

PLANNING COMMISSION SITE PLAN WAIVER REQUEST

CASE NUMBER: SP-2019-0589C **PC HEARING DATE:** July 14, 2020
PROJECT NAME: The Colorfield

ADDRESS OF SITE: 1006 Baylor St **COUNCIL DISTRICT:** 9
WATERSHED: Shoal Creek (Urban) **JURISDICTION:** Full Purpose

APPLICANT/ 1012 Baylor LLC
OWNERS: 9229 Waterford Centre Blvd Suite 100
Austin, TX 78758

AGENT: Jones Carter (William McAshan) (512) 441-9493
3100 Alvin Devane Blvd Suite 150
Austin, Texas 78741

CASE MANAGER: Renee Johns (512) 974-2711
Renee.Johns@austintexas.gov

EXISTING ZONING: MF-6-CO-NP

PROPOSED DEVELOPMENT:

The applicant requests a compatibility waiver from 25-2-1063 (B), which requires structures to be setback 25 feet from a triggering property. The compatibility waiver is requested because the proposed development includes a fence, a gate and a pedestrian walkway in the 25' compatibility setback on the south end of the property.

DESCRIPTION OF WAIVERS:

The applicant is requesting a waiver from § 25-2-1063. The site is subject to a 25' compatibility setback on the southern property line. A proposed fence, gate, and pedestrian walkway are located 20' from the triggering property located south of the proposed development.

COMPATIBILITY:

Section 25-2-1051 states that Article 10 Compatibility Standards apply if a use in a SF-6 or less restrictive zoning district is located on a property across the street from or adjoining a property on which is zoned SF-5 or more restrictive or a use is permitted in a SF-5 or more restrictive zoning district is located.

§ 25-2-1063 (B)– HEIGHT LIMITATIONS AND SETBACKS FOR LARGE SITES

In this section, the term “structure” excludes a rain garden using no concrete that is designed in accordance with the Environmental Criteria Manual. A person may not construct a structure 25 feet or less from a property:

- (1) in an urban family residence (SF-5) or more restrictive zoning district; or
- (2) on which a use permitted in a SF-5 or more restrictive district is located; and

SUMMARY STAFF RECOMMENDATION:

Staff recommends approval of the compatibility waiver. The site plan will comply with all other requirements of the Land Development Code.

SUMMARY OF SITE PLAN:

LAND USE: The site is zoned MF-6-CO-NP (Multifamily), and is currently the vacated graffiti park.

ENVIRONMENTAL: An update has been submitted and the environmental discipline is in review.

TRANSPORTATION: An update has been submitted and the transportation discipline is in review.

PROJECT INFORMATION

SITE AREA	37,617 ft.	0.67 acres
EXISTING ZONING	MF-6-CO-NP	
	Allowed/Required	Proposed
FLOOR-AREA RATIO	NA	1.28:1
BUILDING COVERAGE	70%	50.2%
IMPERVIOUS COVERAGE	80%	70.4%
PARKING	21	34

EXISTING ZONING AND LAND USES

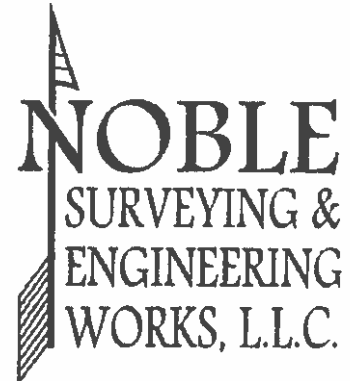
	ZONING	LAND USES
<i>Site</i>	MF-6-CO-NP	Multifamily
<i>North</i>	GO-NP	Multifamily
<i>South</i>	Alley, MF-4-NP	Duplex
<i>East</i>	MF-5-CO-NP	Vacant
<i>West</i>	Baylor St then CS-MU-CO-NP	Vacant / Multifamily

ABUTTING STREETS

Street	Right-of-Way Width	Pavement Width	Classification
Baylor St	60 ft	Approx. 32 feet (varies)	Local Street

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District
 Austin Neighborhoods Council
 Bike Austin
 Downtown Austin Neighborhood Association
 Friends of Austin Neighborhoods
 Historic Austin Neighborhood Association
 Homeless Neighborhood Association
 Neighborhood Empowerment Foundation
 Old Austin Neighborhood Association
 Old West Austin Neighborhood Association
 Preservation Austin
 SEL Texas
 Sierra Club, Austin Regional Group



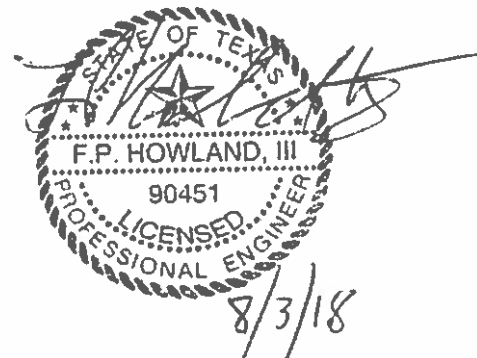
www.noble-tx.com
TBPE Firm # 9852

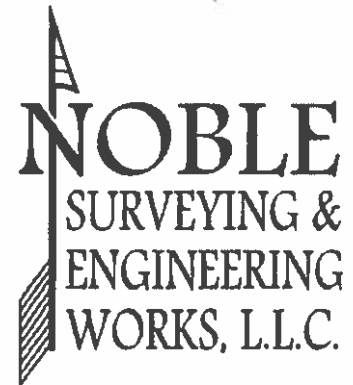
Castle Hill Condominiums 1012 Baylor St.

11 – Administrative Site Plan/Engineer's Report (Consolidated)

Prepared By: F.P. (Tres) Howland, III, PE
Principal

Prepared For: 1012 Baylor, LLC
A Mid-City Development Company





www.noble-tx.com
TBPE Firm # 9852

SUBMITTAL REQUIREMENTS

1. Exhibit I Drainage Calculations
2. Exhibit II Detention Pond Calculations
3. Exhibit III Soils Map
4. Exhibit IV Firmette

ENGINEER'S SUMMARY LETTER/ENGINEER'S REPORT:

The 0.9198 acre site is located at 1012 Baylor St. Austin, TX 78704. It is located in the Shoal Creek Watershed which is classified as an Urban watershed that discharges to Lady Bird Lake. The property is also located in the City of Austin full purpose jurisdiction. The zoning on the property is MF-5-CO-NP, Multifamily Residential. The site is bounded by a residential uses to the south, and to the north. To the west is a vacant lot, which will be developed at a later date, and is also part of the Art Park. The property is currently vacant with many retaining walls, known as Hope Art Park. There are a few protected trees on and near the property perimeter which in large part will remain. Landscaping and hardscaping will be installed in the street ROW. The soil on the property is primarily comprised of Tarrant soils and Urban Land (HsD) which is a type "D" soil that is moderately well-drained and typically less than 20" in depth. (See **Exhibit II**, Soils Map). The majority of the property slopes down from the west to east at an average of 30% gradient, however, there are existing retaining walls on this property that break up the slope. As seen from the FEMA FIRM 48453C0445J, dated January 6th, 2016 (See **Exhibit III**, Firmette), there is no 100-year floodplain identified on the property.

This project calls for erecting a 3-story residential building that will feature a total 47,914 SF of residential space, and 36 on-site parking spaces. The existing conditions site contains various retaining walls and compacted base, however since the existing impervious cover is a result of an unfinished construction project, the existing impervious cover was calculated at 0%. The proposed plan will have 21,691 sf of impervious cover (74%). Currently, the drainage from this site sheet flows east to Baylor St. and enters an existing curb inlet. The drainage pattern for the proposed project will be the same as the existing drainage pattern.

The impervious cover increases for the proposed conditions while the time of concentration increases to 6 minutes (under 5.0 minutes for the existing and 6.0 minutes for the proposed conditions). The increase in the proposed runoff for both the 2, 10, 25, and 100-yr storm events will be accommodated by an on-site detention pond and is detailed in the Detention Pond Calculations, Exhibit II. The water quality structured control is a subterranean sedimentation and filtration design. There will be no phasing of the site plan.

DRAINAGE:

Currently runoff from the property surface drains off the property and into Baylor St. to the east and into an existing curb inlet. The rational method was used to perform the drainage calculations in Excel. The developed Q's were manually inputted into Hydraflow Hydragraphs to finalize the design of the detention pond. **Exhibit I** of this application, Drainage Calculations, summarizes the hydrology for both the existing and proposed conditions. For the existing and proposed conditions, a weighted "C" value based on the impervious cover. The time of concentration calculated was the minimum 5 minutes. The existing combined storm flows are as follows: 100-yr flow rate = 5.86 cfs, 25yr flow rate = 4.02 cfs, 10yr flow rate = 3.16 cfs, and the 2yr flow rate = 1.83 cfs.

With the proposed development, runoff will be collected on the roof which covers most of the impervious cover and routed to the on-site detention pond. A drainage pipe will extend to the west to allow for connection by the residential lot immediately to the west, Lot 1 Castle East Subdivision. Lot 1 is anticipated to have 45% impervious cover and has been accounted for in the pond on this project. The proposed time of concentration calculated was 6 minutes. The proposed release rates from the on-site detention pond are as follows: 100-yr flow rate = 5.74 cfs, 25-yr flow rate = 4.02 cfs, 10-yr flow rate = 3.15 cfs, and the 2yr flow rate = 1.68 cfs. This proposed residential development will have no measurable effect on the existing drainage system or on the natural and traditional character of the land and waterways.



3100 Alvin Devane Boulevard, Suite 150
Austin, Texas 78741-7425
Tel: 512.441.9493
Fax: 512.445.2286
www.jonescarter.com

July 8, 2020

Ms. Renee Johns
City of Austin
Development Services Department
505 Barton Springs Road
Austin, Texas 78754

Re: The Colorfield (1006 Baylor Street)
Case No. SP-2019-0589C
Compatibility Setback Waiver Request

Dear Ms. Johns,

We are requesting a waiver from compliance with LDC Section §25-2-1063 which states that “a person may not construct a structure 25-feet or less from property: in an urban family residence (SF-5) or more restrictive district”

The proposed 0.67-acre site is located at 1006 Baylor Street within the full purpose jurisdiction of the City of Austin. The site is currently zoned MF-6-CO-NP and the adjoining property located southeast of the site at 1106 W. 10th Street is currently zoned SF-3-H-HD-NP. Therefore, a 25-ft setback is required along the southeast property line, which prohibits the development of a structure within this setback.

The following proposed structures are located within the 25-ft setback and are not in compliance with LDC Section §25-2-1063:

- Pedestrian Sidewalk
- Pedestrian Egress Gate and Fence.

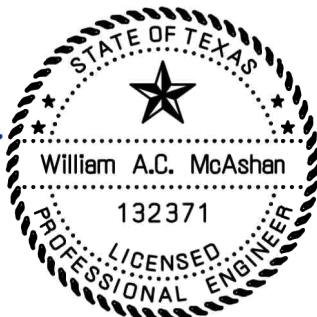
We feel that the proposed structures are justified due to the fact that the proposed 30-ft tall retaining wall will act as a barrier between the two properties that shields all other structures from sight. In addition, a new retaining wall is required for development which reduces the site footprint and acts as encumbrance to the developable site layout. The 25-ft setback would require the current site layout to shift approximately 6-ft northeast, which would then produce additional conflicts along the northeastern property line, no longer making the proposed site feasible.

Please see the attached Site Plan with all structures labeled within the 25-ft compatibility setback.

Sincerely,

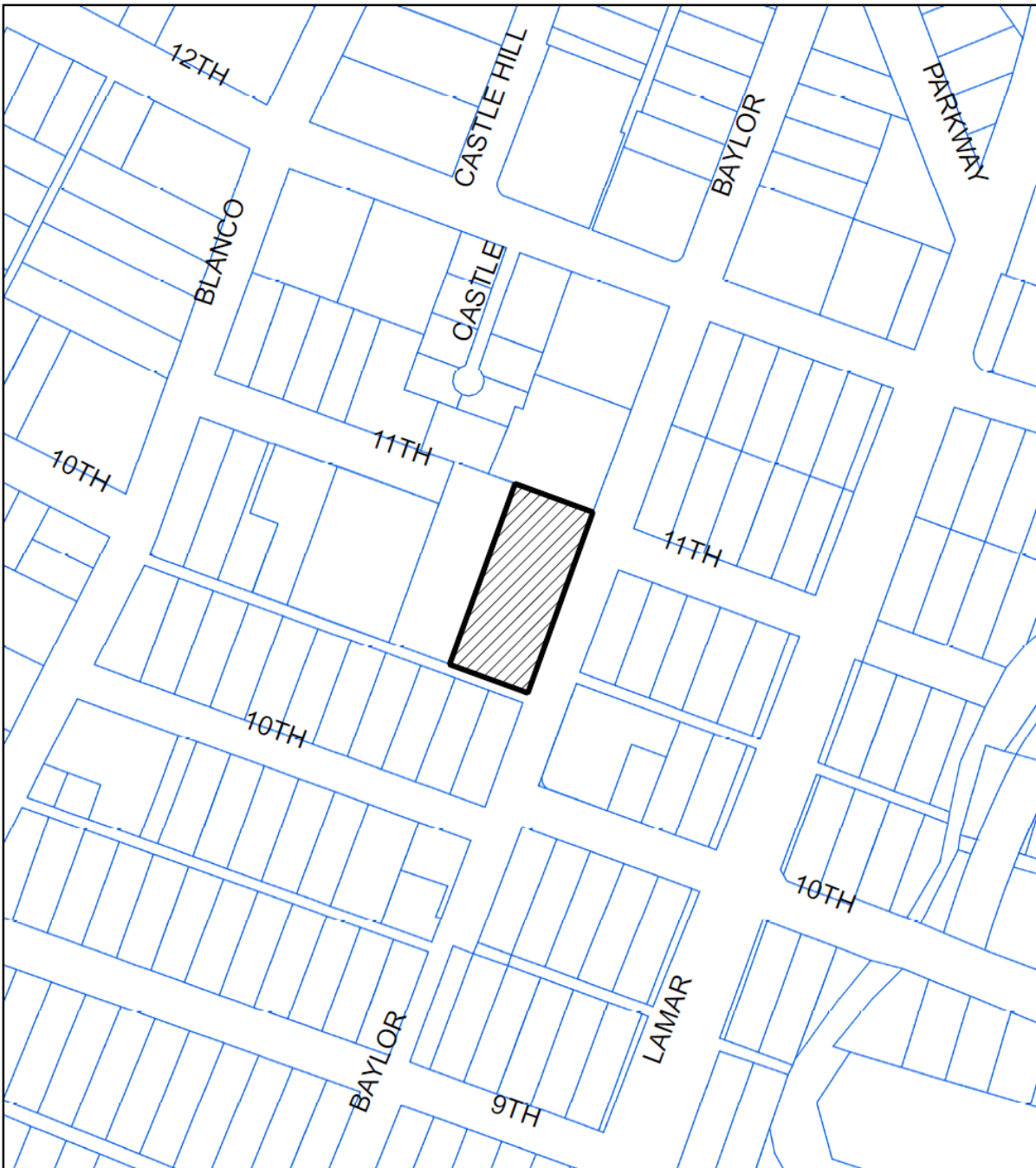
A handwritten signature in blue ink, appearing to read 'Will McAshan'.



Will McAshan, PE
Project Manager



EMO/jes

K:\16364\16364-0002-00 1006 Baylor St\2 Design Phase\CAD\Plans\Publish\Compatibility Waiver\Baylor Compatibility Setback Waiver .doc



 Subject Tract
 Base Map

CASE#: SP-2019-0589C
LOCATION: 1006 Baylor St.



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference.