

1401 E. 3rd St.
Case #C15-2020-0020
Reconsideration Hearing
July 13, 2020

1. Summary of project timeline

January 9, 2017	Original survey issued (see Exhibit “A”)
April 12, 2017	Original application for permit including affidavit (see Exhibit “B”)
December 7, 2017	Plan review approved—case #2017-043148 PR (see Exhibit “C”)
December 8, 2017	Permit issued—permit #2017-152673 PR
January 3, 2018	Form survey issued (see Exhibit “D”)
January 19, 2018	Layout inspection passed by City—inspection #101
January 24, 2019	Development Services Department informed by District 3 Planning Commissioner of potential discrepancy
March 1, 2018	Specific residential reviewers in charge of approval informed by District 3 Planning Commissioner of potential discrepancy
March 2, 2018	Residential review in charge of approval responded to Planning Commissioner
June 13, 2018	Post-permit revision approved (see Exhibit “E”)
February 3, 2020	New survey issued (see Exhibit “F”)
May 11, 2020	1 st hearing for variance request—postponed
May 21, 2020	New drawings issued showing proposed modifications (see Exhibit “G”)
June 8, 2020	2 nd hearing for variance request—denied
July 13, 2020	Reconsideration hearing

2. Rationales for reconsideration

- A. In the previous meeting, it was questioned whether the project was legally approved. The previous agent mistakenly called the project a duplex. A duplex is not allowed on a lot this small or this narrow. The project was intended to be a single-family residence with an attached accessory apartment, as allowed by the zoning code in section 25-2-901. This section of code does not state a minimum lot size or dimension:

§ 25-2-901 - ACCESSORY APARTMENTS.



- (A) An accessory apartment is a separate dwelling unit that is contained within the principal structure of a single-family residence, and that is occupied by at least one person who is 60 years of age or older or physically disabled.
- (B) If space within a principal structure is converted to an accessory apartment, the accessory apartment may not include:
 - (1) converted garage space; or
 - (2) a new entrance visible from a street.
- (C) The building official may not issue a building permit for construction or remodeling of an accessory apartment unless the applicant delivers to the building official an affidavit verifying that one of the proposed occupants of the accessory apartment is 60 years of age or older or physically disabled.

Source: Sections 13-2-1 and 13-2-251; Ord. 990225-70; Ord. 031120-44; Ord. 031211-11.

An affidavit was submitted stating that the owner (over the age of 60) intended to occupy the accessory apartment (Exhibit "B"):

01 March 2017

My name is Jeffrey Blatt and I hereby affirm the following:

- 1.) The entity "Durham Trading Partners XII, LLC" is an entity of which I am a managing member [director].
- 2.) The aforementioned entity owns the property at 1401 East 3rd Street in Austin, Texas.
- 3.) The approved agent of the aforementioned entity is submitting an application to construct a primary residence with an accessory-apartment use as permitted by the City of Austin's Land Development Code (reference section 25-2-901).
- 4.) I am over sixty (60) years of age.
- 5.) It is my intention to reside in the accessory apartment to be constructed on this property.

So affirmed,


Jeffrey T. Blatt

Signed and sworn before me this day, the 2 of March, 2017.

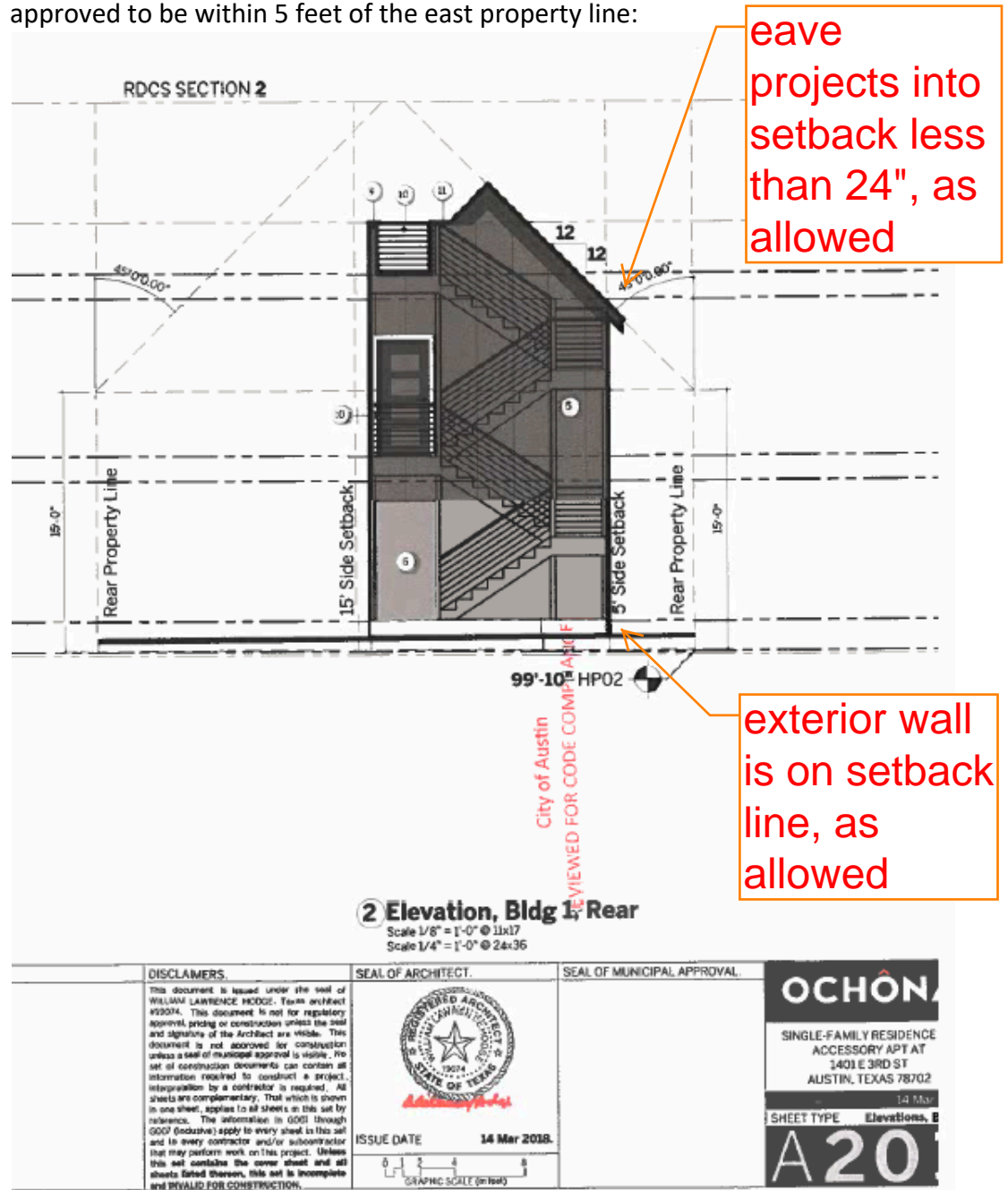


Notary Public
State of Texas



Exhibit "B" was not presented in the previous two hearings.

As well, the local Planning Commissioner questioned whether the project was legally approved due to the fact that he thought the building was too close to the east property line. The approved plans appeared to show that the building was too close to the east property line but it was only the eave, not the wall, that was approved to be within 5 feet of the east property line:



- B. As was said in the previous two meetings, the reason that the structure as-built is only 2.80 feet from the east property line, is due to a surveying error. The original survey (Exhibit "A") indicated that the neighbor's fence was the eastern property line:

fence =
property line
in this
survey

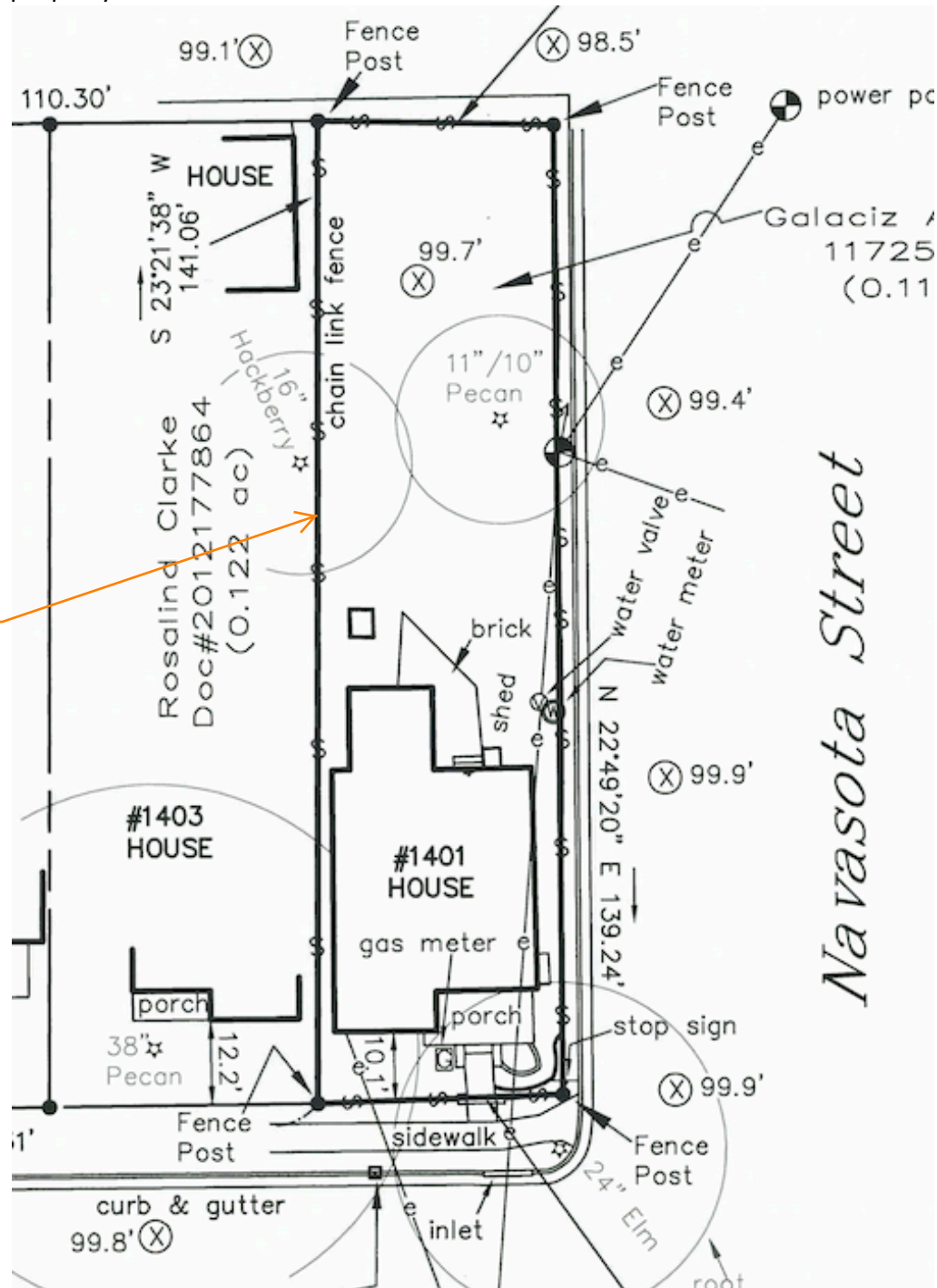


Exhibit "A" was not presented in the previous two hearings.

When the surveyor returned to do the form survey, they felt they had reason to believe that the original survey was incorrect, and that the neighbor's fence was actually *on* 1401's property (as shown on Exhibit "D"):

fence is west
of property
line in this
survey

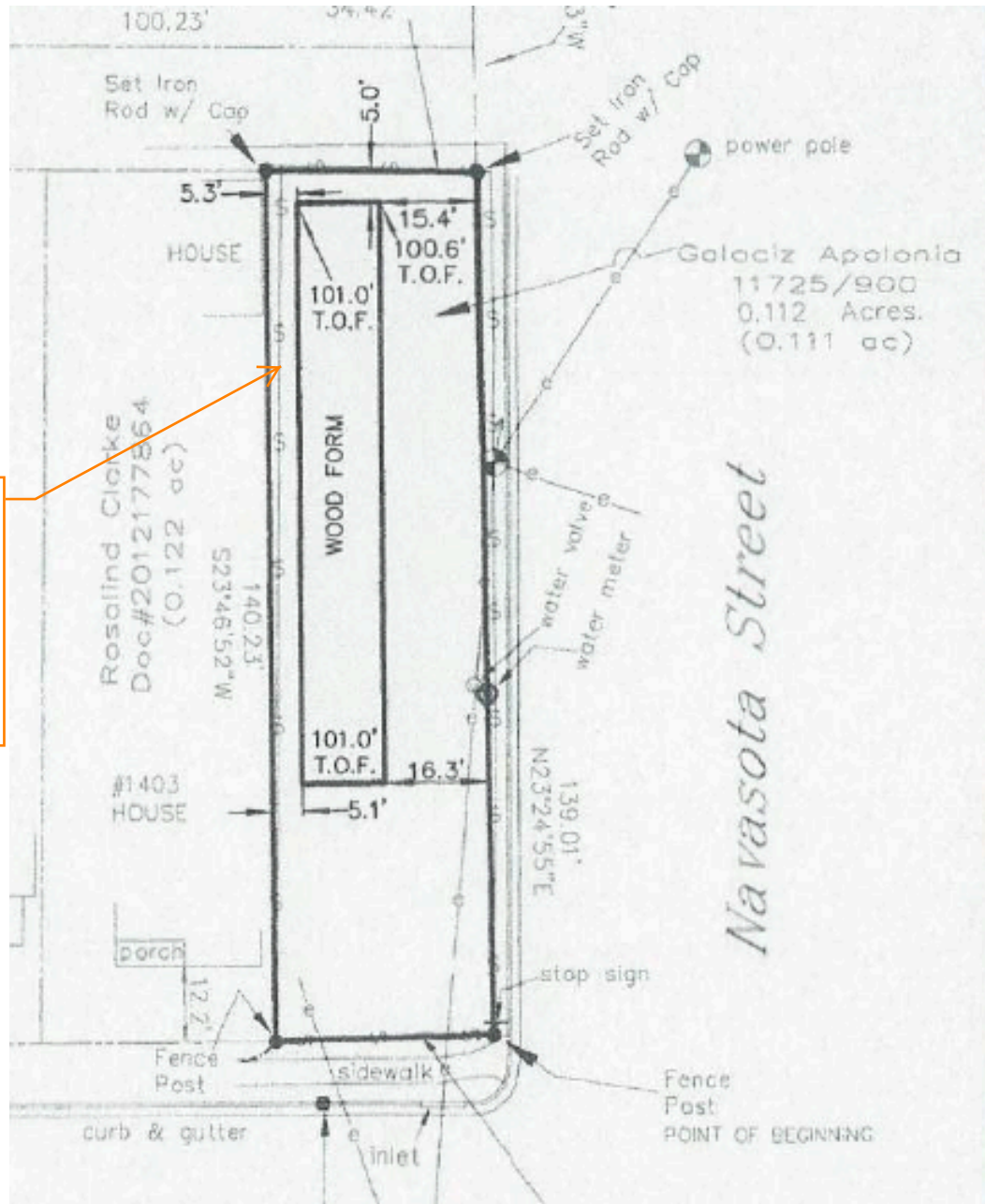


Exhibit "D" was not presented in the previous two hearings.

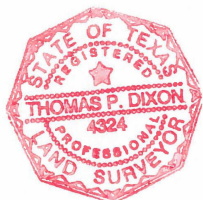
Thus the contractor, owner, and City inspectors all had reason to believe that the position of the building in relation to the east property line was correct, and thus the layout survey was approved, and thus construction continued.

3. Proposed modifications to alleviate the neighbor's legitimate concerns about fire/life safety (not elaborated upon in 2nd hearing):
 - The entire building will be fire-sprinklered
 - Windows and doors will be removed from the portion of building that is less than 3 feet from east property line (as is required by the building code for walls less than 3 feet from property lines)
 - The portion of exterior wall that is less than 3 feet from east property line will be retrofitted to be 1-hour fire-rated from both inside and outside (as is required by the building code for walls less than 3 feet from property lines)
 - All of the above will be submitted to the Development Services Department for review and approval prior to any resumption of construction
4. Conclusion
 - A. This project was legally approved.
 - B. This variance request is not the result of negligence nor is it the result of intentional encroachment in a side setback. The general vicinity is known for discrepancies in surveying and the surveyor made an honest mistake. Because that mistake was made in the form survey stage, everyone involved in approving the location of the building understandably thought that the building had been laid out correctly, and construction continued. The surveying mistake was not discovered until the final survey was done. Again, it was an honest mistake.
 - C. Had the project been laid out according to the original survey, and had the project been built as approved, it would have had virtually the same visual and spatial relationship to the neighbor's property as it does now.
 - D. The proposed actions to alleviate the neighbor's legitimate concerns about fire/life safety will be complex and expensive but we understand that they are required by the building code and we are more than willing and able to take them.

CHAIN LINK FENCE
OVERHEAD ELECTRIC
POWER POLE
GAS METER
WATER VALVE
WATER METER
STREET SIGN

TREE 15"
☆ Pecan

*** SPOT ELEVATION ***
(TYP)



FRONT HOUSE SETBACK SURVEY FOR 1401,
1403, 1407, 1409 AND 1411, EAST 3RD
STREET, AUSTIN, TEXAS 78702 AND FURTHER
BEING OUT OF AND PART OF OUTLOT 20,
DIVISION 0, ORIGINAL CITY OF AUSTIN,
TRAVIS COUNTY, TEXAS

Thomas P. Dixon R.P.L.S. 4324

www.WaterlooSurveyors.com - Austin, Texas - (512)481-9602

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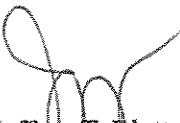
[APPLICANT EXHIBIT "A"]

01 March 2017

My name is Jeffrey Blatt and I hereby affirm the following:

- 1.) The entity "Durham Trading Partners XII, LLC" is an entity of which I am a managing member [director].
- 2.) The aforementioned entity owns the property at 1401 East 3rd Street in Austin, Texas.
- 3.) The approved agent of the aforementioned entity is submitting an application to construct a primary residence with an accessory-apartment use as permitted by the City of Austin's Land Development Code (reference section 25-2-901).
- 4.) I am over sixty (60) years of age.
- 5.) It is my intention to reside in the accessory apartment to be constructed on this property.

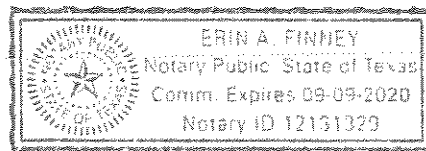
So affirmed,


Jeffrey T. Blatt

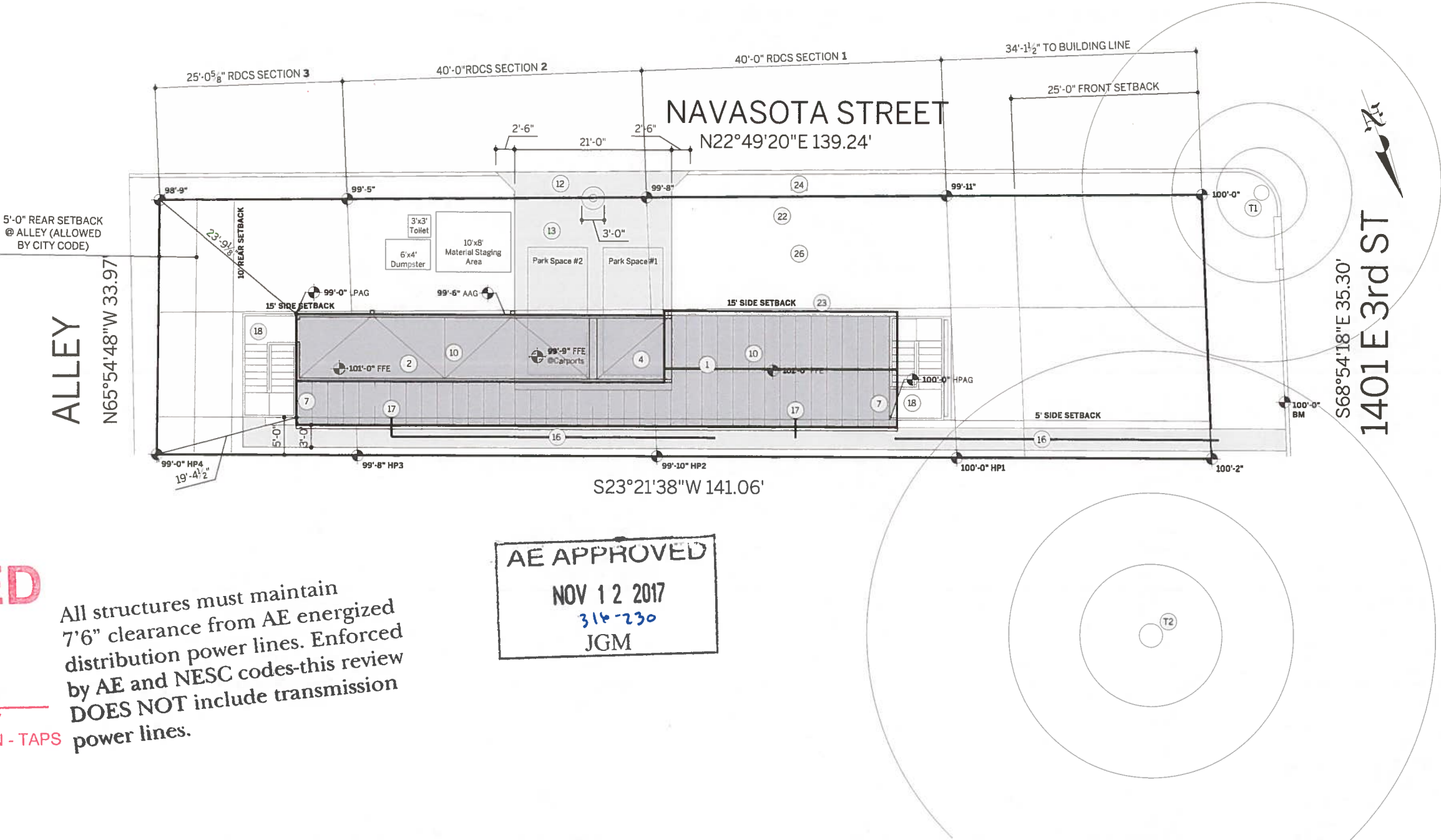
Signed and sworn before me this day, the 2 of MARCH, 2017.



Notary Public
State of Texas



[APPLICANT EXHIBIT "C"]



REVIEWED

NOV 13 2017

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

All structures must maintain
7'6" clearance from AE energized
distribution power lines. Enforced
by AE and NESC codes-this review
DOES NOT include transmission
power lines.

AE APPROVED
NOV 12 2017
314-230
JGM

CITY OF AUSTIN
APPROVED FOR PERMIT
J. Rodney Gonzales
Development Services Department
By Date 12-7-17
The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

REFER TO SHEET A001 FOR PROJECT INFORMATION AND AREA CALCULATIONS

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).				CRITICAL ROOT ZONES AT PROTECTED TREES.		LIST OF PROTECTED TREES.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.					
01	New primary residence.	11	New spiral stair to roof deck.	17	New step-free entry into residence. Maximum vertical rise 1/2".	23	New electrical meter(s) for primary residence and secondary residence or additional unit, as applicable.	#	TRUNK Ø	SPECIES	<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>				
02	New accessory residence.	12	New Type I driveway approach per City of Austin standards.	18	New pre-fabricated steel staircase.	24	Location of existing water meter.					T1	24"	CEDAR ELM	<p>City of Austin REVIEWED FOR CODE COMPLIANCE</p>
03	New attached garage.	13	New concrete driveway.	19	New concrete patio, uncovered.	25	Location(s) of new water meter(s), as applicable.					T2	38"	PECAN	
04	New attached carport.	14	New conc. driveway ribbon.	20	New wood deck, uncovered.	26	Location of new water supply and waste water line to primary residence.								
05	New detached garage.	15	New sidewalk in right-of-way per City of Austin standards.	21	New decomposed granite patio, uncovered.	27	Location of new water supply to secondary residence or additional unit, as applicable.								
06	New detached carport.	16	New visitable route from public way to residence. Minimum width 3'-0".	22	Existing overhead electric service.										
07	New covered porch w/ deck or habitable space above.														
08	New covered porch w/o deck or habitable space above.														
09	New uncovered deck.														
10	New uncovered roof deck.														
REFER TO SHEET A101 FOR CONTINUATION OF ROUTE TO INTERIOR OF UNIT.															

24x TRUNK Ø
12x TRUNK Ø
6x TRUNK Ø

OUTER CRITICAL ROOT ZONE
MIDDLE (1/2) CRITICAL ROOT ZONE
INNER (1/4) CRITICAL ROOT ZONE

0 1 2 4 8 16
GRAPHIC SCALE (in feet)

02 Nov 2017.

02 Nov 2017.

Site Plan

A000

[APPLICANT EXHIBIT "C"]

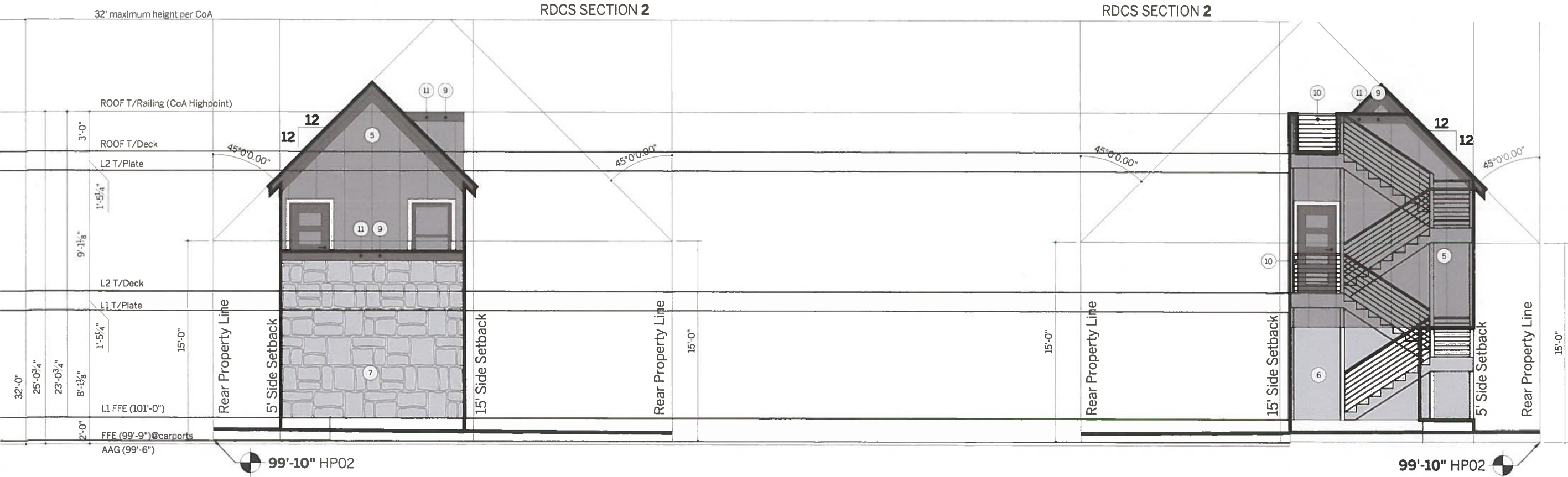
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i):

A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1




Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



1 Elevation, Bldg 1, Front
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

2 Elevation, Bldg 1, Rear
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).											DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	OCHONA Development + Architecture		
01	New standing-seam metal roof.	06	New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric.	11	New parapet at exterior porch or deck. Minimum height 36" above finish floor.						<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>			SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702	ISSUE DATE	02 Nov 2017.
02	New 30-year composition shingle roof.	07	New 3.5"-thick stone masonry veneer, random-ashlar bond.					SHEET TYPE	Elevations, Bldg 1.							
03	New horizontally-oriented cement-board siding. Exposure 6".	08	New brick masonry veneer, common bond.						A201							
04	New horizontally-oriented cement-board siding. Exposure 12".	09	New metal coping. Exposure 6".													
05	New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens.	10	New metal railing at exterior porch or deck. Minimum height 36" above finish floor.													
											GRAPHIC SCALE (in feet)		REVIEWED FOR CODE COMPLIANCE City of Austin			

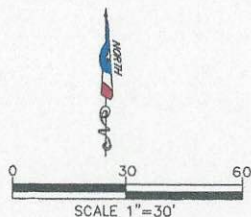
[APPLICANT EXHIBIT "D"]

Waterloo Surveyors Inc. FORM SURVEY

J15007D

LEGEND
CHAIN LINK FENCE ———
OVERHEAD ELECTRIC ———
POWER POLE ———
GAS METER ———
WATER VALVE ———
WATER METER ———
STREET SIGN ———

LEGAL DESCRIPTION:
BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND CONTAINING 0.112 ACRE OF LAND, MORE OR LESS, OUT OF OUTLOT 20, DIVISION O, ORIGINAL CITY OF AUSTIN, TRAVIS COUNTY, TEXAS BEING ALL OF THAT CERTAIN 0.111 ACRES OF LAND CONVEYED TO APOLONIA GALAMIZ BY DEED RECORDED IN VOLUME 11725, PAGE 900, REAL PROPERTY RECORDS, TRAVIS COUNTY, TEXAS.



State of Texas:
County of Travis:

The undersigned does hereby certify that this survey was this day made on the property legally described hereon and is correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 5 Condition II Survey.
And I certify that the property shown hereon IS NOT within a special flood hazard area as identified by the Federal Insurance Adm. Department of HUD flood hazard boundary map revised as per Map Number: 4845300465J
Zone: X Dated: 01/06/2016

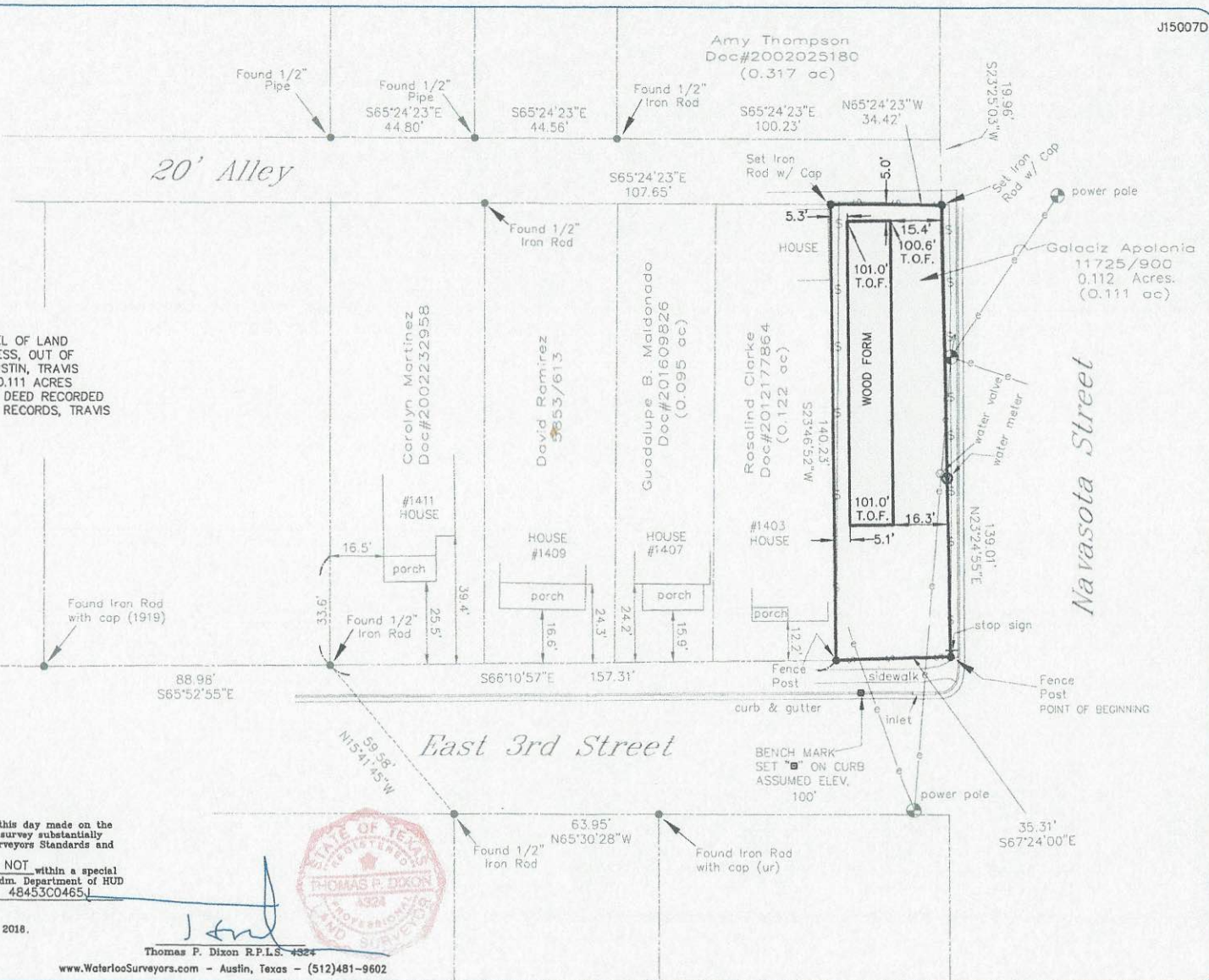
Dated this the 3RD day of JANUARY, 2018.

FIRM# 10124400

© Copyright 2018

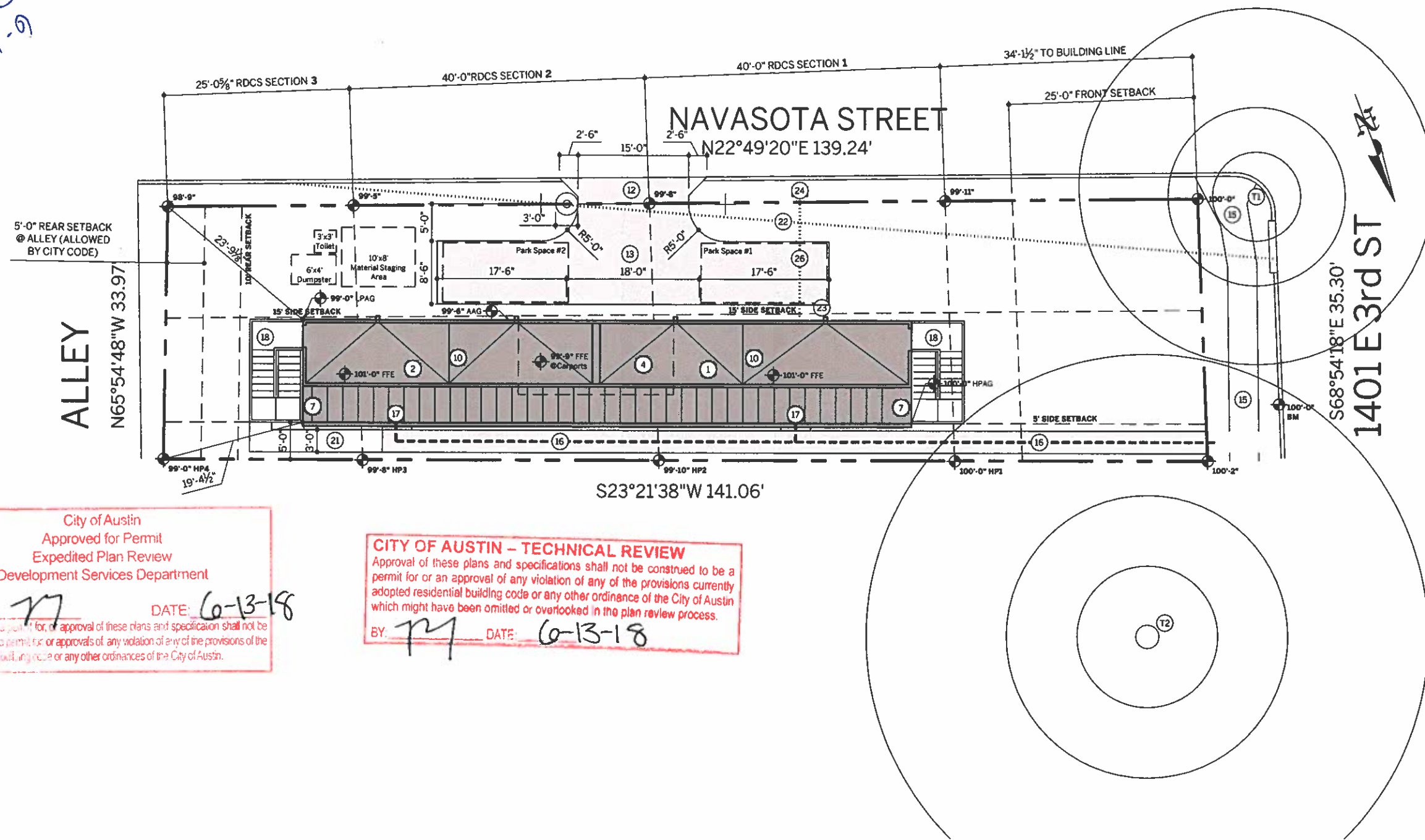
Thomas P. Dixon R.P.L.S. #324

www.WaterlooSurveyors.com - Austin, Texas - (512)481-9602



[APPLICANT EXHIBIT "E"]

6-11-2018
is acceptable
Perkins & Associates, Inc.



City of Austin
Approved for Permit
Expedited Plan Review
Development Services Department
DATE: 6-13-18

CITY OF AUSTIN - TECHNICAL REVIEW
Approval of these plans and specifications shall not be construed to be a permit for or an approval of any violation of any of the provisions currently adopted residential building code or any other ordinance of the City of Austin which might have been omitted or overlooked in the plan review process.
DATE: 6-13-18

City of Austin
REVIEWED FOR CODE COMPLIANCE

REFER TO SHEET A001 FOR PROJECT INFORMATION AND AREA CALCULATIONS

1 Site Plan
Scale 1/16" = 1'-0" @
Scale 1/8" = 1'-0" @

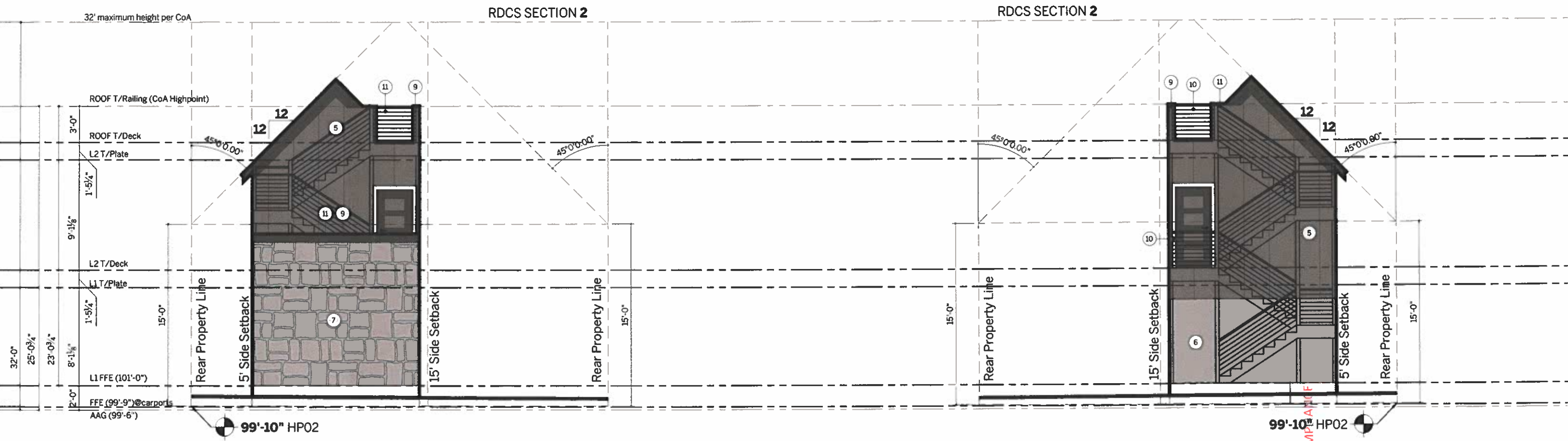
KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).				CRITICAL ROOT ZONES AT PROTECTED TREES.		LIST OF PROTECTED TREES.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.								
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02	New accessory residence.	12	New Type I driveway approach per City of Austin standards.	18	New pre-fabricated steel staircase.	24	Location of existing water meter.						25	Location(s) of new water meter(s), as applicable.	26	Location of new water supply and waste water line to primary residence.	27	Location of new water supply to secondary residence or additional unit, as applicable.
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05	New detached garage.	16	REFER TO SHEET A101 FOR CONTINUATION OF ROUTE TO INTERIOR OF UNIT.															
06	New detached carport.																	
07	New covered porch w/ deck or habitable space above.																	
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09	New uncovered deck.																	
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[APPLICANT EXHIBIT "E"]

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E. 4, b. (i):
A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.



LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1:
Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE. ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



1 Elevation, Bldg 1, Front
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

2 Elevation, Bldg 1, Rear
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).											DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	OCHONAL		
01	New standing-seam metal roof.	06	New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric.	11	New parapet at exterior porch or deck. Minimum height 36" above finish floor.						This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.			SINGLE-FAMILY RESIDENCE ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702		
02	New 30-year composition shingle roof.	07	New 3.5"-thick stone masonry veneer, random-ashlar bond.											14 Mar	SHEET TYPE Elevations, B	A20
03	New horizontally-oriented cement-board siding. Exposure 6".	08	New brick masonry veneer, common bond.													
04	New horizontally-oriented cement-board siding. Exposure 12".	09	New metal coping. Exposure 6".													
05	New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens.	10	New metal railing at exterior porch or deck. Minimum height 36" above finish floor.													
												ISSUE DATE 14 Mar 2018.				
																

Waterloo Surveyors Inc.
SURVEY PLAT

OWNER:
DURHAM TRADING PARTNERS XII, LLC
ADDRESS:
1401 E 3rd STREET
AUSTIN, TEXAS 78702

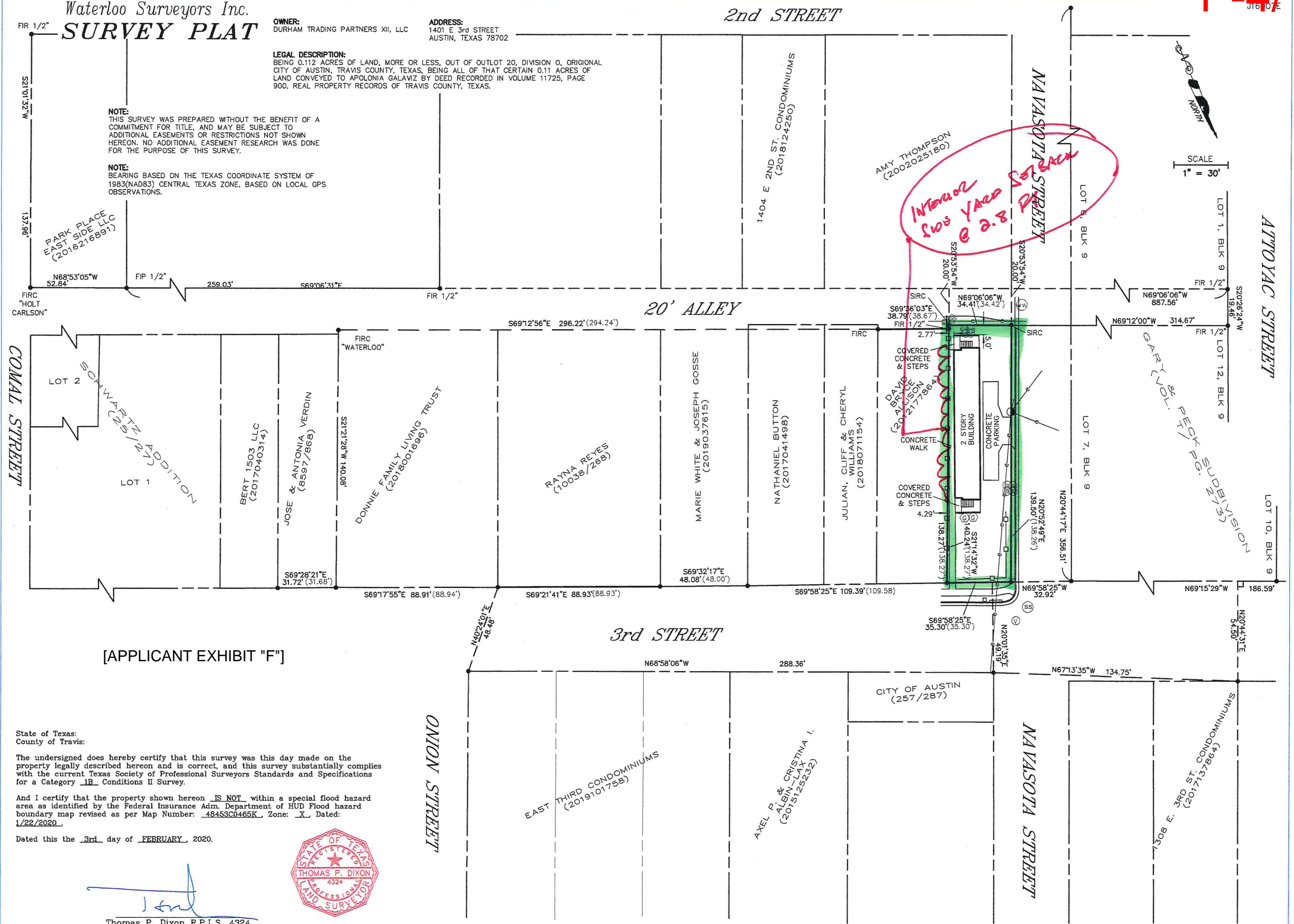
LEGAL DESCRIPTION:
BEING 0.112 ACRES OF LAND, MORE OR LESS, OUT OF OUTLOT 20, DIVISION 9, ORIGINAL CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, BEING ALL OF THAT CERTAIN 0.11 ACRES OF LAND CONVEYED TO APOLONIA GALAVIZ BY DEED RECORDED IN VOLUME 11725, PAGE 900, REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

NOTE:
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE, AND MAY BE SUBJECT TO ADDITIONAL EASEMENTS OR RESTRICTIONS NOT SHOWN HEREON. NO ADDITIONAL EASEMENT RESEARCH WAS DONE FOR THE PURPOSE OF THIS SURVEY.

NOTE:
BEARING BASED ON THE TEXAS COORDINATE SYSTEM OF 1983(NAD83) CENTRAL TEXAS ZONE, BASED ON LOCAL GPS OBSERVATIONS.



SCALE
1" = 30'



[APPLICANT EXHIBIT "F"]

State of Texas:
County of Travis:

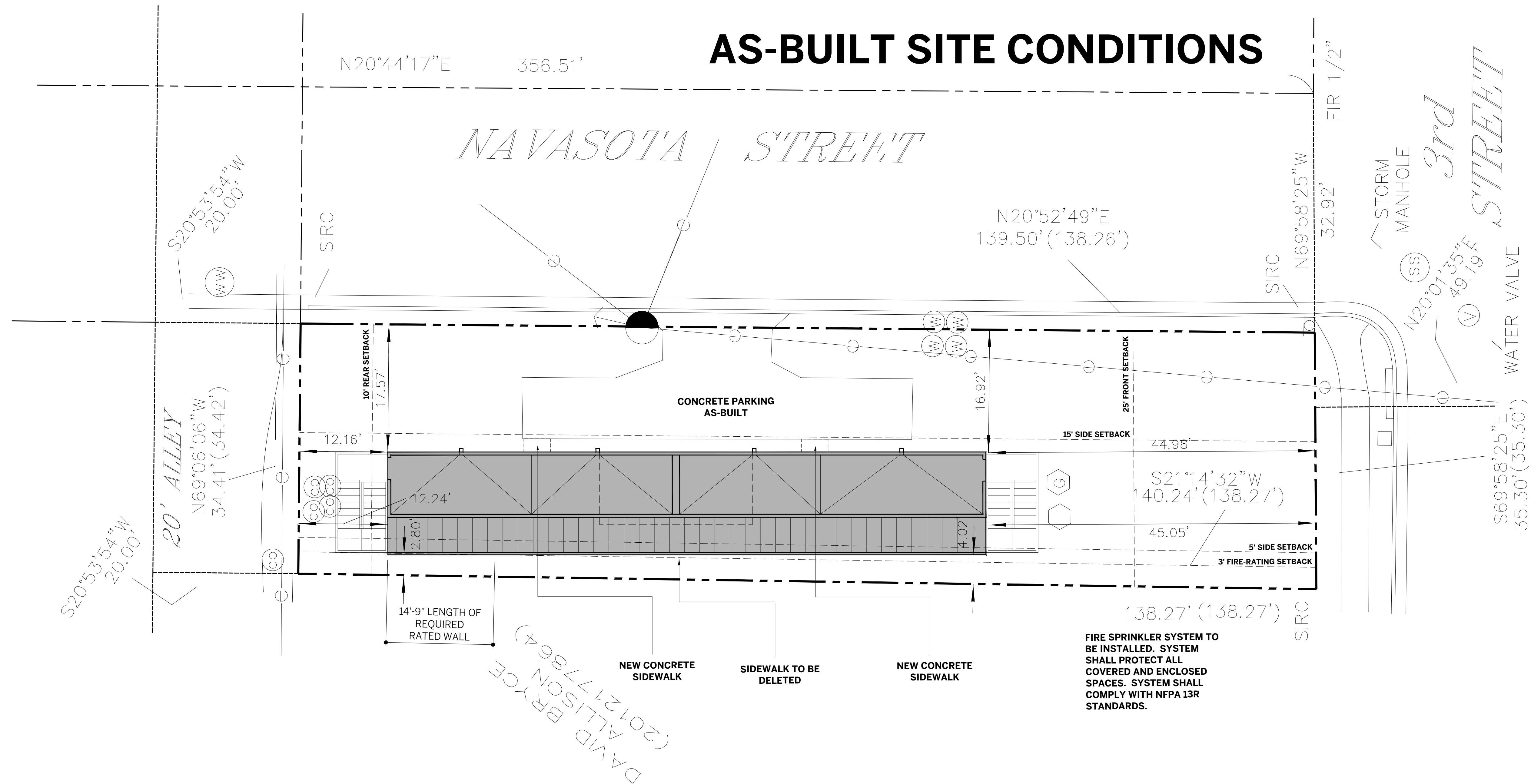
The undersigned does hereby certify that this survey was this day made on the property legally described hereon and is correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1B Conditions II Survey.

And I certify that the property shown hereon IS NOT within a special flood hazard area as identified by the Federal Insurance Adm. Department of HUD Flood hazard boundary map revised as per Map Number: 48453C0465K, Zone: X, Dated: 1/22/2020.

Dated this the 3rd day of FEBRUARY, 2020.

Thomas P. Dixon R.P.L.S. 4324
FIRM #10124400





[APPLICANT EXHIBIT "G"]

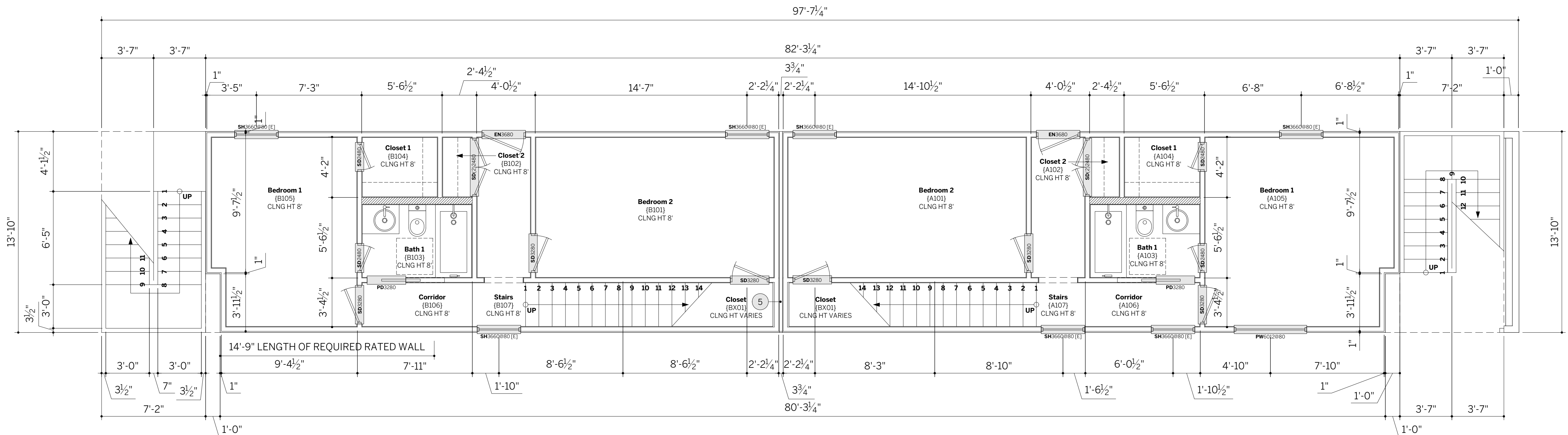
THIS SHEET IS FOR DEPICTION OF AS-BUILT SITE CONDITIONS ONLY.
REFER TO SHEETS A101 AND A102 FOR EXTENTS OF RATED EXTERIOR WALLS.

REFER TO SHEET G001 FOR PROJECT INFORMATION AND AREA CALCULATIONS.
CONDITIONS DERIVED FROM CAD FILE OF SURVEY PROVIDED TO ARCHITECT.



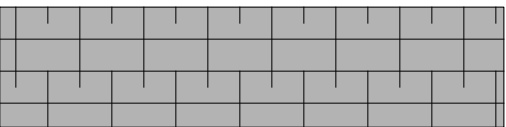

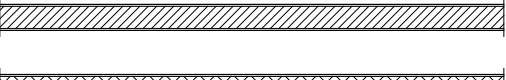

1 Site Plan
Scale 1/16" = 1'-0" @ 11x17
Scale 1/8" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).			CRITICAL ROOT ZONES AT PROTECTED TREES.	TREE PROTECTION LEGEND.	LIST OF PROTECTED TREES.	DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
01 New primary residence.	12 New wood deck, uncovered.	20 New electrical meter(s) for primary and secondary residences, as applicable.			# TRUNK Ø SPECIES	<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>		
02 New secondary residence.	13 New concrete patio, uncovered.	21 Location of water meter (ref: civil engineering for final location).						
03 New attached garage.	14 New concrete driveway.	22 New water supply line to residences, indicated thus:						
04 New attached carport.	15 New concrete driveway ribbon.	23 New sewer line from residences (ref: civil engineering for final location of sewer tap), indicated thus:						
05 New detached garage.	16 New concrete sidewalk.							
06 New detached carport.	17 New Type I driveway (approach) per City of Austin standards.							
07 New covered porch w/ deck or habitable space above.	18 New sidewalk in right-of-way per City of Austin standards.							
08 New covered porch w/o deck or habitable space above.	19 New overhead electric service, indicated thus:							
09 New uncovered deck.								
10 New uncovered roof deck.								
11 New spiral stair to roof deck.								

[APPLICANT EXHIBIT "G"]



1 Floor Plan, Bldg 1, Level 01
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).				NOTES ON FRAMING.	FRAMING AND ROOFING LEGEND.	DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
01	New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373.	03	Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5".	R1 New walkable-PVC roof deck. R2 New metal coping. R3 New metal scupper. R4 New metal gutter. R5 New metal downspout.	1. Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening. 2. Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level. 3. Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level. 4. Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level. 5. At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less. 6. A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.		
01a	REQUIRED: XX'-XX" PROVIDED: XX'-XX" NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U305.	04	Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5".		Standing-seam metal roofing  Composition-shingle roofing  2x4 wood framing  2x6 wood framing  2-hour rated firewall (per G005) COMPLIANT WITH UL ASSEMBLY U373 			
02	Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5".	05	Linin closet (cabinetry).					
		06	Pantry (cabinetry).					
		07	Access panel to AC.					
		08						



WILLIAM
HODGE AIA
ARCHITECT
4801 S CONGRESS AVE #403
AUSTIN, TX 78745
512.786.9298
HODGEARCHITECT.COM

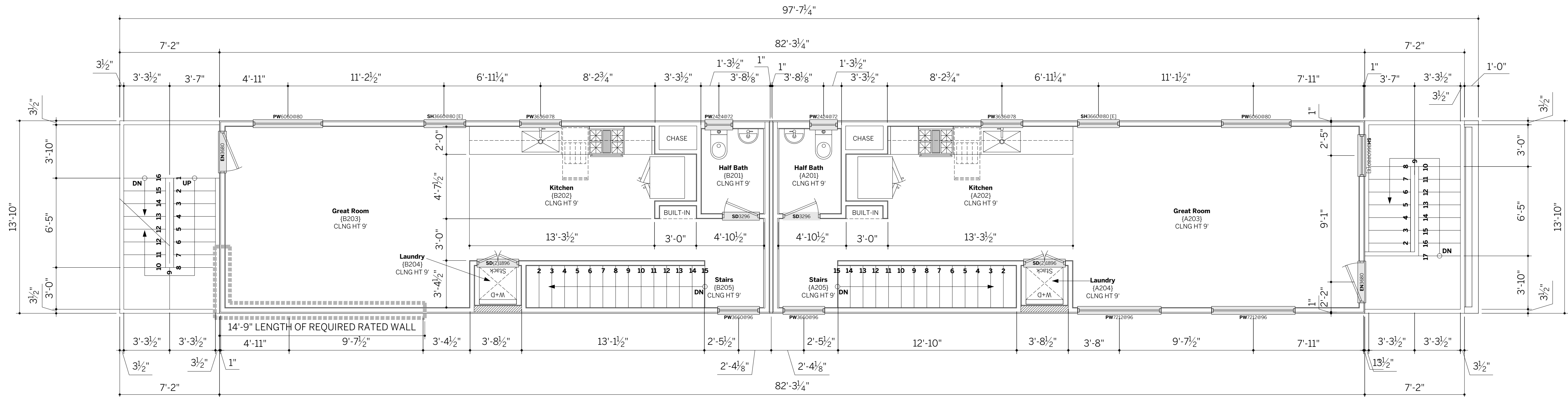
NEW PROJECT AT 1401 E 3rd ST
AUSTIN, TX 78702

ISSUE DATE **21 May 2020**

SHEET TYPE **Floor Plans, Level 01.**

A101

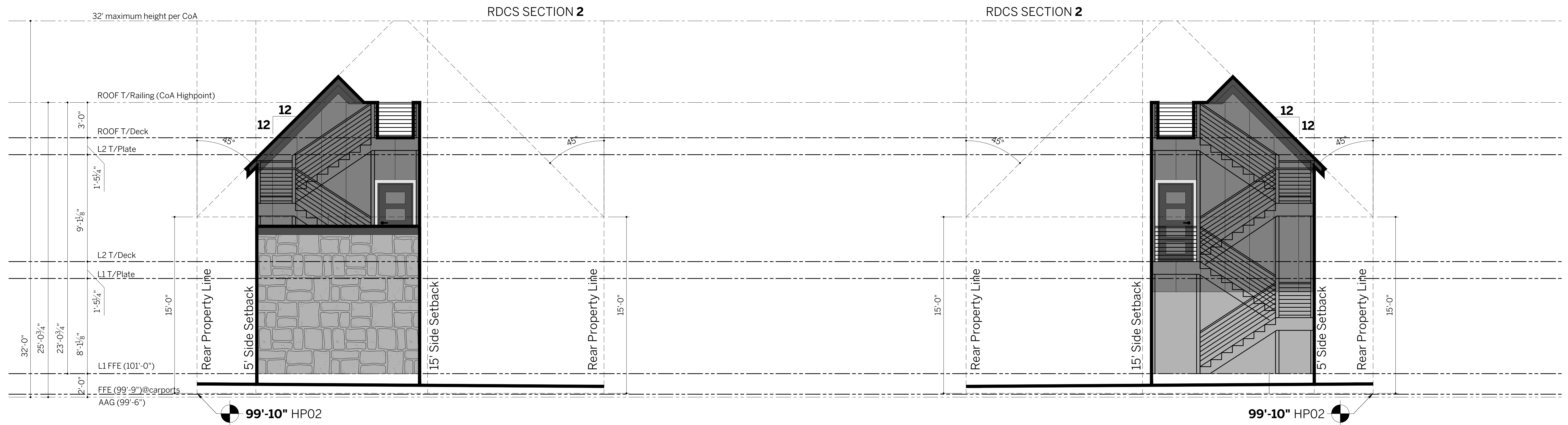
[APPLICANT EXHIBIT "G"]



1 Floor Plan, Bldg 1, Level 02
Scale 1/8" = 1'-0" @ 11x17

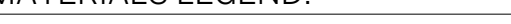

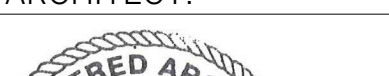
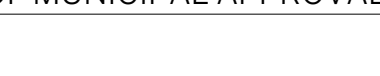






KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).				NOTES ON FRAMING.		FRAMING AND ROOFING LEGEND.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
01	New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373.	03	Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5".	R1	New walkable-PVC roof deck.			This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.		
01a	REQUIRED: XX'-XX" PROVIDED: XX'-XX" NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U305.	04	Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5".	R2	New metal coping.					
02	Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5".	05	Ceiling break.	R3	New metal scupper.		2x4 wood framing			
		06	Linen closet (cabinetry).	R4	New metal gutter.		2x6 wood framing			
		07	Pantry (cabinetry).	R5	New metal downspout.		2-hour rated firewall (per G005) COMPLIANT WITH UL ASSEMBLY U373			
		08	Access panel to AC.							

[APPLICANT EXHIBIT "G"]

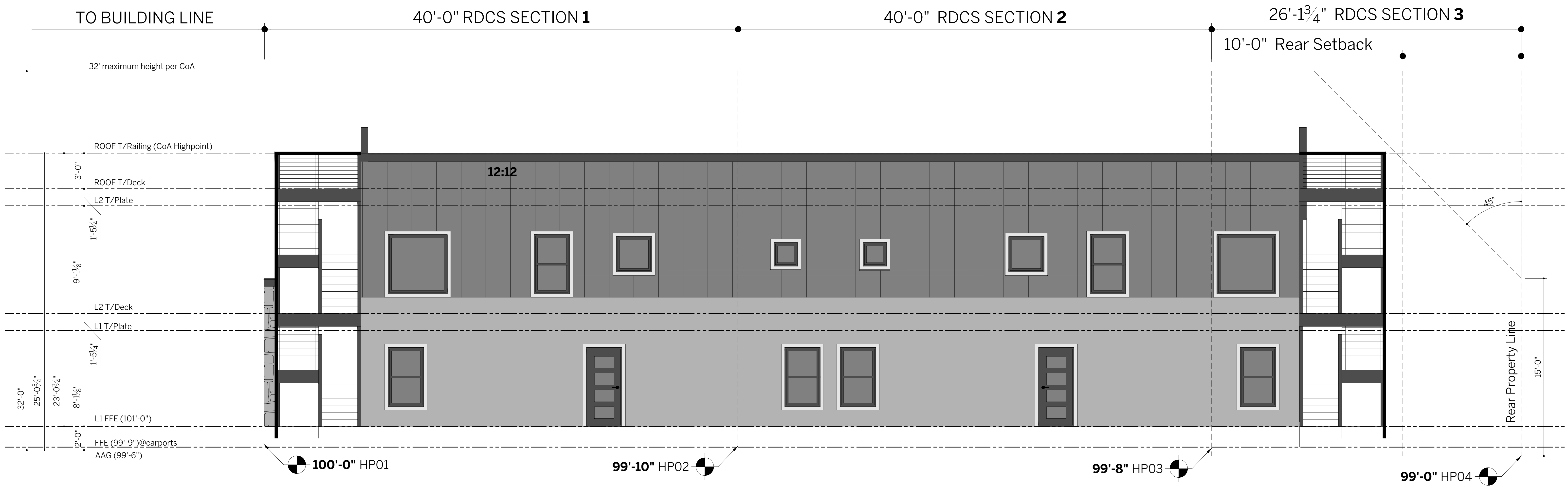


① Elevation, Bldg 1, Front

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36






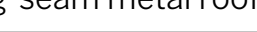
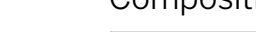

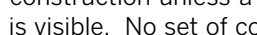
KEYED NOTES.		CODE REFERENCES (City of Austin RDCS area only).		MATERIALS LEGEND.		DISCLAIMERS.		SEAL OF ARCHITECT.		SEAL OF MUNICIPAL APPROVAL.			
01	New metal coping. Exposure 6".	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.	ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.		Standing-seam metal roofing		<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>	 <i>William Lawrence Hodge</i>		NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702	ISSUE DATE 21 May 2020		
02	New metal flashing. Exposure 6" minimum.				Cement-board or RealTrim fascia							Cement-board trim or RealTrim	SHEET TYPE Elevations.
03	New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".				6" horizontal cement board							24" vertical cement board	A201
04	New parapet at exterior porch or deck. Minimum 36" above finish floor.		6" horizontal stained wood		Stone veneer (ashlar bond)								
05	New through-wall scupper.	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1											
06	New metal downspout.	Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.											
07	Steel column (ref: structural).												

[APPLICANT EXHIBIT "G"]

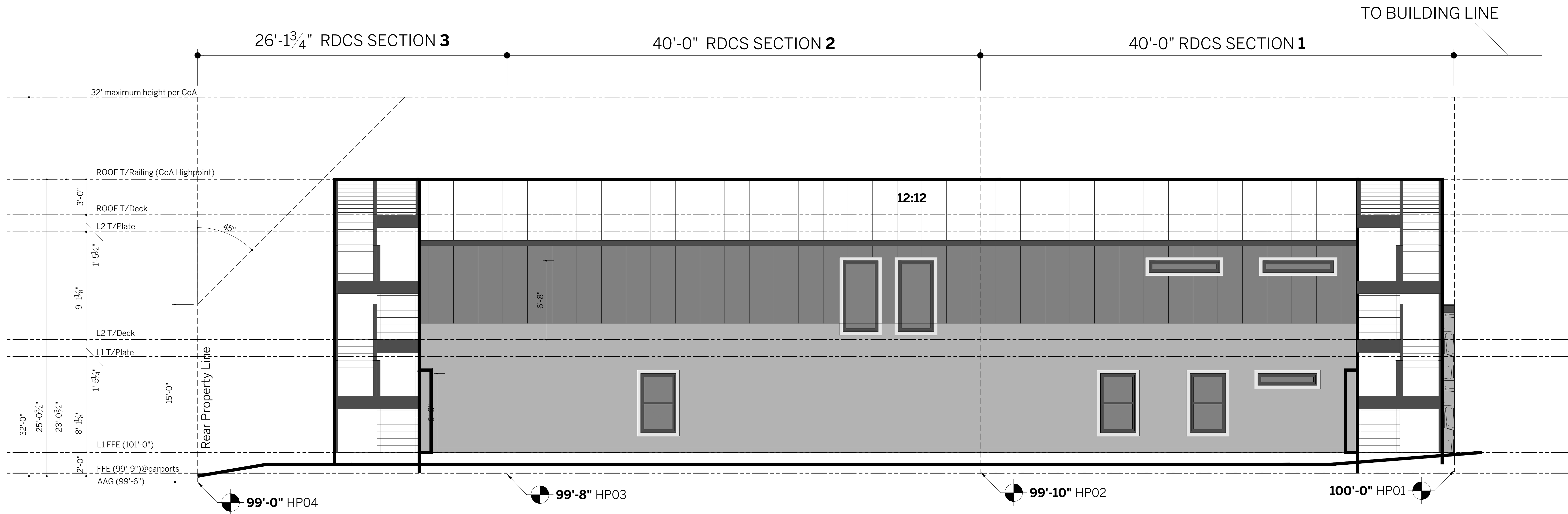


1 Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES.		CODE REFERENCES (City of Austin RDCS area only).		MATERIALS LEGEND.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	<div><div><div>WILLIAM HODGE AIA ARCHITECT</div><div>4801 S CONGRESS AVE #N3 AUSTIN, TX 78745 512.786.9298 HODGEARCHITECT.COM</div></div><div>NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702</div><div>ISSUE DATE21 May 2020</div><div>SHEET TYPEElevations.</div><div>A202</div></div>		
01	New metal coping. Exposure 6".	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.						 <i>William Lawrence Hodge</i>		ISSUE DATE 21 May 2020	
02	New metal flashing. Exposure 6" minimum.			Standing-seam metal roofing		Composition-shingle roofing					
03	New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".			Cement-board or RealTrim fascia		Cement-board trim or RealTrim					
04	New parapet at exterior porch or deck. Minimum 36" above finish floor.	ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.									24" vertical cement board
05	New through-wall scupper.										
06	New metal downspout.										
07	Steel column (ref: structural).	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.		6" horizontal cement board		6" horizontal stained wood					

[APPLICANT EXHIBIT "G"]



1 Elevation, Bldg 1, Left

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES.		CODE REFERENCES (City of Austin RDOS area only).		MATERIALS LEGEND.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	<div><div><div>WILLIAM HODGE AIA ARCHITECT</div><div>4801 S CONGRESS AVE #N3 AUSTIN, TX 78745 512.786.9298 HODGEARCHITECT.COM</div></div><div>NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702</div><div>ISSUE DATE21 May 2020</div><div>SHEET TYPEElevations, Bldg 1.</div><div>A204</div></div>		
01	New metal coping. Exposure 6".	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.		<div><div></div><div>Standing-seam metal roofing</div></div>		<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>	<div><div>REGISTERED ARCHITECT WILLIAM LAWRENCE HODGE 19074 STATE OF TEXAS</div><div><i>William Lawrence Hodge</i></div></div>				
02	New metal flashing. Exposure 6" minimum.	ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.		<div><div></div><div>Composition-shingle roofing</div></div>							
03	New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".			<div><div></div><div>Cement-board or RealTrim fascia</div></div>							
04	New parapet at exterior porch or deck. Minimum 36" above finish floor.	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1		<div><div></div><div>Cement-board trim or RealTrim</div></div>							
05	New through-wall scupper.	Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.		<div><div></div><div>6" horizontal cement board</div></div>			ISSUE DATE	21 May 2020			
06	New metal downspout.			<div><div></div><div>6" horizontal stained wood</div></div>							
07	Steel column (ref: structural).			<div><div></div><div>24" vertical cement board</div></div>		<div><div></div><div>Stone veneer (ashlar bond)</div></div>					