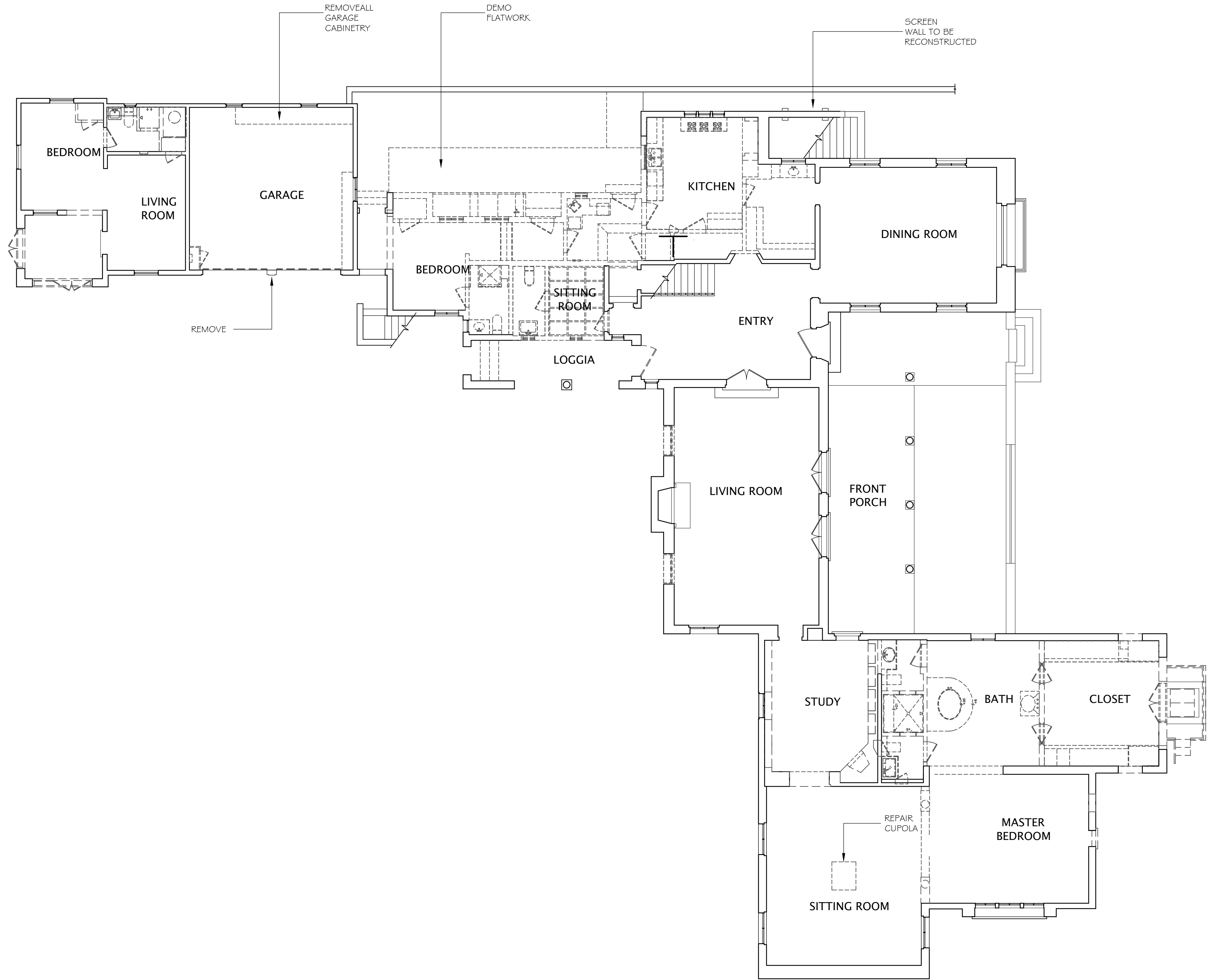
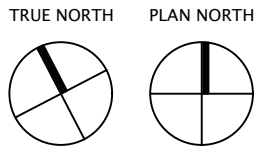




1

FIRST FLOOR DEMO PLAN

SCALE: 1/8" = 1'-0"



FLOOR PLAN WALL KEY:

- [- -] TO BE REMOVED/DEMOLISHED
- [—] EXISTING TO REMAIN

DEMOLITION NOTES:

- TAKE PRECAUTION TO PROTECT EXISTING STRUCTURE. TEMP. SHORING AS REQ'D BY OTHERS.
- TAKE PRECAUTION TO MAINTAIN UTILITIES.
- RECYCLE MATERIAL WHERE POSSIBLE.
- DRAWINGS INDICATE EXISTING CONDITIONS TO THE EXTENT THEY ARE VISIBLE. REPORT DISCREPANCIES AND/OR DISCOVERIES TO ARCHITECT.

DEMO PLAN

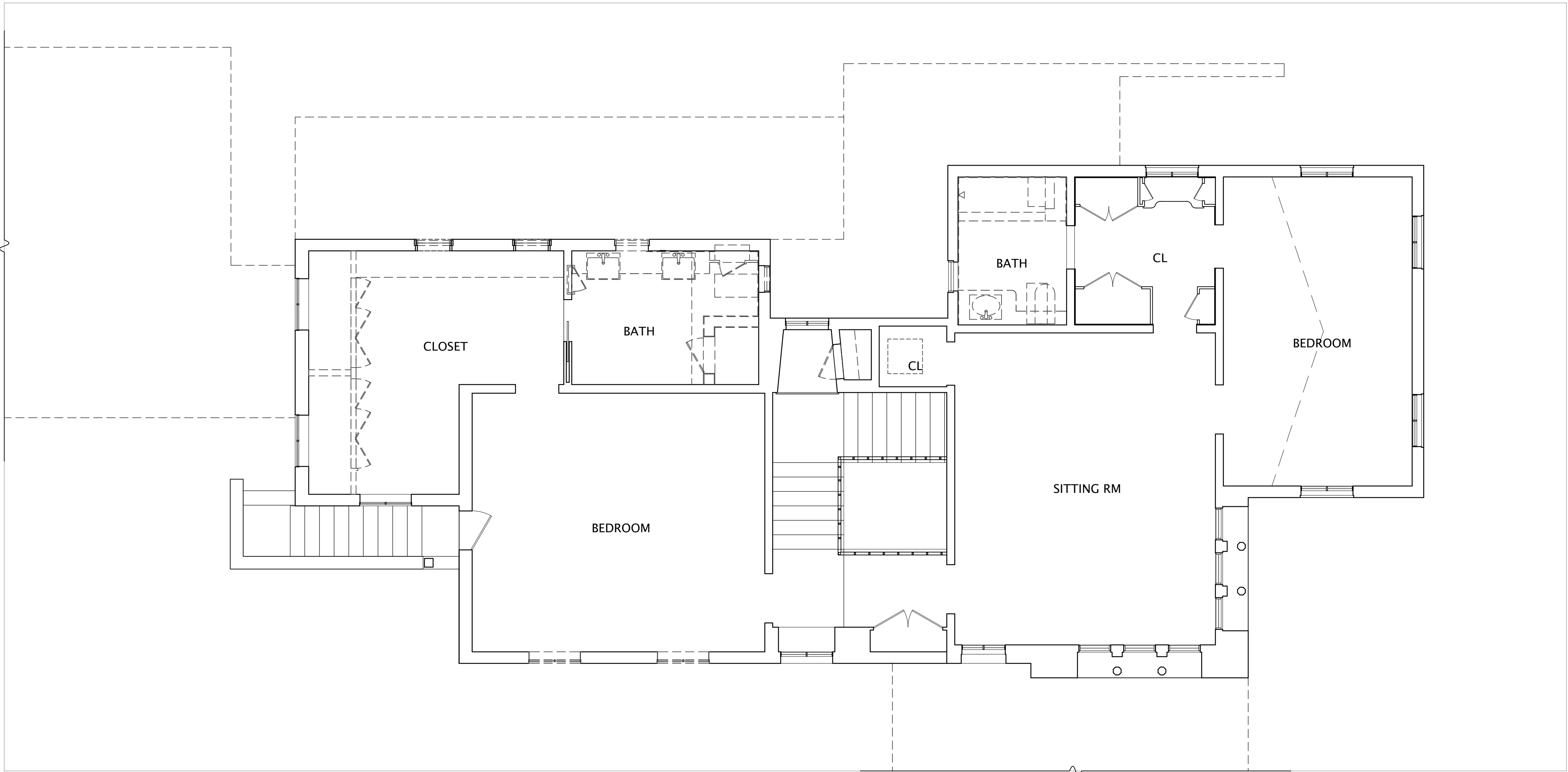
A RENOVATION FOR
RAE & RICHARD HILL
2210 WINDSOR RD.
AUSTIN, TX 78703

ISSUE	EXP. DEMO
03.18.20	OWNR DWG
04.21.20	PERMIT
05.27.20	



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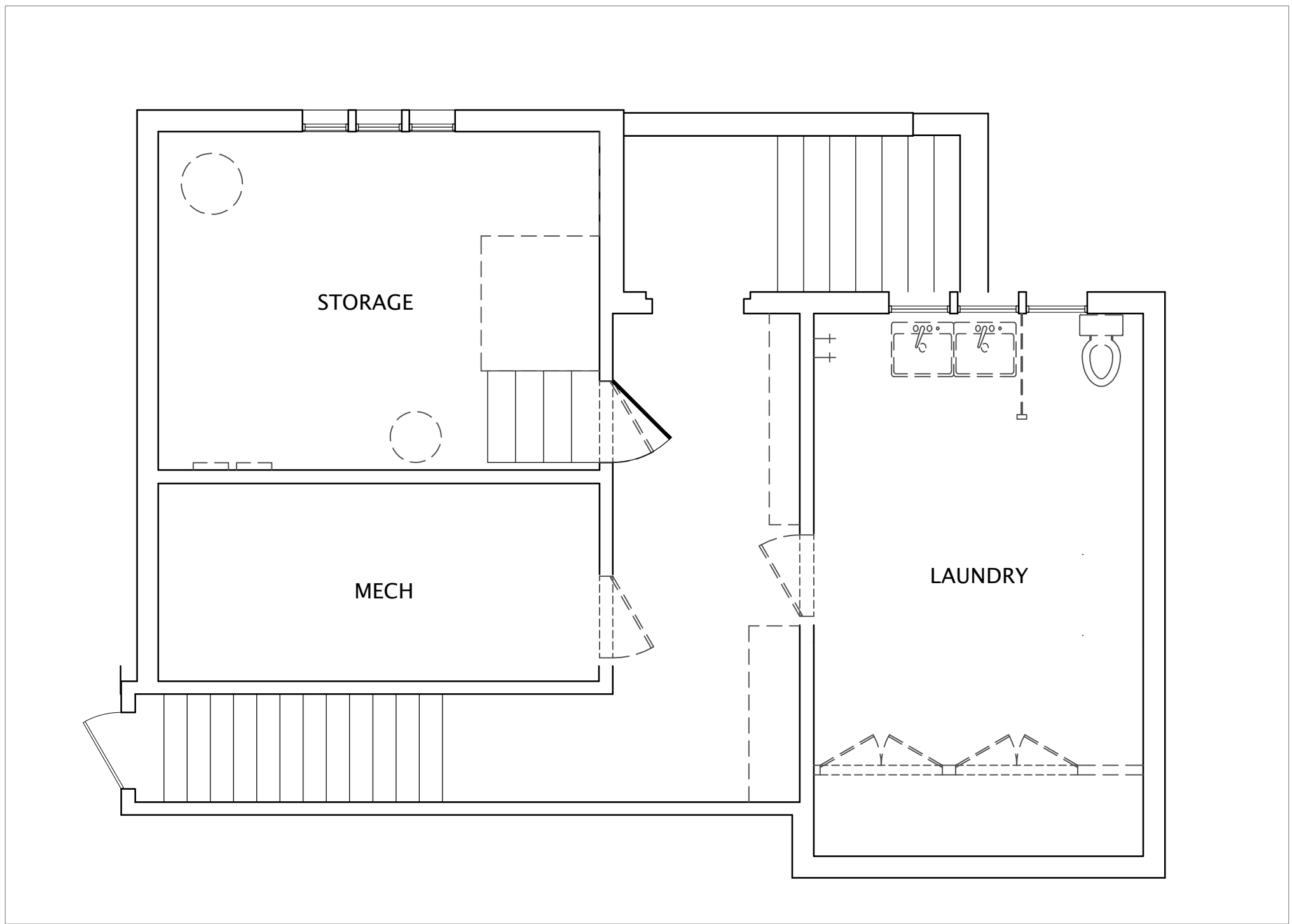
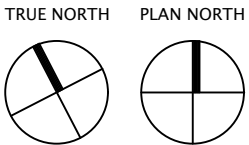
A.200



1

SECOND FLOOR DEMO PLAN

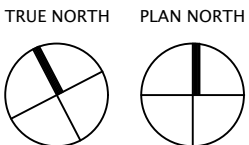
SCALE: 1/4" = 1'-0"



1

BASEMENT DEMO PLAN

SCALE: 1/4" = 1'-0"

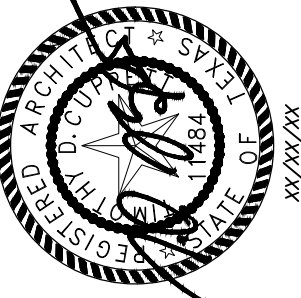


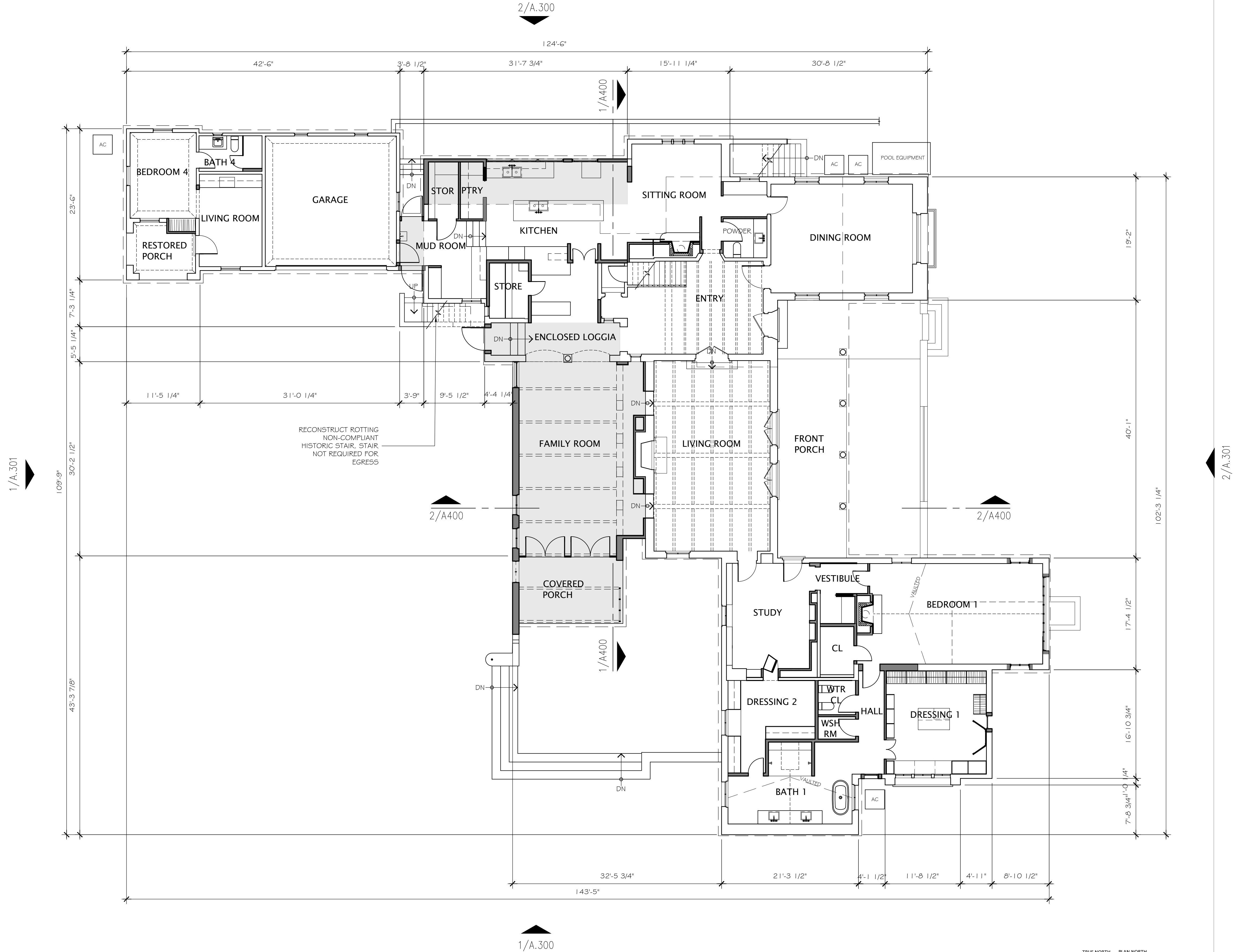
FLOOR PLAN WALL KEY:

- [---] TO BE REMOVED/DEMOLISHED
- [—] EXISTING TO REMAIN

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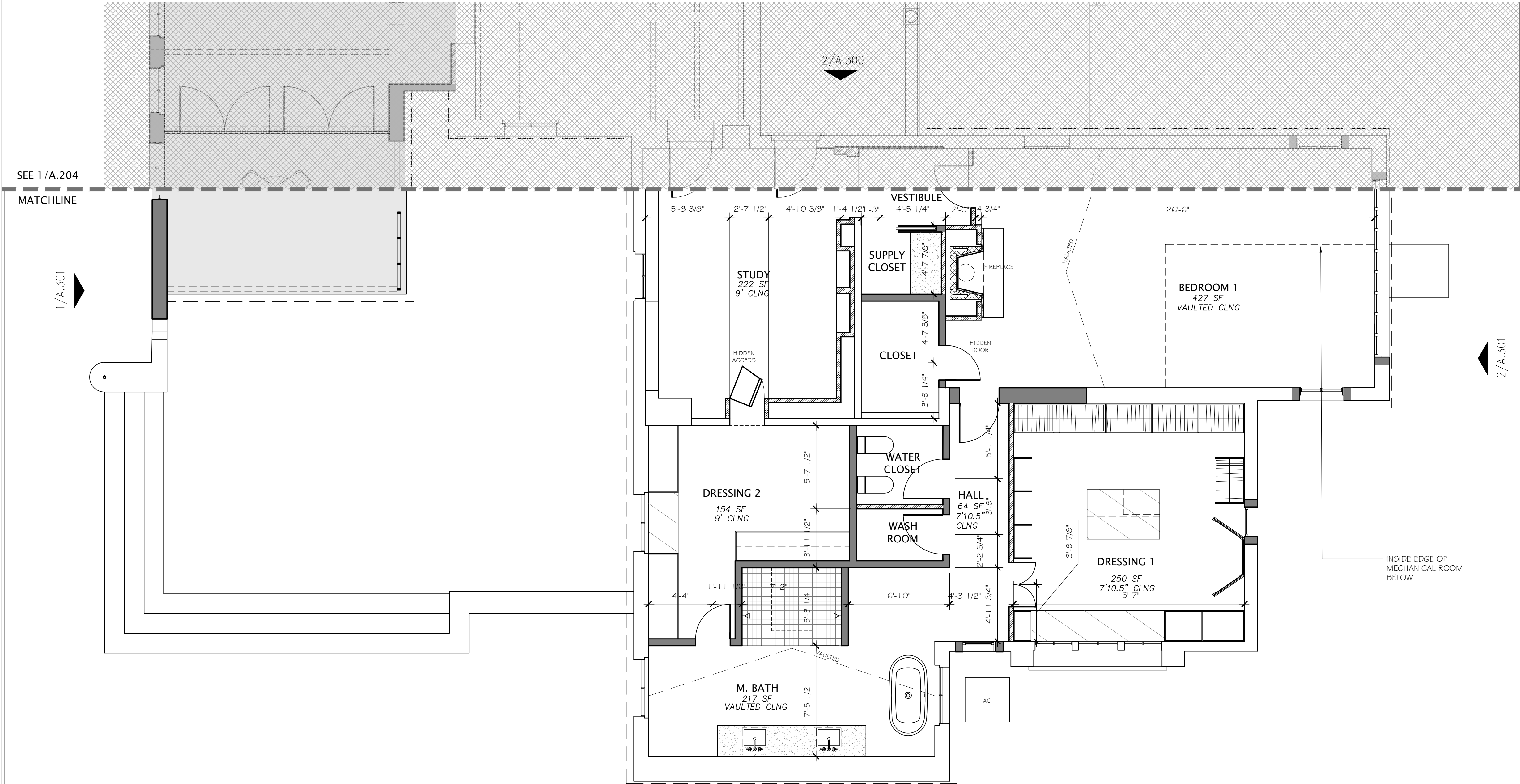
= PROPOSED
FOOTPRINT

FLOOR PLAN WALL KEY:

- 5 1/2" WOOD STUDS
- 3 1/2" WOOD STUDS
- EXISTING WOOD STUDS

GENERAL NOTES:

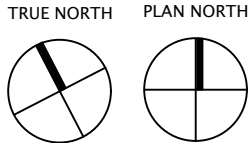
- PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE CODES, REGULATIONS AND ORDINANCES INCLUDING THE INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION
- ALL DIMENSIONS ARE TO FACE OF FRAMING UNO
- HOSE BIBS TO BE LOCATED AT 24" ABOVE FINISHED GRADE
- DO NOT SCALE DRAWINGS. DIMENSIONS AS INDICATED TAKE PRECEDENT OVER DRAWINGS.
- CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY FIELD CONDITIONS WHICH DO NOT PERMIT CONSTRUCTION OR INSTALLATION AS DRAWN
- PROVIDE 5/8" TYPE "X" GWB AT WALL AND CLNG IN GARAGE
- PATCH AND REPAIR PLASTER WHERE NEEDED TO MATCH EXISTING



1

MASTER WING

SCALE: 1/4" = 1'-0"



= PROPOSED
FOOTPRINT

FLOOR PLAN WALL KEY:

- 5 1/2" WOOD STUDS
- 3 1/2" WOOD STUDS
- EXISTING WOOD STUDS

GENERAL NOTES:

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FLOOR PLAN

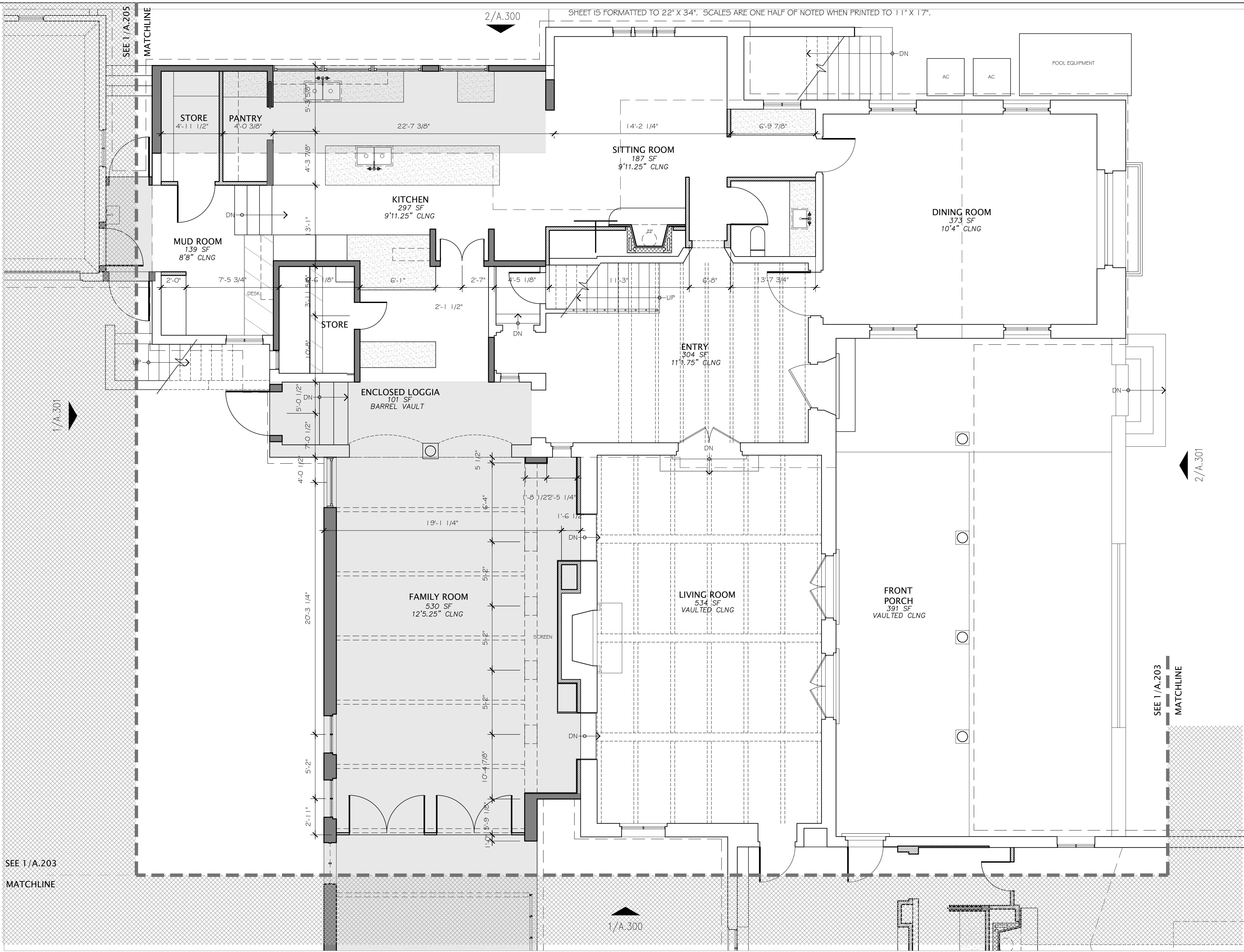
A.203

A RENOVATION FOR
RAE & RICHARD HILL
2210 WINDSOR RD.
AUSTIN, TX 78703

ISSUE
03.18.20
04.21.20
05.27.20
EXP. DEMO
OWNR DWG
PERMIT



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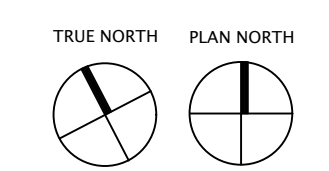


SEE 1/A.203
MATCHLINE

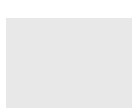
SEE 1/A.203
MATCHLINE

1 ENLARGED FIRST FLOOR

SCALE: 1/4" = 1'-0"



SHEET IS FORMATTED TO 22" X 34". SCALES ARE ONE HALF OF NOTED WHEN PRINTED TO 11" X 17".

 = PROPOSED FOOTPRINT

FLOOR PLAN WALL KEY:

-

GENERAL NOTES:

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FLOOR PLAN

A.204

ISSUE

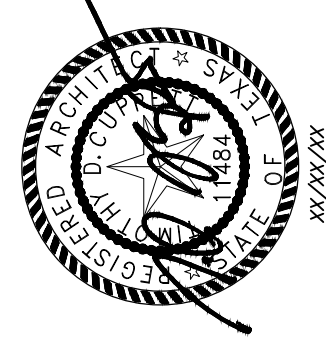
03.18.20	EXP. DEMO
04.21.20	OWNER DWG
05.27.20	PERMIT

A RENOVATION FOR

RAE & RICHARD HILL

2210 WINDSOR RD.

AUSTIN, TX 78703





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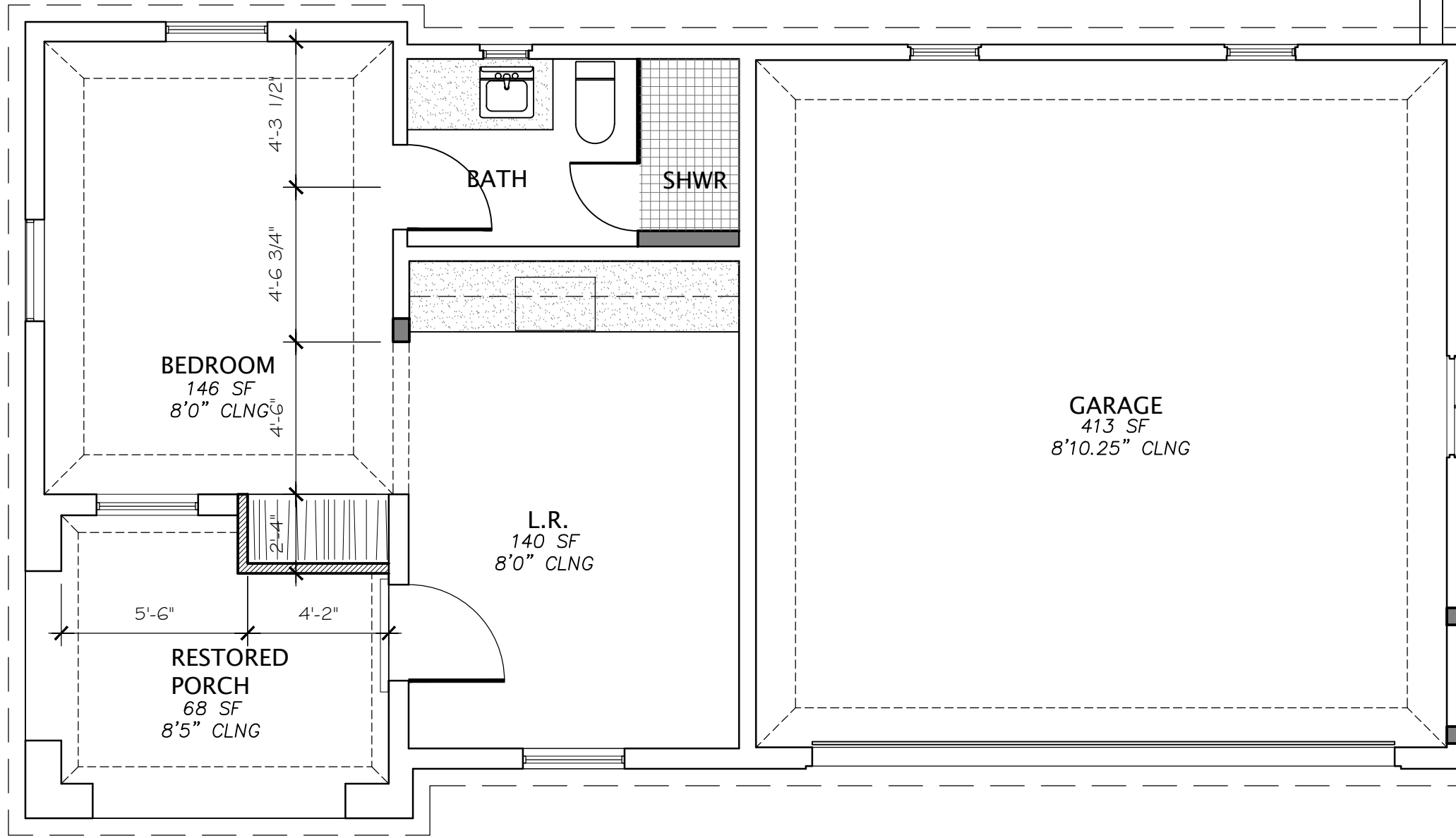
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ENLARGED FIRST FLOOR

SHEET IS FORMATTED TO 22" X 34". SCALES ARE ONE HALF OF NOTED WHEN PRINTED TO 11" X 17".

1/A.301

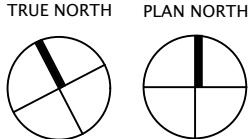
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1/A.300

SEE 1/A.205
MATCHLINE

SCALE: 1/4" = 1'-0"



2/A.301

= PROPOSED
FOOTPRINT

FLOOR PLAN WALL KEY:

- 5 1/2" WOOD STUDS
- 3 1/2" WOOD STUDS
- EXISTING WOOD STUDS

GENERAL NOTES:

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FLOOR PLAN

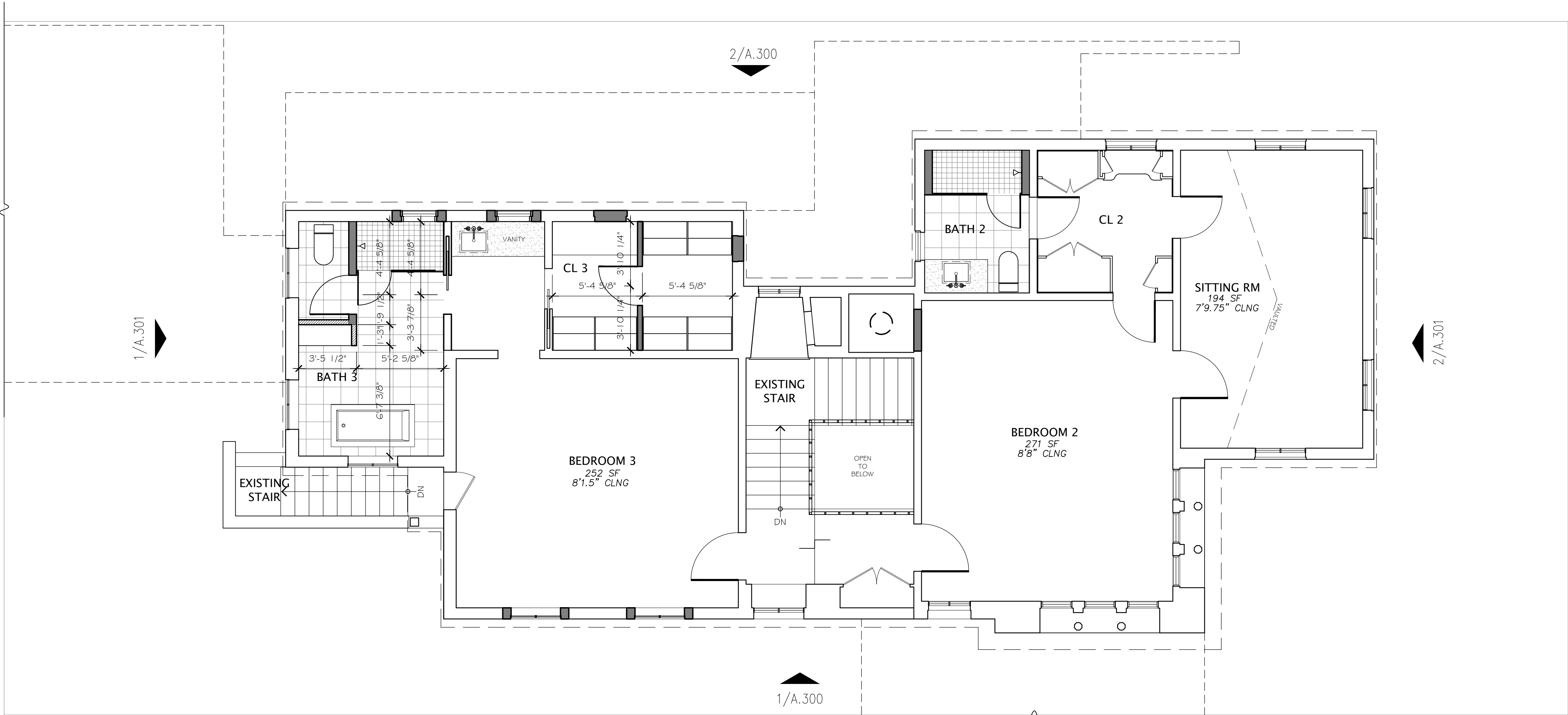
A.205

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RAE & RICHARD HILL
2210 WINDSOR RD.
AUSTIN, TX 78703

ISSUE
03.18.20
04.21.20
05.27.20
EXP. DEMO
OWNER DWG
PERMIT



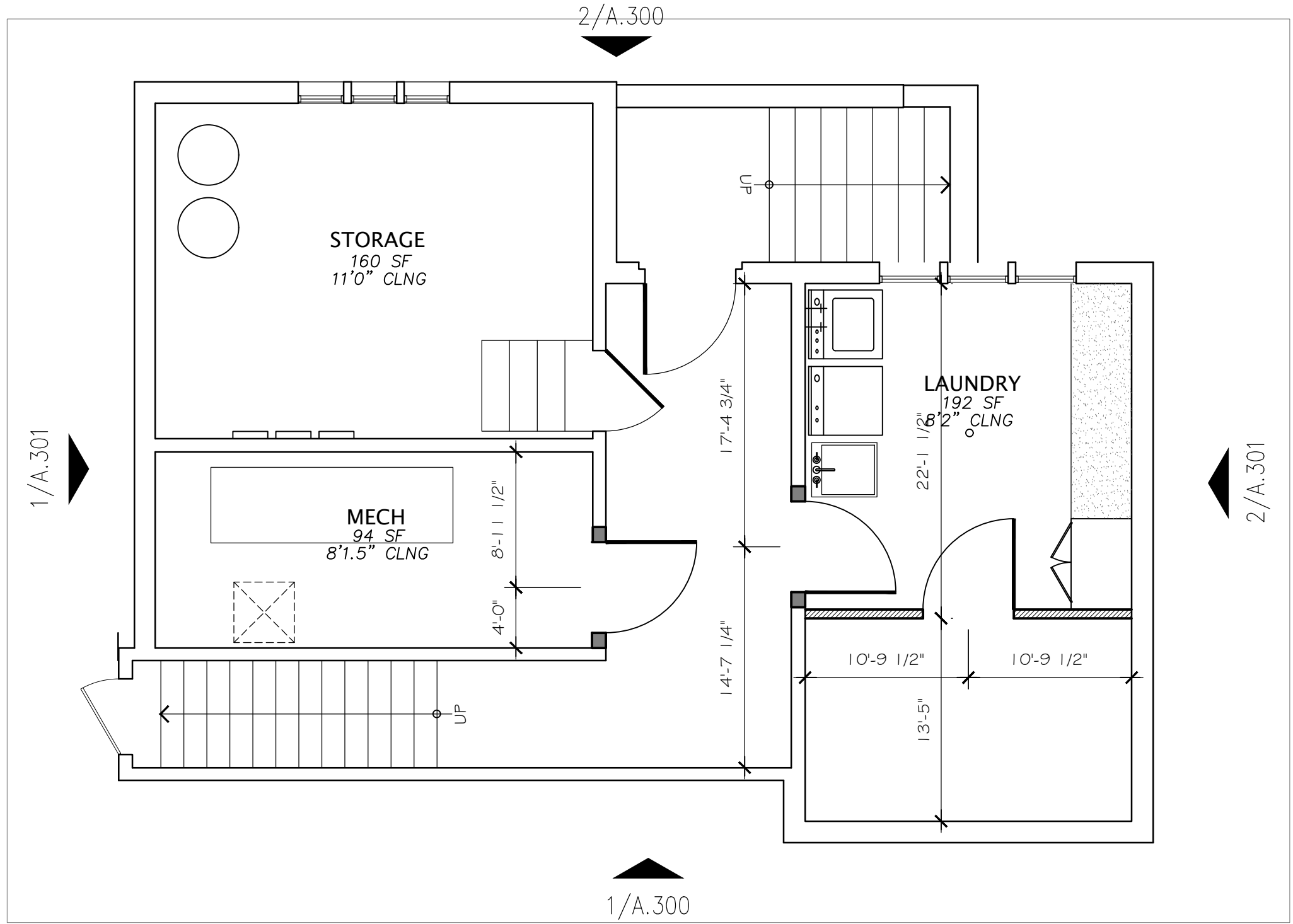
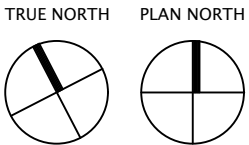
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1

SECOND FLOOR DEMO PLAN

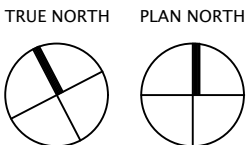
SCALE: 1/4" = 1'-0"

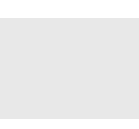


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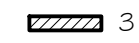
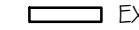
BASEMENT DEMO PLAN

SCALE: 1/4" = 1'-0"



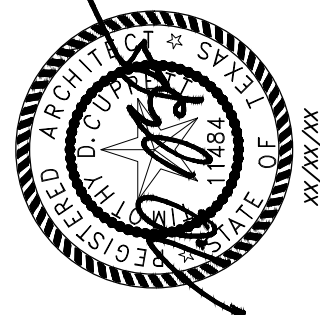
 = PROPOSED FOOTPRINT

FLOOR PLAN WALL KEY:

-  5 1/2" WOOD STUDS
-  3 1/2" WOOD STUDS
-  EXISTING WOOD STUDS

GENERAL NOTES:

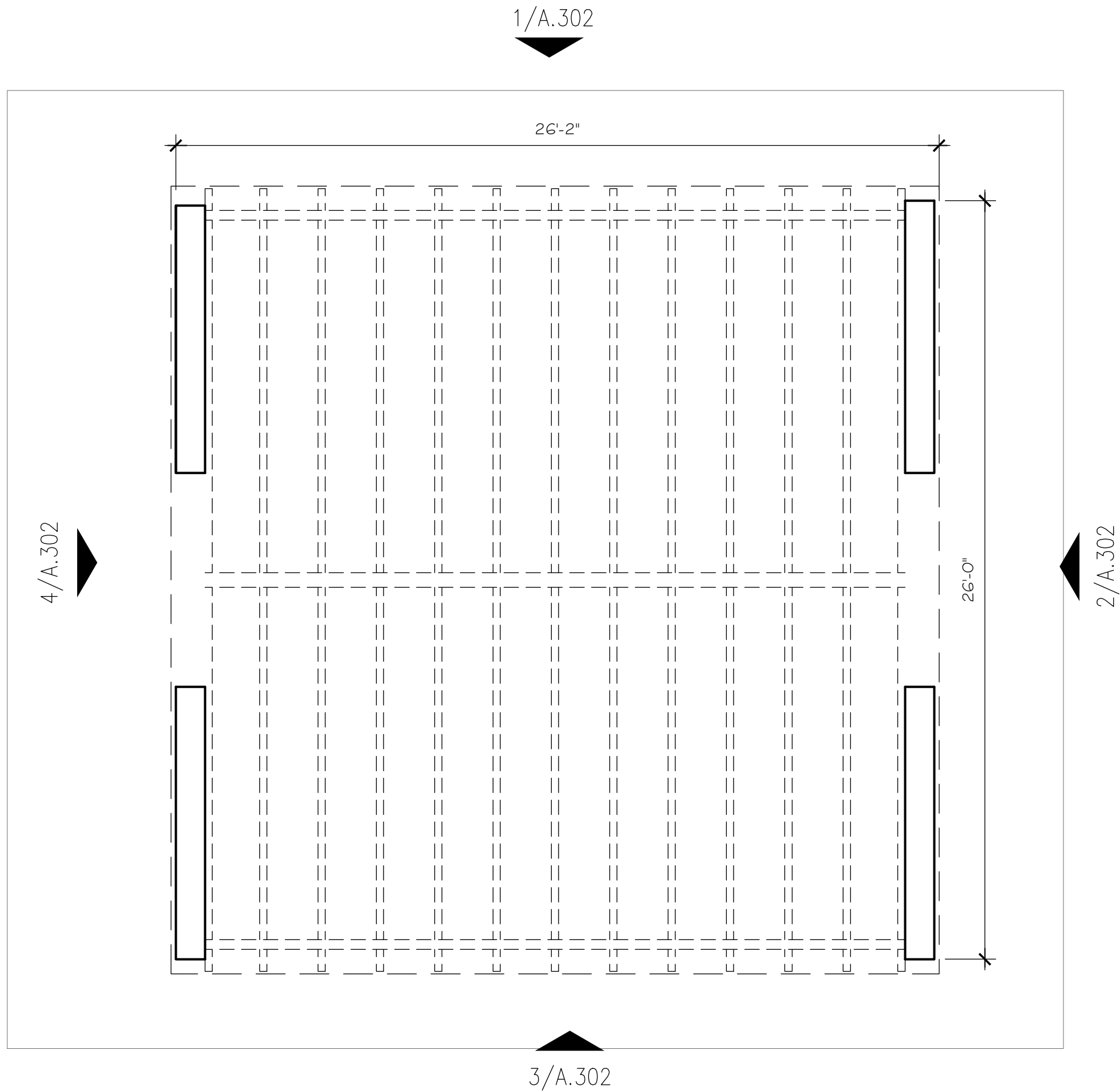
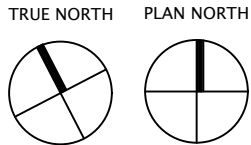
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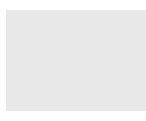


1

CARPORT PLAN

SCALE: 1/4" = 1'-0"



 = PROPOSED FOOTPRINT

FLOOR PLAN WALL KEY:

-  5 1/2" WOOD STUDS
-  3 1/2" WOOD STUDS
-  EXISTING WOOD STUDS

GENERAL NOTES:

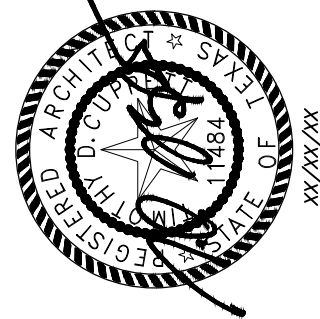
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- PATCH AND REPAIR PLASTER WHERE NEEDED TO MATCH EXISTING

CARPORT PLAN

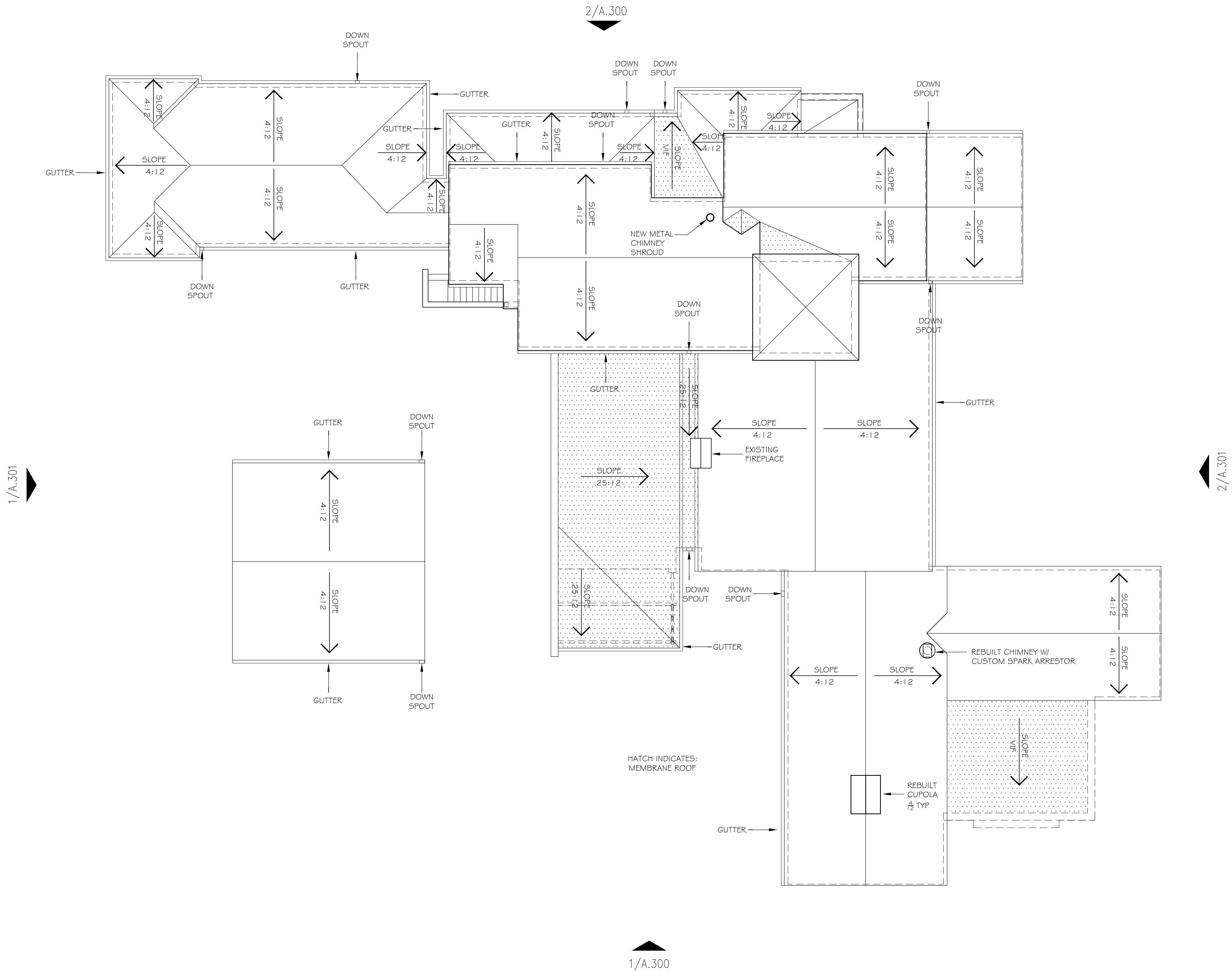
A.207

A RENOVATION FOR
RAE & RICHARD HILL
2210 WINDSOR RD.
AUSTIN, TX 78703

ISSUE	EXP. DEMO
03.18.20	OWNER DWG
04.21.20	PERMIT
05.27.20	



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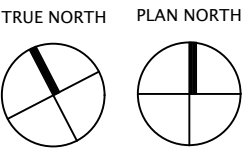
ROOF PLAN NOTES:

- PROVIDE & INSTALL COMPLETE ROOF SYSTEM WITH ALL FLASHING & MISC TRIM AS REQUIRED.
- ROOF PENETRATIONS TO BE GROUPED AND ORGANIZED. COORDINATE ALL ROOF PENETRATIONS WITH ARCHITECT PRIOR TO INSTALL.
- ROOF PENETRATIONS SHALL BE INSTALLED PLUMB AND FINISHED TO MATCH ROOF.

ROOF SPEC:

- WHOLE HOUSE TO UTILIZE EXISTING BARREL TILE AND MATCHING TILE, UNO
- BARREL ROOF: TO BE DETERMINED - SUBMIT SAMPLE FOR APPROVAL
- MEMBRANE ROOFING: TO BE DETERMINED - SUBMIT SAMPLE FOR APPROVAL
- REINFORCE EXISTING TO REMAIN ROOF AS REQUIRED TO SUPPORT SLATE.
- ALL BARREL TILE TO BE LUDOWICI. EXTRA NEEDED TO BE RECLAIMED TILES.

SCALE: 1/8" = 1'-0"



1

ROOF PLAN

ROOF PLAN

A.208

A RENOVATION FOR

RAE & RICHARD HILL
2210 WINDSOR RD.
AUSTIN, TX 78703

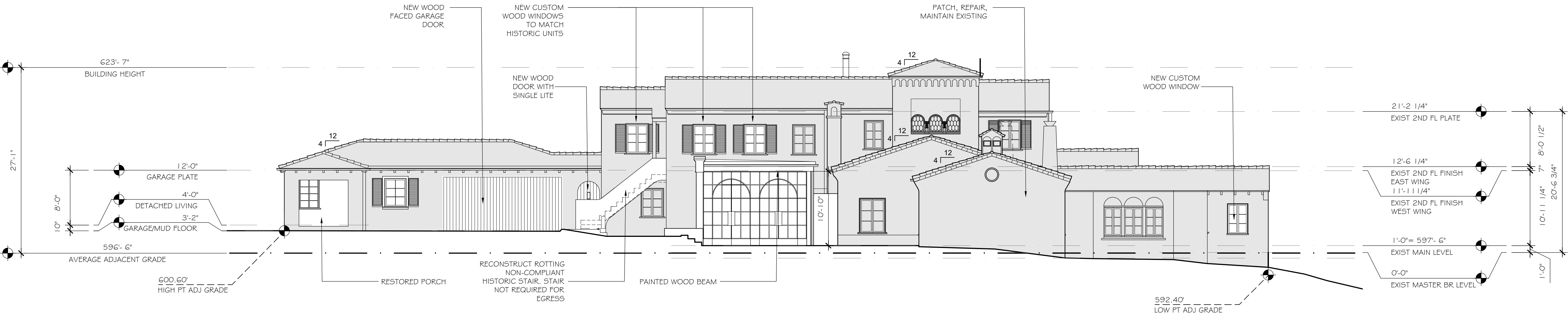
ISSUE

03.18.20 EXP. DEMO
04.21.20 OWNER DWG
05.27.20 PERMIT



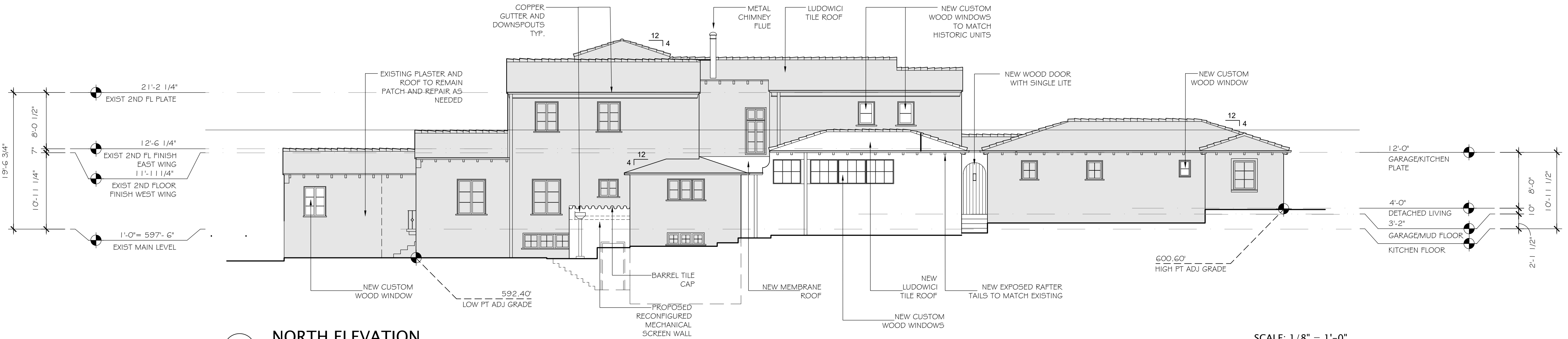
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REMOVE AND REVISE EXISTING ROOF TILES TO BE
INSTALLED OVER NEW MEMBRANE ROOF AND 2"
RIGID INSULATION.



1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

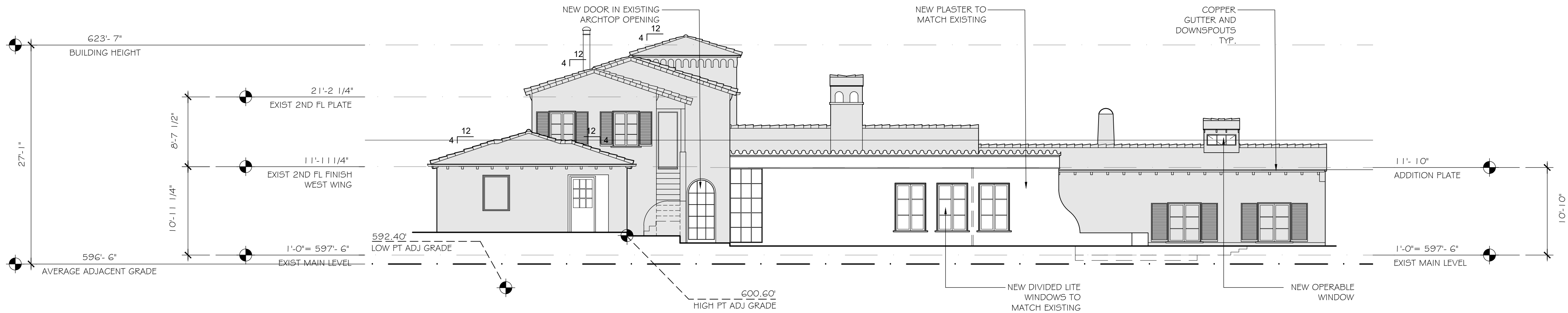


2 NORTH ELEVATION

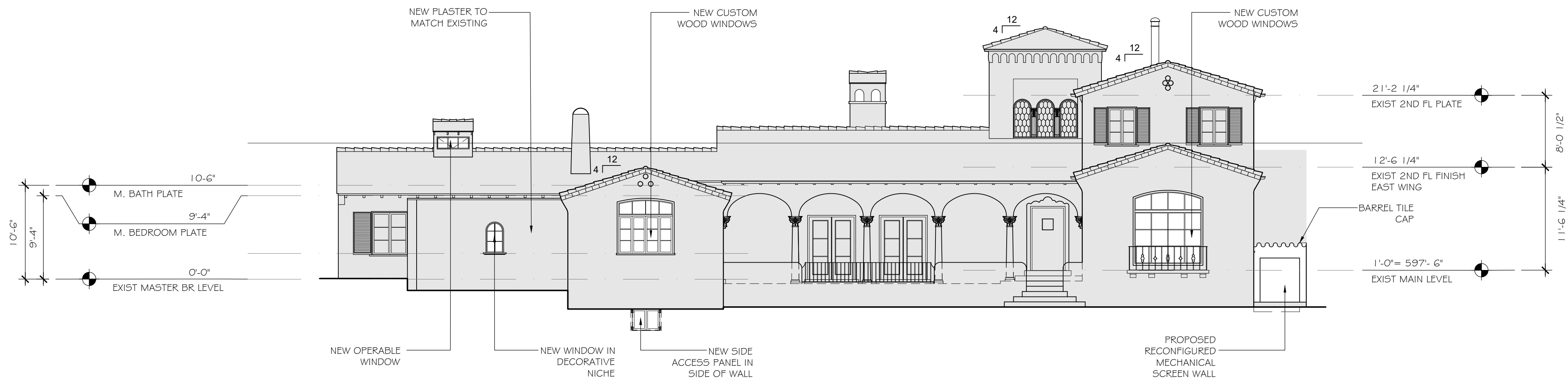
SCALE: 1/8" = 1'-0"

RESTORATION NOTE:
ALL EXISTING TO REMAIN TRIM, WINDOWS, DOORS AND SHUTTERS
TO BE RESTORED TO WELL-MAINTAINED CONDITION, REPAINT.

 = EXISTING
 = PROPOSED



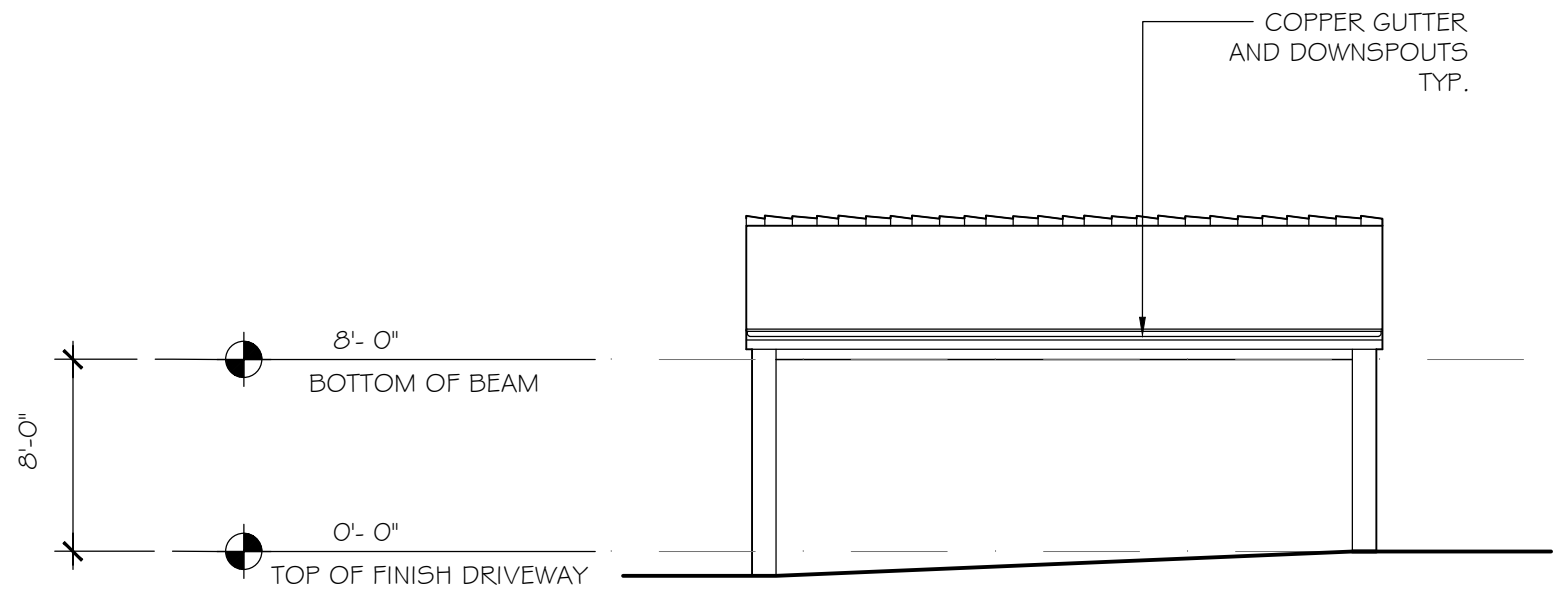
1 WEST ELEVATION



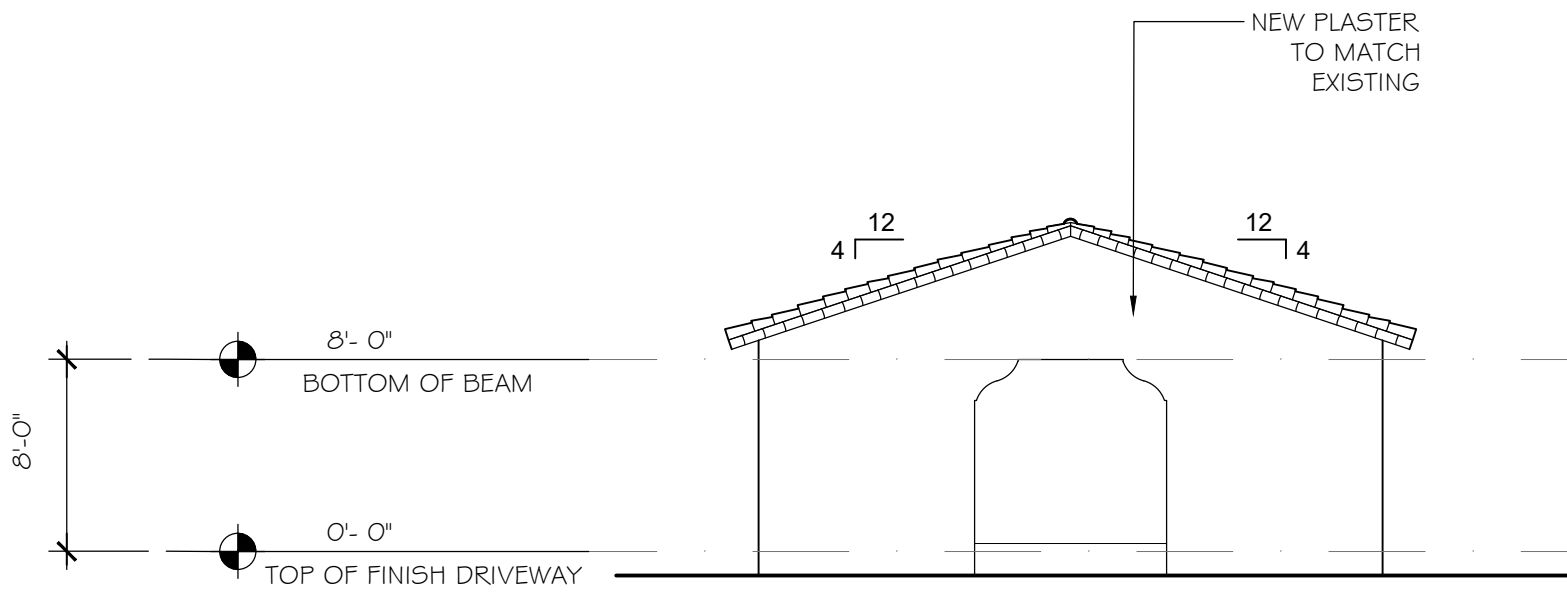
2 EAST ELEVATION

RESTORATION NOTE:
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TO BE RESTORED TO WELL-MAINTAINED CONDITION, REPAINT.

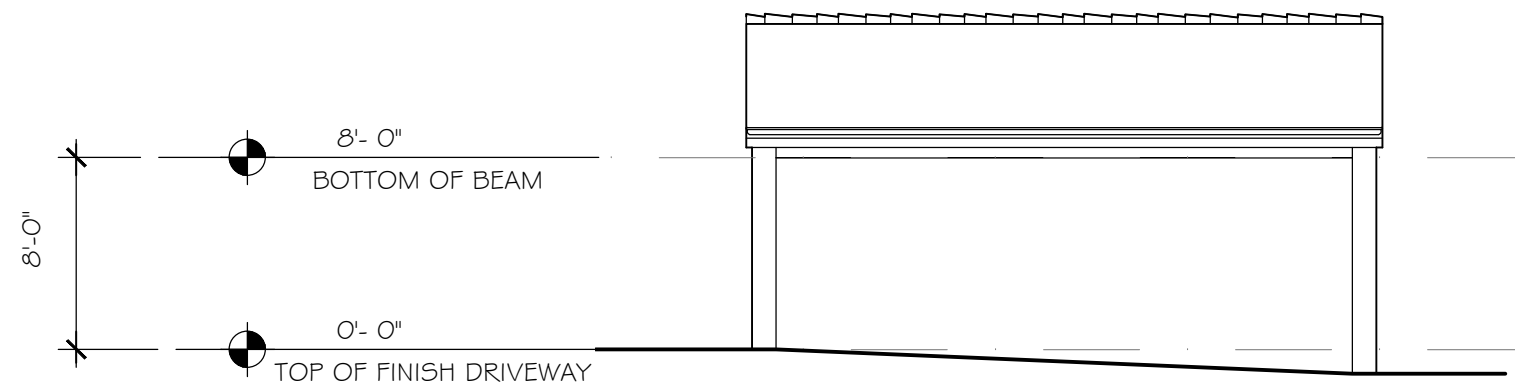
 = EXISTING
 = PROPOSED



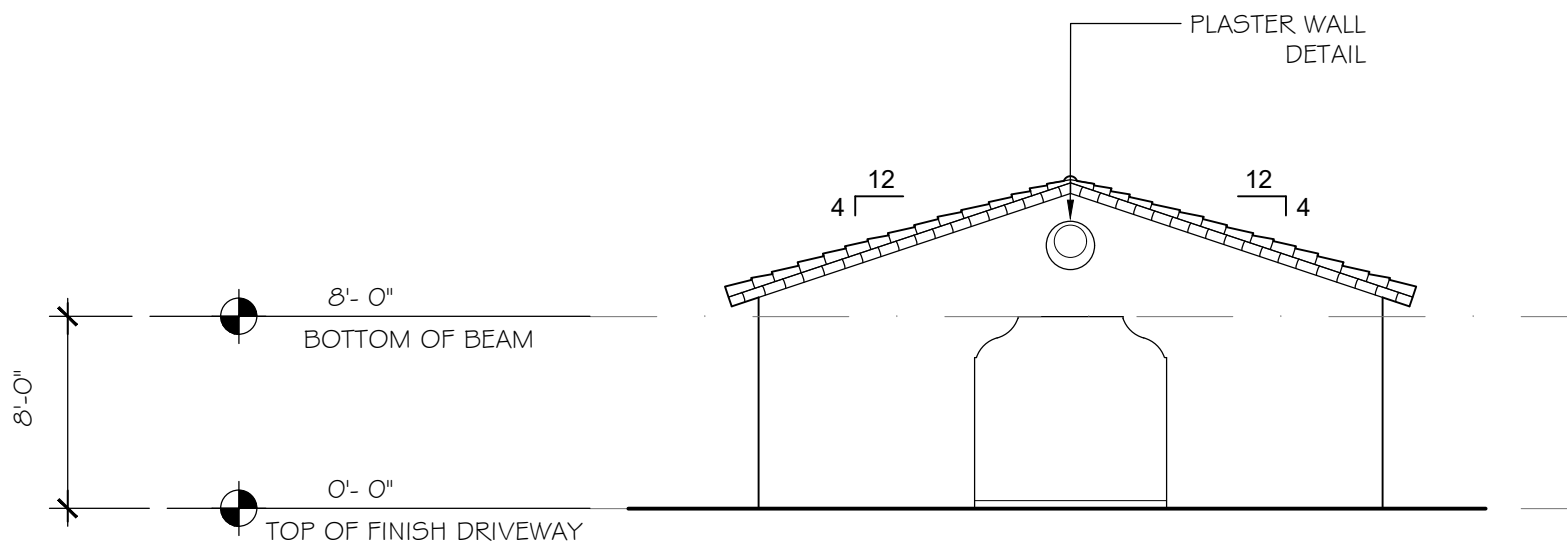
1 NORTH ELEVATION SCALE: 1/8" = 1'-0"



2 EAST ELEVATION SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION SCALE: 1/8" = 1'-0"



4 WEST ELEVATION SCALE: 1/8" = 1'-0"

