

**PLANNING COMMISSION
SITE PLAN COMPATIBILITY WAIVER REQUEST REVIEW SHEET**

CASE: SP-2019-0559C **PLANNING COMMISSION DATE:** July 14, 2020

PROJECT NAME: W 7th Street Passive

ADDRESS OF SITE: 1118 W 7th St

APPLICANT: Mountain Sun Development Group (Russ Hooper, PE) 707-502-4319

AGENT: Mountain Sun Development Group (Russ Hooper, PE) 707-502-4319

AREA: 0.2 acre

WATERSHED: Town Lake (Urban)

WATERSHED ORDINANCE: Comprehensive Watershed Ordinance

C.I.P. STATUS: N/A

T.I.A.: N/A

CAPITOL VIEW: N/A

PROPOSED DEVELOPMENT:

The applicant is proposing to construct a duplex behind an existing single-family dwelling, with parking, detention and water quality. The development is taking access to West 7th Street and the alley to the north.

EXISTING ZONING:

The site is zoned MF-4-HD-NP. The site plan complies with the zoning ordinance.

DESCRIPTION OF WAIVER:

Waiver request is as follows: LDC Section 25-2-1062(B):

If a site has street frontage of 50 feet or less, a person may not construct a structure 15 feet or less from property:

- (1) In an urban family residence (SF-5) or more restrictive zoning district, or;
- (2) On which a use permitted in an SF-5 or more restrictive zoning district is located.

The applicant requests a waiver from a 15-foot to an approximately 5-foot compatibility setback for a walkway leading to the duplex and for drainage/detention structures. The site is adjacent to single-family houses to the west, multifamily to the east, an alley and a mix of single-and multifamily residential to the north and a mix of single-and multifamily uses to the south across W 7th Street.

SUMMARY STAFF RECOMMENDATION:

Staff recommends approval of the waiver from LDC Section 25-2-1062 to reduce the Compatibility setback requirement from 15 feet to approximately five feet from adjacent MF-4-HD-NP- zoned properties used as single family. The site measures less than 50 feet wide, and the duplex will be behind the existing house. The proposed use is similar to other uses within the neighborhood.

CASE MANAGER: Christine Barton-Holmes, CNUa, LEED AP **PHONE:** 974-2788
Christine.Barton-Holmes@austintexas.gov

PROJECT INFORMATION: 0.20 acre
EXIST. ZONING: MF-4-HD-NP
MAX. BLDG. COVERAGE : 60% **PROP. BUILDING CVR:** 51% (4474 sf)
MAX. IMPERV. CVRG.: 70% **PROP. IMP. CVRG.:** 69% (6025 sf)
ALLOWED F.A.R.: 0.75:1 **PROPOSED F.A.R.:** 0.749:1
HEIGHT: 32' per Historic District **PROP. HEIGHT:** 27'10"
REQUIRED PARKING: 6 spaces **PROVIDED PARKING:** 6 spaces (1 on-street)
PROPOSED ACCESS: Driveway access to W 7th Street and alley

SUMMARY COMMENTS ON SITE PLAN:

Land Use: The applicant is requesting a waiver from Compatibility standards to reduce the setback for the walkway and cistern from 15 feet to approximately five feet in order to construct a duplex. The proposed duplex will be similar in scale and use to adjacent single- and multifamily residences, and will be screened with fencing and landscape. The site plan will comply with all applicable regulations upon site plan approval.

Environmental:

The site is located with the Town Lake Watershed, which is classified as an Urban Watershed. There are no critical environmental features.

Transportation:

Access to the proposed residences will be from West 7th Street and the alley to the north. The proposed development did not require a TIA.

This administrative site plan will comply with all applicable requirements of the Land Development Code prior to its release. Staff recommends approval of the waiver.

PLANNING COMMISSION ACTION:

SURROUNDING CONDITIONS:

Zoning/ Land Use

North: Alley, then MF-4-HD-NP and SF-3-HD-NP (single- and multifamily)

South: W 7th Street, then MF-4-HD-NP and SF-4A-HD-NP (single- and multifamily)

East: MF-4-HD-NP (multifamily)

West: MF-4-HD-NP (single- and multifamily)

<u>STREET:</u>	<u>R.O.W.</u>	<u>SURFACING</u>	<u>CLASSIFICATION</u>
West 7 th Street	60'	30'	Local City Street

NEIGHBORHOOD ORGANIZATIONS:

- Austin Independent School District
- Austin Neighborhoods Council
- Bike Austin
- Friends of Austin Neighborhoods
- Homeless Neighborhood Assn.
- Neighborhood Empowerment Foundation
- Old West Austin Neighborhood Association
- Old West Austin Neighborhood Plan Contact Team
- Preservation Austin
- SELTexas
- Shoal Creek Conservancy
- Sierra Club, Austin Regional Group

Amanda Swor
direct dial: (512) 807-2904
aswor@drennergroupp.com

June 23, 2020

Ms. Denise Lucas
Development Services Department
City of Austin
505 Barton Springs Road
Austin, TX 78704

Via Electronic Delivery

Re: 1118 West 7th Street – Compatibility waiver request associated with the site development permit application, SP-2019-0559C, for the property located at 1118 W. 7th Street in Austin, Travis County, Texas (the “Property”)

Dear Ms. Lucas:

As representatives of the owner of the Property, we respectfully request a waiver from compatibility standards for small lots, §25-2-1062 - Height Limitations and Setbacks for Small Sites, for the 15-foot property line no-build setback from adjacent single-family residential zoning and uses requirement. Per §25-2-1081 Land Use Commission Or Council Waiver, a waiver request from the requirements of §25-2, Subchapter C, Article 10 Compatibility Standards, is allowed provided that the setback will not be reduced to less than five (5) feet and that the waiver is appropriate and will not harm the surrounding area.

The Property is located on the north side of West 7th Street, approximately 50 feet from the intersection of West 7th Street and Blanco Street. A site development permit application is in review as SP-2019-0559C to allow a new duplex on the rear portion of the Property. The Property is currently zoned MF-4-HD-NP, Multifamily Residence Moderate-High Density – Historic District – Neighborhood Plan, and is located in the Castle Hill Local Historic District per ordinance 20100930-038. The Castle Hill local historic district also makes up a portion of the West Line National Historic District. An existing single-family residential structure fronting West 7th Street on the property will be preserved to respect these historic district designations.

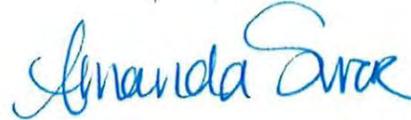
As mentioned above, the property is currently zoned MF-4-HD-NP, and is surrounded on all sides by MF-4-HD-NP zoned Properties. However, the property located at 1120 West 7th Street, although zoned MF-4-HD-NP is occupied by a single family structure. The site plan application, SP-2019-0559C, contemplates a new duplex, a single family residential use, on the

rear portion of the Property. Upon completion, because the Property will comprise of three total residential units on a single lot, the use will become multifamily residential and will therefore be subject to compatibility standards. The proposed project was approved at the Historic Landmark Commission on September 23, 2019 after extensive conversations and input from the City of Austin Historic Preservation Office, and Historic Landmark Commissioners.

We respectfully request a waiver from the 15-foot no build setback for small sites as described in §25-2-1062(B)(2) to reduce this 15-foot setback to five (5) feet, and to allow the placement of detention facilities within the setback, in order to allow the proposed duplex as currently designed. This project is not requesting any additional code modifications and will adhere to MF-4 site development regulations, including five (5) foot minimum interior side yard setbacks, 60% maximum building coverage and 70% maximum impervious cover. The proposed project will not alter or harm the neighborhood character, as it is preserving the existing historic home on the lot while developing additional single family residential land uses. The surrounding neighborhood contains a mixture of single family and low-density multifamily land uses and the proposed project will complement its neighbors and provide much-needed additional housing stock in the urban core.

Please let me know if you or your team members require additional information or have any questions. Thank you for your time and attention to this project.

Very truly yours,



Amanda Swor

cc: Christine Barton-Holmes, Development Services Department (*via electronic delivery*)

PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

A board or commission's decision may be appealed by a person with standing to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

A zoning ordinance amendment may include a conditional overlay which would include conditions approved by the Land Use Commission or the City Council. If final approval is by a City Council's action, there is no appeal of the Land Use Commission's action.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before or during the public hearing that generally identifies the issues of concern (*it may be delivered to the contact listed on a notice*); or
 - appearing and speaking for the record at the public hearing;
- and:
- occupies a primary residence that is within 500 feet of the subject property or proposed development;
 - is the record owner of property within 500 feet of the subject property or proposed development; or
 - is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

A notice of appeal must be filed with the director of the responsible department no later than 14 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, visit our web site: www.austintexas.gov/devservices.

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the name of the board or commission, or Council; the scheduled date of the public hearing; the Case Number; and the contact person listed on the notice.

Case Number: SP-2019-0559C
Contact: Christine Barton-Holmes, 512-974-2788 or
 Elsa Garza, 512-974-2308
Public Hearing: Planning Commission, Jul 14, 2020

Evan M Williams

Your Name (please print)

1114 West 7th St

Your address(es) affected by this application

[Signature]

Signature

 I am in favor
 I object

7/8/2020

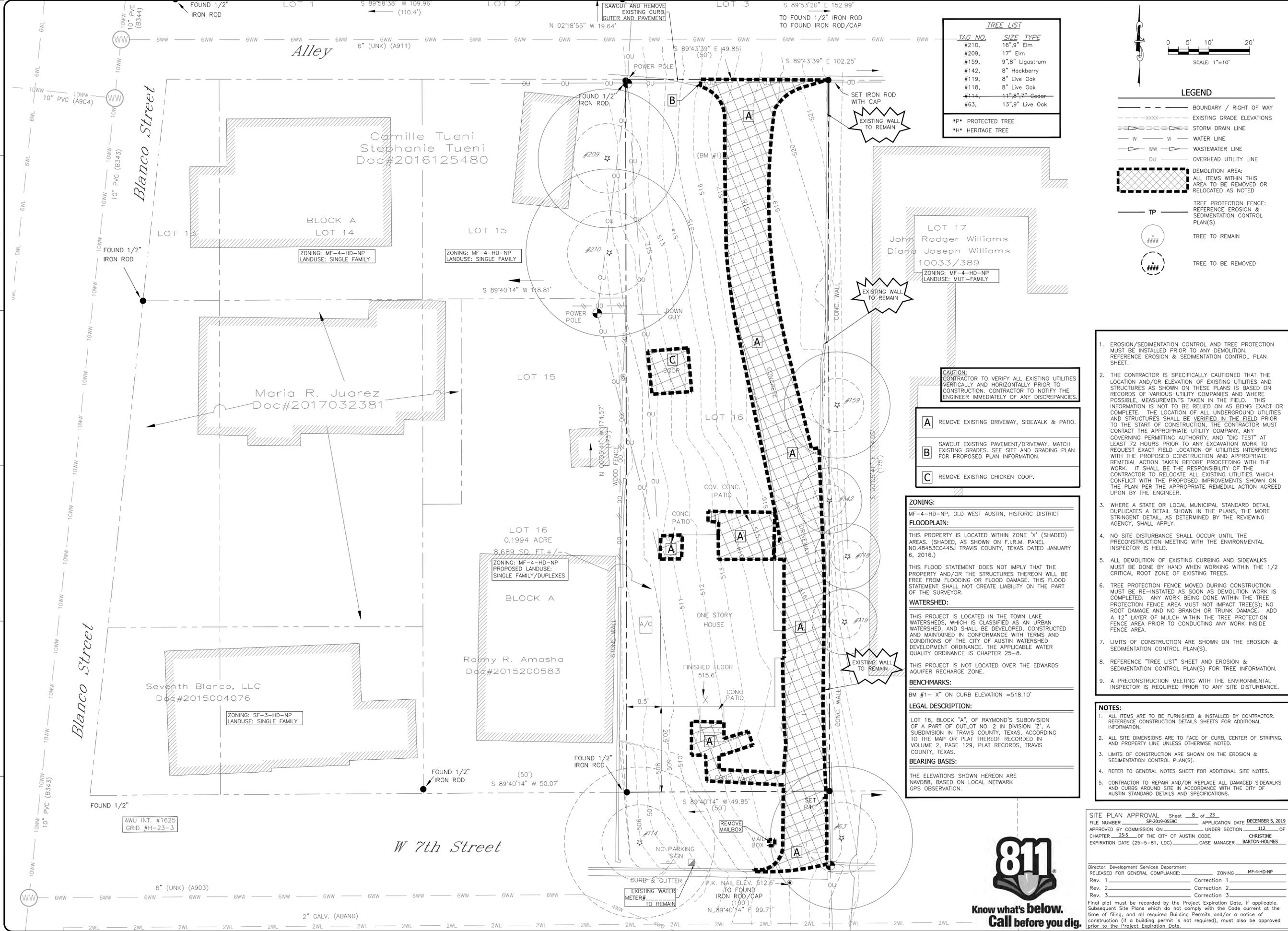
Date

Daytime Telephone: 512 695 5360

Comments: Inconsistent w/ neighborhood uses -

If you use this form to comment, it may be returned to:

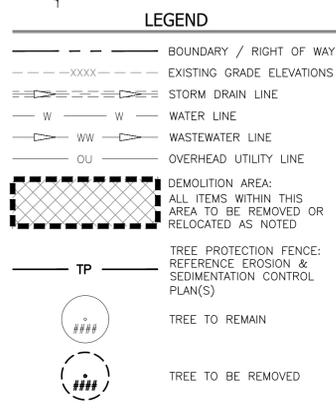
City of Austin
 Development Services Department, 4th Floor
Christine Barton-Holmes
 P. O. Box 1088
 Austin, TX 78767-8810



TREE LIST

TAG NO.	SIZE	TYPE
#210	16", 9"	Elm
#209	17"	Elm
#159	9", 8"	Ligustrum
#142	8"	Hackberry
#119	8"	Live Oak
#118	8"	Live Oak
#114	11", 8", 7"	Cedar
#63	13", 9"	Live Oak

P PROTECTED TREE
H HERITAGE TREE



CAUTION:
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

- A** REMOVE EXISTING DRIVEWAY, SIDEWALK & PATIO.
- B** SAWCUT EXISTING PAVEMENT/DRIVEWAY. MATCH EXISTING GRADES. SEE SITE AND GRADING PLAN FOR PROPOSED PLAN INFORMATION.
- C** REMOVE EXISTING CHICKEN COOP.

ZONING:
MF-4-HD-NP, OLD WEST AUSTIN, HISTORIC DISTRICT
FLOODPLAIN:
THIS PROPERTY IS LOCATED WITHIN ZONE 'X' (SHADED) AREAS. (SHADED, AS SHOWN ON F.I.R.M. PANEL NO.48453C0445J TRAVIS COUNTY, TEXAS DATED JANUARY 6, 2016.)

WATERSHED:
THIS PROJECT IS LOCATED IN THE TOWN LAKE WATERSHED, WHICH IS CLASSIFIED AS AN URBAN WATERSHED, AND SHALL BE DEVELOPED, CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH TERMS AND CONDITIONS OF THE CITY OF AUSTIN WATERSHED DEVELOPMENT ORDINANCE. THE APPLICABLE WATER QUALITY ORDINANCE IS CHAPTER 25-8.

BENCHMARKS:
BM #1- "X" ON CURB ELEVATION =518.10'

LEGAL DESCRIPTION:
LOT 16, BLOCK "A", OF RAYMOND'S SUBDIVISION OF A PART OF OUTLOT NO. 2, IN DIVISION "Z", A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGE 129, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

BEARING BASIS:
THE ELEVATIONS SHOWN HEREON ARE NAVD83, BASED ON LOCAL NETWORK GPS OBSERVATION.

- EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION MUST BE INSTALLED PRIOR TO ANY DEMOLITION. REFERENCE EROSION & SEDIMENTATION CONTROL PLAN SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
- WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
- NO SITE DISTURBANCE SHALL OCCUR UNTIL THE PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS HELD.
- ALL DEMOLITION OF EXISTING CURBING AND SIDEWALKS MUST BE DONE BY HAND WHEN WORKING WITHIN THE 1/2 CRITICAL ROOT ZONE OF EXISTING TREES.
- TREE PROTECTION FENCE MOVED DURING CONSTRUCTION MUST BE RE-INSTATED AS SOON AS DEMOLITION WORK IS COMPLETED. ANY WORK BEING DONE WITHIN THE TREE PROTECTION FENCE AREA MUST NOT IMPACT TREE(S); NO ROOT DAMAGE AND NO BRANCH OR TRUNK DAMAGE. ADD A 12" LAYER OF MULCH WITHIN THE TREE PROTECTION FENCE AREA PRIOR TO CONDUCTING ANY WORK INSIDE FENCE AREA.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).
- REFERENCE "TREE LIST" SHEET AND EROSION & SEDIMENTATION CONTROL PLAN(S) FOR TREE INFORMATION.
- A PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.

- NOTES:**
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
 - ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
 - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).
 - REFER TO GENERAL NOTES SHEET FOR ADDITIONAL SITE NOTES.
 - CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE CITY OF AUSTIN STANDARD DETAILS AND SPECIFICATIONS.

SITE PLAN APPROVAL Sheet 8 of 23
 FILE NUMBER SP-2019-0559C APPLICATION DATE DECEMBER 5, 2019
 APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 255 OF THE CITY OF AUSTIN CODE. CHRISTINE
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER BARTON-HOLMES

Director, Development Services Department
 RELEASED FOR GENERAL COMPLIANCE: ZONING MF-4-HD-NP
 Rev. 1 Correction 1
 Rev. 2 Correction 2
 Rev. 3 Correction 3

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

W 7TH STREET PASSIVE
1118 W 7TH STREET
AUSTIN, TRAVIS COUNTY, TEXAS 78702

DEMOLITION PLAN



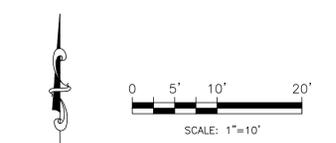
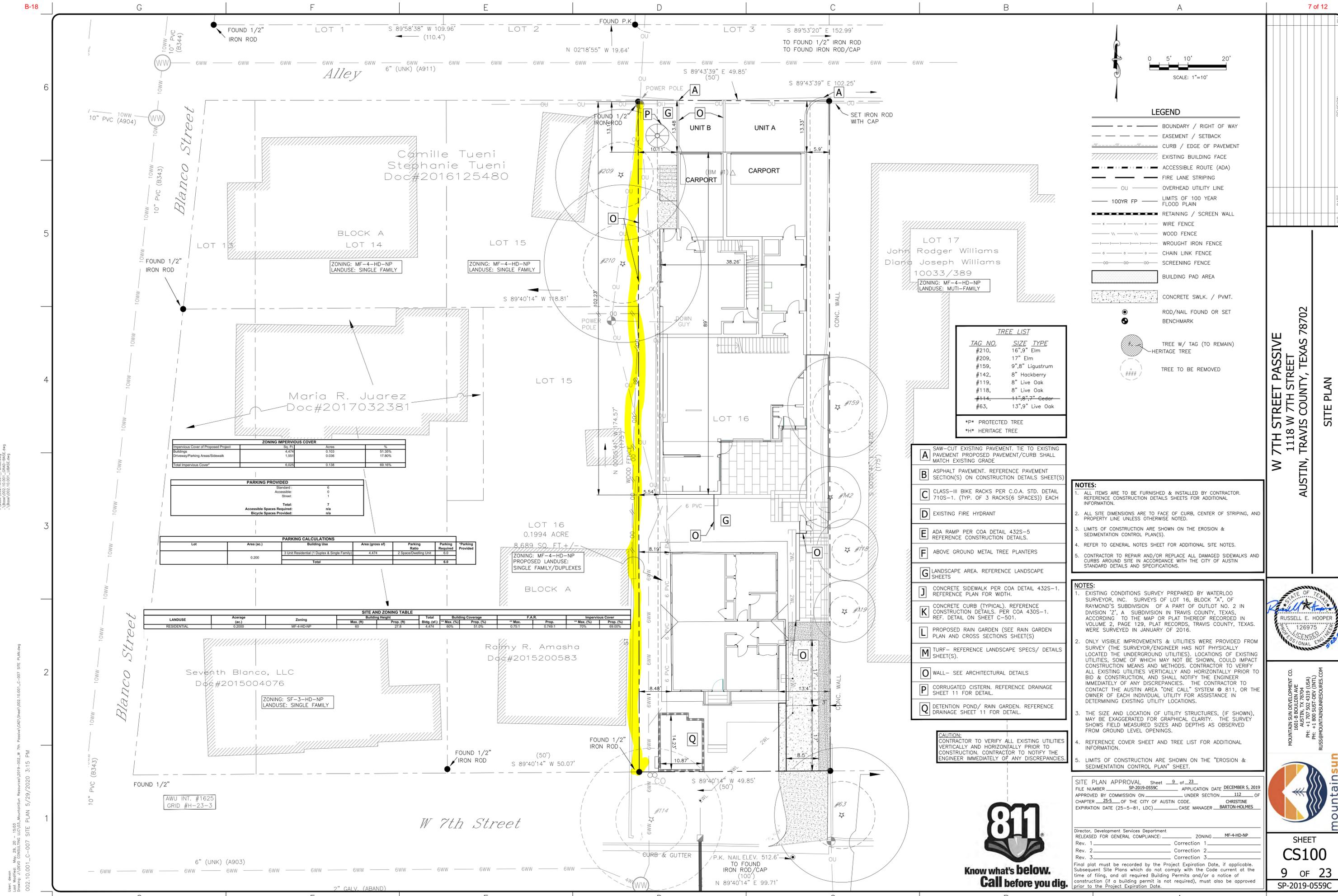
MOUNTAIN SUN DEVELOPMENT CO.
 1601-B BOLDWIN AVE
 AUSTIN, TX 78704 (512) 454-1111
 PH: +1 800-SUBST-DEV (UNIT)
 RUSS@MOUNTAINSUNRESOURCES.COM



SHEET
CD-100
8 OF 23
 SP-2019-0559C



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LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- EXISTING BUILDING FACE
- ACCESSIBLE ROUTE (ADA)
- FIRE LANE STRIPING
- OVERHEAD UTILITY LINE
- LIMITS OF 100 YEAR FLOOD PLAIN
- RETAINING / SCREEN WALL
- WIRE FENCE
- WOOD FENCE
- WROUGHT IRON FENCE
- CHAIN LINK FENCE
- SCREENING FENCE
- BUILDING PAD AREA
- CONCRETE SWLK. / P.V.M.T.
- ROD/NAIL FOUND OR SET BENCHMARK
- TREE W/ TAG (TO REMAIN)
- HERITAGE TREE
- TREE TO BE REMOVED

TREE LIST

TAG NO.	SIZE	TYPE
#210	16",9"	Elm
#209	17"	Elm
#159	9",8"	Ligustrum
#142	8"	Hackberry
#119	8"	Live Oak
#118	8"	Live Oak
#114	11",8",7"	Cedar
#63	13",9"	Live Oak

P PROTECTED TREE
H HERITAGE TREE

ZONING IMPERVIOUS COVER

Impervious Cover of Proposed Project	Sq. Ft.	Acres	%
Building	4,474	0.103	51.35%
Driveway/Parking Areas/Sidewalk	1,551	0.036	17.80%
Total Impervious Cover*	6,025	0.138	69.16%

PARKING PROVIDED

Standard	5
Accessible	0
Street	1
Total	7
Accessible Spaces Required	n/a
Bicycle Spaces Provided	n/a

PARKING CALCULATIONS

Lot	Area (ac.)	Building Use	Area (gross sq ft)	Parking Ratio	Parking Required	Parking Provided
3 Unit Residential (1 Duplex & Single Family)	4.874	2 Space/Dwelling Unit			6.0	6.0
Total	0.200				6.0	6.0

SITE AND ZONING TABLE

LANDUSE	Acreage (ac)	Zoning	Building Height		Total Bldg. (sq ft)	Building Coverage		F.A.R.		Impervious Cover	
			Max. (ft)	Prop. (ft)		** Max. (%)	Prop. (%)	** Max. (%)	Prop. (%)		
RESIDENTIAL	0.2000	MF-4-HD-NP	60	27.6	4,474	60%	51.0%	0.751	0.7491	70%	69.00%

- A** SAW-CUT EXISTING PAVEMENT. TIE TO EXISTING PAVEMENT PROPOSED PAVEMENT/CURB SHALL MATCH EXISTING GRADE
- B** ASPHALT PAVEMENT. REFERENCE PAVEMENT SECTION(S) ON CONSTRUCTION DETAILS SHEET(S)
- C** CLASS-III BIKE RACKS PER C.O.A. STD. DETAIL 7105-1. (TYP. OF 3 RACKS(6 SPACES)) EACH
- D** EXISTING FIRE HYDRANT
- E** ADA RAMP PER COA DETAIL 432S-5 REFERENCE CONSTRUCTION DETAILS.
- F** ABOVE GROUND METAL TREE PLANTERS
- G** LANDSCAPE AREA. REFERENCE LANDSCAPE SHEETS
- J** CONCRETE SIDEWALK PER COA DETAIL 432S-1. REFERENCE PLAN FOR WIDTH.
- K** CONCRETE CURB (TYPICAL). REFERENCE CONSTRUCTION DETAILS. PER COA 430S-1. REF. DETAIL ON SHEET C-501.
- L** PROPOSED RAIN GARDEN (SEE RAIN GARDEN PLAN AND CROSS SECTIONS SHEET(S))
- M** TURF- REFERENCE LANDSCAPE SPECS/ DETAILS SHEET(S).
- O** WALL- SEE ARCHITECTURAL DETAILS
- P** CORRUGATED CISTERN. REFERENCE DRAINAGE SHEET 11 FOR DETAIL.
- Q** DETENTION POND/ RAIN GARDEN. REFERENCE DRAINAGE SHEET 11 FOR DETAIL.

CAUTION: CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

- NOTES:**
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
 - ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
 - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).
 - REFER TO GENERAL NOTES SHEET FOR ADDITIONAL SITE NOTES.
 - CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE CITY OF AUSTIN STANDARD DETAILS AND SPECIFICATIONS.

- NOTES:**
- EXISTING CONDITIONS SURVEY PREPARED BY WATERLOO SURVEYOR, INC. SURVEYS OF LOT 16, BLOCK "A", OF RAYMOND'S SUBDIVISION OF A PART OF OUTLOT NO. 2 IN DIVISION "2", A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGE 129, PLAT RECORDS, TRAVIS COUNTY, TEXAS, WERE SURVEYED IN JANUARY OF 2016.
 - ONLY VISIBLE IMPROVEMENTS & UTILITIES WERE PROVIDED FROM SURVEY (THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES). LOCATIONS OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID & CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
 - THE SIZE AND LOCATION OF UTILITY STRUCTURES, (IF SHOWN), MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
 - REFERENCE COVER SHEET AND TREE LIST FOR ADDITIONAL INFORMATION.
 - LIMITS OF CONSTRUCTION ARE SHOWN ON THE "EROSION & SEDIMENTATION CONTROL PLAN" SHEET.

SITE PLAN APPROVAL Sheet 9 of 23
 FILE NUMBER SP-2019-0559C APPLICATION DATE DECEMBER 5, 2019
 APPROVED BY COMMISSION ON _____ UNDER SECTION 112 OF CHAPTER 255 OF THE CITY OF AUSTIN CODE. CHRISTINE
 EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER BARTON-HOLMES

Director, Development Services Department
 RELEASED FOR GENERAL COMPLIANCE: _____ ZONING MF-4-HD-NP
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



W 7TH STREET PASSIVE
1118 W 7TH STREET
AUSTIN, TRAVIS COUNTY, TEXAS 78702

SITE PLAN

MOUNTAIN SUN DEVELOPMENT CO.
 1601-B BOLDWIN AVE
 AUSTIN, TX 78704 (512) 454-1111
 PH: +1 800-SUBST-DEV (UNIT)
 RUSS@MOUNTAINSUNRESOURCES.COM

SHEET CS100
9 OF 23
SP-2019-0559C

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PASSIVE HOUSE CERTIFICATION

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---	22.43
Building Coverage	3,403.10

GROSS FLOOR AREA	
UNIT A MAIN FLR SF	1,563.97
UNIT A 2ND FLR SF	1,466.33
UNIT A LOWER LVL SF	806.69
EXISTING HOUSE SF	1,023.89
UNIT B 2ND FLR SF	1,018.78
UNIT B MAIN FLR SF	681.67
	6,561.33 sq ft
EXISTING IMPERVIOUS	3,442.77
PROPOSED TOTAL IMPERVIOUS	6,019.04
BLDG COVERAGE	4,461.71

MF-4

Total Site Area - 8,750 sf

	Allowed	Proposed
Max Building Coverage	60% 5,250 sf	4,474 sf (51%)
Max Impervious Cover	70% 6,125 sf	6,025 sf (69%)
Max FAR	.75:1 6,562 sf	6,561 sf (.749)
Max Units Per Acre	36-54	3 units
Max Height Per Zoning	60'	27'-10"
Max Height Per LHD	32'	27'-10"
Parking	2 PER UNIT	6 (one on street)

*SLOPE ACROSS SITE = 19.8%
EXEMPTED FROM VISITABILITY PER ORDINANCE NUMBER 20140130-021 R3 20.71

*3 UNITS ON COMMERCIAL ZONING, THEREFOR MC MANSION DOES NOT APPLY

*RESIDENTIAL STRUCTURES AND USE, THEREFOR COMPATIBILITY DOES NOT APPLY PER 25-2-1052-A-1 OF LDC

*STRUCTURES ARE UNDER IRC 2015

*SUBCHAPTER E APPLIES BUT BUILDING PLACEMENT AND DESIGN STANDARDS ARE NOT APPLIED TO EXISTING BUNGALOW

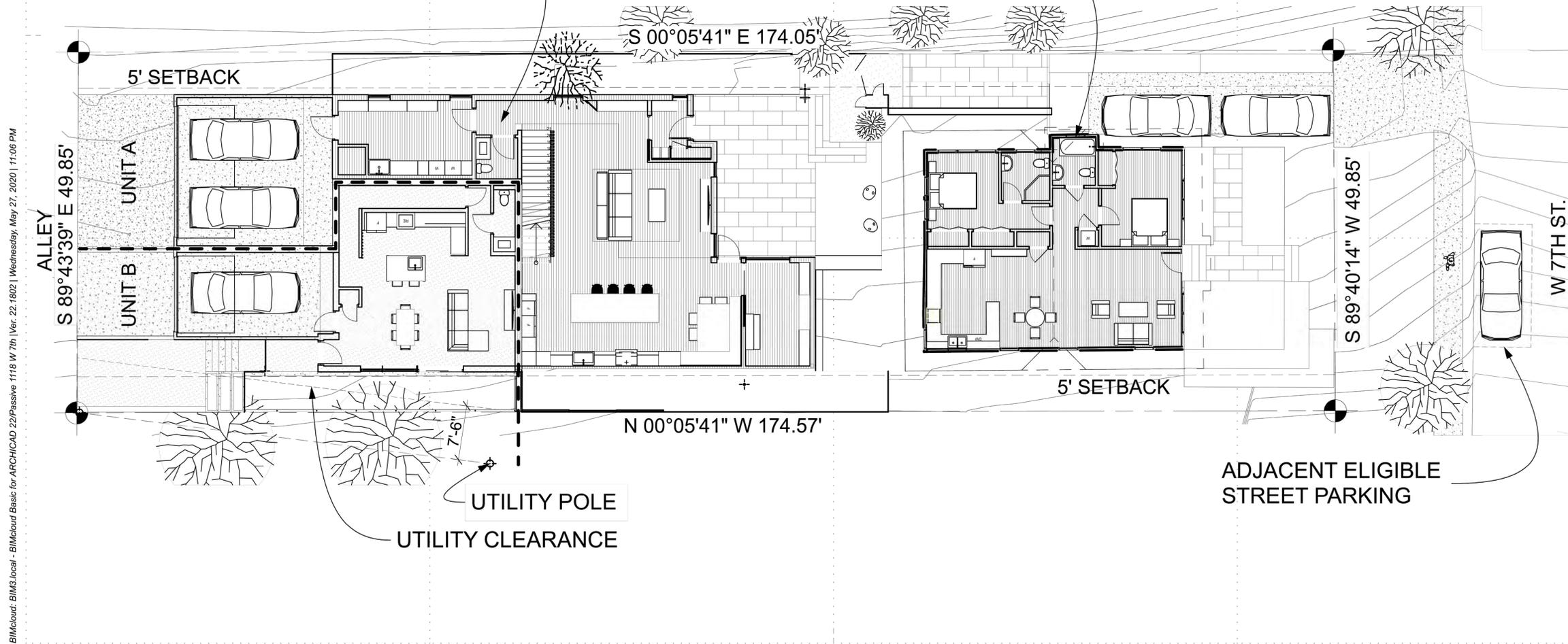


Scott Ginder - Texas Architect
Registration # 21234

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DUPLEX, NEW CONSTRUCTION

EXISTING HOUSE, RENOVATION ONLY, FOOTPRINT TO REMAIN UNCHANGED



BIMcloud: BIM3.local - BIMcloud Basic for ARCHICAD 22/Passive 1118 W 7th | Ver. 22.1602 | Wednesday, May 27, 2020 | 11:06 PM

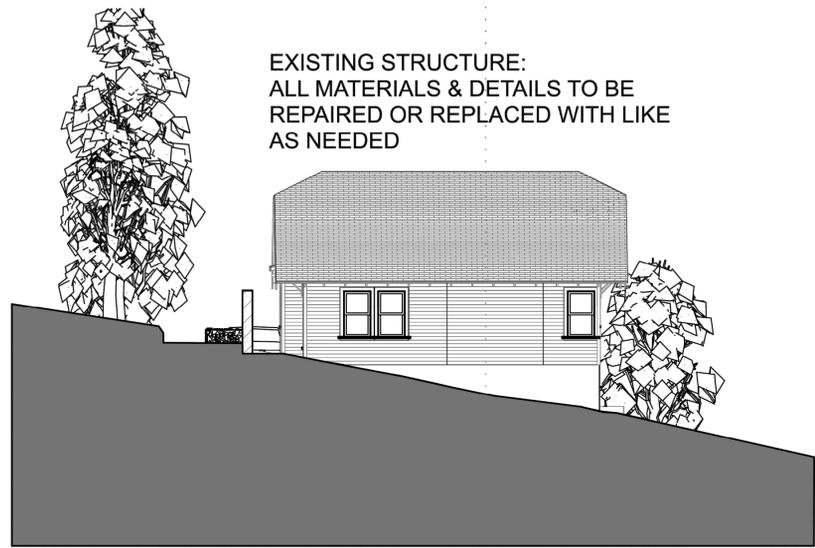
W 7th Passive
1118 W 7th St
Austin, TX 78703

REV	DATE	DESCRIPTION

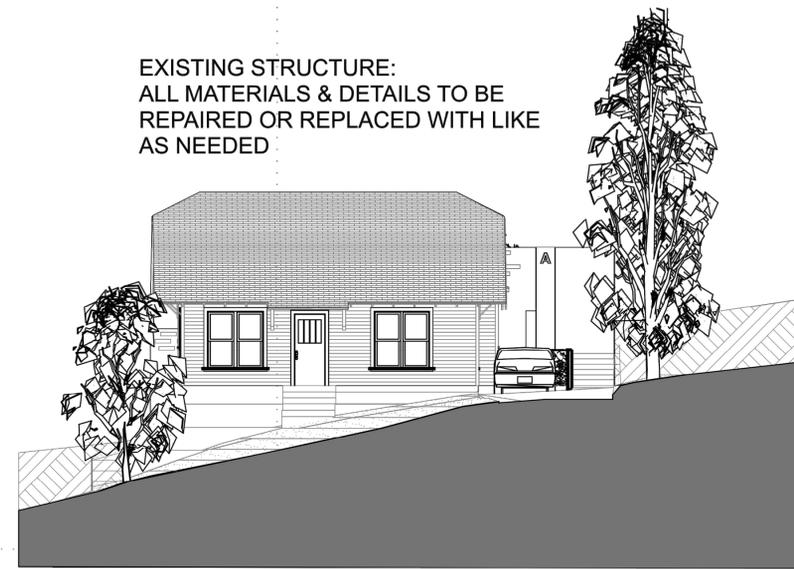
ISSUE:
PERMITTING
DATE:
5/27/20
PROJECT NUMBER:
2019-###
SHEET TITLE:
ARCHITECTURAL SITE

A0.10

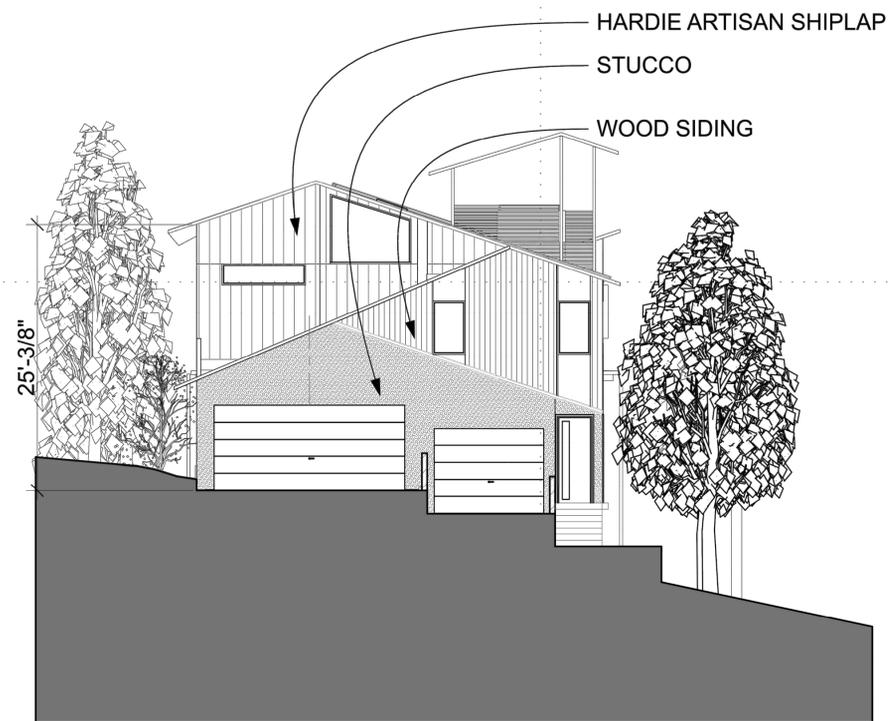
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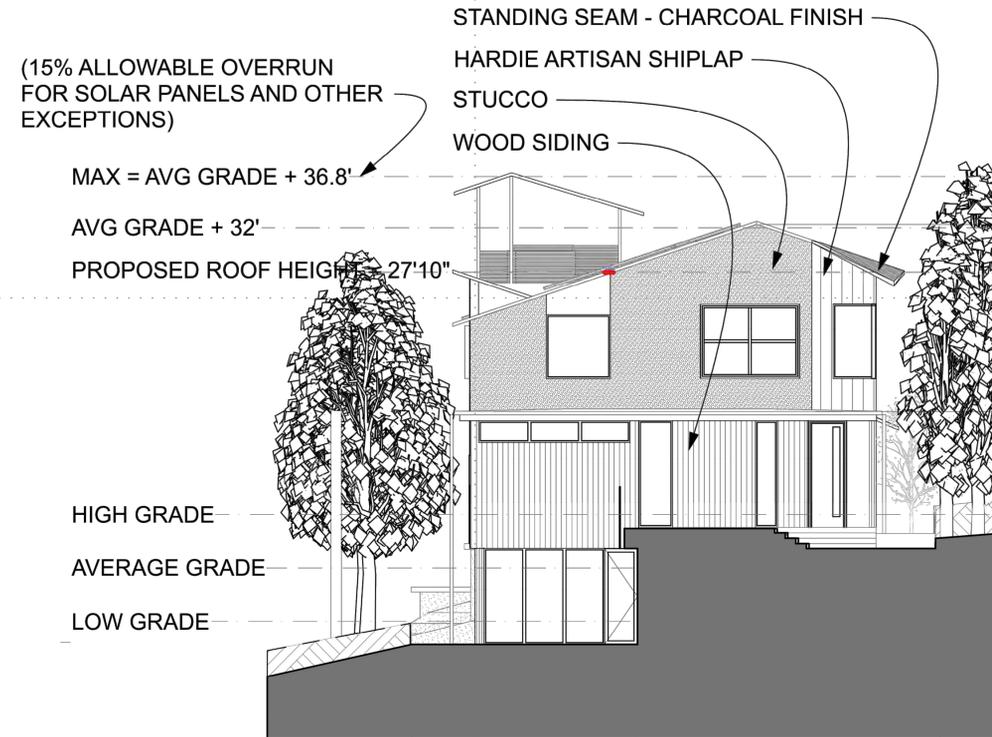
8 NORTH ELEVATION - EXISTING
SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION - EXISTING
SCALE: 1/16" = 1'-0"



7 NORTH ELEVATION - ADDITION
SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION - ADDITION
SCALE: 1/16" = 1'-0"



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1118 W 7th St
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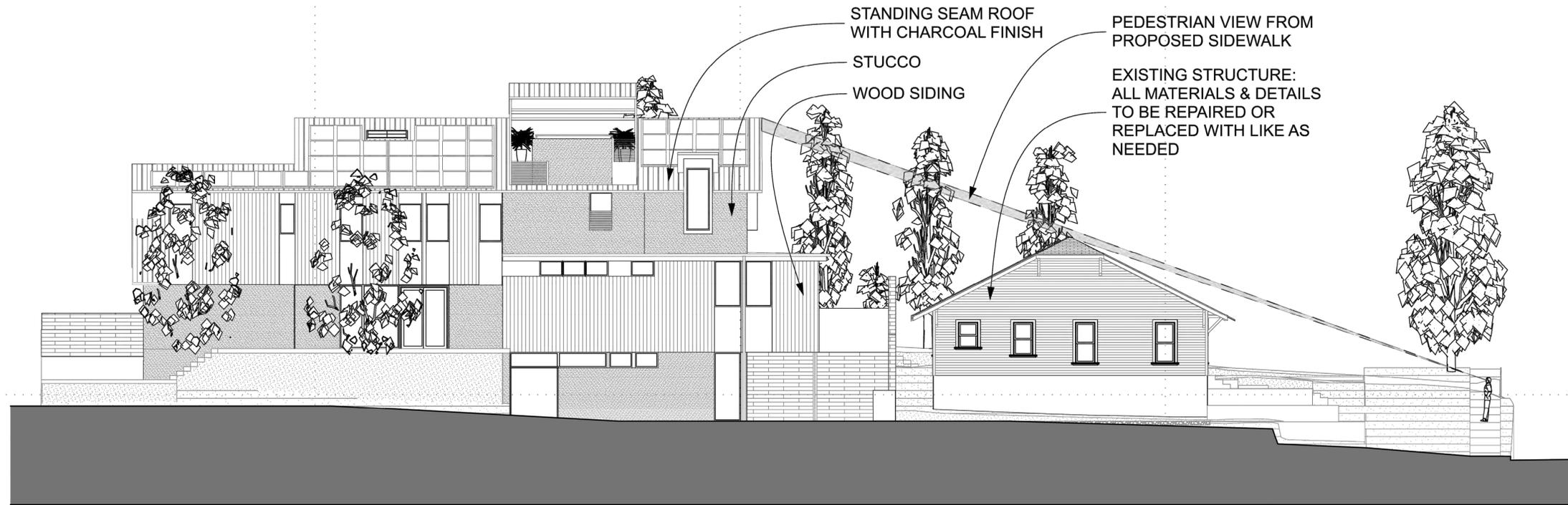
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ISSUE: PERMITTING
DATE: 5/27/20
PROJECT NUMBER: 2019-###
SHEET TITLE: BUILDING ELEVATIONS

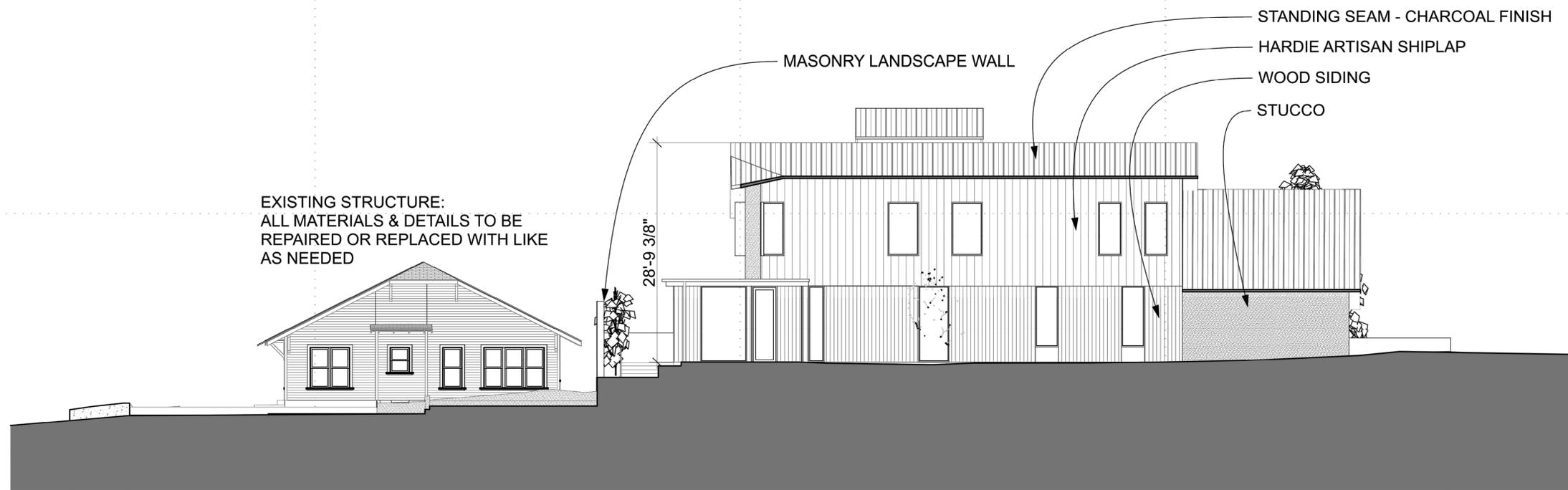
A2.11

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2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



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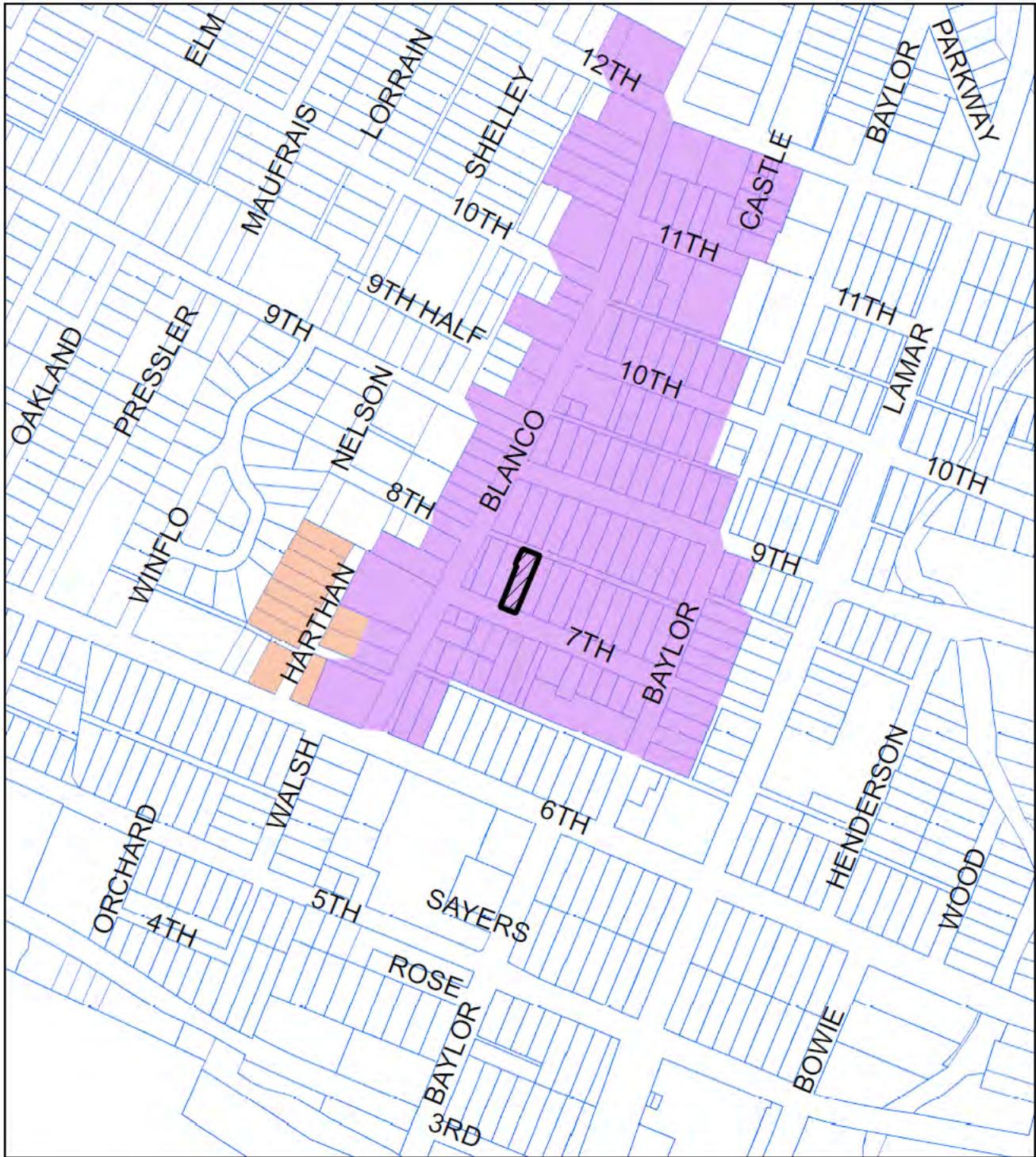
W 7th Passive
1118 W 7th St
Austin, TX 78703

REV	DATE	DESCRIPTION

ISSUE: PERMITTING
DATE: 5/27/20
PROJECT NUMBER: 2019-###
SHEET TITLE: BUILDING ELEVATIONS

A2.12

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-  Subject Tract
-  Base Map

CASE#: SP-2019-0559C
 LOCATION: 1118 W 7TH ST

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