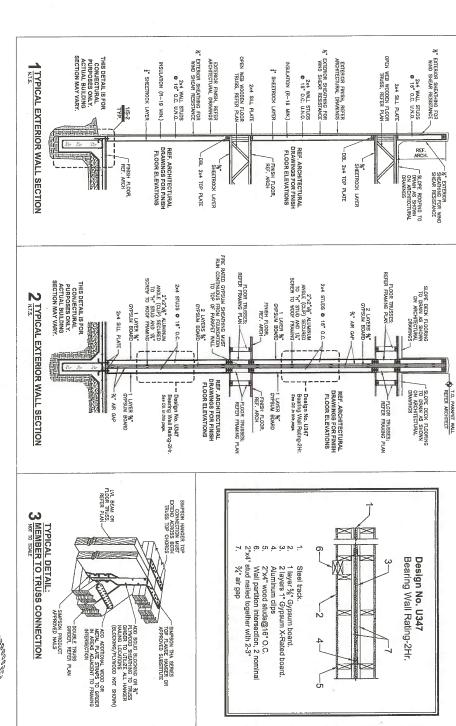
TRIPLE LVL (3½"LONG) OF SCREWS (3½"LONG) OF STREWS, TYP.

-	
7	1401 E. 3RD STREET AUSTIN, TEXAS
	AUSTIN, TEXAS
	ARCHITECT WILLIAM HOD

Approved Plans Correction Notes:

1. Client of Designated Agents are on <u>Red slicused to make changes</u> to approved plans <u>without prior written approved</u> from the Design Engineer and concurrence from the Reviewing Authorities, observed of Designated Agent, shall incur all slabilities associated with the changes and with a hold Genesia 1 Engineering harmises of slach forumat leability.

2. Client, or Designated Agent shall submit in writing to the Design Engineer for conceives required by the Local Authority swing Jurisdiction in cred for the Design Engineer to process the required connections through the Plan Reviewing Authority for Approval, where required.



Approved Plans Correction Note:

1. Clear or Designated Agents are rotallowed to make changes to approved plans without prior written approved plans to the property of the pr

TYPICAL
FRAMING DETAILS
SINGLE-FAMILY DUPLEX

REVIEWED FOR CODE COMPLIANCE

City of Austin

78329 (CENSE)

Genesis 1 Engineering Company
Commercial • Residential
C1 T 610 South Fint St. Ste 105
Austin, TX 7876
Office 512.899-2246
T.B.F.E. Registered Firm 8F-2565

1401 E. 3RD STREET AUSTIN, TEXAS 1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED THE PROJECT TO REVEW THESE DRAWINGS AS SUCL. E SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES. 
 From:
 Ramirez, Elaine

 Subject:
 FW: 1401 East Third

**Date:** Monday, May 11, 2020 2:34:48 PM

My original email to City staff questioning the construction at 1401 E 3<sup>rd</sup>.

From:

Sent: Wednesday, January 24, 2018 1:02 PM

To: DSD Help

Cc: Subject: 1401 East Third

This message is from Jeff Thompson. [bc-jeffrey.thompson@austintexas.gov]

I sit on the Planning Commission and one of the residents in my district asked me about a new house going up at 1401 E 3rd Street, 78702.

It appears to have approved plans for less than the required set back, but there was never a BOA hearing or other variance. Can you please explain how they are allowed to build so close to another house and within the set back?

Jeffrey Thompson Boards and Commissions

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From:

**Subject:** FW: 1401 E 3rd Street

**Date:** Monday, May 11, 2020 2:42:25 PM

Attachments: <u>image002.png</u> <u>image003.png</u>

image004.png

<u>D5619B4E5E1648509A9623C8BE4D07E6.png</u> <u>8FF5708083434FEA868AB1891DEEC906.png</u>

Several weeks later I'm still chasing the issue. You can see from the pictures that the development is still in early stages. The response is : inspector will notice.

To be told now that the inspector didn't raise the issue early enough is frustrating.

From:

**Sent:** Friday, March 2, 2018 4:13 PM

To:

Subject: Fwd: 1401 E 3rd Street

Jeff Thompson Planning Commission D3

Begin forwarded message:

From: "Johns, Renee" < Renee. Johns@austintexas.gov>

Date: March 2, 2018 at 3:00:04 PM CST

**To:** "Thompson, Jeffrey - BC" < <u>bc-Jeffrey.Thompson@austintexas.gov</u>>, "Olsen,

Dillon" < <u>Dillon.Olsen@austintexas.gov</u>>

Subject: RE: 1401 E 3rd Street

Jeffrey,

### Two things:

- 1. If it is too close, this will be called out by the inspector associated with this project-DeeAnn Afra
- 2. Fences are not always the determination of a lot line. Again, this inspector will look for this.

### **Renee Johns**

Planner Senior – Expedited Review

City of Austin Development Services Department

One Texas Center, 505 Barton Springs Road, 7th Floor

Office: 512.974.2260



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From: Thompson, Jeffrey - BC

**Sent:** Friday, March 02, 2018 9:59 AM

**To:** Johns, Renee < <u>Renee.Johns@austintexas.gov</u>>; Olsen, Dillon

<<u>Dillon.Olsen@austintexas.gov</u>> **Subject:** Re: 1401 E 3rd Street

But the foundation is easily less than 5 ft from the property line. Here is a picture of the actual building.



Jeff Thompson District 3 Planning Commissioner

Office: 512-314-1830

From: Johns, Renee

**Sent:** Thursday, March 1, 2018 3:41:33 PM **To:** Thompson, Jeffrey - BC; Olsen, Dillon

**Subject:** RE: 1401 E 3rd Street

Jeffrey,

This is an approved plan and there is a projection into the 5 foot setback. This is a common concern, but the code does allow for eaves and other incidentals to project 2 ft. into any setback, LDC 25-2-513 B. If you look at sheet A201, you can see the elevation view of the proposed residence. On this elevation, you can see the footprint of the building stops at the 5 ft. setback and the eaves project into the setback. Again this is an allowed and common design.

I hope this answers your question.

### Renee Johns

Planner Senior – Expedited Review

<u>City of Austin Development Services Department</u>

One Texas Center, 505 Barton Springs Road, 7th Floor

Office: 512.974.2260



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**From:** Thompson, Jeffrey - BC

Sent: Thursday, March 01, 2018 3:08 PM

**To:** Johns, Renee < <u>Renee.Johns@austintexas.gov</u>>; Olsen, Dillon

<Dillon.Olsen@austintexas.gov>

**Subject:** 1401 E 3rd Street

Hi Dillon,

I'm looking into a case on behalf of a district 3 constituent. She is concerned that

the house being built at 1401 E 3rd does not have a 5 foot side setback.

Looking at the plan (2017-043148 PR), it clearly shows that the house encroaches on the 5 foot set back line.

Can you tell me if this is in fact an approved plan and if so can you please explain why?

Thank you so much for your time.

Jeff Thompson
District 3
Planning Commissioner

Office: 512-314-1830

Jeffrey Thompson Boards and Commissions

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Jeffrey Thompson Boards and Commissions

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Jeffrey Thompson Boards and Commissions

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From: Ron Thrower
To: Ramirez, Elaine

**Subject:** RE: BOA Case C15-2020-0020 **Date:** Monday, May 11, 2020 5:04:38 PM

Attachments: <u>image001.png</u>

### \*\*\* External Email - Exercise Caution \*\*\*

Elaine,

Making sure the below got to BOA Membners for this case on for tonight. Let me know please.

Be smart. Be safe. Be kind.

### **Ron Thrower**



510 South Congress, Suite 207

**Mail:** P.O. Box 41957 Austin, Texas 78704

512-476-4456 office 512-731-2524 cell



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From: Ron Thrower

**Sent:** Monday, May 11, 2020 12:55 PM

To: Ramirez, Elaine < Elaine. Ramirez@austintexas.gov>

**Subject:** BOA Case C15-2020-0020

Elaine,

Can you please forward this to all Board Members –

Board of Adjustment members,

For full disclosure, I am a registered Lobbyist with the City of Austin. I am not working for any paying client on this case, and none of my questions or comments are meant to be taken as lobbying. My questions and comments are only to gain clarity to the situation.

We were asked to review the materials for the above referenced case. While this does appear to be a surveying error, it would be helpful to understand a few items for this case:

- 1. Has the survey for which the error occurred been made public?
- 2. The new survey finds the property to be wider at the alley by 0.44' (33.97' from Building Permit set vs 34.41' from updated survey). The new survey only reflects the encroachments to the side setback but does not reflect distances to Navasota Street Right-of-way. In theory, with the building designed at 13'-10" in width coupled with the 2.77' setback of the building on the east property line, the distance to the Navasota Street Right-of-way on the southern end of the building should be +/-17.81'. Can this be verified?
- 3. Does the decreased setback create a fire hazard? Are non-combustible materials used along the eastern property line? Is the house sprinkled?
- 4. The building plans reflects two 36" doors opening outward on the east side of the proposed house. Did no one notice that the door did not open completely or was too close to the fence (assuming it is on the property line. No documentation appears to exist in the records showing the location of the fence.)

Again, this appears to be a surveyor error and it is unfortunate that it has reached this point. While it would be nice to have answers to the questions herein, we support any decision the BOA may reach for this case.

Be smart. Be safe. Be kind.

### Ron Thrower



510 South Congress, Suite 207

Mail: P.O. Box 41957

Austin, Texas 78704

512-476-4456 office 512-731-2524 cell



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Susan Benz From: Ramirez, Elaine To:

Cc: Subject:

Date:

Fwd: BOA Case # C15-2020-0020 - I object Tuesday, May 12, 2020 9:28:33 AM

### \*\*\* External Email - Exercise Caution \*\*\*

Elaine,

Good morning. I've just read the email from Jeff Thompson (below) who served many years on our neighborhood plan contact team. The fact that he pointed out the error in the layout of the foundation to the City early on and several times and no action was taken by Code Enforcement or Building Inspection is extremely unfortunate. My personal belief is that this case should be investigated as to where the failure to enforce the code took place so that it can be avoided again.

Please convey the message to the Board of Adjustment that the East Cesar Chavez Neighborhood Plan Contact Team is even more strongly opposed to any variance or waiver given to this project.

Most sincerely,

Susan Benz Business Rep and Treasurer

East Cesar Chavez Neighborhood Plan Contact Team

Susan Benz | Benz Resource Group 1101 - B E 6th St - Medina Street Entrance Austin, TX 78702

Keep Calm and Carry On ... and wash your hands!

----- Forwarded message -

From: **Amy Thompson** < Date: Mon, May 11, 2020 at 11:24 PM

Subject: Fwd: BOA Case # C15-2020-0020 - I object To: David Brearley <

, Susan Benz >, Pamela Colloff <

----- Forwarded message -----

From: **Thompson**, **Jeffrey - BC** Date: Mon, May 11, 2020 at 1:22 PM

Subject: BOA Case # C15-2020-0020 - I object

To: Ramirez, Elaine < <u>Elaine.Ramirez@austintexas.gov</u>>

Cc: Amy Thompson <

I would like to strongly state my objection to the request for relief from set back requirements at 1401 E. 3<sup>rd</sup>. My neighbor Amy Thompson (no relation) pointed out the property to me early in its construction. It was clear from viewing the property that the builders were not abiding by the standard setback.

I wrote to City staff alerting them of the situation in January 2018 when the project was simply a foundation on the ground. Over the next weeks I sent several emails including photos of setback infringement. Each time I was assured by staff that if there were errors they would be caught at inspection.

I support changes to City code that will allow more and denser housing, especially in our City Core. I have also supported changes that allow streamlining of approval to make development easier. But I have never supported relaxation of laws that were intended to ensure the safety of our residents. To waive those requirements now would simply be allowing the creation of substandard housing because the developer and City made mistakes and do not want to pay the price for them.

Jeff Thompson

1408 Willow Street

Austin, TX 78702

Jeffrey Thompson Boards and Commissions

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From: Pamela Colloff
To: Ramirez, Elaine
Cc:

**Subject:** opposition to request in BOA Case # C15-2020-0020

**Date:** Monday, May 11, 2020 11:49:08 AM

### \*\*\* External Email - Exercise Caution \*\*\*

### Dear Ms. Ramirez:

I would like to express my strenuous opposition to the request for a setback variance in BOA Case # C15-2020-0020. My primary residence is located within 500 feet of 1401 E. 3rd Street, which is the property in question.

The structure at 1401 E. 3rd virtually abuts the neighboring property. The foundation is clearly FAR less than 5 feet from the property line.

This is an obvious fire hazard. It is not hard to imagine how a small fire could quickly consume multiple structures given their current proximity to each other. Allowing such a set back variance would be a clear danger to public safety, both for residents and first responders.

I would encourage you to look at this property in person, since it will immediately become clear to you--in ways that words and measurements cannot--why this is a hazard to our entire neighborhood.

I urge you to reject the request for a setback variance in BOA Case # C15-2020-0020. Thanks very much for considering this request.

Best wishes,

Pamela Colloff 1305 E. 2nd Street Austin TX 78702

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