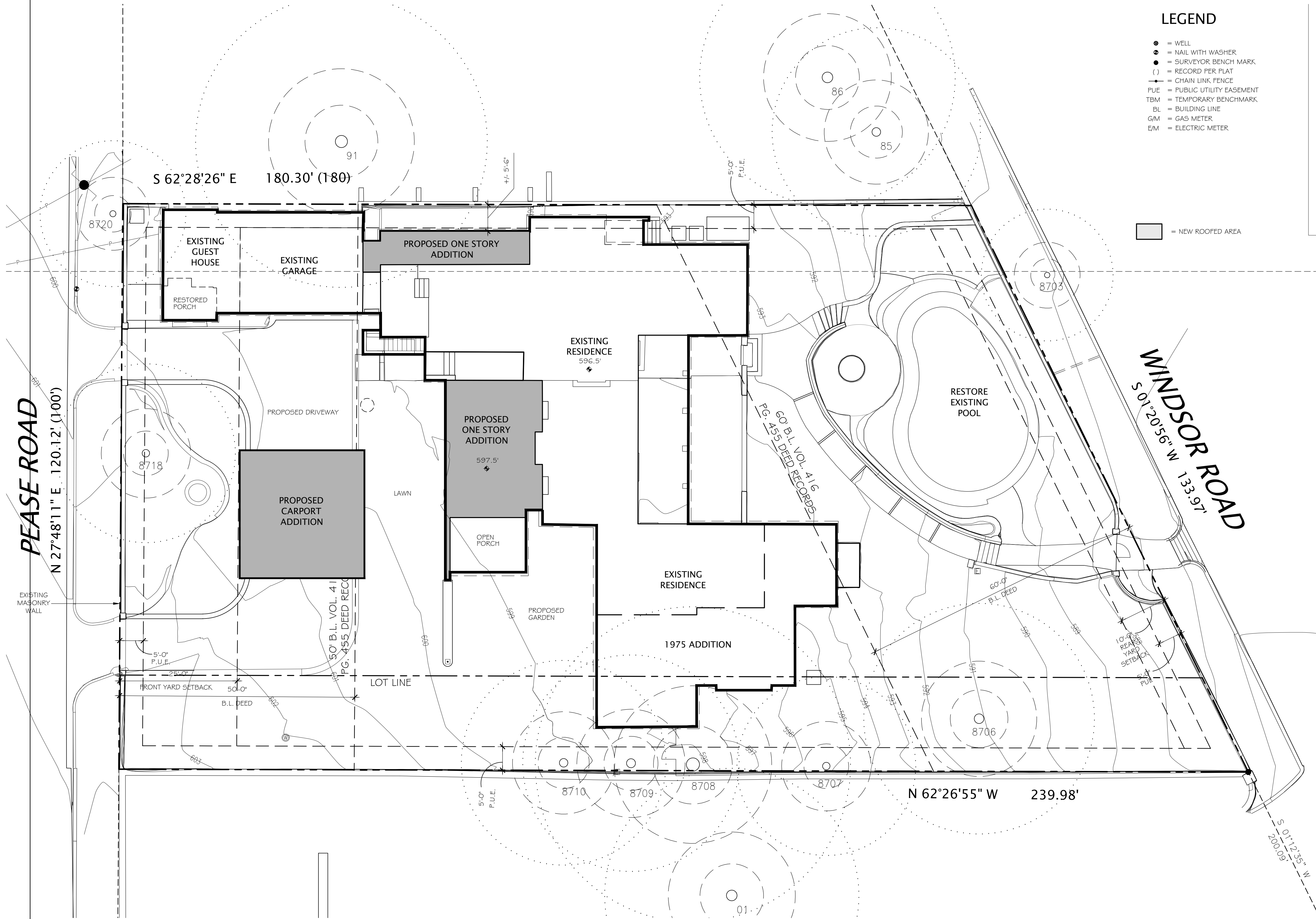




LEGEND

- = WELL
- = NAIL WITH WASHER
- = SURVEYOR BENCH MARK
- () = RECORD PER PLAT
- - - = CHAIN LINK FENCE
- PUE = PUBLIC UTILITY EASEMENT
- TBM = TEMPORARY BENCHMARK
- BL = BUILDING LINE
- G/M = GAS METER
- E/M = ELECTRIC METER

■ = NEW ROOFED AREA

LEGAL DESCRIPTION

LOT 8 AND THE NORTH 20 FEET OF LOT 7, ENFIELD "D", A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 3, PAGE 158 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

ZONING

5F-3-H

LOT SIZE

25,252 SF

TREE SCHEDULE

TREE #	SIZE/TYPE	REMOVE
776	23" CEDAR ELM	8718 34.5" CEDAR ELM
8703	CRAPE MYRTLE	8720 20" PECAN
8704	20" CEDAR ELM	85 SOUTHERN MAGNOLIA
8706	24.5" LIGUSTRUM	86 SOUTHERN MAGNOLIA
8707	19" RED OAK	91 CEDAR ELM
8708	33.5" RED OAK	01 LIVE OAK
8709	23" RED OAK	
8710	22" RED OAK	
8718	19" RED OAK	

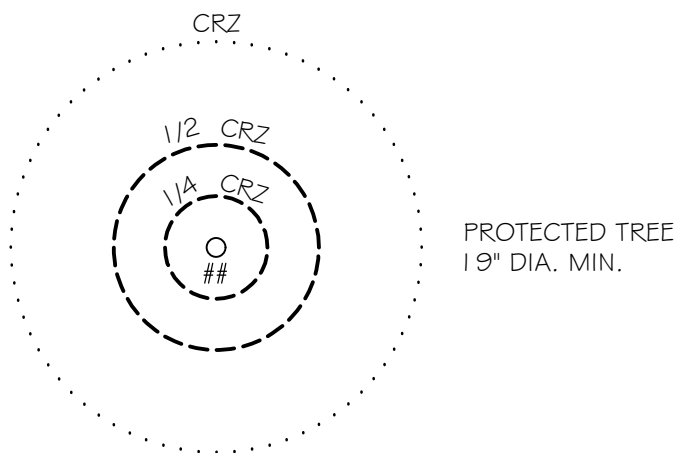
PROTECTED TREE NOTES:

1. DRIP LINE CALCULATION 1'-0" PER 0'-1" OF TRUNK
2. ALL TREES & NATURAL AREAS SHOWN ON PLAN TO BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. FENCING SHALL BE ERRECTED ACCORDING TO CITY OF AUSTIN STANDARDS OF TREE PROTECTION.
3. CONTRACTOR RESPONSIBLE FOR PERMIT APPROVAL FOR REMOVAL OF TREES WITH A DIAMETER OF 19" OR MORE.
4. ALL EXCAVATION UNDER TREE DRIP LINE TO BE DONE BY HAND. CUT NO ROOTS WITHOUT ARBORIST CONSULTATION.
5. ALL NECESSARY PRUNING BY CERTIFIED ARBORIST.
6. 2X4 PLANKS REQUIRED AT TRUNKS WHERE 1/2 CRZ IS NOT FENCED COMPLETELY
7. PROVIDE 8" OF MULCH AT EXPOSED GRZ
8. IF TRENCHING WITHIN THE 1/2 CRZ OF PROTECTED TREES CANNOT BE AVOIDED, THE TRENCHES WILL HAVE TO BE AIR SPADED BY A QUALIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 1.5" IN DIAMETER AND THE PAID RECEIPT FOR THE WORK WILL BE REQUIRED BY THE FINAL TREE INSPECTOR.
9. FOOT TRAFFIC IS CONSIDERED ROOT ZONE DISTURBANCE.

SITE PLAN NOTES:

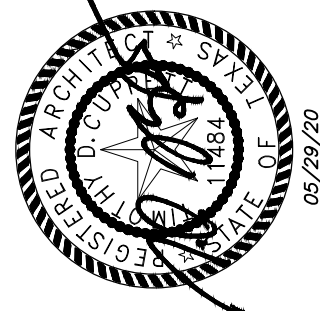
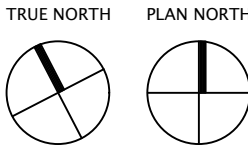
1. PERFORM ALL WORK IN ACCORDANCE WITH THE CITY OF AUSTIN CODES, REGULATIONS & ORDINANCES.
2. SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY PROVIDED BY OWNER.
3. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
4. CIVIL ENGINEERING BY OTHERS.
5. TAKE PRECAUTIONS TO MAINTAIN ALL EXISTING UTILITY SERVICES.
6. TAKE MEASURES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
7. LANDSCAPING BY OTHERS (N.I.C.)
8. PROVIDE PVC PIPE SLEEVES BENEATH ALL PAVED SURFACES TO ACCOMMODATE LANDSCAPE LIGHTING, IRRIGATION & DRAINAGE.

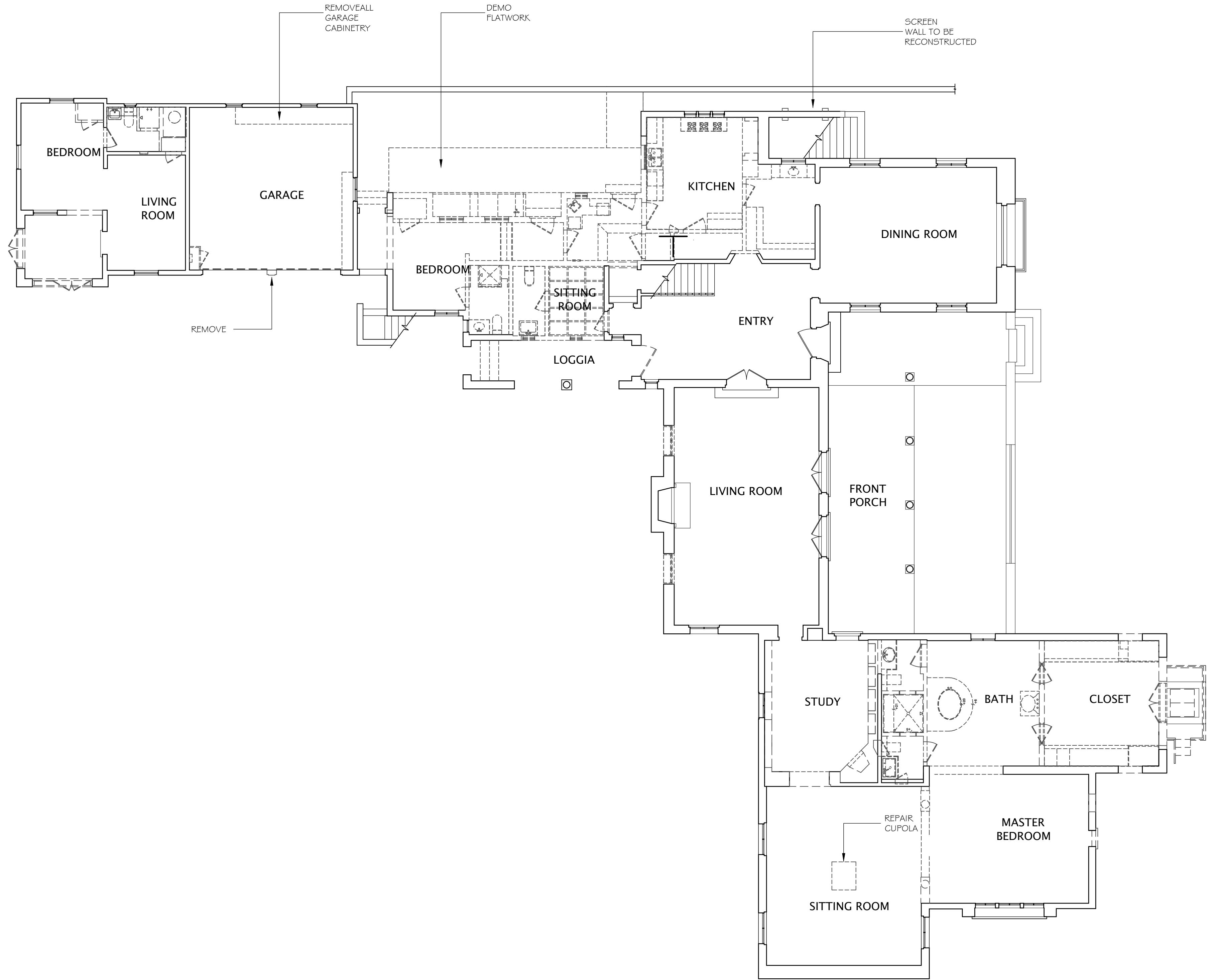
TREE LEGEND



1 SITE PLAN

SCALE: 3/32" = 1'-0"

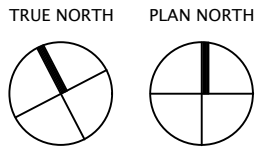




1

FIRST FLOOR DEMO PLAN

SCALE: 1/8" = 1'-0"



FLOOR PLAN WALL KEY:

- [-] TO BE REMOVED/DEMOLISHED
- [=] EXISTING TO REMAIN

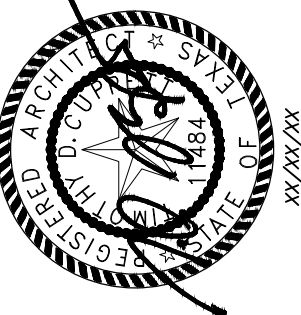
DEMOLITION NOTES:

- TAKE PRECAUTION TO PROTECT EXISTING STRUCTURE. TEMP. SHORING AS REQ'D BY OTHERS.
- TAKE PRECAUTION TO MAINTAIN UTILITIES.
- RECYCLE MATERIAL WHERE POSSIBLE.
- DRAWINGS INDICATE EXISTING CONDITIONS TO THE EXTENT THEY ARE VISIBLE. REPORT DISCREPANCIES AND/OR DISCOVERIES TO ARCHITECT.

DEMO PLAN

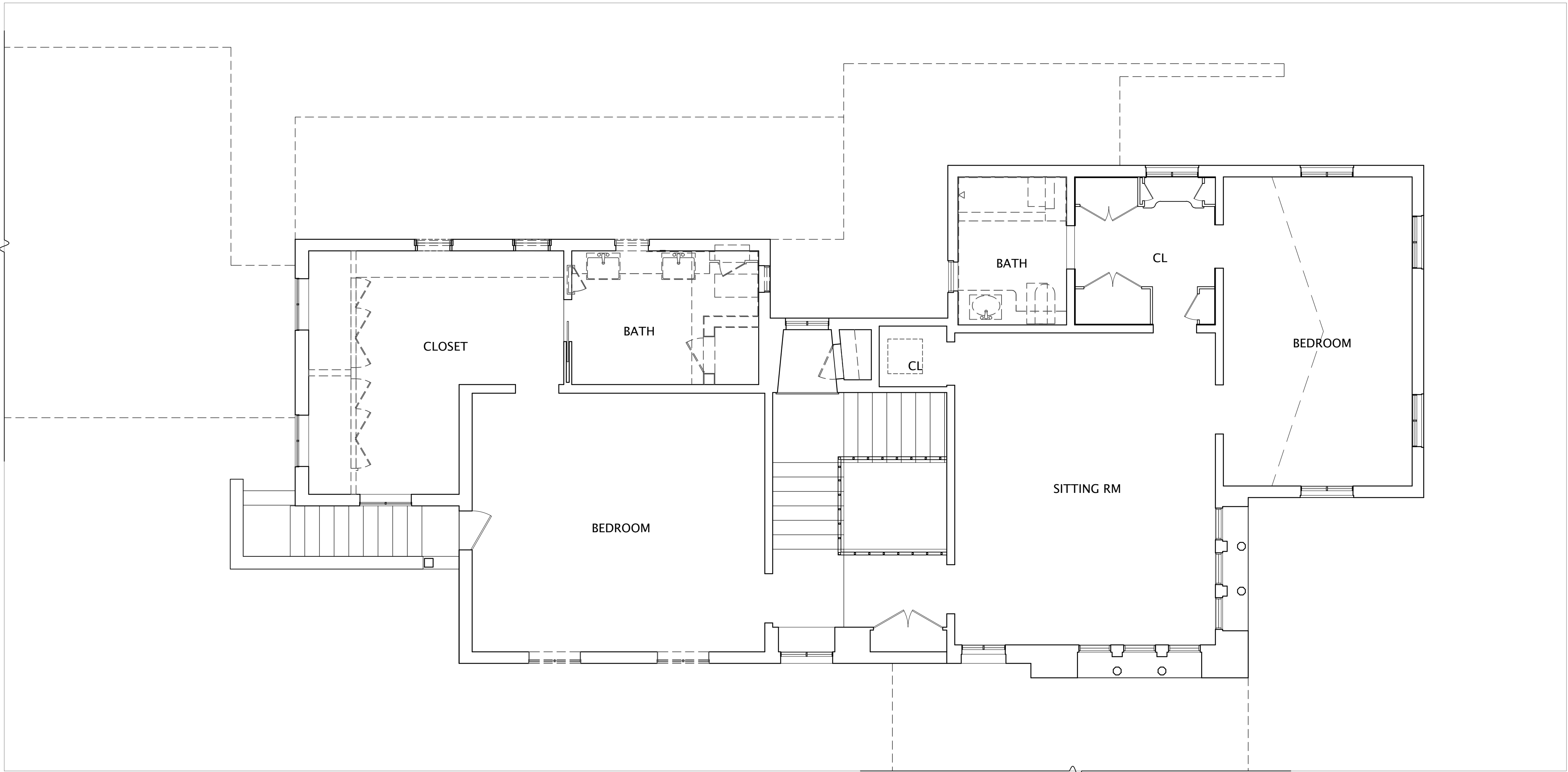
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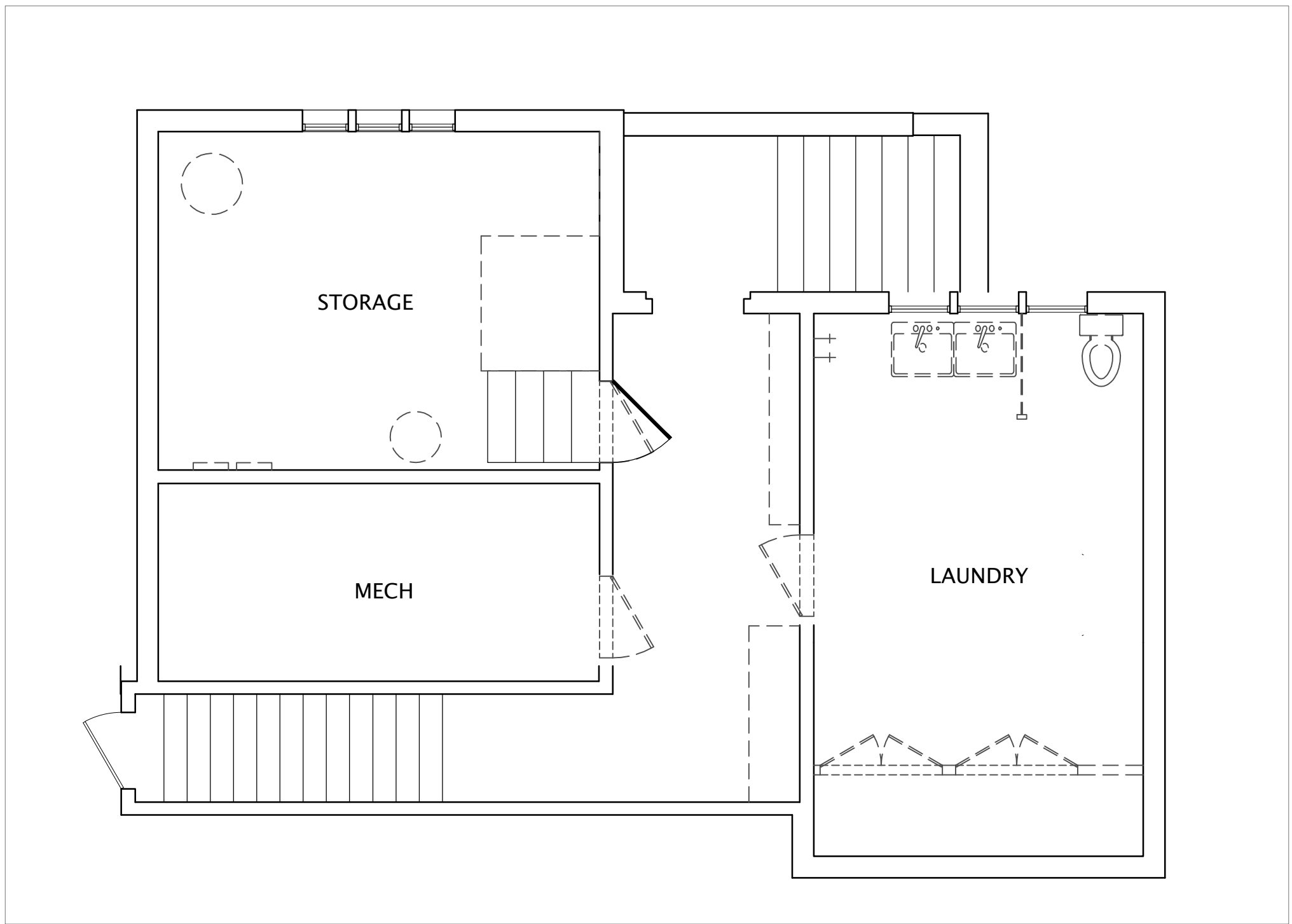
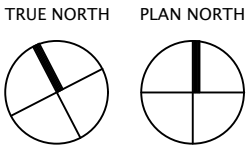
A.200



1

SECOND FLOOR DEMO PLAN

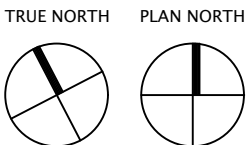
SCALE: 1/4" = 1'-0"



1

BASEMENT DEMO PLAN

SCALE: 1/4" = 1'-0"

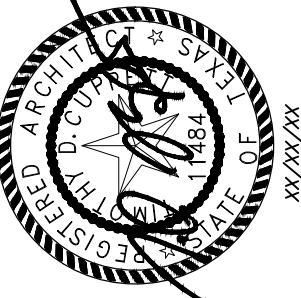


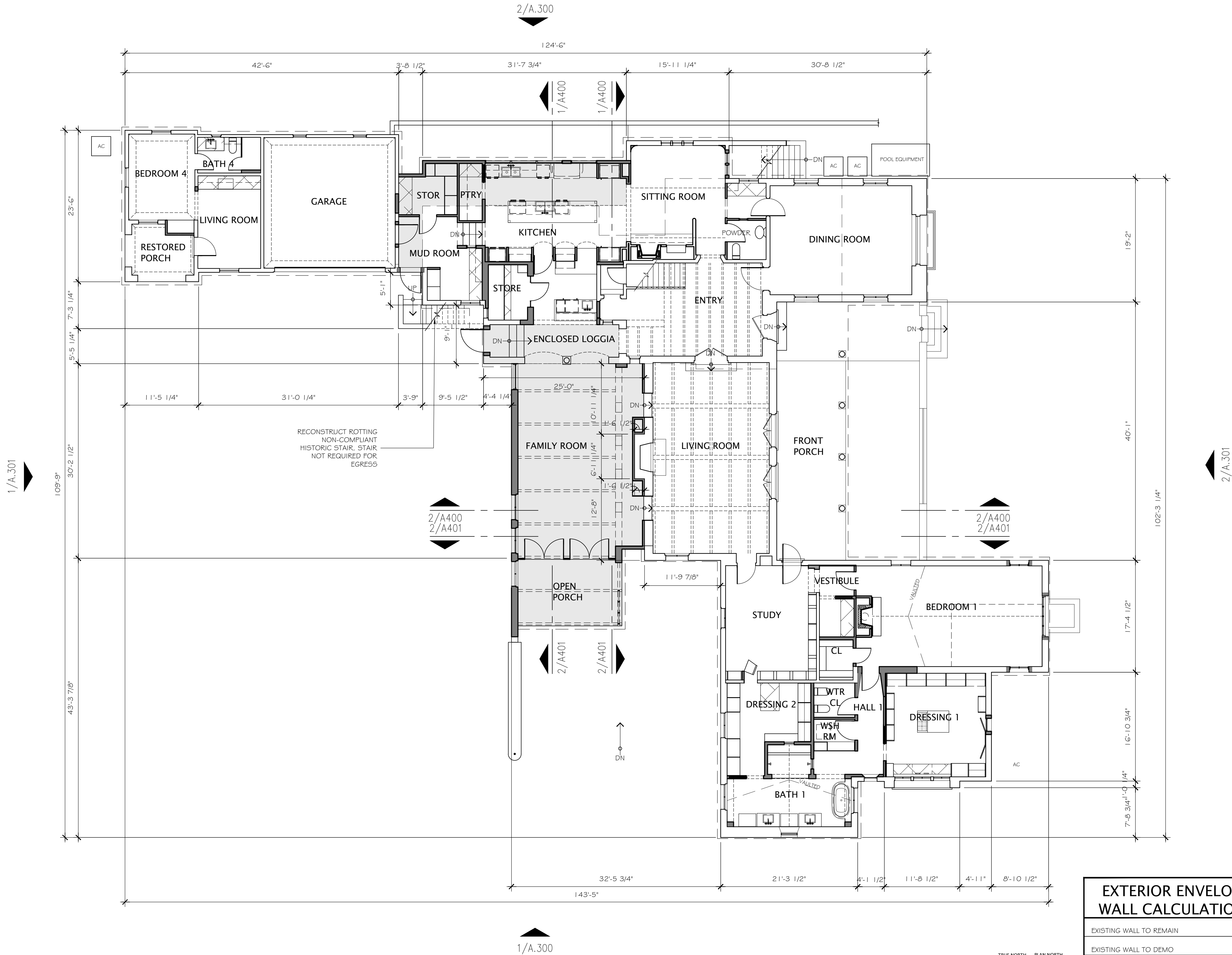
FLOOR PLAN WALL KEY:

- [---] TO BE REMOVED/DEMOLISHED
- [---] EXISTING TO REMAIN

DEMOLITION NOTES:

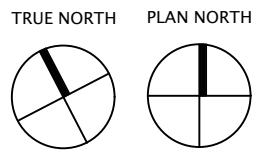
- TAKE PRECAUTION TO PROTECT EXISTING STRUCTURE. TEMP. SHORING AS REQ'D BY OTHERS.
- TAKE PRECAUTION TO MAINTAIN UTILITIES.
- RECYCLE MATERIAL WHERE POSSIBLE.
- DRAWINGS INDICATE EXISTING CONDITIONS TO THE EXTENT THEY ARE VISIBLE. REPORT DISCREPANCIES AND/OR DISCOVERIES TO ARCHITECT.





FIRST FLOOR OVERALL PLAN

SCALE: 1/8" = 1'-0"



EXTERIOR ENVELOPE WALL CALCULATIONS	LINEAR FEET	PERCENTAGE
EXISTING WALL TO REMAIN	580'-4"	90%
EXISTING WALL TO DEMO	64'-4"	10%
TOTAL	644'-8"	100%

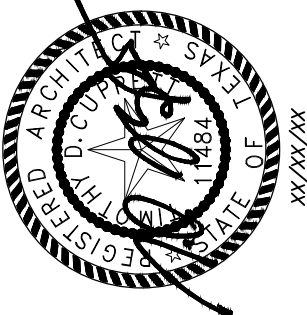
= PROPOSED FOOTPRINT

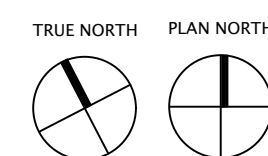
FLOOR PLAN WALL KEY:

- 5 1/2" WOOD STUDS
- 3 1/2" WOOD STUDS
- EXISTING WOOD STUDS

GENERAL NOTES:

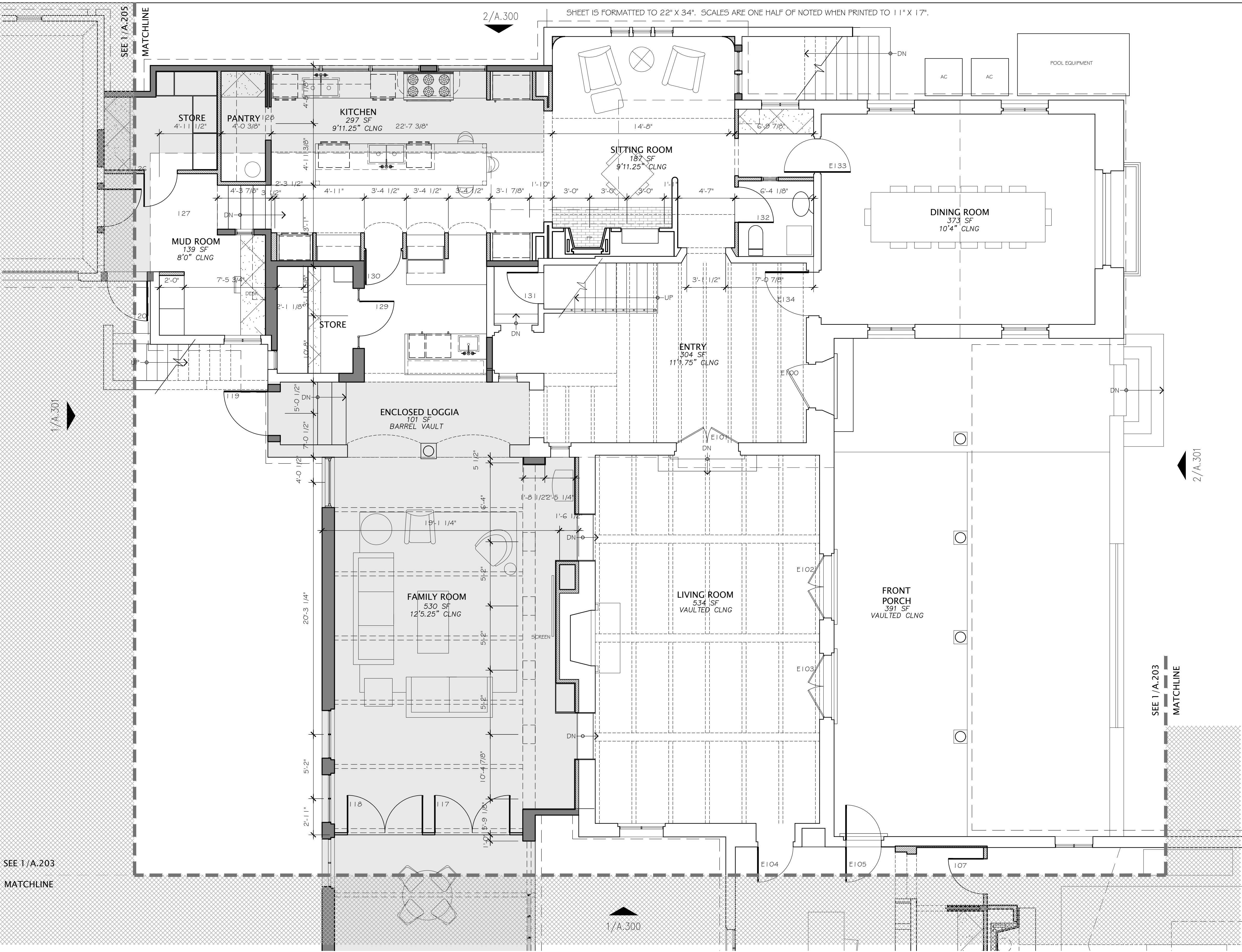
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- ALL DIMENSIONS ARE TO FACE OF FRAMING UNO
- HOSE BIBS TO BE LOCATED AT 24" ABOVE FINISHED GRADE
- DO NOT SCALE DRAWINGS. DIMENSIONS AS INDICATED TAKE PRECEDENT OVER DRAWINGS.
- CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY FIELD CONDITIONS WHICH DO NOT PERMIT CONSTRUCTION OR INSTALLATION AS DRAWN
- PROVIDE 5/8" TYPE "X" GWB AT WALL AND CLNG IN GARAGE
- PATCH AND REPAIR PLASTER WHERE NEEDED TO MATCH EXISTING





FLOOR PLAN

A.203

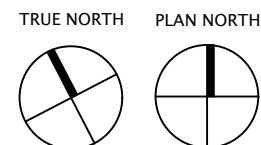


SEE 1/A.203
MATCHLINE

SEE 1/A.203
MATCHLINE

1 ENLARGED FIRST FLOOR

SCALE: 1/4" = 1'-0"



SHEET IS FORMATTED TO 22" X 34". SCALES ARE ONE HALF OF NOTED WHEN PRINTED TO 11" X 17".

= PROPOSED FOOTPRINT

FLOOR PLAN WALL KEY:

- 5 1/2" WOOD STUDS
- 3 1/2" WOOD STUDS
- EXISTING WOOD STUDS

GENERAL NOTES:

- PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE CODES, REGULATIONS AND ORDINANCES INCLUDING THE INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION
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FLOOR PLAN

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A.204

1

ENLARGED FIRST FLOOR

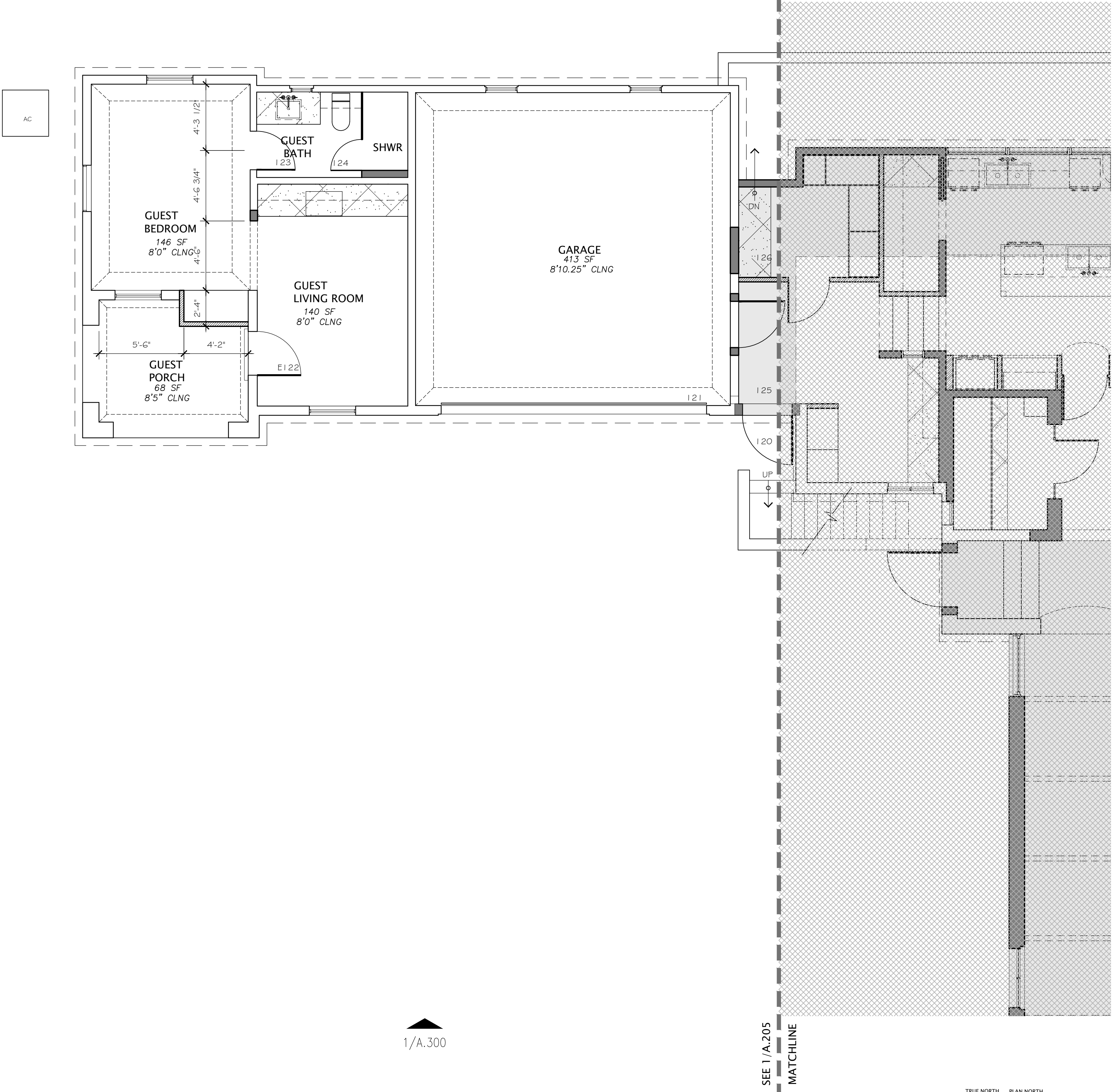
SHEET IS FORMATTED TO 22" X 34". SCALES ARE ONE HALF OF NOTED WHEN PRINTED TO 11" X 17".
2/A.300

SHEET IS FORMATTED TO 22" X 34". SCALES ARE ONE HALF OF NOTED WHEN PRINTED TO 11" X 17".

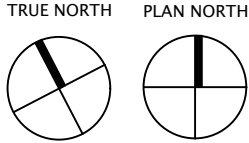
1/A.301

1/A.300

2/A.301



SCALE: 1/4" = 1'-0"



= PROPOSED
FOOTPRINT

FLOOR PLAN WALL KEY:

- 5 1/2" WOOD STUDS
- 3 1/2" WOOD STUDS
- EXISTING WOOD STUDS

GENERAL NOTES:

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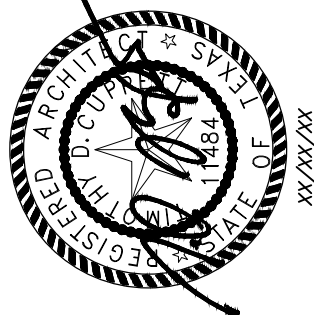
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FLOOR PLAN

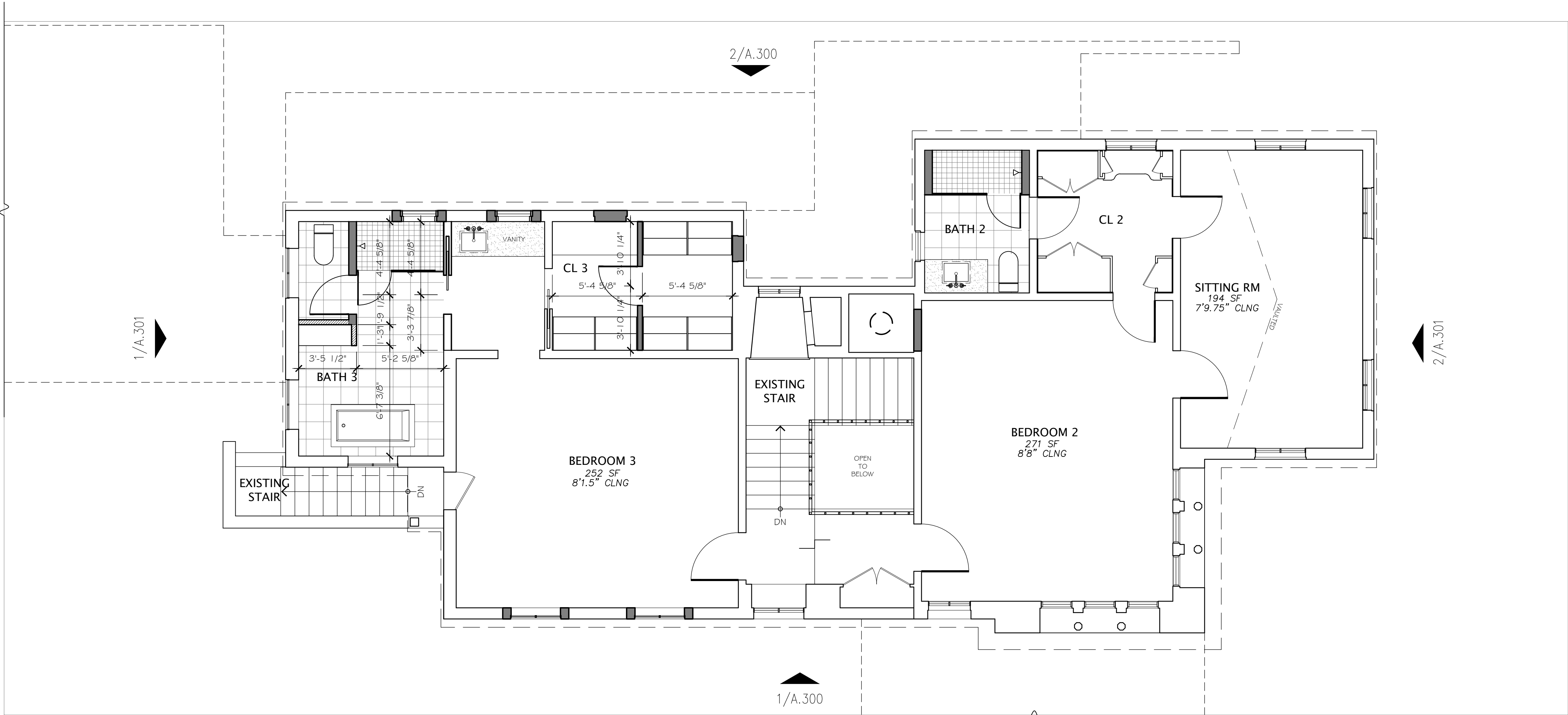
A.205

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OWNER DWG
PERMIT

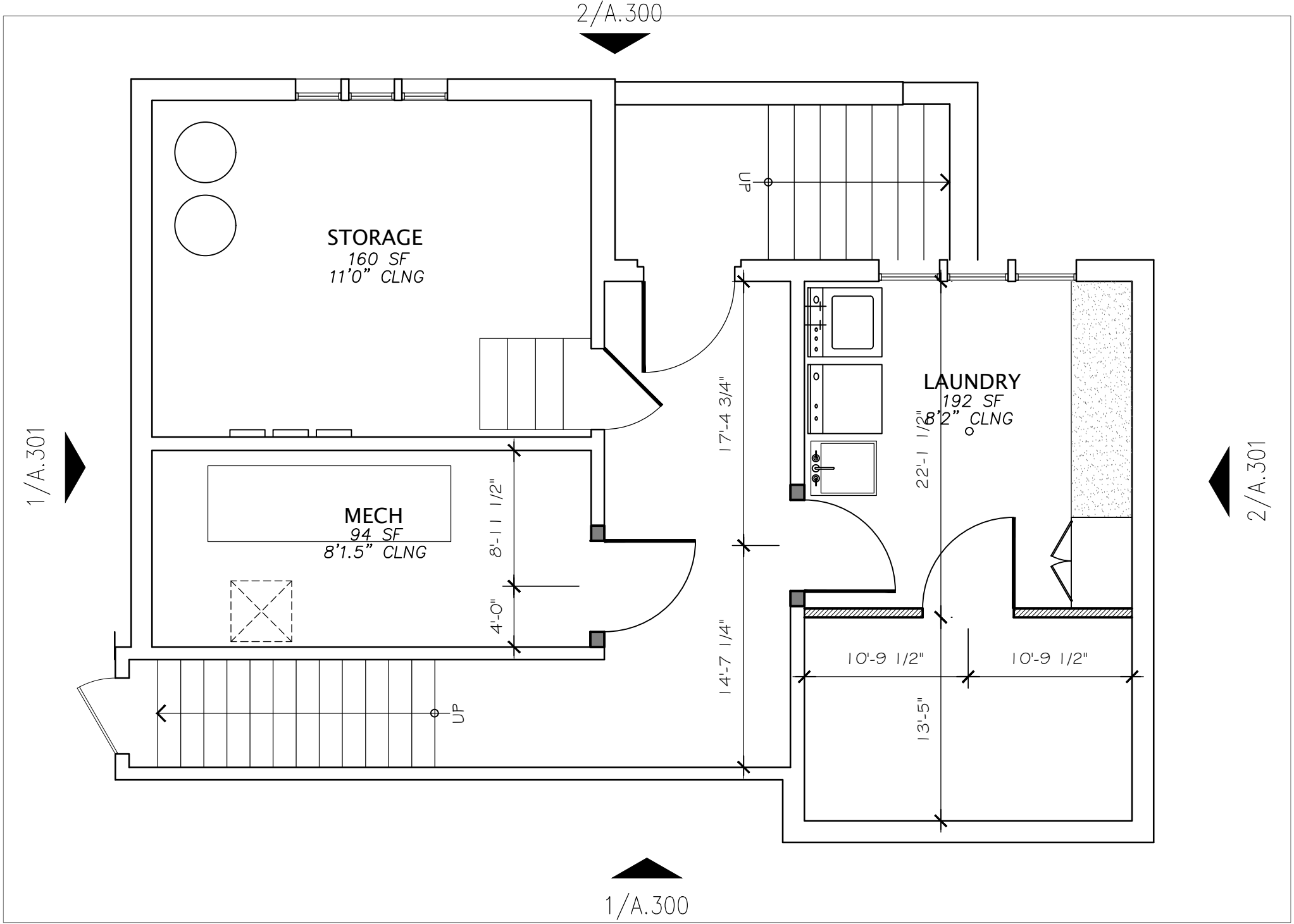
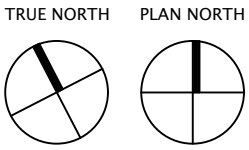


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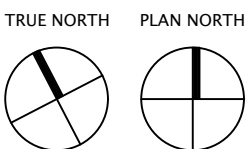
1 SECOND FLOOR DEMO PLAN

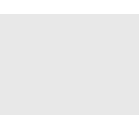
SCALE: 1/4" = 1'-0"



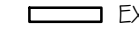
1 BASEMENT DEMO PLAN

SCALE: 1/4" = 1'-0"



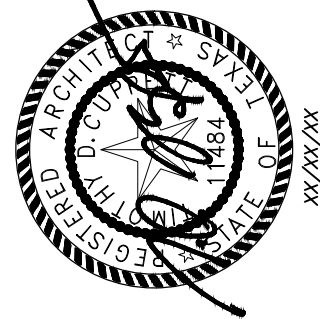
 = PROPOSED FOOTPRINT

FLOOR PLAN WALL KEY:

-  5 1/2" WOOD STUDS
-  3 1/2" WOOD STUDS
-  EXISTING WOOD STUDS

GENERAL NOTES:

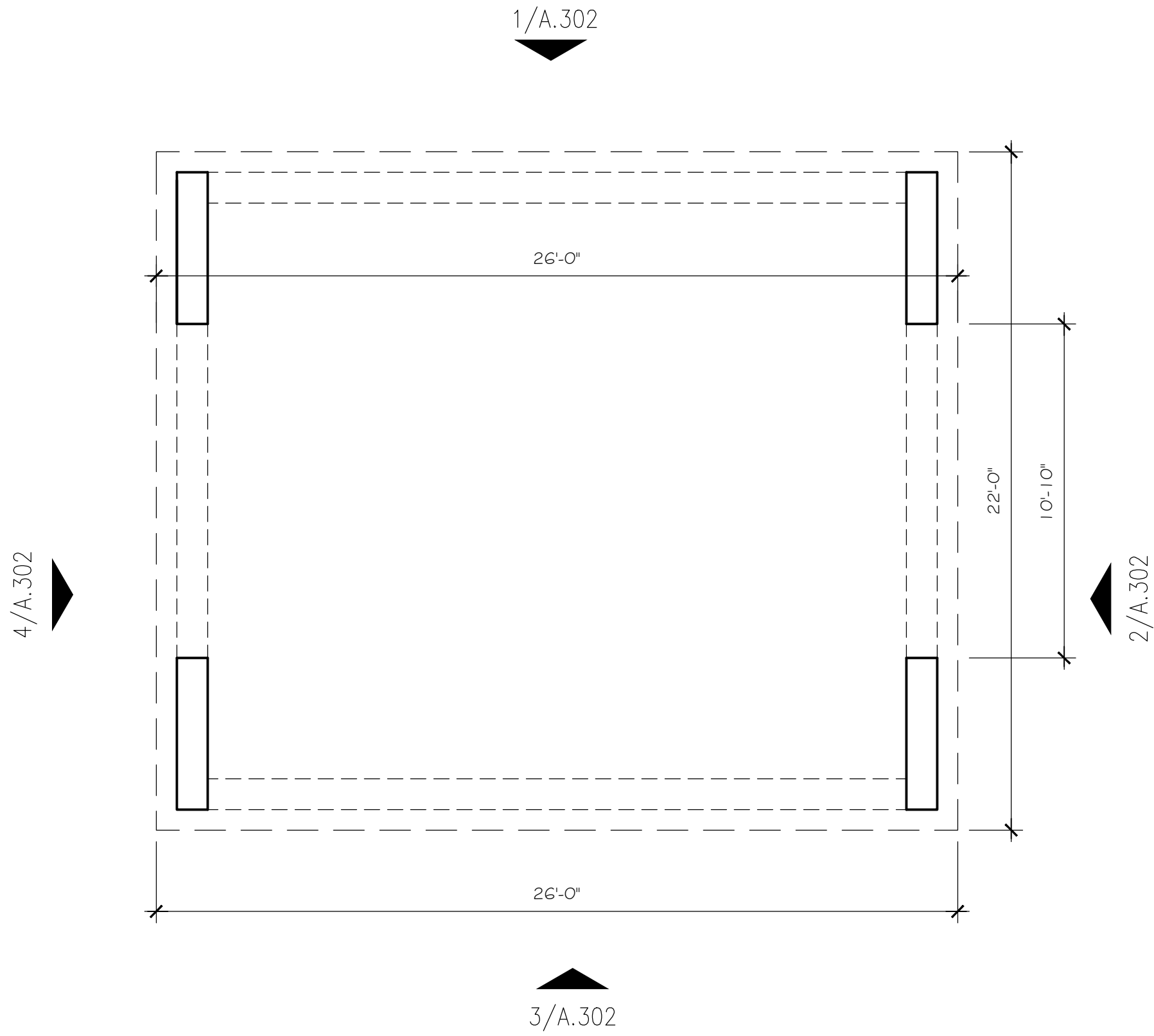
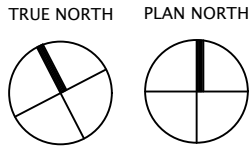
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- ALL DIMENSIONS ARE TO FACE OF FRAMING UNO
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- PROVIDE 5/8" TYPE "X" GWB AT WALL AND CLNG IN GARAGE
- PATCH AND REPAIR PLASTER WHERE NEEDED TO MATCH EXISTING

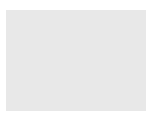


1

CARPORT PLAN

SCALE: 1/4" = 1'-0"



 = PROPOSED FOOTPRINT

FLOOR PLAN WALL KEY:

-

GENERAL NOTES:

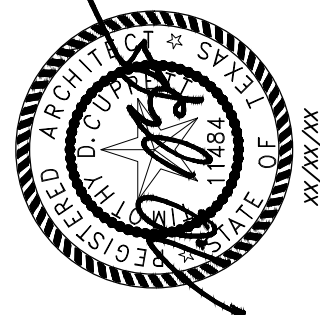
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CARPORT PLAN

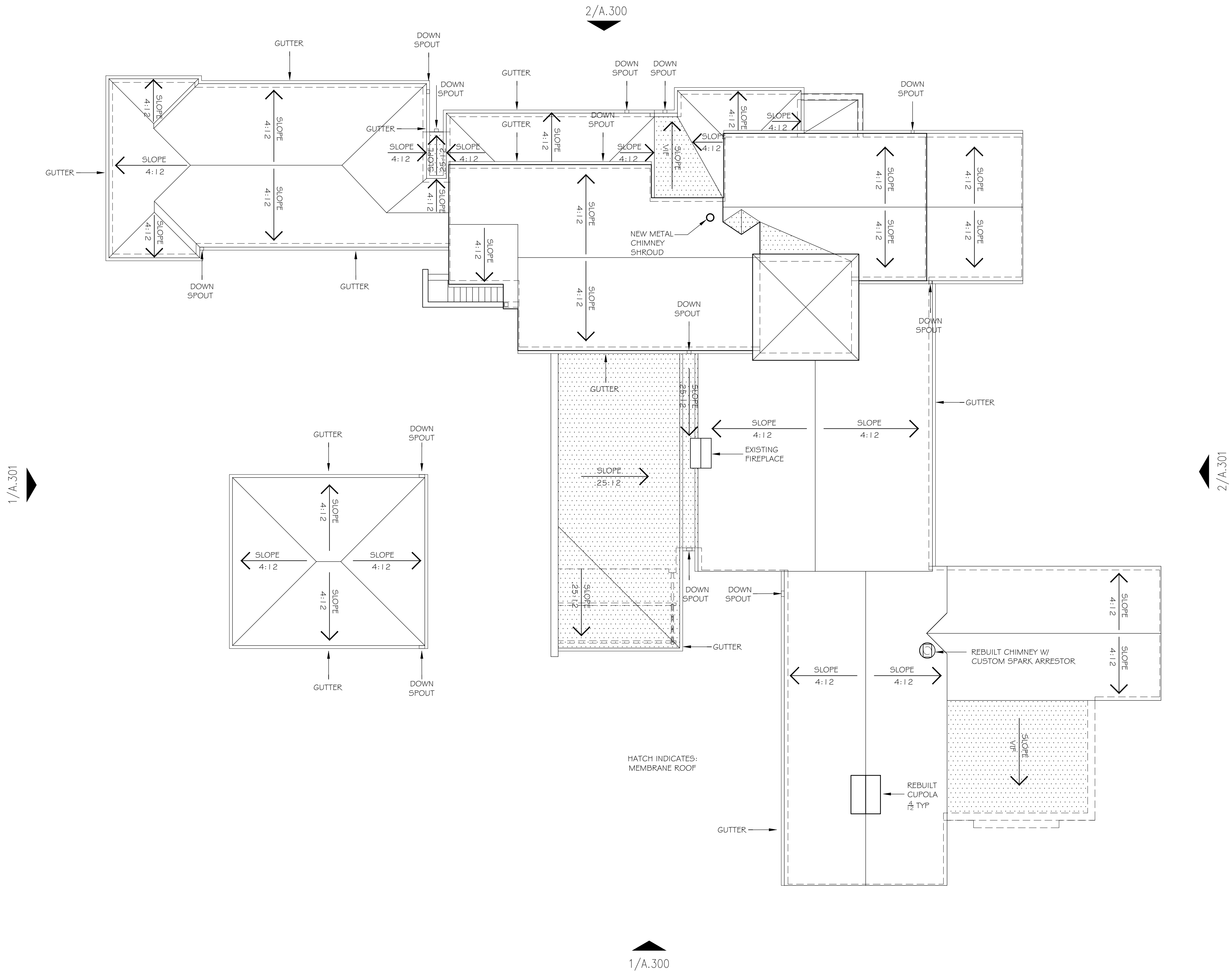
A.207

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05.27.20	



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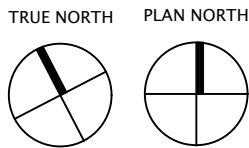
ROOF PLAN NOTES:

- PROVIDE & INSTALL COMPLETE ROOF SYSTEM WITH ALL FLASHING & MISC TRIM AS REQUIRED.
- ROOF PENETRATIONS TO BE GROUPED AND ORGANIZED. COORDINATE ALL ROOF PENETRATIONS WITH ARCHITECT PRIOR TO INSTALL.
- ROOF PENETRATIONS SHALL BE INSTALLED PLUMB AND FINISHED TO MATCH ROOF.

ROOF SPEC:

- WHOLE HOUSE TO UTILIZE EXISTING BARREL TILE AND MATCHING TILE, UNO
- BARREL ROOF: TO BE DETERMINED - SUBMIT SAMPLE FOR APPROVAL
- MEMBRANE ROOFING: TO BE DETERMINED - SUBMIT SAMPLE FOR APPROVAL
- REINFORCE EXISTING TO REMAIN ROOF AS REQUIRED TO SUPPORT SLATE.
- ALL BARREL TILE TO BE LUDOWICI. EXTRA NEEDED TO BE RECLAIMED TILES.

SCALE: 1/8" = 1'-0"



1

ROOF PLAN

ROOF PLAN

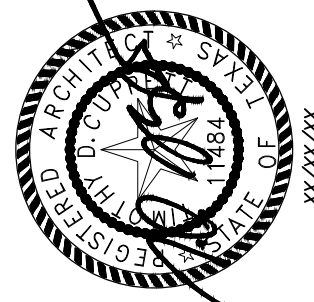
A.208

A RENOVATION FOR

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2210 WINDSOR RD.
AUSTIN, TX 78703

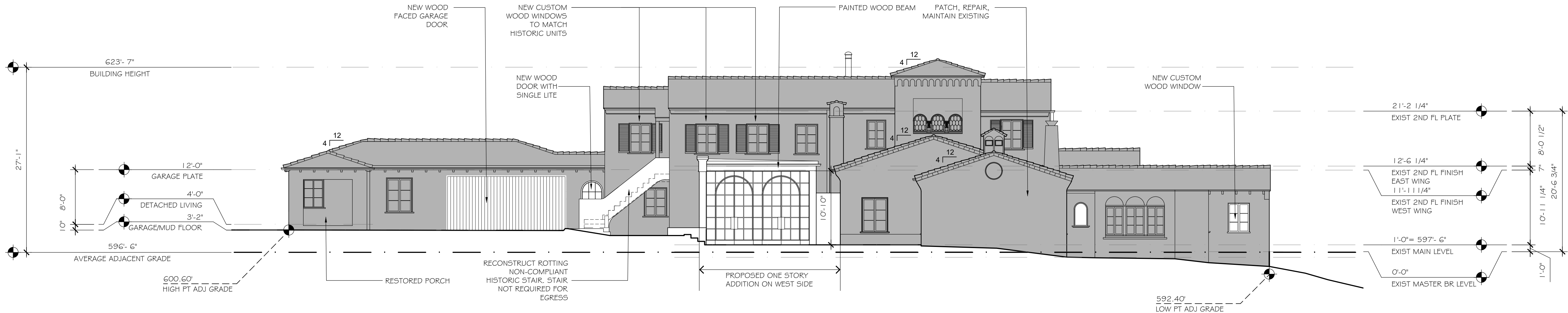
ISSUE

03.18.20 EXP. DEMO
04.21.20 OWNER DWG
05.27.20 PERMIT



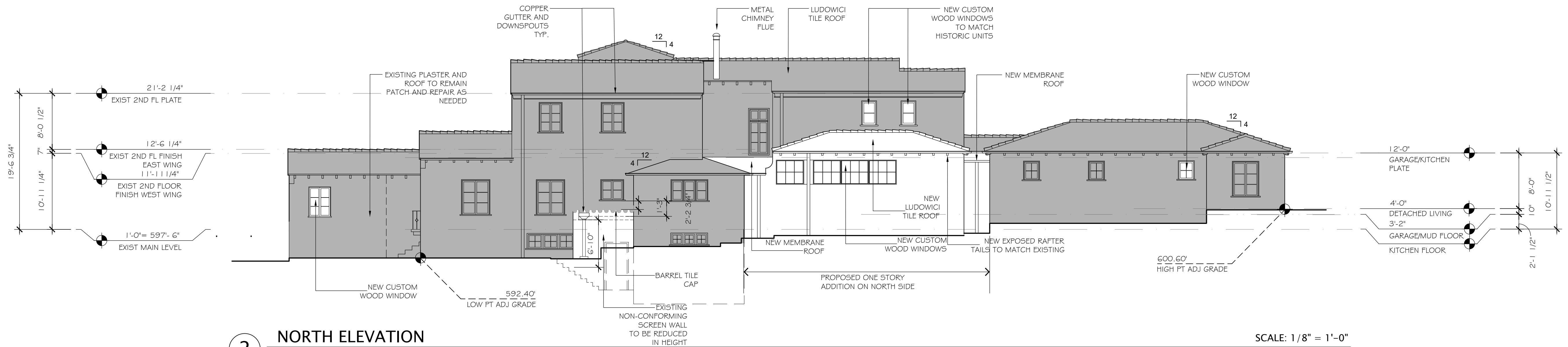
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REMOVE AND REVISE EXISTING ROOF TILES TO BE
INSTALLED OVER NEW MEMBRANE ROOF AND 2"
RIGID INSULATION.



1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

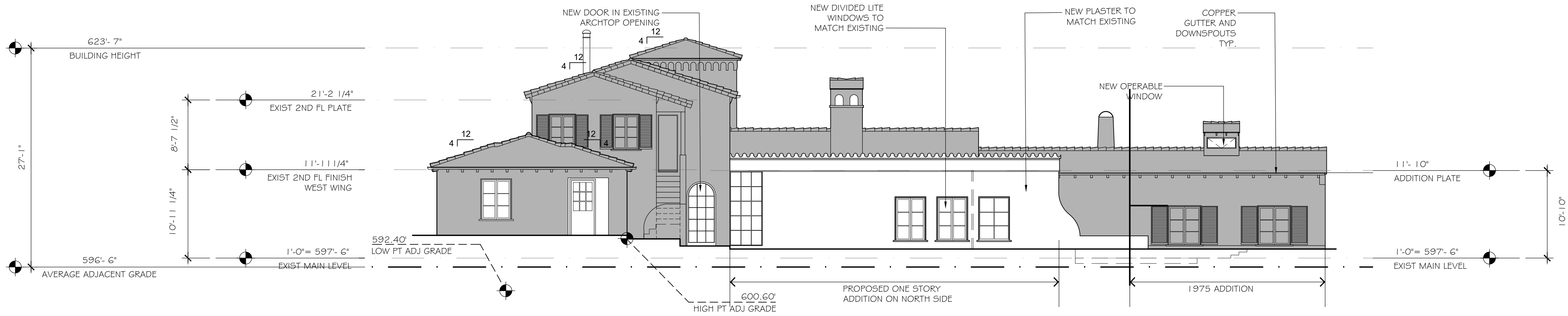


2 NORTH ELEVATION

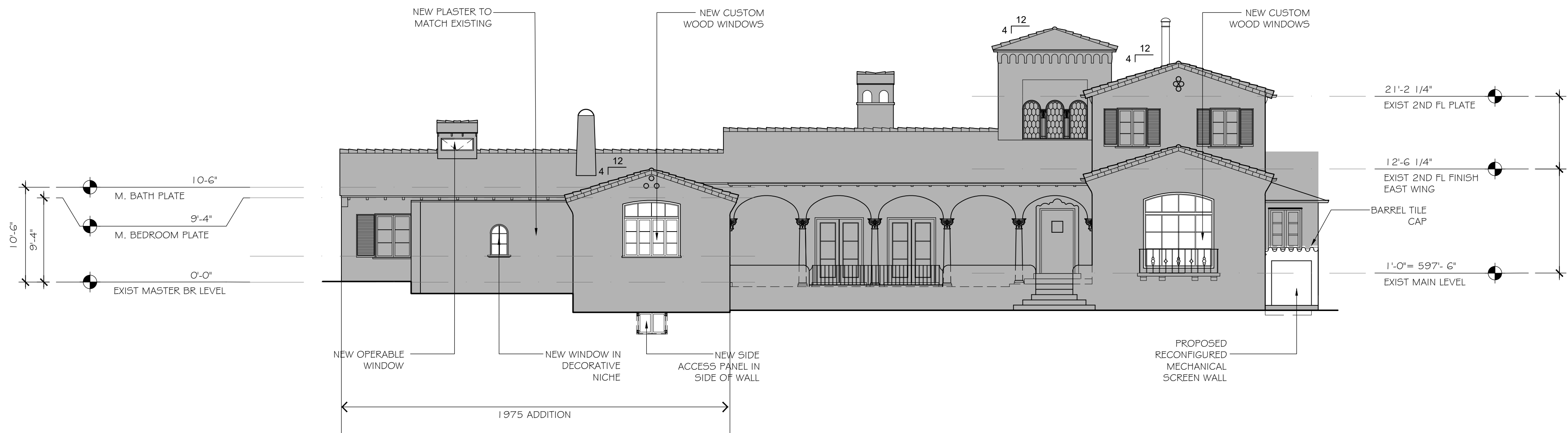
SCALE: 1/8" = 1'-0"

RESTORATION NOTE:
ALL EXISTING TO REMAIN TRIM, WINDOWS, DOORS AND SHUTTERS
TO BE RESTORED TO WELL-MAINTAINED CONDITION, REPAINT.

 = EXISTING
 = PROPOSED



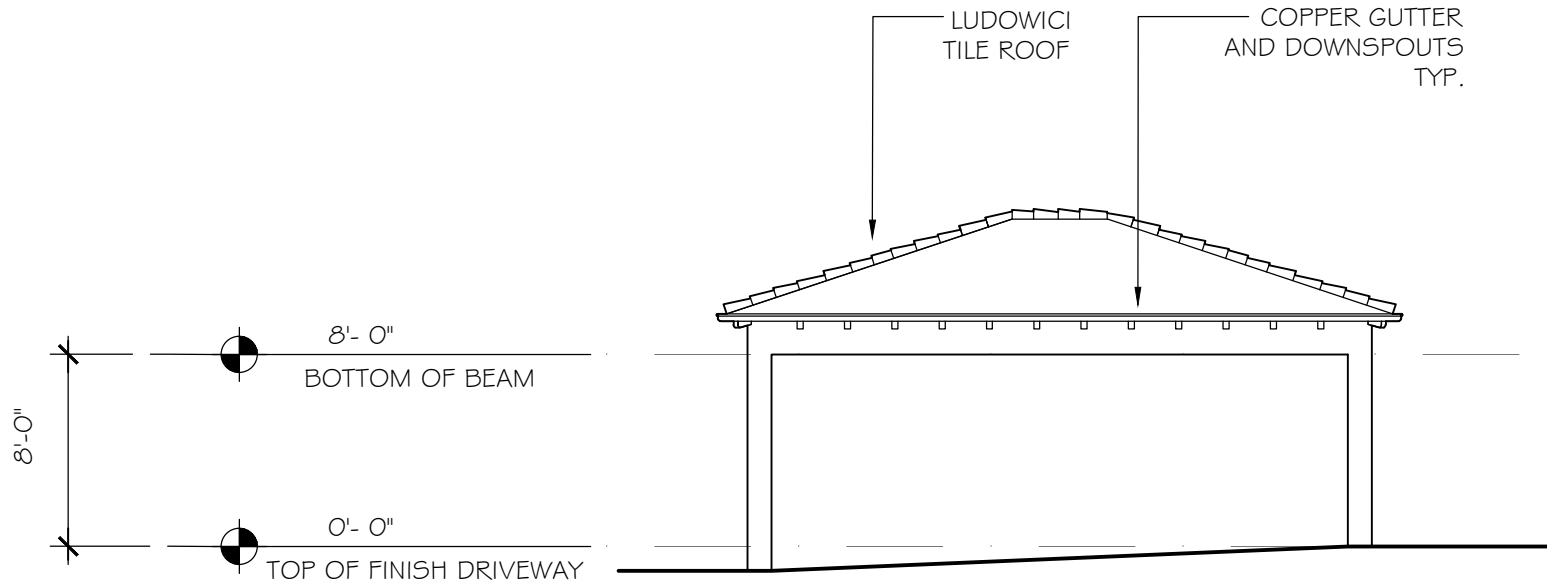
1 WEST ELEVATION



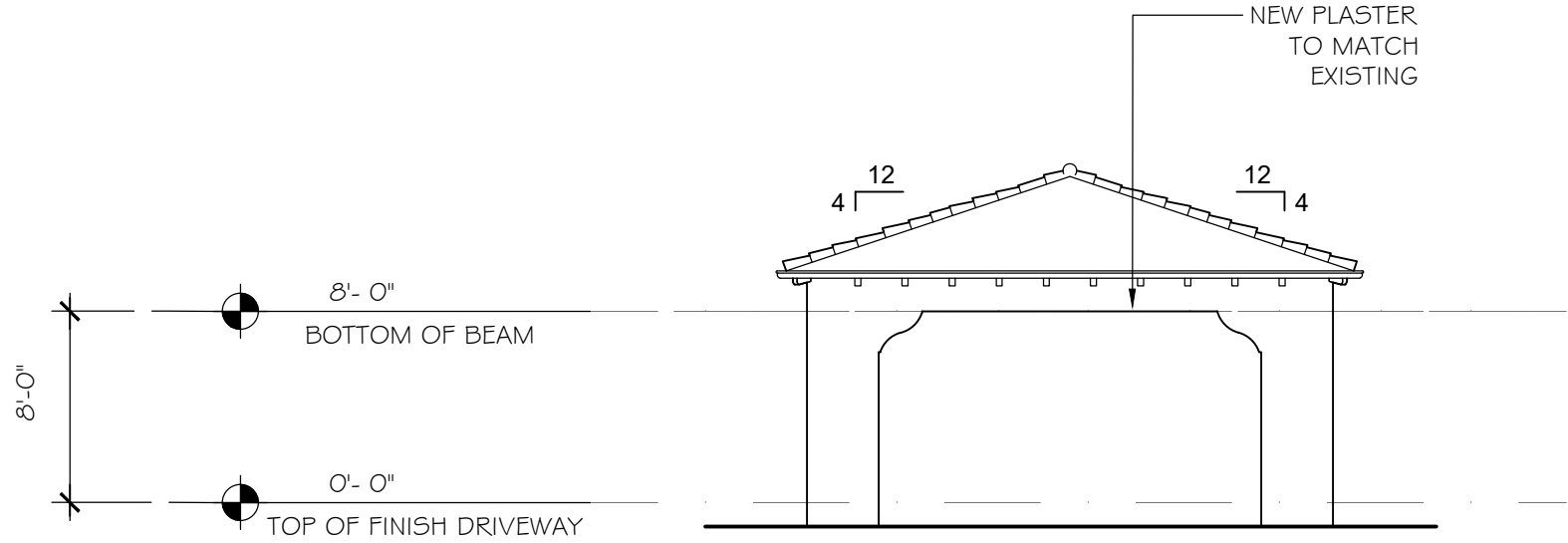
2 EAST ELEVATION

RESTORATION NOTE:
ALL EXISTING TO REMAIN TRIM, WINDOWS, DOORS AND SHUTTERS
TO BE RESTORED TO WELL-MAINTAINED CONDITION, REPAINT.

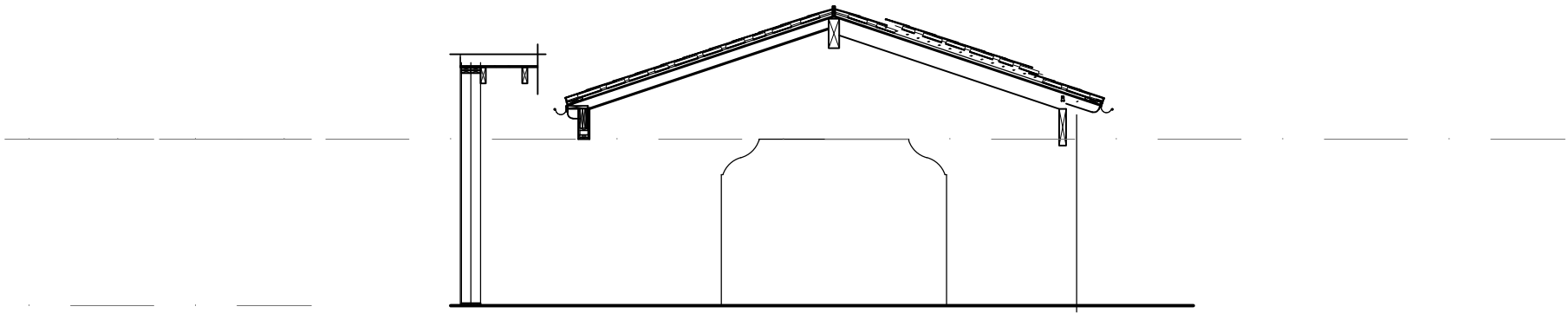
 = EXISTING
 = PROPOSED



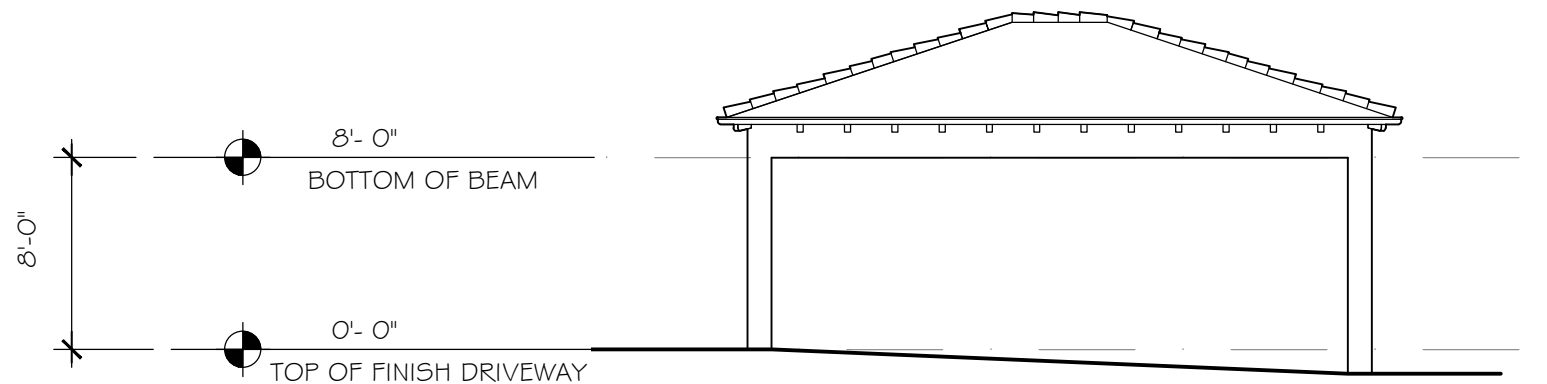
1 NORTH ELEVATION SCALE: 1/8" = 1'-0"



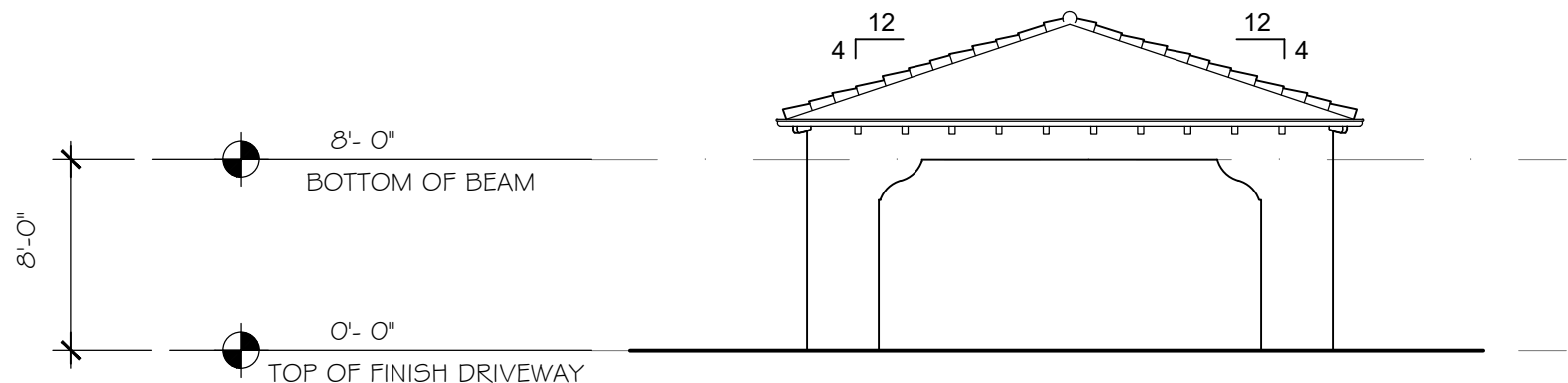
2 EAST ELEVATION SCALE: 1/8" = 1'-0"



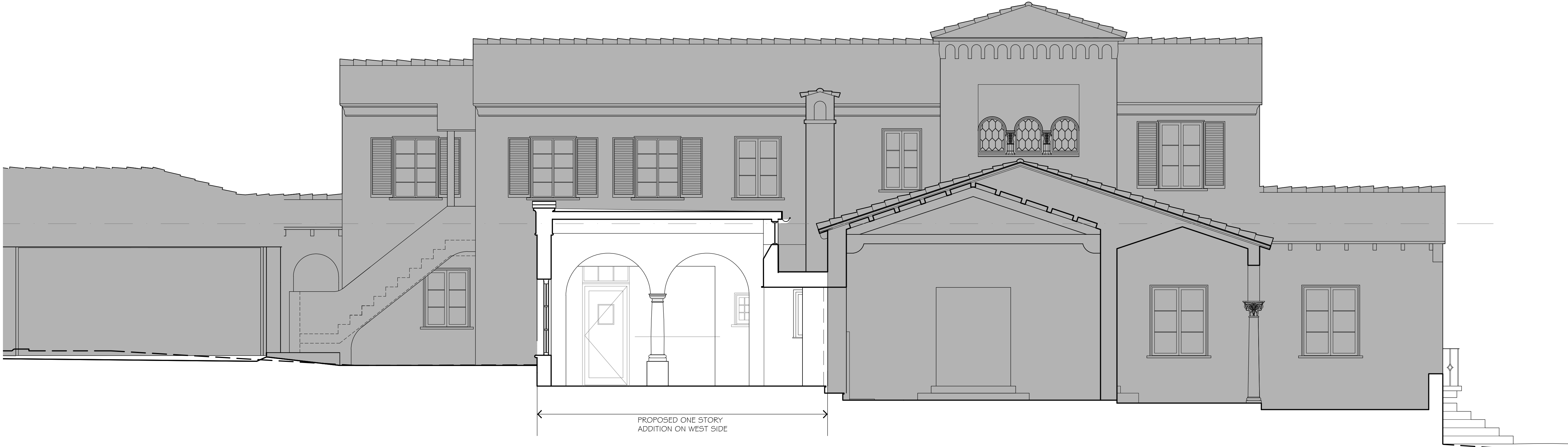
2 CARPORT SECTION SCALE: 1/8" = 1'-0"



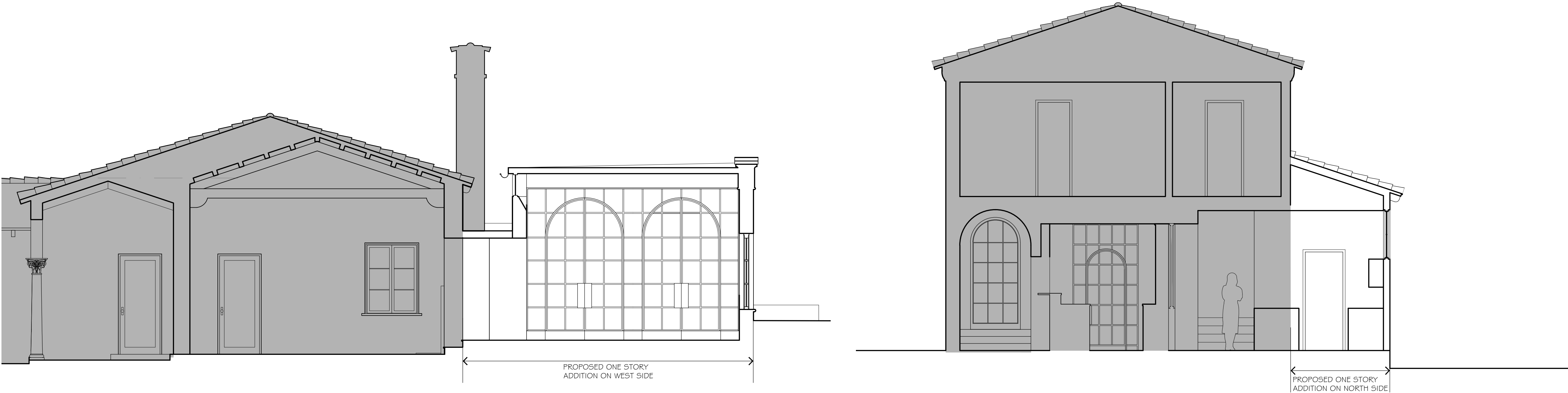
3 SOUTH ELEVATION SCALE: 1/8" = 1'-0"



4 WEST ELEVATION SCALE: 1/8" = 1'-0"

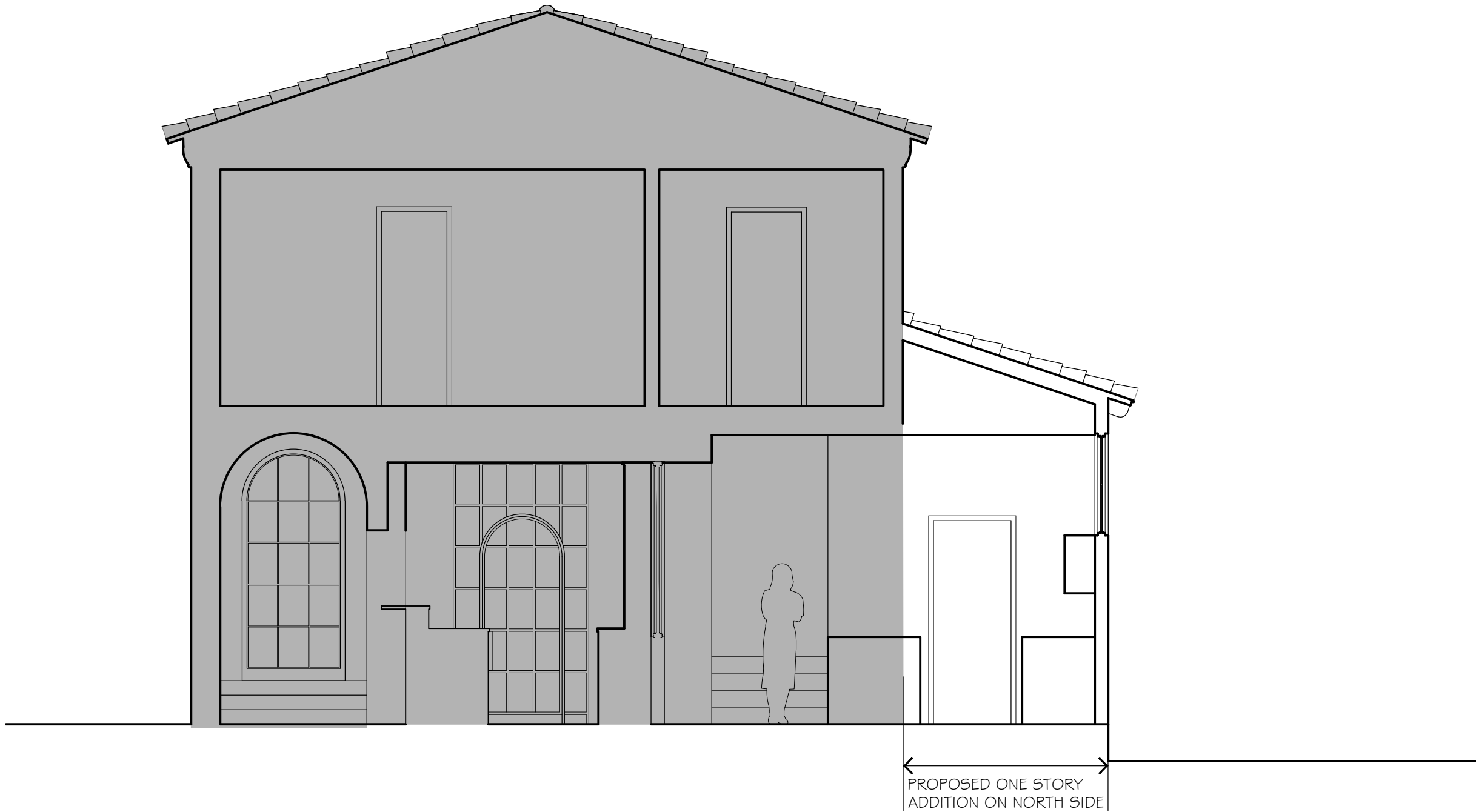


1 CROSS SECTION



2 CROSS SECTION

SCALE: 1/4" = 1'-0"



3 CROSS SECTION

SCALE: 1/4" = 1'-0"

RESTORATION NOTE:
ALL EXISTING TO REMAIN TRIM, WINDOWS, DOORS AND SHUTTERS
TO BE RESTORED TO WELL-MAINTAINED CONDITION, REPAINT.

■ = EXISTING
□ = PROPOSED