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PLANNING COMMISSION SITE PLAN WAIVER REQUEST

CASE NUMBER: SP-2019-0589C PC HEARING DATE: July 14, 2020

PROJECT NAME: The Colorfield

ADDRESS OF SITE:1006 Baylor StCOUNCIL DISTRICT: 9WATERSHED:Shoal Creek (Urban)JURISDICTION: Full Purpose

APPLICANT/ 1012 Baylor LLC

OWNERS: 9229 Waterford Centre Blvd Suite 100

Austin, TX 78758

AGENT: Jones Carter (William McAshan) (512) 441-9493

3100 Alvin Devane Blvd Suite 150

Austin, Texas 78741

CASE MANAGER: Renee Johns (512) 974-2711

Renee.Johns@austintexas.gov

EXISTING ZONING: MF-6-CO-NP

PROPOSED DEVELOPMENT:

The applicant requests a compatibility waiver from 25-2-1063 (B), which requires structures to be setback 25 feet from a triggering property. The compatibility waiver is requested because the proposed development includes a fence, a gate and a pedestrian walkway in the 25' compatibility setback on the south end of the property.

DESCRIPTION OF WAIVERS:

The applicant is requesting a waiver from § 25-2-1063. The site is subject to a 25' compatibility setback on the southern property line. A proposed fence, gate, and pedestrian walkway are located 20' from the triggering property located south of the proposed development.

COMPATIBILITY:

Section 25-2-1051 states that Article 10 Compatibility Standards apply if a use in a SF-6 or less restrictive zoning district is located on a property across the street from or adjoining a property on which is zoned SF-5 or more restrictive or a use is permitted in a SF-5 or more restrictive zoning district is located.

§ 25-2-1063 (B)— HEIGHT LIMITATIONS AND SETBACKS FOR LARGE SITES

In this section, the term "structure" excludes a rain garden using no concrete that is designed in accordance with the Environmental Criteria Manual. A person may not construct a structure 25 feet or less from a property:

- (1) in an urban family residence (SF-5) or more restrictive zoning district; or
- (2) on which a use permitted in a SF-5 or more restrictive district is located; and

SUMMARY STAFF RECOMMENDATION:

Staff recommends approval of the compatibility waiver. The site plan will comply with all other requirements of the Land Development Code.

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SUMMARY OF SITE PLAN:

LAND USE: The site is zoned MF-6-CO-NP (Multifamily), and is currently the vacated graffiti park. **ENVIRONMENTAL:** An update has been submitted and the environmental discipline is in review. **TRANSPORTATION:** An update has been submitted and the transportation discipline is in review.

PROJECT INFORMATION

SITE AREA	37,617 ft.	0.67 acres	
		0.07 acres	
EXISTING ZONING	MF-6-CO-NP		
	Allowed/Required	Proposed	
FLOOR-AREA RATIO	NA	1.28:1	
BUILDING COVERAGE	70%	50.2%	
IMPERVIOUS COVERAGE	80%	70.4%	
PARKING	21	34	

EXISTING ZONING AND LAND USES

	ZONING	LAND USES	
Site	MF-6-CO-NP	Multifamily	
North	GO-NP	Multifamily	
South	Alley, MF-4-NP	Duplex	
East	MF-5-CO-NP	Vacant	
West	Baylor St then CS-MU-CO-NP	Vacant / Multifamily	

ABUTTING STREETS

Street	Right-of-Way Width	Pavement Width	Classification
Baylor St	60 ft	Approx. 32 feet (varies)	Local Street

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District

Austin Neighborhoods Council

Bike Austin

Downtown Austin Neighborhood Association

Friends of Austin Neighborhoods

Historic Austin Neighborhood Association

Homeless Neighborhood Association

Neighborhood Empowerment Foundation

Old Austin Neighborhood Association

Old West Austin Neighborhood Association

Preservation Austin

SEL Texas

Sierra Club, Austin Regional Group

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Castle Hill Condominiums 1012 Baylor St.

11 – Administrative Site Plan/Engineer's Report (Consolidated)

Prepared By: F.P. (Tres) Howland, III, PE

Principal

Prepared For: 1012 Baylor, LLC

A Mid-City Development Company



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www.noble-tx.com TBPE Firm # 9852

SUBMITTAL REQUIREMENTS

- 1. Exhibit I Drainage Calculations
- 2. Exhibit II Detention Pond Calculations
- 3. Exhibit III Soils Map
- 4. Exhibit IV Firmette

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ENGINEER'S SUMMARY LETTER/ENGINEER'S REPORT:

The 0.9198 acre site is located at 1012 Baylor St. Austin, TX 78704. It is located in the Shoal Creek Watershed which is classified as an Urban watershed that discharges to Lady Bird Lake. The property is also located in the City of Austin full purpose jurisdiction. The zoning on the property is MF-5-CO-NP, Multifamily Residential. The site is bounded by a residential uses to the south, and to the north. To the west is a vacant lot, which will be developed at a later date, and is also part of the Art Park. The property is currently vacant with many retaining walls, known as Hope Art Park. There are a few protected trees on and near the property perimeter which in large part will remain. Landscaping and hardscaping will be installed in the street ROW. The soil on the property is primarily comprised of Tarrant soils and Urban Land (HsD) which is a type "D" soil that is moderately well-drained and typically less than 20" in depth. (See Exhibit II, Soils Map). The majority of the property slopes down from the west to east at an average of 30% gradient, however, there are existing retaining walls on this property that break up the slope. As seen from the FEMA FIRM 48453C0445J, dated January 6th, 2016 (See Exhibit III, Firmette), there is no 100-year floodplain identified on the property.

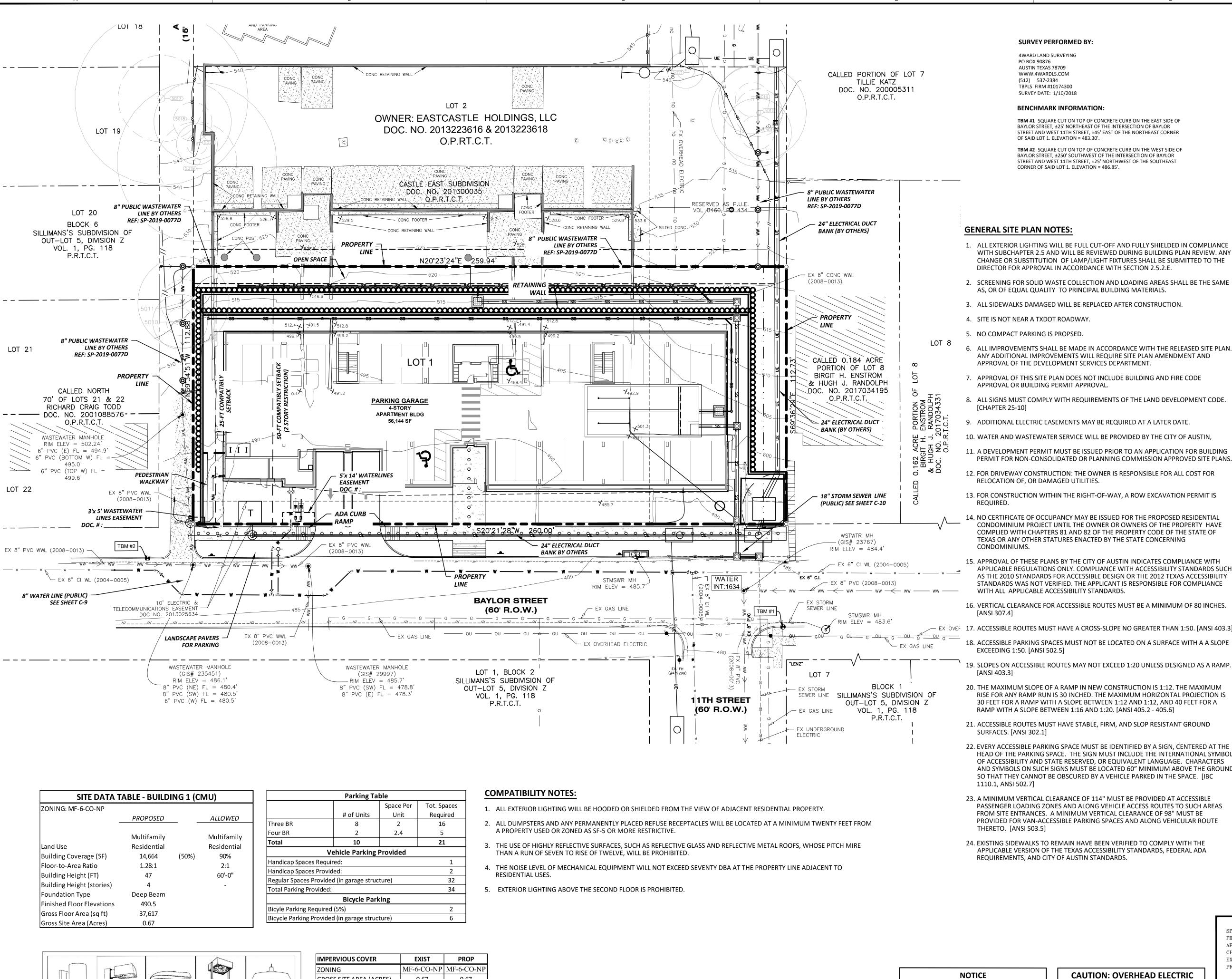
This project calls for erecting a 3-story residential building that will feature a total 47,914 SF of residential space, and 36 on-site parking spaces. The existing conditions site contains various retaining walls and compacted base, however since the existing impervious cover is a result of an unfinished construction project, the existing impervious cover was calculated at 0%. The proposed plan will have 21,691 sf of impervious cover (74%). Currently, the drainage from this site sheet flows east to Baylor St. and enters an existing curb inlet. The drainage pattern for the proposed project will be the same as the existing drainage pattern.

The impervious cover increases for the proposed conditions while the time of concentration increases to 6 minutes (under 5.0 minutes for the existing and 6.0 minutes for the proposed conditions). The increase in the proposed runoff for both the 2, 10, 25, and 100-yr storm events will be accommodated by an on-site detention pond and is detailed in the Detention Pond Calculations, Exhibit II. The water quality structured control is a subterranean sedimentation and filtration design. There will be no phasing of the site plan.

DRAINAGE:

Currently runoff from the property surface drains off the property and into Baylor St. to the east and into an existing curb inlet. The rational method was used to perform the drainage calculations in Excel. The developed Q's were manually inputted into Hydraflow Hydragraphs to finalize the design of the detention pond. **Exhibit I** of this application, Drainage Calculations, summarizes the hydrology for both the existing and proposed conditions. For the existing and proposed conditions, a weighted "C" value based on the impervious cover. The time of concentration calculated was the minimum 5 minutes. The existing combined storm flows are as follows: 100-yr flow rate = 5.86 cfs, 25yr flow rate = 4.02 cfs, 10yr flow rate = 3.16 cfs, and the 2yr flow rate = 1.83 cfs.

With the proposed development, runoff will be collected on the roof which covers most of the impervious cover and routed to the on-site detention pond. A drainage pipe will extend to the west to allow for connection by the residential lot immediately to the west, Lot 1 Castle East Subdivision. Lot 1 is anticipated to have 45% impervious cover and has been accounted for in the pond on this project. The proposed time of concentration calculated was 6 minutes. The proposed release rates from the on-site detention pond are as follows: 100-yr flow rate = 5.74 cfs, 25-yr flow rate = 4.02 cfs, 10-yr flow rate = 3.15 cfs, and the 2yr flow rate = 1.68 cfs. This proposed residential development will have no measurable effect on the existing drainage system or on the natural and traditional character of the land and waterways.



GROSS SITE AREA (ACRES)

IMPERVIOUS COVER (SF)

IMPERVIOUS COVER (%)

BUILDING COVER (SF)

BUILDING COVER (%)

Examples of fully-shielded light fixtures.

K:\16364\16364-0002-00 1006 Baylor St\2 Design Phase\CAD\Plans\Site\16364-0002 SITE.dwg EMO1: July 08, 2020

0.67

3618

12.39%

0.00

0.00%

0.67 20538

70.4%

14664

50.2%

SURVEY PERFORMED BY:

4WARD LAND SURVEYING PO BOX 90876 **AUSTIN TEXAS 78709** WWW.4WARDLS.COM (512) 537-2384 TBPLS FIRM #10174300 SURVEY DATE: 1/10/2018

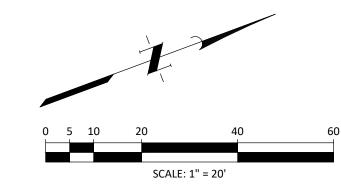
BENCHMARK INFORMATION:

TRM #1- SOLIARE CUT ON TOP OF CONCRETE CURB ON THE FAST SIDE OF BAYLOR STREET, ±25' NORTHEAST OF THE INTERSECTION OF BAYLOR STREET AND WEST 11TH STREET, ±45' EAST OF THE NORTHEAST CORNER OF SAID LOT 1. ELEVATION = 483.30'.

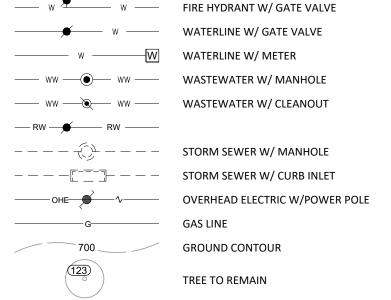
TBM #2- SQUARE CUT ON TOP OF CONCRETE CURB ON THE WEST SIDE OF BAYLOR STREET, ±250' SOUTHWEST OF THE INTERSECTION OF BAYLOR STREET AND WEST 11TH STREET, ±25' NORTHWEST OF THE SOUTHEAST CORNER OF SAID LOT 1. ELEVATION = 486.85'.

- L. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
- 2. SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO PRINCIPAL BUILDING MATERIALS.

- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND
- 7. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE
- ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE LAND DEVELOPMENT CODE.
- ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE
- 10. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN
- 11. A DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING
- 12. FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COST FO
- 13. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A ROW EXCAVATION PERMIT IS
- 14. NO CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR THE PROPOSED RESIDENTIA CONDOMINIUM PROJECT UNTIL THE OWNER OR OWNERS OF THE PROPERTY HAVE COMPLIED WITH CHAPTERS 81 AND 82 OF THE PROPERTY CODE OF THE STATE OF TEXAS OR ANY OTHER STATURES ENACTED BY THE STATE CONCERNING
- 15. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
- 16. VERTICAL CLEARANCE FOR ACCESSIBLE ROUTES MUST BE A MINIMUM OF 80 INCHES.
- EX OVEF 17. ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50. [ANSI 403.3]
 - 18. ACCESSIBLE PARKING SPACES MUST NOT BE LOCATED ON A SURFACE WITH A A SLOPE EXCEEDING 1:50. [ANSI 502.5]
 - 19. SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
 - 20. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 INCHED. THE MAXIMUM HORIZONTAL PROJECTION IS 30 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:12 AND 1:12, AND 40 FEET FOR A
 - 21. ACCESSIBLE ROUTES MUST HAVE STABLE, FIRM, AND SLOP RESISTANT GROUND
 - 22. EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE RESERVED, OR EQUIVALENT LANGUAGE. CHARACTERS AND SYMBOLS ON SUCH SIGNS MUST BE LOCATED 60" MINIMUM ABOVE THE GROUND SO THAT THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. [IBC
 - 23. A MINIMUM VERTICAL CLEARANCE OF 114" MUST BE PROVIDED AT ACCESSIBLE PASSENGER LOADING ZONES AND ALONG VEHICLE ACCESS ROUTES TO SUCH AREAS FROM SITE ENTRANCES. A MINIMUM VERTICAL CLEARANCE OF 98" MUST BE PROVIDED FOR VAN-ACCESSIBLE PARKING SPACES AND ALONG VEHICULAR ROUTE
 - 24. EXISTING SIDEWALKS TO REMAIN HAVE BEEN VERIFIED TO COMPLY WITH THE APPLICABLE VERSION OF THE TEXAS ACCESSIBILITY STANDARDS, FEDERAL ADA REQUIREMENTS, AND CITY OF AUSTIN STANDARDS.



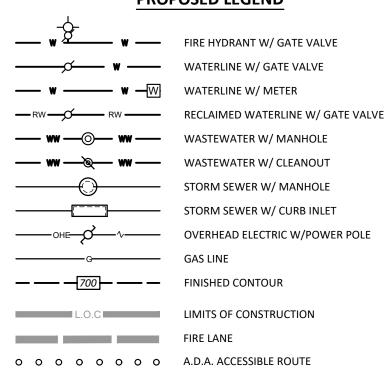
EXISTING LEGEND

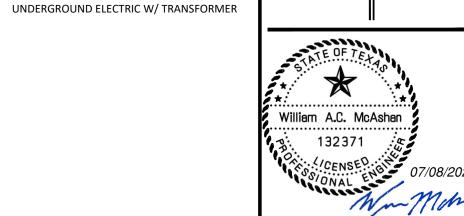


PROPOSED LEGEND

OPEN SPACE

APPROXIMATE BUILDING LOCATION





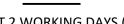
COLORFIELD treet. Austin. Texa

SITE PLAN APPROVAL SHEET <u>C-11</u> OF <u>37</u> FILE NUMBER: SP-2019-0589C APPLICATION DATE: 12/20/2019 UNDER SECTION 112 OF APPROVED BY COMMISSION ON _____ CHAPTER <u>25-5</u> OF THE CITY OF AUSTIN CODE EXPIRATION DATE (25-5-81, LDC) ____ CASE MANAGER ___ Renee Johns PROJECT EXPIRATION DATE (ORD.#970905-A) _____DWPZ ____DDZ ____

RELEASED FOR GENERAL COMPLIANCE:

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SHEET NO.



CALL AT LEAST 2 WORKING DAYS (48 HOURS) BEFORE YOU DIG:

TEXAS811 (DIG TESS) (1-800-344-8377)

LONE STAR NOTIFICATION CENTER (1-800-569-0344)

CAUTION: OVERHEAD ELECTRIC

CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION, AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER, CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

3100 Alvin Devane Boulevard, Suite 150 Austin, Texas 78741-7425 Tel: 512.441.9493

> Fax: 512.445.2286 www.jonescarter.com



July 8, 2020

Ms. Renee Johns City of Austin **Development Services Department** 505 Barton Springs Road Austin, Texas 78754

Re: The Colorfield (1006 Baylor Street)

Case No. SP-2019-0589C

Compatibility Setback Waiver Request

Dear Ms. Johns,

We are requesting a waiver from compliance with LDC Section §25-2-1063 which states that "a person may not construct a structure 25-feet or less from property: in an urban family residence (SF-5) or more restrictive district"

The proposed 0.67-acre site is located at 1006 Baylor Street within the full purpose jurisdiction of the City of Austin. The site is currently zoned MF-6-CO-NP and the adjoining property located southeast of the site at 1106 W. 10th Street is currently zoned SF-3-H-HD-NP. Therefore, a 25-ft setback is required along the southeast property line, which prohibits the development of a structure within this setback.

The following proposed structures are located within the 25-ft setback and are not incompliance with LDC Section §25-2-1063:

- Pedestrian Sidewalk
- Pedestrian Egress Gate and Fence.

We feel that the proposed structures are justified due to the fact that the proposed 30-ft tall retaining wall will act as a barrier between the two properties that shields all other structures from sight. In addition, a new retaining wall is required for development which reduces the site footprint and acts as encumbrance to the developable site layout. The 25-ft setback would require the current site layout to shift approximately 6-ft northeast, which would then produce additional conflicts along the northeastern property line, no longer making the proposed site feasible.

Please see the attached Site Plan with all structures labeled within the 25-ft compatibility setback.

Sincerely,

Will McAshan, PE

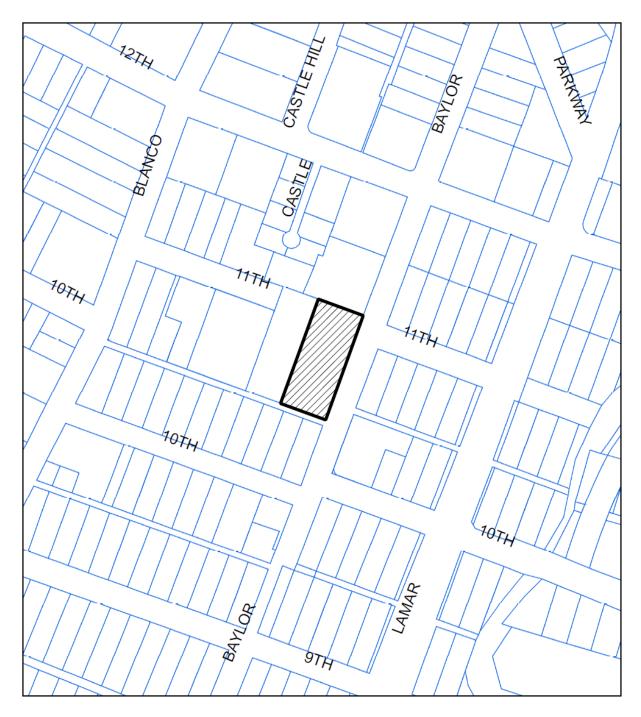
Project Manager

EMO/ies

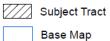
K:\16364\16364-0002-00 1006 Baylor St\2 Design Phase\CAD\Plans\Publish\Compatibility Waiver\Baylor Compatability Setback Waiver .doc

William A.C. McAshan

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CASE#: SP-2019-0589C LOCATION: 1006 Baylor St.



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference.