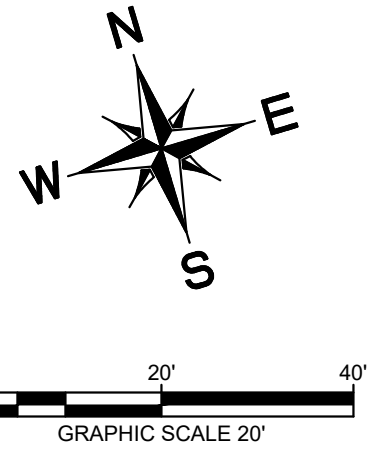
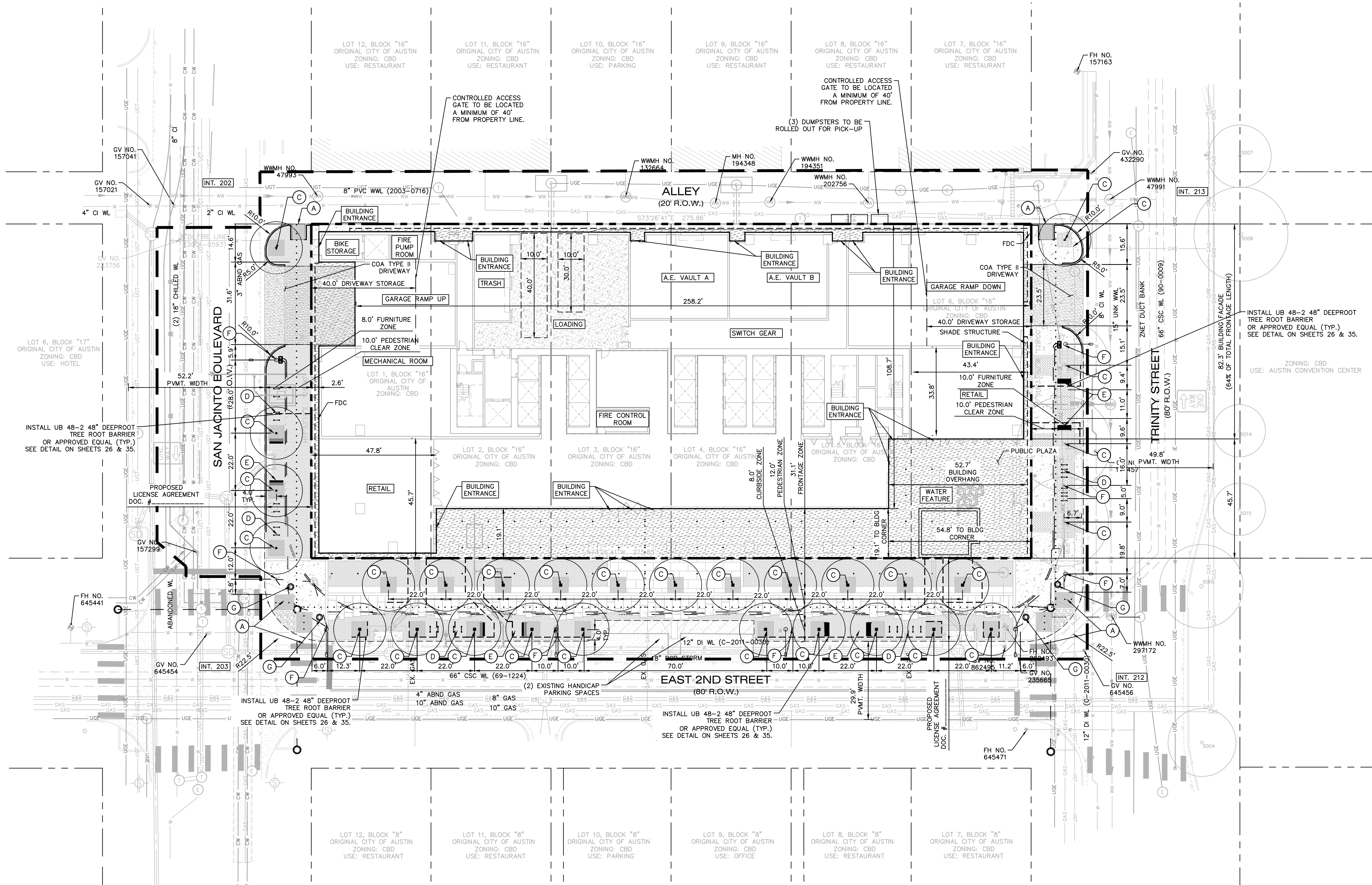


Plotted By: Bissessy, Kendyl Date: August 14, 2020 11:33:02am File Path: \\SAU-Civil\069274000 Mainfold Block 16\_Card Plan Streets C - Site Plan.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- LIMITS OF CONSTRUCTION
- BUILDING OVERHANG
- ACCESSIBLE PATH
- PAVERS
- CONCRETE SIDEWALK
- SHADE STRUCTURE
- TYPE 1 CURB RAMP. SEE CITY OF AUSTIN DETAILS ON SHEET 24.
- TREE GRATE. SEE DETAIL ON SHEET 31.
- (4) BIKE RACK. SEE DETAIL ON SHEET 32.
- (2) BENCH. SEE DETAIL ON SHEET 31.
- AUSTIN ENERGY STANDARD 25' ROW ILLUMINATION POLE. SEE DETAIL ON SHEET 32.
- TRASH RECEPTACLE. SEE DETAIL ON SHEET 32.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**811**

Know what's below. Call before you dig.

BENCHMARKS

TBM #1- SQUARE CUT ON TOP OF CONCRETE CURB IN THE EAST MARGIN OF TRINITY STREET ±5' SOUTHWEST FROM A 12" LIVE OAK WITH TREE TAG # 5007 IN THE EAST MARGIN OF TRINITY STREET, ±27' NORTH FROM A 18" LIVE OAK WITH TREE TAG # 5006 IN THE EAST MARGIN OF TRINITY STREET, ±102' NORTH FROM A 10" CEDAR ELM WITH TREE TAG # 5014 IN THE EAST MARGIN OF TRINITY STREET. ELEVATION = 468.47.

TBM #2- SQUARE CUT ON TOP OF CONCRETE CURB IN THE WEST MARGIN OF SAN JACINTO STREET ±5' EAST FROM A STORM SEWER MANHOLE IN THE WEST MARGIN OF SAN JACINTO STREET, ±50' WEST FROM A STORM SEWER MANHOLE IN THE EAST MARGIN OF SAN JACINTO STREET, ±49' WEST FROM A 8" RED OAK WITH TREE TAG # 5012. ELEVATION = 470.58'.

SITE PLAN APPROVAL SHEET 8 OF 42

FILE NUMBER **SP-2019-0426C** APPLICATION DATE **09/25/2019**

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION **112** OF CHAPTER **25-5** OF THE CITY OF AUSTIN CODE.

EXPIRATION DATE (25-5-81.LDC) \_\_\_\_\_ CASE MANAGER **RANDALL ROUDA**

PROJECT EXPIRATION DATE (ORD.#970905-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DDZ \_\_\_\_\_

Director, Development Services Department

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING  **CBD**

Rev. 1 \_\_\_\_\_ Correction 1

Rev. 2 \_\_\_\_\_ Correction 2

Rev. 3 \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

NO.	REVISIONS	DATE	BY

**Kimley»Horn**

2600 VIA FORTUNA, TERRACE 1, SUITE 300  
AUSTIN, TX 78746  
PHONE: 512-418-7911  
WWW.KIMLEY-HORN.COM  
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TBPE Firm No. 928



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
069274000	NOVEMBER 2019	AS SHOWN	KB	KB	HMH

SITE PLAN

**BLOCK 16**  
320 E. 2ND STREET  
CITY OF AUSTIN  
TRAVIS COUNTY, TEXAS

Plotted By: Bissessy, Kendyl Date: August 14, 2020 11:23:59am File Path: C:\SAU-Civil\069274000 Manifold Block 16\Coat Plan Streets\VC - Site Tables.dwg

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

SITE CALCULATIONS			
	ALLOWED PER BASE ZONING	ENTITLEMENTS GAINED THROUGH DDBP PARTICIPATION	PROPOSED
GROSS SITE AREA (SF)	-	-	35,309
GROSS SITE AREA (AC)	-	-	0.8106
GROSS FLOOR AREA	128,000	-	743,176
F.A.R.	8:1	25:1	21:1
BUILDING HEIGHT (FT)	-	-	72'3"-0"
BUILDING HEIGHT (STORIES)	-	-	47
FOUNDATION TYPE	-	-	CONCRETE SLAB
ZONING	-	-	CBD
PROPOSED USE	-	-	RETAIL & OFFICE
BUILDING COVERAGE (SF)	35,309	-	33,454
BUILDING COVERAGE (%)	100%	-	94.75%
PROPOSED IMPERVIOUS COVER (SF)	35,309	-	35,309
PROPOSED IMPERVIOUS COVER (%)	100.00%	-	100.00%
EXISTING USE	-	-	RESTAURANT
EXISTING IMPERVIOUS COVER (SF)	-	-	34,848
EXISTING IMPERVIOUS COVER (%)	-	-	98.69%
NOTES: 1. ALLOWABLE BUILDING HEIGHT AND FAR BASED ON PARTICIPATION ON THE DOWNTOWN DENSITY BONUS PROGRAM (LDC-25-2-586) 2. THIS DEVELOPMENT IS PART OF THE CONVENTION CENTER, DOWNTOWN DENSITY BONUS, DOWNTOWN DESIGN, AND CONVENTION CENTER TRANSIT ORIENTED DEVELOPMENT ZONING DISTRICTS.			

SITE PLAN NOTES:

- ALL PARKING SPACES SHALL HAVE MINIMUM 7'-0" VERTICAL CLEARANCE.
- EVERY HANDICAP ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED BY A SIGN CENTERED 5 FEET ABOVE THE PARKING SURFACE, AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE RESERVED, OR EQUIVALENT LANGUAGE. SUCH SIGNS SHALL NOT BE OBTUSCURED BY A VEHICLE PARKED IN THE SPACE AND SHALL MEET THE CRITERIA SET FORTH IN UBC, 3108(c) AND ANSI A1171-1986-4.6.2.
- CONTRACTOR TO HAVE STAKING VERIFIED BY OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
- COMPLIANCE WITH GREEN BUILDING STANDARDS OF TWO STARS IS REQUIRED FOR ALL BUILDINGS CONSTRUCTED ON THIS SITE.
- ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGES OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E
- CONTRACTOR SHALL INSTALL GREAT STREETS ELECTRICAL CONDUIT, PULL BOXES, AND MANHOLES PER AUSTIN ENERGY GREAT STREETS STANDARDS. REFER TO AUSTIN ENERGY TYPICAL GREAT STREETS LAYOUT.
- APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
- SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP. [ANSI 403.3]
- ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1:50. [ANSI 502.5]
- ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50. [ANSI 403.3]
- PAVERS SHALL BE NON-BEVELED TO MINIMIZE VIBRATIONS TO WHEELCHAIR BOUNDARY PEDESTRIANS.
- TRASH CONTAINERS SHALL NOT BE LEFT AT CURB SIDE UNATTENDED. SIGNS MUST BE POSTED ON THE BUILDING OR AT A LOCATION THAT IS PUBLICLY VISIBLE INDICATING THAT TRASH CONTAINERS MAY NOT BE LEFT AT CURBSIDE. THE SIGN SHALL INDICATE THE CITY OF AUSTIN'S CODE ENFORCEMENT PHONE NUMBER FOR THE PUBLIC TO REPORT VIOLATIONS.
- THE DEVELOPER MUST BE AWARE THAT THE TRINITY STREET DRIVEWAY MAY BE CONSTRUCTED AND USED AT THEIR OWN RISK. THE DRIVEWAY MAY ALSO BE REMOVED OR CLOSED BY THE CITY OF AUSTIN FOR ANY DURATION AND WITH MINIMAL NOTICE AT ANY TIME, FOR ANY REASON. IF THE DRIVEWAY IS INDEFINITELY CLOSED THE CITY OF AUSTIN WILL NOT RELOCATE, ALTER, OR RECONSTRUCT THE DRIVEWAY.

SITE PLAN FIGURE:

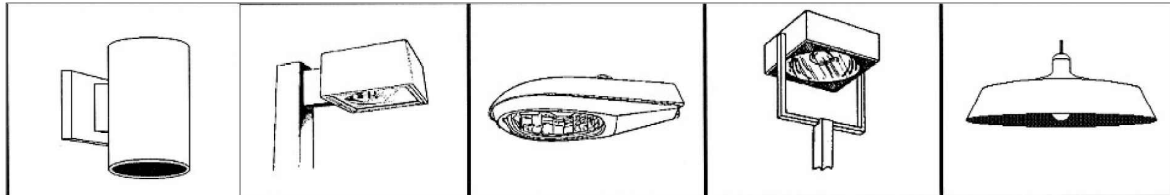


Figure 34:  
Examples of fully-shielded light fixtures.

LAND USE SUMMARY TABLE	
USE	GROSS FLOOR AREA (SF)
RETAIL	3,412
BUSINESS OFFICE	739,764
TOTAL	743,176

BUILDING INFORMATION - FLOOR BREAKDOWN		
FLOOR NO.	USE	GROSS FLOOR AREA (SF) (FAR)
B-3	BUSINESS OFFICE/PARKING	290
B-2	BUSINESS OFFICE/PARKING	290
B-1	BUSINESS OFFICE/PARKING	290
1	RETAIL	3,412
	BUSINESS OFFICE	15,794
2	BUSINESS OFFICE/PARKING	2,497
3	BUSINESS OFFICE/PARKING	290
4	BUSINESS OFFICE/PARKING	290
5	BUSINESS OFFICE/PARKING	290
6	BUSINESS OFFICE/PARKING	290
7	BUSINESS OFFICE/PARKING	290
8	BUSINESS OFFICE/PARKING	290
9	BUSINESS OFFICE/PARKING	290
10	BUSINESS OFFICE/PARKING	290
11	BUSINESS OFFICE/PARKING	290
12	BUSINESS OFFICE/PARKING	290
13	BUSINESS OFFICE/PARKING	290
14	BUSINESS OFFICE/PARKING	290
15	BUSINESS OFFICE/PARKING	290
16	BUSINESS OFFICE/PARKING	290
17	BUSINESS OFFICE/PARKING	290
18	BUSINESS OFFICE/PARKING	290
19	BUSINESS OFFICE	25,840
20	BUSINESS OFFICE	26,285
21	BUSINESS OFFICE	26,285
22	BUSINESS OFFICE	26,285
23	BUSINESS OFFICE	26,285
24	BUSINESS OFFICE	26,285
25	BUSINESS OFFICE	26,285
26	BUSINESS OFFICE	26,285
27	BUSINESS OFFICE	26,285
28	BUSINESS OFFICE	26,285
29	BUSINESS OFFICE	26,285
30	BUSINESS OFFICE	26,285
31	BUSINESS OFFICE	26,285
32	BUSINESS OFFICE	27,618
33	BUSINESS OFFICE	27,618
34	BUSINESS OFFICE	28,063
35	BUSINESS OFFICE	27,600
36	BUSINESS OFFICE	21,410
37	BUSINESS OFFICE	21,608
38	BUSINESS OFFICE	21,608
39	BUSINESS OFFICE	21,608
40	BUSINESS OFFICE	21,608
41	BUSINESS OFFICE	21,608
42	BUSINESS OFFICE	21,608
43	BUSINESS OFFICE	21,608
44	BUSINESS OFFICE	21,608
45	BUSINESS OFFICE	21,608
46	BUSINESS OFFICE	21,608
47	BUSINESS OFFICE	18,742
ROOF	BUSINESS OFFICE	7,572
		743,176

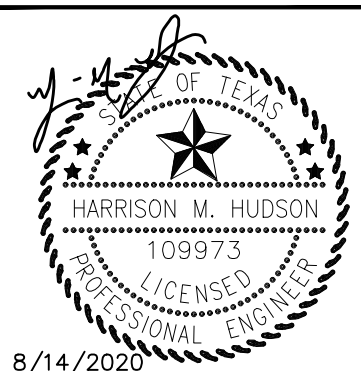
PARKING TABLE						
USE	AREA (SF)	RATIO	PARKING REQUIRED PER LDC 25-6 APPENDIX A	PARKING REQUIRED PER DMU <sup>1</sup>	PARKING PROVIDED	REDUCTION
RETAIL	3,412	1/275 SF	13	N/A	1,107	41%
BUSINESS OFFICE	739,764	1/275 SF	2,691			
TOTAL PARKING			2,704			
NOTES: 1. PER ORDINANCE 20130411-061, PARKING IS NOT REQUIRED IN CBD/DMU. 2. PARKING GARAGE DESIGNED PER TABLE 9-2 OF THE TRANSPORTATION CRITERIA MANUAL (TCM).						

ACCESSIBLE PARKING TABLE				
	ADA PARKING REQUIRED	TOTAL ADA PARKING PROVIDED	REGULAR ADA PARKING PROVIDED	VAN ADA PARKING PROVIDED
TOTAL PARKING	25	41	35	6
NOTES: 1. REQUIRED ADA SPACES DETERMINED BY 2012 TEXAS ACCESSIBILITY STANDARDS				

BICYCLE PARKING TABLE				
	REQUIRED PARKING	PROVIDED PARKING (STREETSCAPE)	PROVIDED PARKING (BUILDING)	PROVIDED PARKING (TOTAL)
TOTAL BICYCLE PARKING	135	32	102	134

**Kimley»Horn**

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AUSTIN, TX 78746  
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TBPE Firm No. 928



8/14/2020

KHA PROJECT	069274000
DATE	NOVEMBER 2019
SCALE:	AS SHOWN
DESIGNED BY:	KB
DRAWN BY:	KB
CHECKED BY:	HMH

SITE PLAN TABLES &  
NOTES

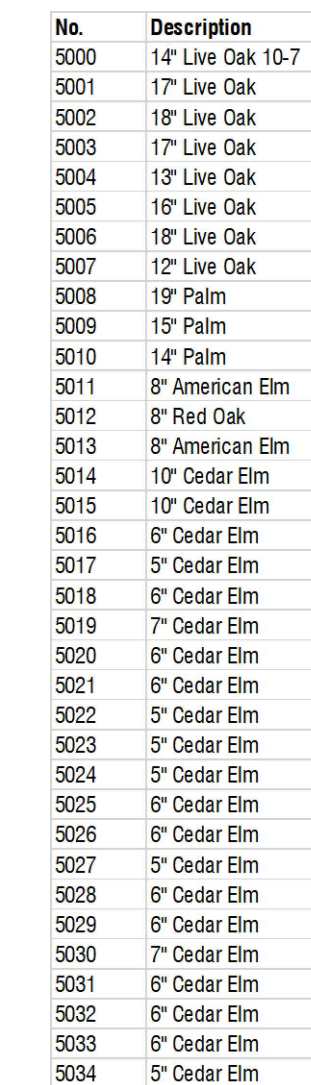
**BLOCK 16**  
320 E. 2ND STREET  
CITY OF AUSTIN  
TRAVIS COUNTY, TEXAS

SHEET NUMBER  
**9 OF 43**


SITE PLAN APPROVAL SHEET 9 OF 43  
FILE NUMBER SP-2019-0426C APPLICATION DATE 09/25/2019  
APPROVED BY COMMISSION ON UNDER SECTION 112 OF  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81,LDC) CASE MANAGER RANDALL ROUDA  
PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: ZONING CBD  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



SCALE  
1/16" = 1'-0"



NORTH

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

SITE PLAN APPROVAL SHEET OF \_\_\_\_\_

FILE NUMBER, SP-2019-0429C APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION 112 OF \_\_\_\_\_

CHAPTER 25-5 OF THE CITY OF AUSTIN CODE

EXPIRATION DATE (25-54.1.DC) \_\_\_\_\_ CASE MANAGER \_\_\_\_\_

PROJECT EXPIRATION DATE (ORD 807095-A) \_\_\_\_\_ DWP2 DDD \_\_\_\_\_

Director, Development Services Department

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_ CBD \_\_\_\_\_

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

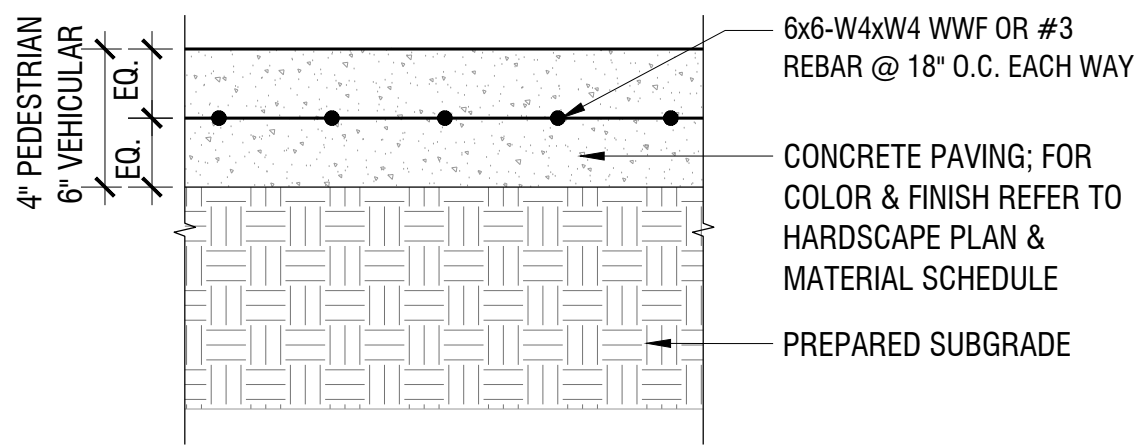
Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

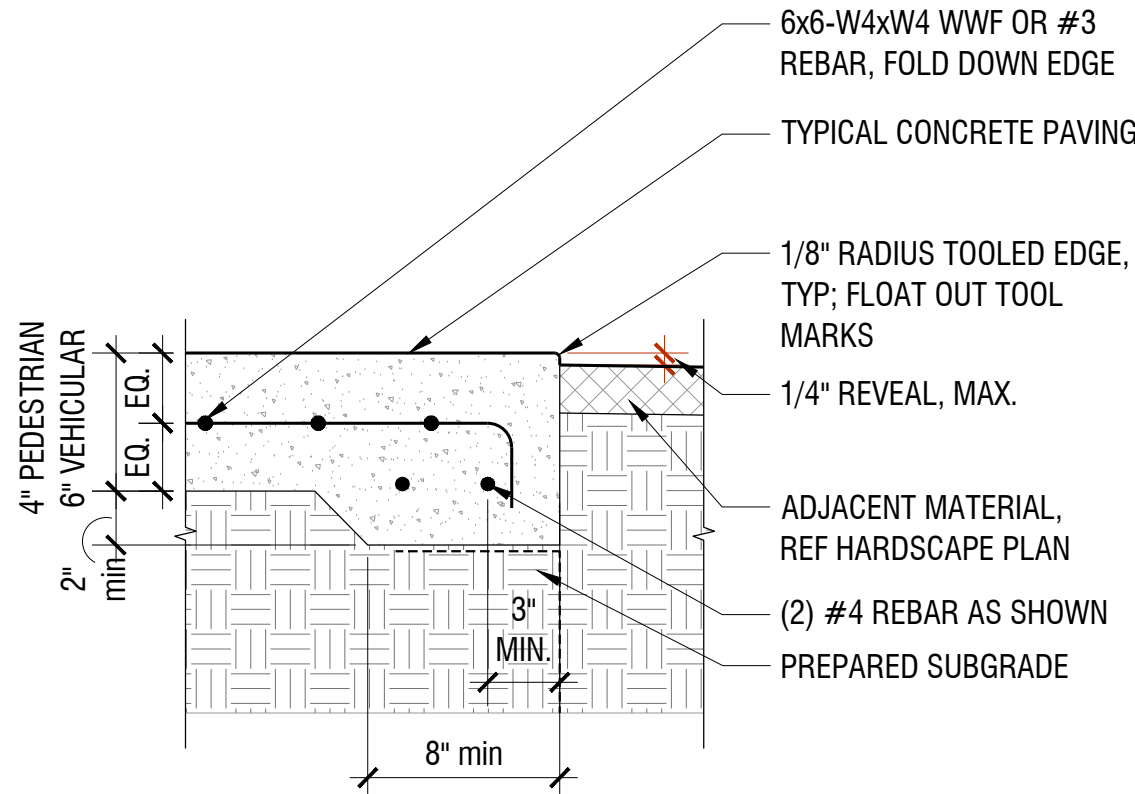
*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.*



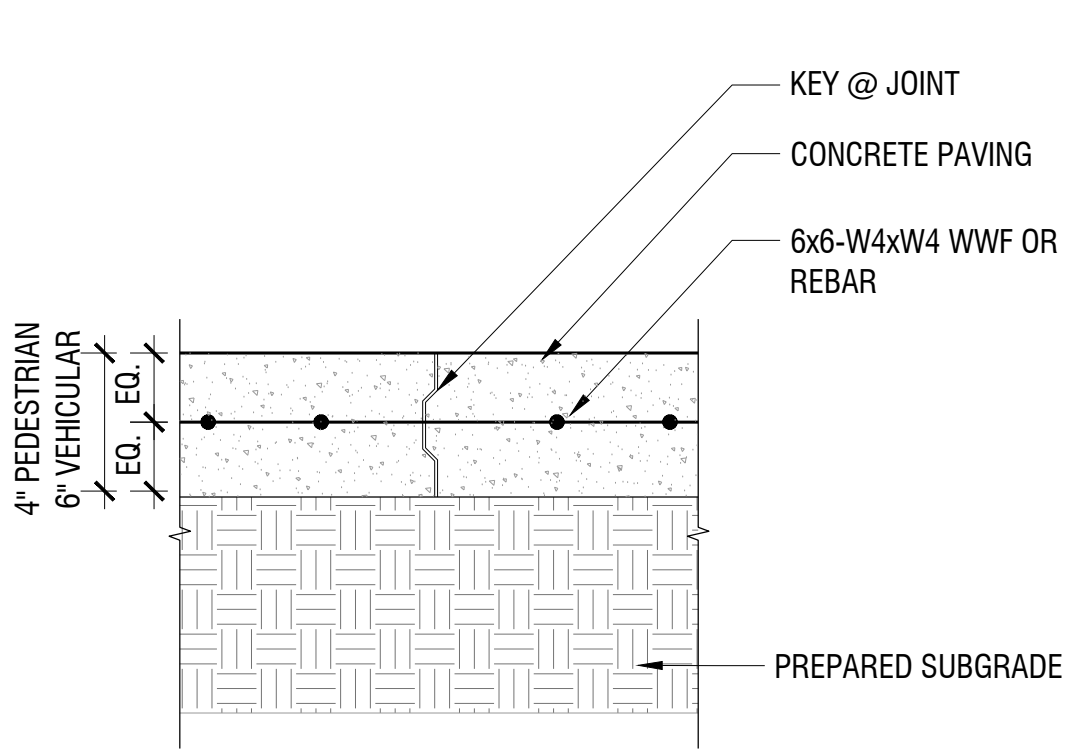
- TYPICAL PAVING NOTES:
1. REINFORCING SHALL NOT EXTEND ACROSS EXPANSION JOINTS - 3"min.
  2. ALL CONCRETE WITHIN ACCESSIBLE ROUTES SHALL HAVE A 4.9% MAX SLOPE, UNLESS OTHERWISE INDICATED AS A RAMP OR WITHIN ROW FOLLOWING STREET GRADE. CROSS SLOPE SHALL BE NO GREATER THAN 2% AND NO LESS THAN 0.5%.
  3. FINISHED GRADES AT ADJACENT PAVING SHALL NOT EXCEED +/- 1/4" ELEVATION.
  4. CONCRETE FINISH AND COLOR PER PLANS



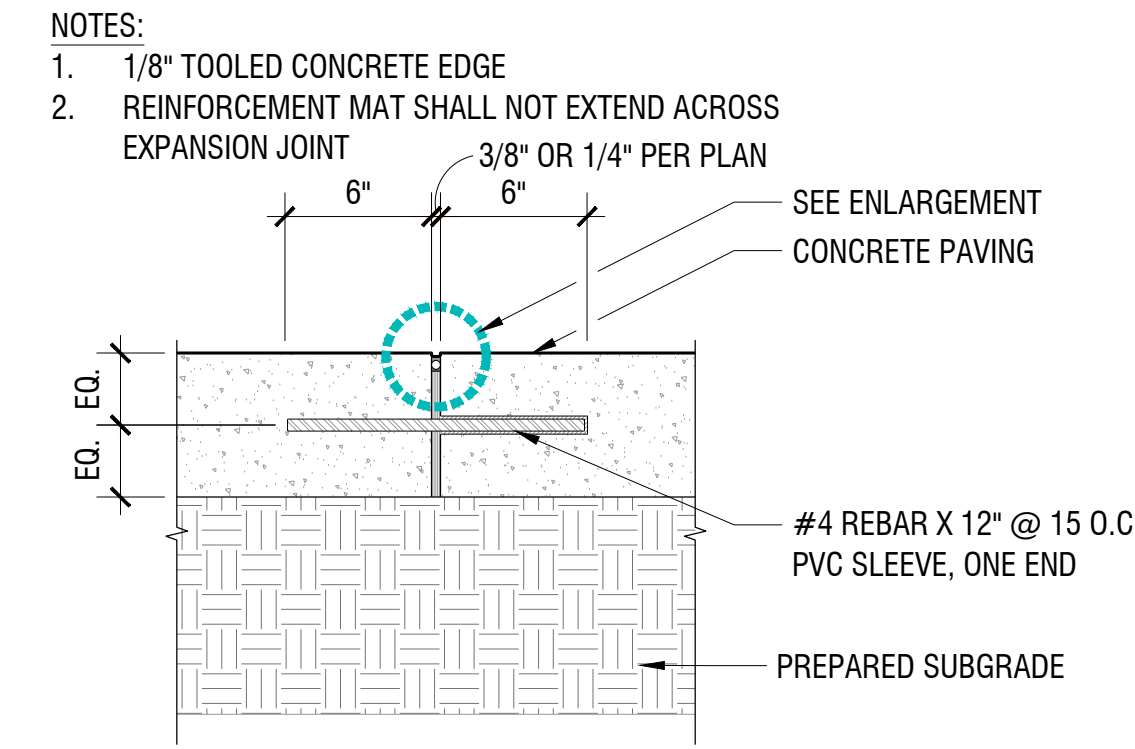
1 CONCRETE PAVING - TYPICAL  
1 1/2" = 1'-0"



2 CONCRETE SLAB EDGE  
1 1/2" = 1'-0"

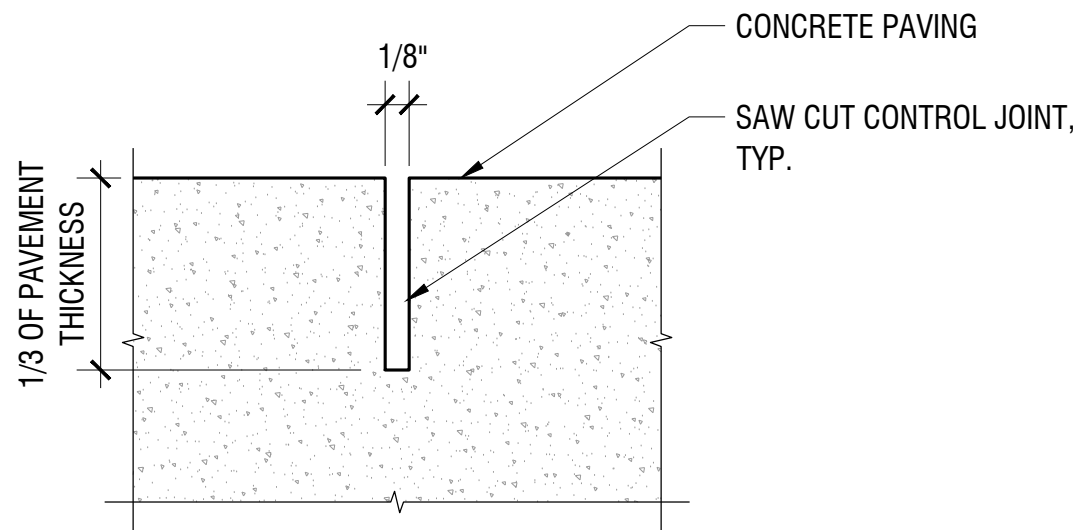


3 CONSTRUCTION JOINT - TYPICAL  
1 1/2" = 1'-0"



4 EXPANSION JOINT  
1 1/2" = 1'-0"

- NOTES:
1. SEE SPECIFICATIONS FOR MOCK-UP REQUIREMENTS
  2. SEE JOINTING PLAN FOR JOINT LAYOUT
  3. SAW CUT JOINTS SHALL BE STRAIGHT AND CONTINUOUS

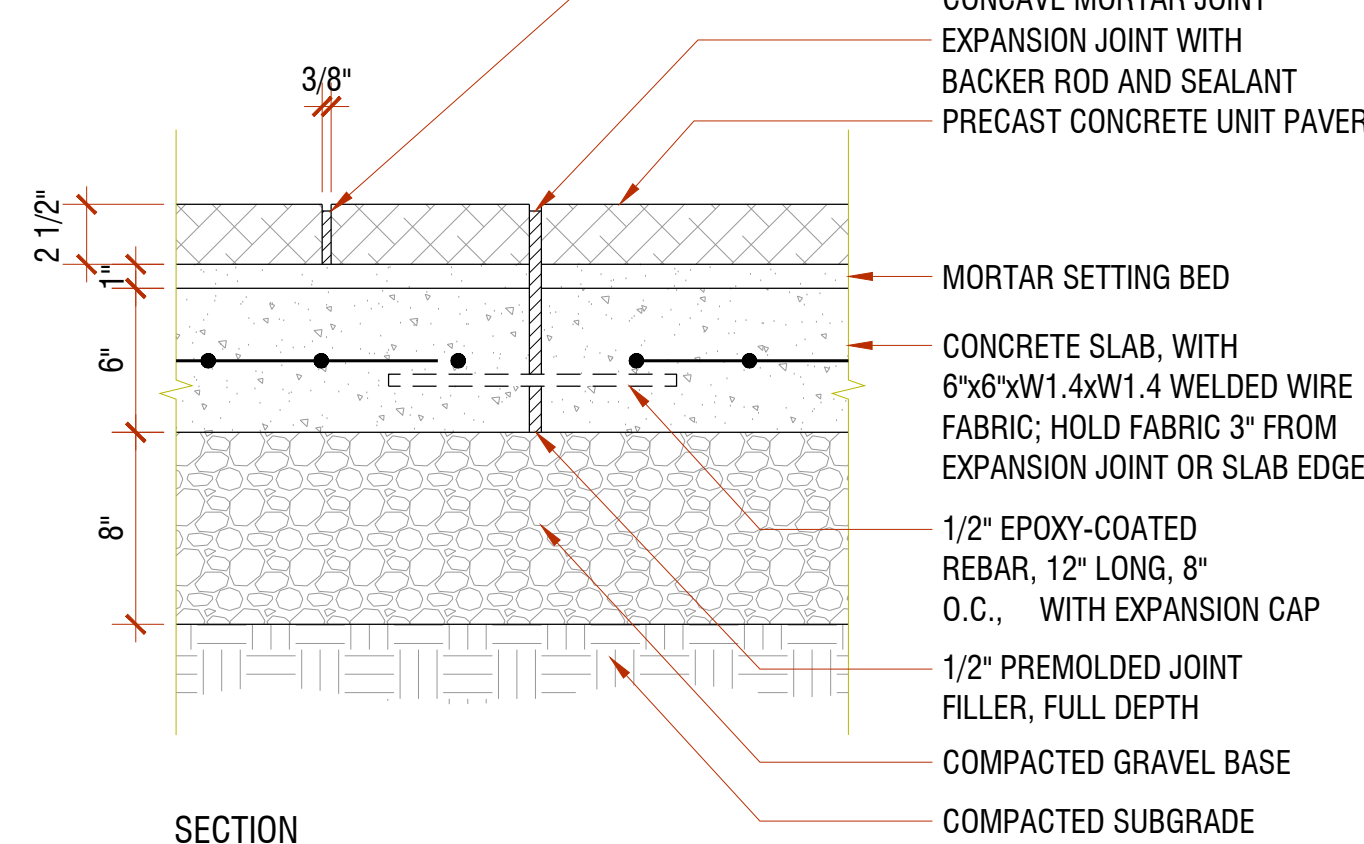


5 SAWCUT CONTROL JOINT - TYPICAL  
1" = 1" (FULL SCALE)

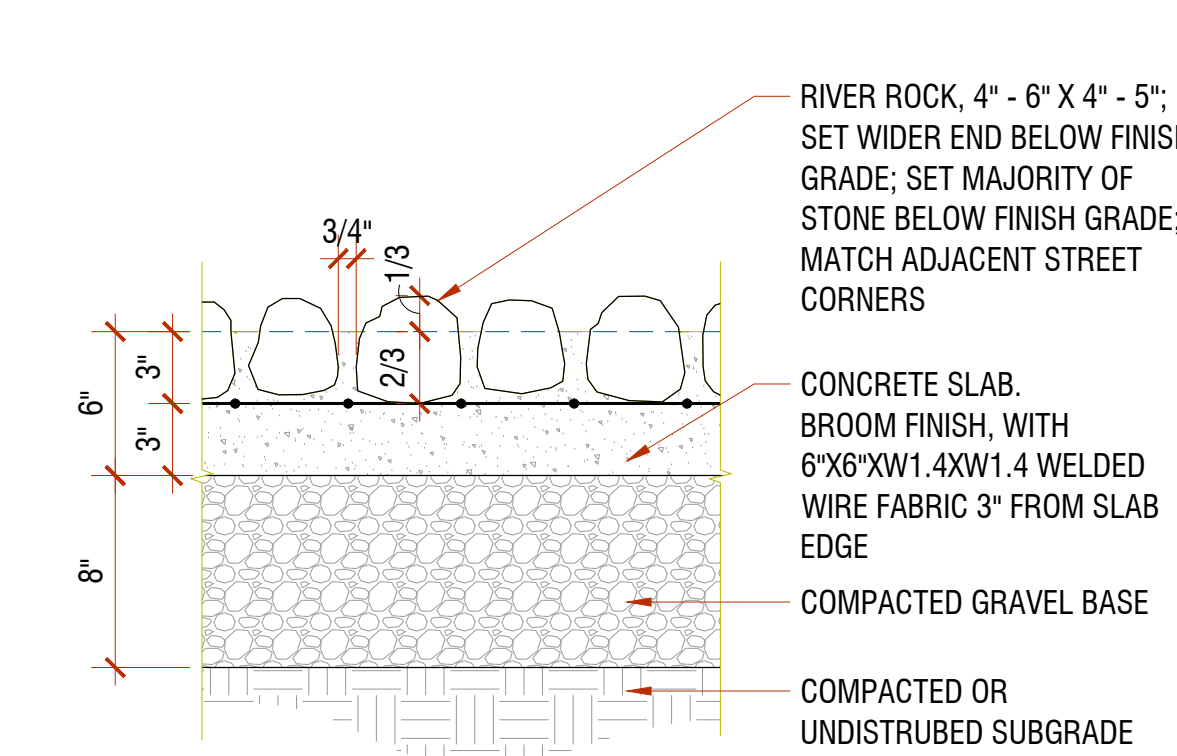
- NOTES:
1. CONTRACTOR SHALL SUBMIT SAMPLES OF JOINT SEALANT COLOR & BUILD MOCK-UP FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO CONSTRUCTION
- DUST WET SEALANT WITH SILICA SAND, CONTRACTOR TO SUBMIT SAMPLE OF SILICA SAND FOR APPROVAL PRIOR TO CONSTRUCTION
- JOINT SEALANT, COLOR TO MATCH PAVING
- BACKER ROD OR VOID CAP, INSTALL PRIOR TO INSTALLING SEALANT
- CONCRETE PAVING
- EXPANSION JOINT; NON-EXTRUDED, BITUMINOUS -TYPE, RESILIENT FILLER

ENLARGEMENT

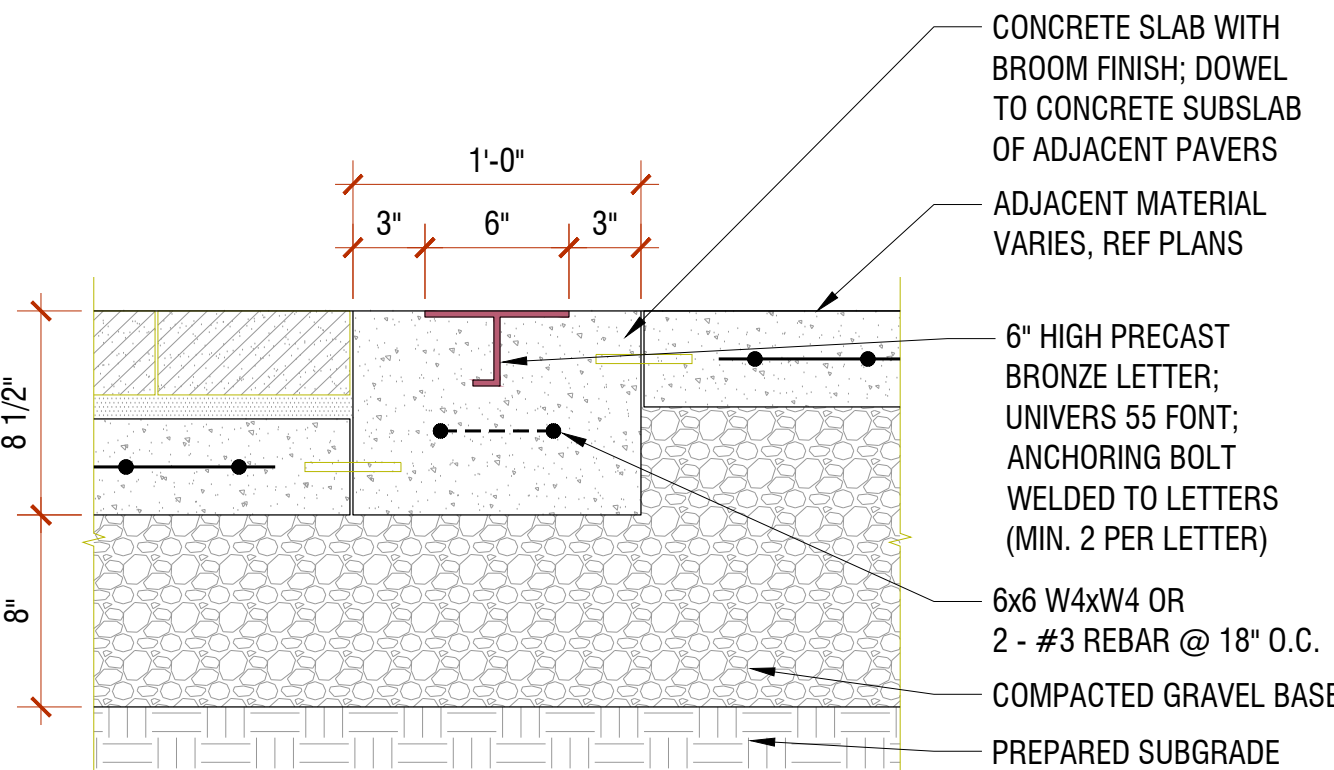
6 EXPANSION JOINT ENLARGEMENT  
1" = 1" (FULL SCALE)



7 PRECAST CONCRETE UNIT PAVER  
1 1/2" = 1'-0"



8 RIVER ROCK PAVEMENT  
1 1/2" = 1'-0"

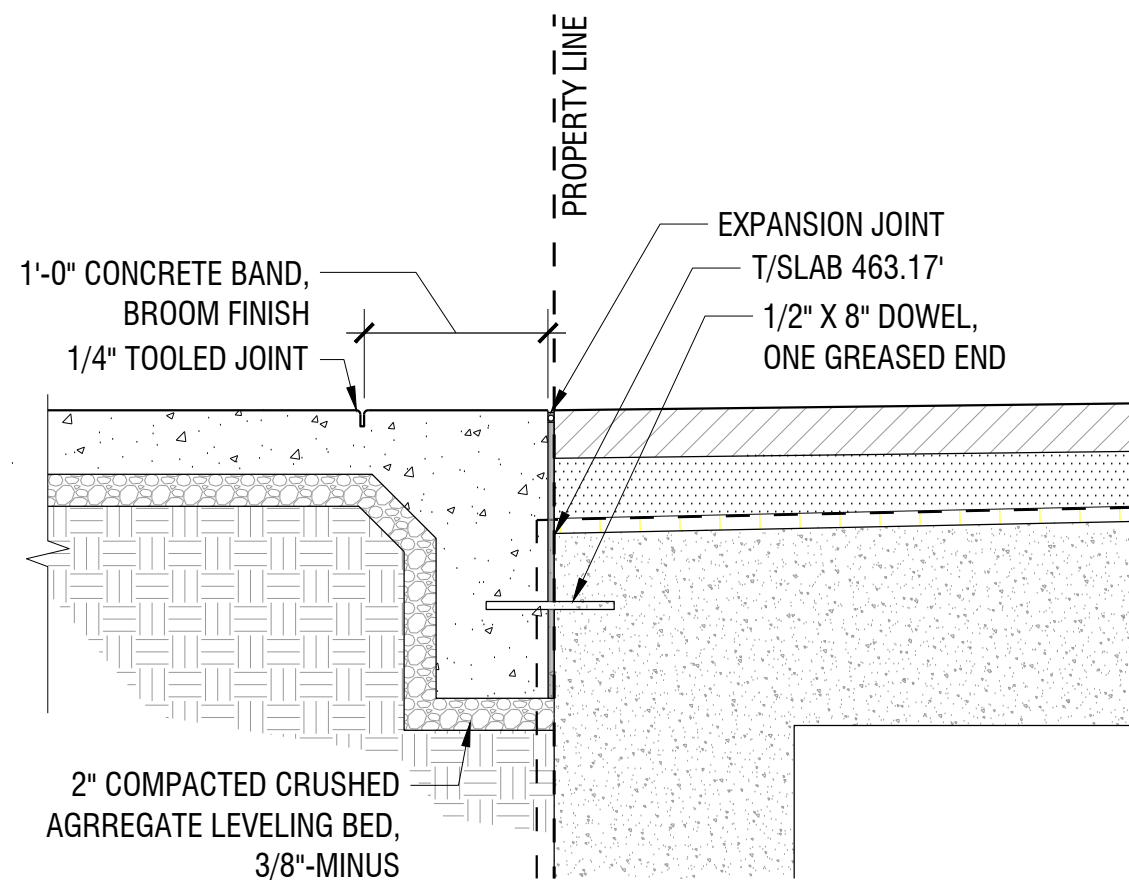


9 BRONZE LETTER MOUNTING  
1 1/2" = 1'-0"

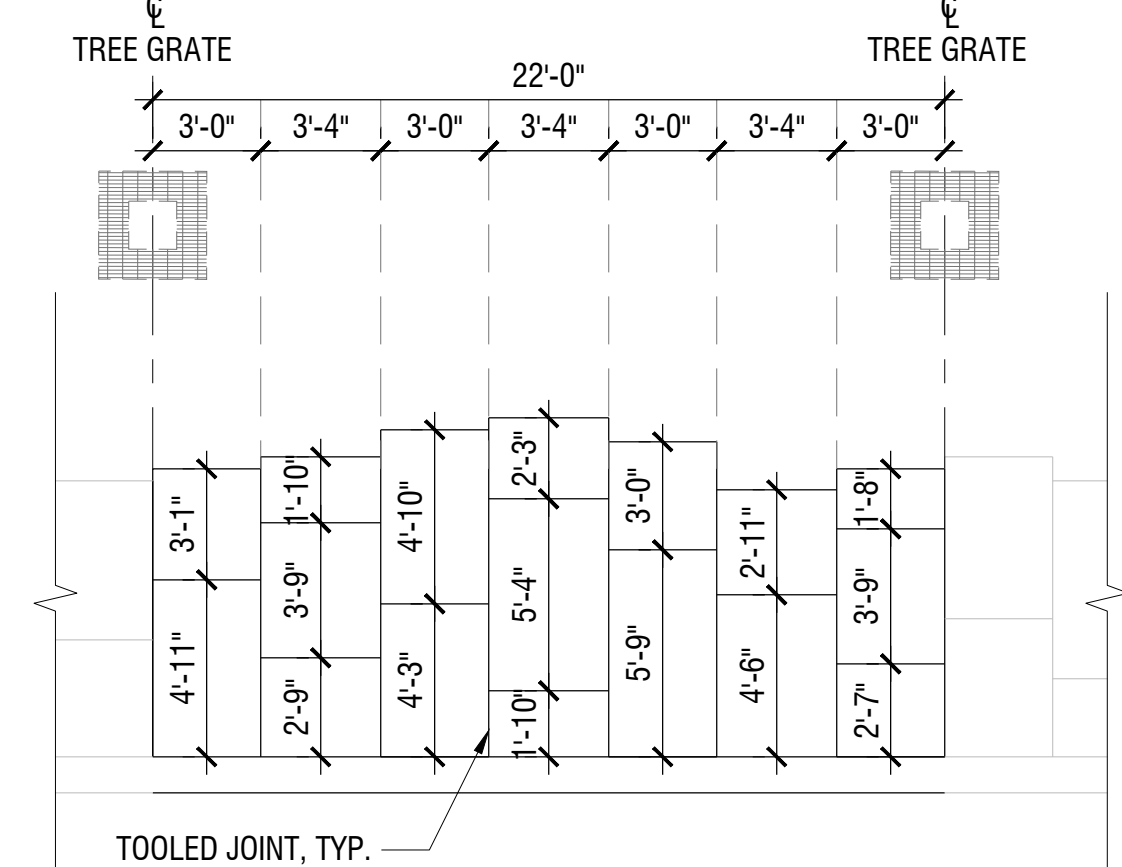
- NOTES:
1. MATCH EDGES OF BRONZE TO FINISH LEVEL OF CONCRETE; AVOID BRONZE PROTRUDING ABOVE CONCRETE OR ANY CONCRETE OVERLAPPING BRONZE; KEEP BRONZE 2" MIN. FROM ALL EDGES, INCLUDING EXPANSION AND CONTROL JOINTS AND OTHER BRONZE CASTINGS.
  2. INSERT BRONZE INTO WET CONCRETE; VIBRATE CONCRETE TO ENSURE FILLING VOIDS UNDER CASTING.
  3. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF TEXT LAYOUT & CONCRETE SCORING PRIOR TO INSTALLATION.

TEXT AND QUANTITIES REQUIRED:

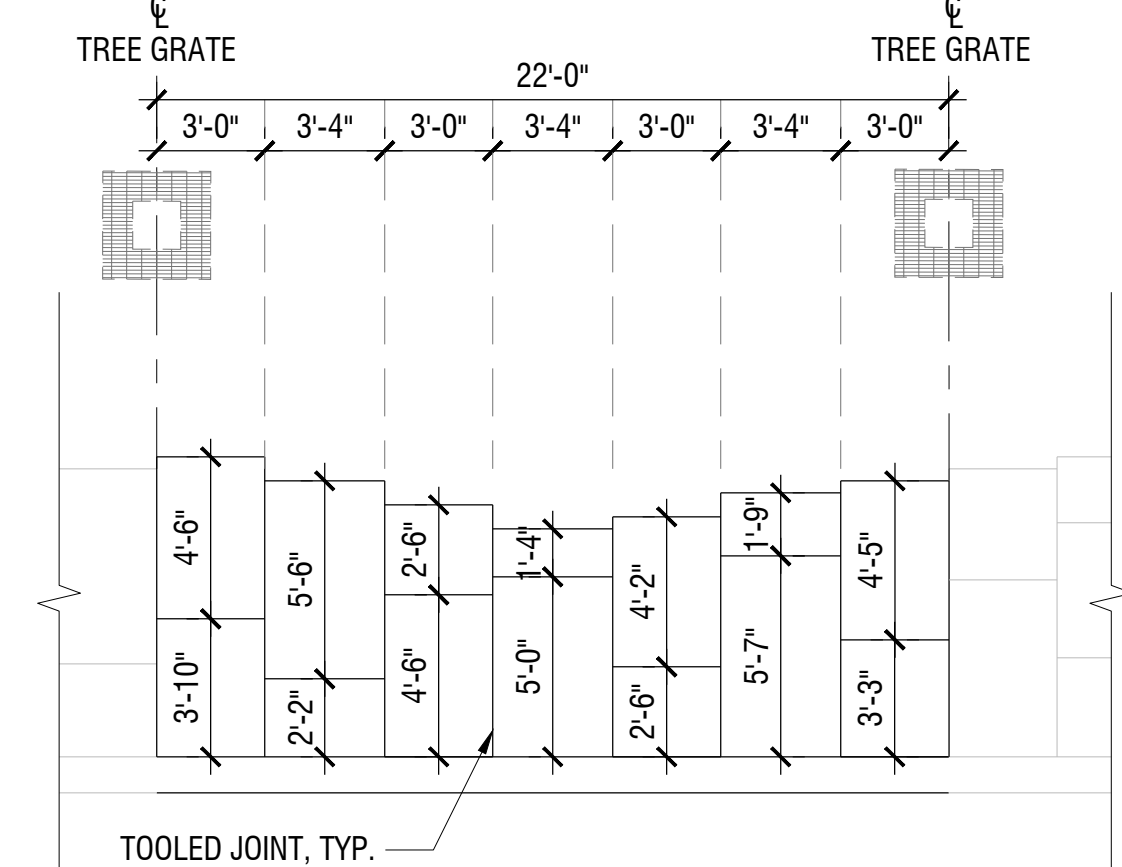
SECOND STREET (1 SET)



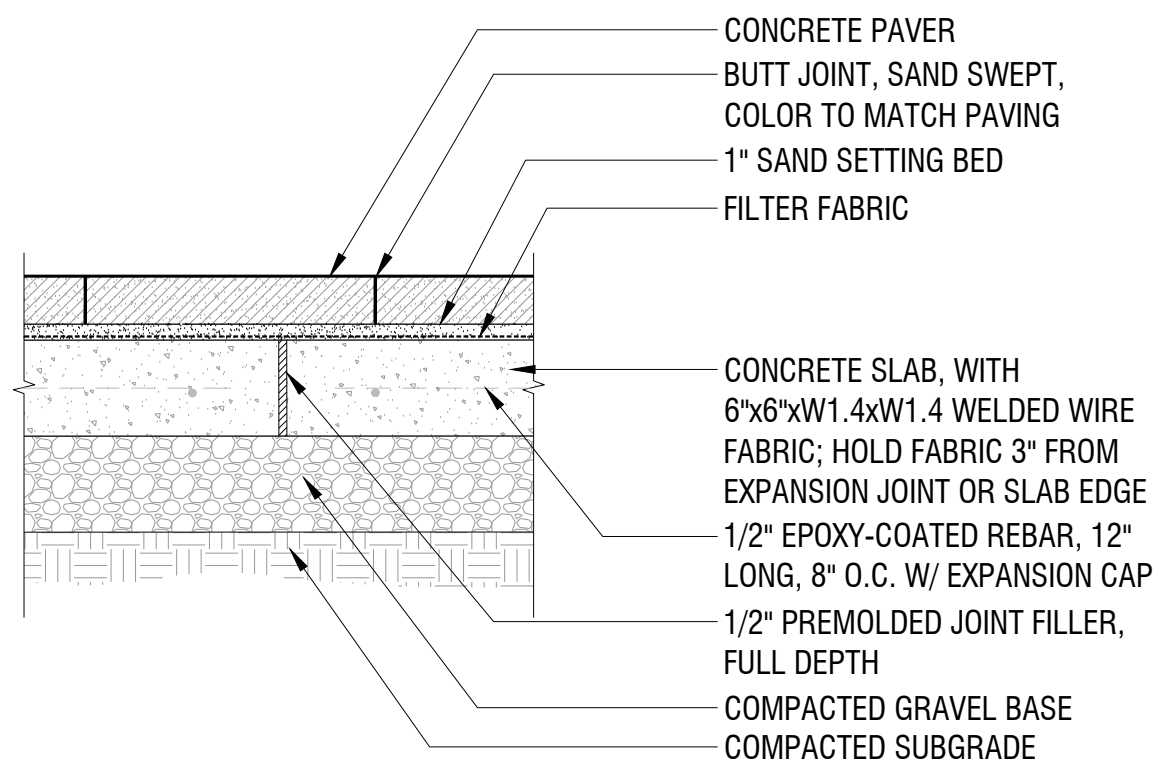
10 CONCRETE BAND  
1" = 1'-0"



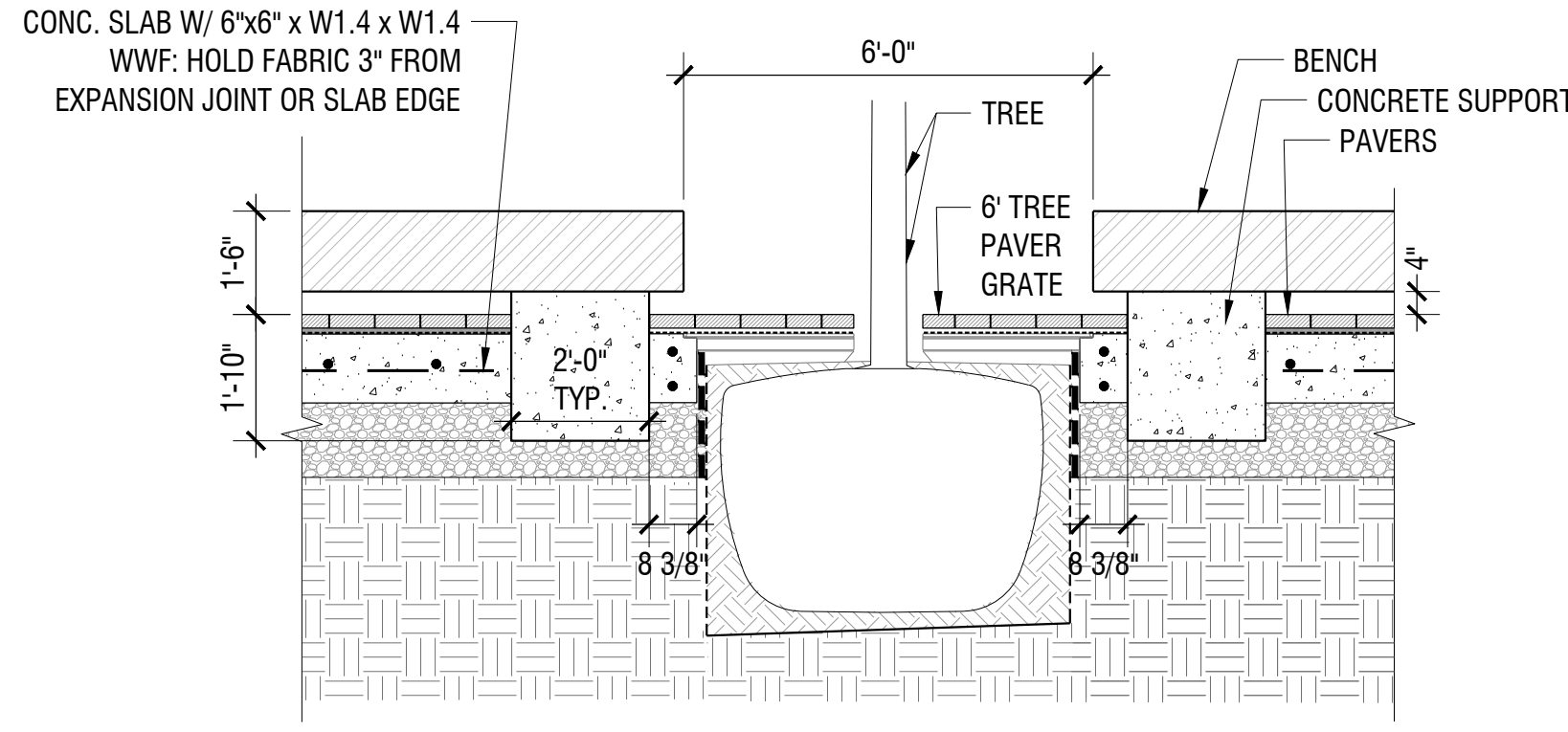
11 PAVING PATTERN 'C'  
3/16" = 1'-0"



12 PAVING PATTERN 'D'  
3/16" = 1'-0"



13 LARGE CONCRETE PAVERS, TYP  
1" = 1'-0"



14 PLINTH BENCH  
3/8" = 1'-0"

# Manifold

201 San Jacinto Blvd  
Austin, TX 78701

# Gensler

212 Lavaca Street  
Suite 390  
Austin, TX 78701  
United States

## CAMPBELL LANDSCAPE ARCHITECTURE

Contact: Cameron Campbell  
Landscape Architect  
608 W. Monroe St., Unit D  
Austin, TX 78704

Date	Description
------	-------------

NOT FOR  
CONSTRUCTION

Seal / Signature



14 AUGUST 2020

Project Name

BLOCK 16

Project Number

025.1558.000

Description

STREETSCAPE DETAILS

Scale

**8 COA TRASH RECEPTACLE INSTALLATION**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**FRONT VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	TRASH RECEPTACLE INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-8A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**9 COA TRASH RECEPTACLE SITING**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	TRASH RECEPTACLE INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-8A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**10 COA TRASH RECEPTACLE SITING**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	TRASH RECEPTACLE INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-8A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**11 COA TRASH RECEPTACLE SITING**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	TRASH RECEPTACLE INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-8A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**12 COA TRASH RECEPTACLE SITING**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	TRASH RECEPTACLE INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-8A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**13 COA TRASH RECEPTACLE SITING**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	TRASH RECEPTACLE INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-8A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**14 COA BENCH INSTALLATION**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**FRONT VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-9A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**15 COA BENCH INSTALLATION**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**FRONT VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-9A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**16 COA BENCH INSTALLATION**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**FRONT VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-9A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**17 COA BENCH INSTALLATION**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**FRONT VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-9A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**18 COA BENCH INSTALLATION**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**FRONT VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-9A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**19 COA BENCH INSTALLATION**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**FRONT VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH INSTALLATION IN CONCRETE PAVEMENT SIDEWALK	STANDARD NO. 432S-9A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**1 COA PAVER GRATE**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	1.8 m (6") PAVER GRATE FRAME	STANDARD NO. 437S-1
RECORD COPY SIGNED BY BILL GARDNER	06/16/08 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**2 COA PAVER INSTALLATION**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	PAVER INSTALLATION-PAVERS ALONG BACK OF CURB	STANDARD NO. 480S-5
RECORD COPY SIGNED BY BILL GARDNER	09/14/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**3 COA BICYCLE RACK**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	CLASS III STYLE BICYCLE PARKING	STANDARD NO. 710S-1
RECORD COPY SIGNED BY COUNG TRAN	09/26/12 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**4 COA BICYCLE RACK INSTALLATION**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BICYCLE RACK INSTALLATION IN CONCRETE PAVEMENT SIDEWALK-ALTERNATE 1	STANDARD NO. 710S-3
RECORD COPY SIGNED BY COUNG TRAN	09/26/12 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**5 COA BICYCLE RACK SITING**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BICYCLE RACK SITING IN CONCRETE PAVEMENT SIDEWALK-ALTERNATE 1	STANDARD NO. 710S-3
RECORD COPY SIGNED BY COUNG TRAN	09/26/12 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**6 COA BENCH SITING**

NTS

NOTE: NUMBER AND SIZE OF ANCHOR BOLTS AS SPECIFIED BY MANUFACTURER. MINIMUM LENGTH OF 150 mm (6").

**TOP VIEW**

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH SITING IN CONCRETE PAVEMENT SIDEWALK-ALTERNATE 1	STANDARD NO. 432S-9A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**Manifold**  
201 San Jacinto Blvd  
Austin, TX 78701

**Gensler**

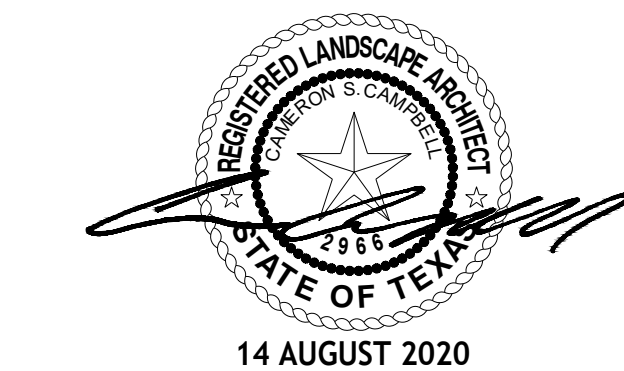
212 Lavaca Street  
Suite 390  
Austin, TX 78701  
United States

**CAMPBELL LANDSCAPE ARCHITECTURE**  
Contact: Cameron Campbell  
Landscape Architect  
608 W. Monroe St., Unit D  
Austin, TX 78704

Date Description

**NOT FOR CONSTRUCTION**

Seal / Signature



Project Name

**BLOCK 16**

Project Number

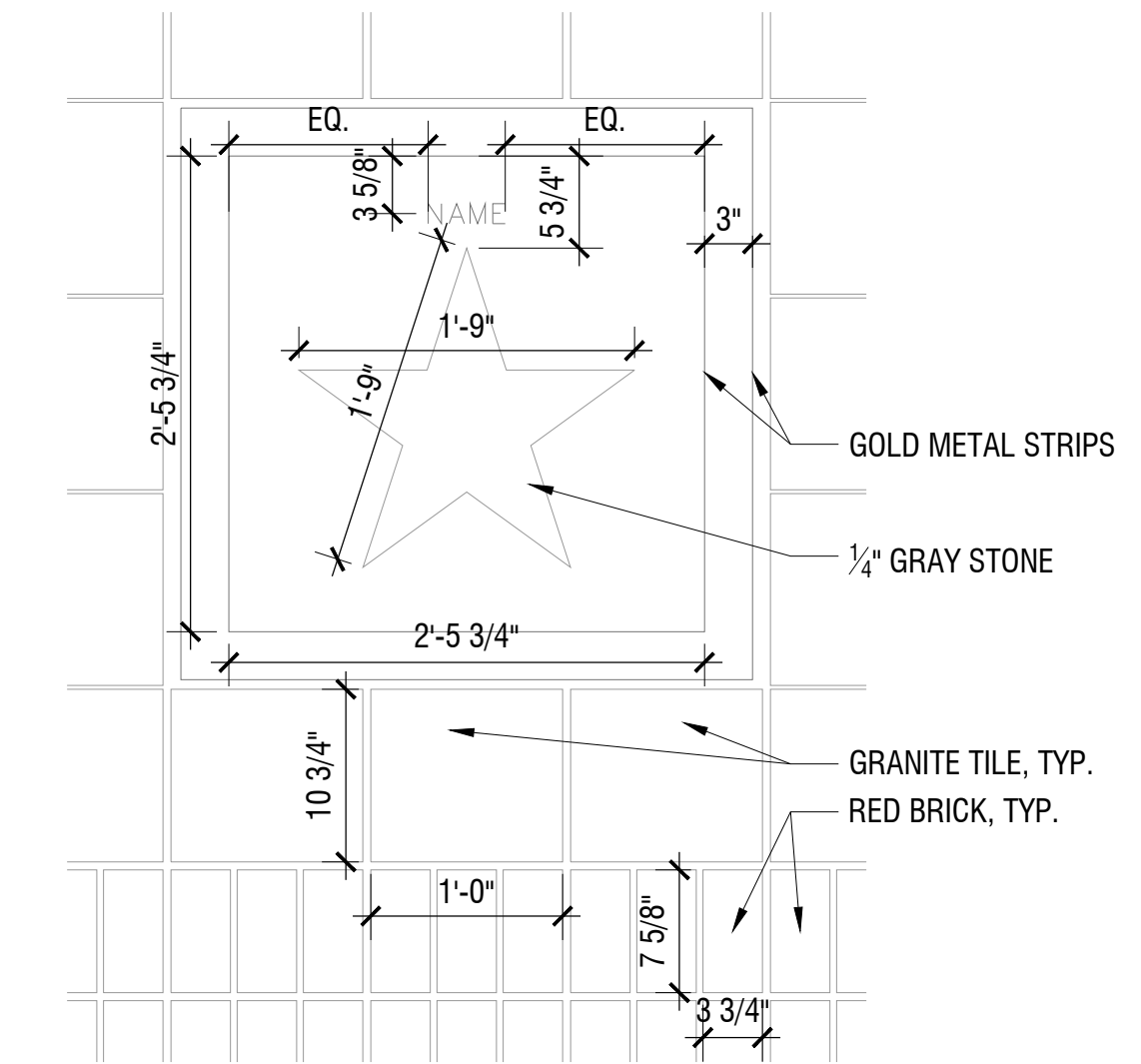
**025.1558.000**

Description

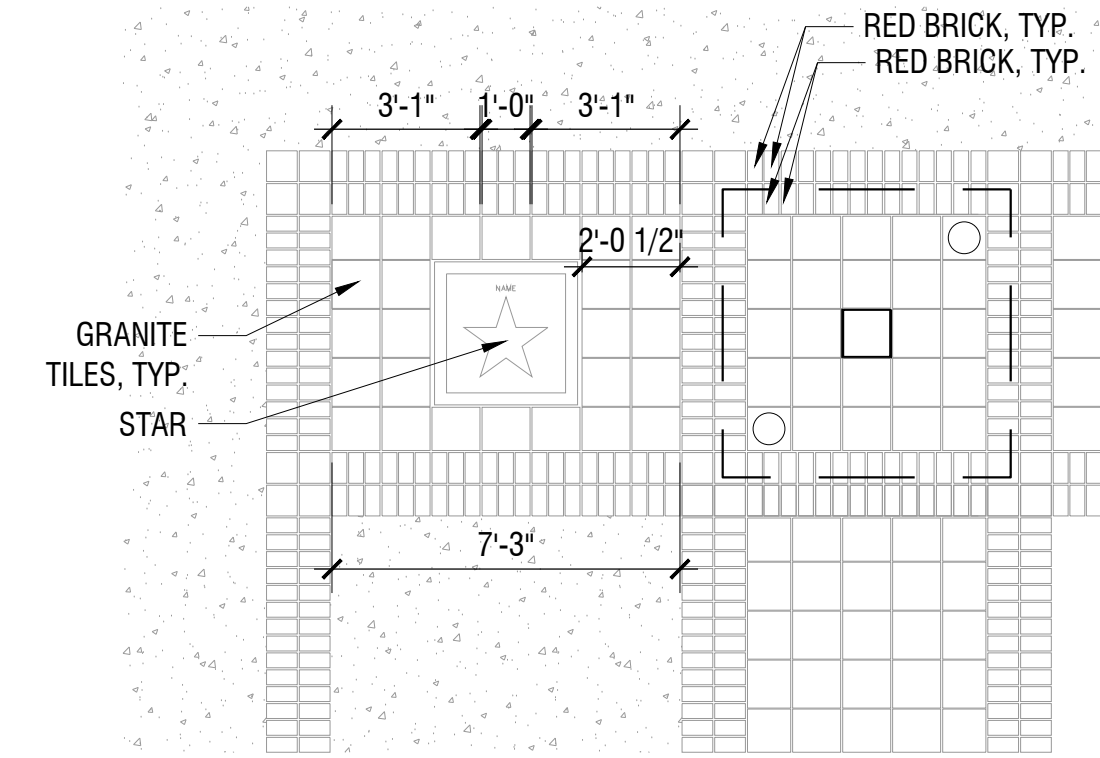
**STREETSCAPE DETAILS**

Scale

**32 OF 43**



1 STAR DETAIL  
1" = 1'-0"



2 TREE WELL - WALK OF STARS  
1/4" = 1'-0"

## Manifold

201 San Jacinto Blvd  
Austin, TX 78701

## Gensler

212 Lavaca Street  
Suite 390  
Austin, TX 78701  
United States

Tel 512.867.8100  
Fax 512.867.8101

### CAMPBELL LANDSCAPE ARCHITECTURE

Contact: Cameron Campbell  
Landscape Architect  
608 W. Monroe St., Unit D  
Austin, TX 78704

△ Date Description

NOT FOR  
CONSTRUCTION

Seal / Signature



14 AUGUST 2020

Project Name

BLOCK 16

Project Number

025.1558.000

Description

STREETSCAPE DETAILS

Scale

33 OF 43



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

#### BENCHMARKS

TBM TBM #1: SQUARE CUT ON TOP OF CONCRETE CURB IN THE EAST MARGIN OF TRINITY STREET 42' SOUTHWEST FROM A 12" LIVE OAK WITH TREE TAG # 5007 IN THE EAST MARGIN OF TRINITY STREET. 427' NORTH FROM A 10" LIVE OAK WITH TREE TAG # 5006 IN THE EAST MARGIN OF TRINITY STREET. 1102' NORTH FROM A 10" CEDAR CLM WITH TREE TAG # 5014 IN THE EAST MARGIN OF TRINITY STREET.  
ELEVATION = 468.47

TBM #2: SQUARE CUT ON TOP OF CONCRETE CURB IN THE WEST MARGIN OF SAN JACINTO STREET 42' EAST FROM A STORM SEWER MANHOLE IN THE WEST MARGIN OF SAN JACINTO STREET. 250' WEST FROM A STORM SEWER MANHOLE IN THE EAST MARGIN OF SAN JACINTO STREET. 448' WEST FROM A 6" RED OAK WITH TREE TAG # 5012.  
ELEVATION = 470.58

#### SITE PLAN APPROVAL

SHEET \_\_\_\_ OF \_\_\_\_

FILE NUMBER: SP-2019-04282 APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION 112 OF

CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.

EXPIRATION DATE (25-541.LDC) \_\_\_\_\_ CASE MANAGER \_\_\_\_\_

PROJECT EXPIRATION DATE (ORD.#97095-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DDZ \_\_\_\_\_

Director, Development Services Department

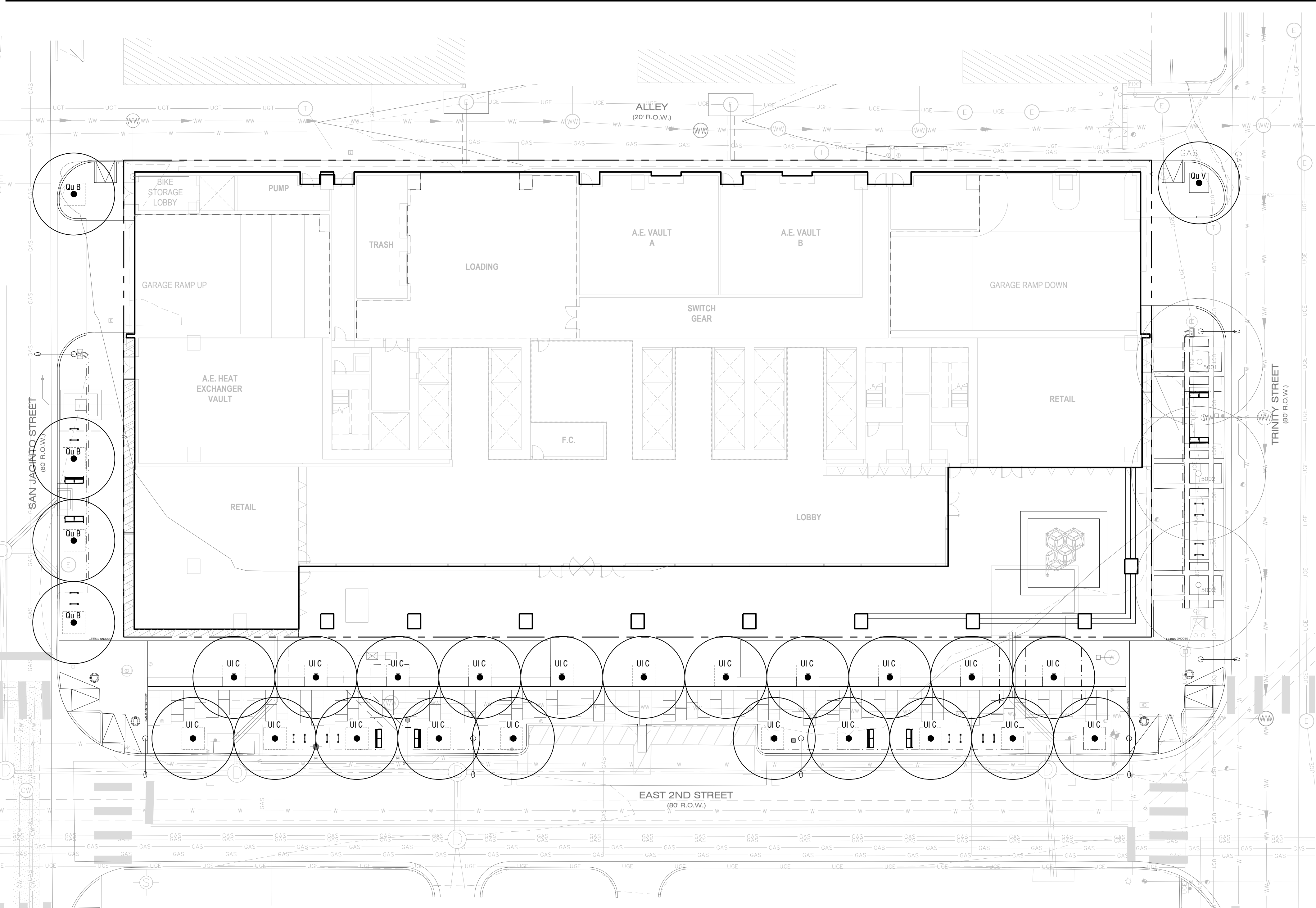
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_ CBD \_\_\_\_\_

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or notices of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



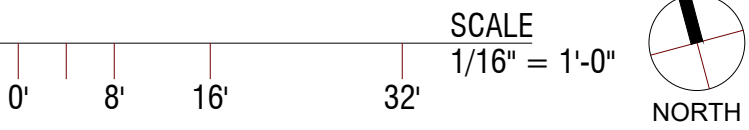
PLANTING LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE / NOTES
	EXISTING TREE TO PROTECT	
	LARGE TREES	
Qu B	Quercus buckleyi Texas red oak	5" CAL. SINGLE LEADER, 14-16' CANOPY HT, SELECT BY LA
Qu V	Quercus virginiana 'SDLN' Cathedral live oak	5" CAL. SINGLE LEADER, 14-16' CANOPY HT, SELECT BY LA
UI C	Ulmus crassifolia Cedar elm	5" CAL. SINGLE LEADER, 14-16' CANOPY HT, 8' CLEAR TRUNK SELECT BY LA
	6' TREE PAVER-GRATE	
	PERENNIAL PLANTING	
	EXTENT OF ROOT BARRIER	

CITY OF AUSTIN TREE MITIGATION REQUIREMENTS						
Mitigation Provided	Qty		Caliper inches toward mitigation			
Great Streets Tree	26	x	0	=		0
Large Tree	0	x		=		0
Small Tree	0	x		=		0
Total Provided Caliper Inches:						0
Total Required Caliper Inches:						31
	Caliper inches not provided		Mitigation cost per Caliper Inch			
	31	x	\$ 200.00	=		\$6,200.00

NOTE: MITIGATION INCHES THAT CANNOT BE REPLANTED ON SITE SHALL BE PROVIDED FOR AT \$200 PER CALIPER INCH PER COA REQUIREMENT.

1 PLANTING PLAN



BENCHMARKS

BM TBM #1: SQUARE CUT ON TOP OF CONCRETE CURB IN THE EAST MARGIN OF TRINITY STREET 42' SOUTHWEST FROM A 12" LIVE OAK WITH TREE TAG #5007 IN THE EAST MARGIN OF TRINITY STREET. 427' NORTH FROM A 10" LIVE OAK WITH TREE TAG #906 IN THE EAST MARGIN OF TRINITY STREET. 1102' NORTH FROM A 10" CEDAR ELM WITH TREE TAG #5014 IN THE EAST MARGIN OF TRINITY STREET. ELEVATION = 468.47'

BM #2: SQUARE CUT ON TOP OF CONCRETE CURB IN THE WEST MARGIN OF SAN JACINTO STREET 49' EAST FROM A STORM SEWER MANHOLE IN THE WEST MARGIN OF SAN JACINTO STREET. 250' WEST FROM A STORM SEWER MANHOLE IN THE EAST MARGIN OF SAN JACINTO STREET. 448' WEST FROM A 6" RED OAK WITH TREE TAG #5012. ELEVATION = 470.58'

SITE PLAN APPROVAL SHEET \_\_\_ OF \_\_\_  
FILE NUMBER: SP-2019-04292 APPLICATION DATE: \_\_\_\_\_  
APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER SECTION 112 OF CHAPTER 255 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-541.LDC) \_\_\_\_\_ CASE MANAGER: \_\_\_\_\_  
PROJECT EXPIRATION DATE (ORD-897095-A) \_\_\_\_\_ DWP2: DDZ \_\_\_\_\_

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: CBD  
Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

Manifold

201 San Jacinto Blvd  
Austin, TX 78701

Gensler

212 Lavaca Street  
Suite 390  
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United States  
Tel 512.867.8100  
Fax 512.867.8101

CAMPBELL LANDSCAPE ARCHITECTURE

Contact: Cameron Campbell  
Landscape Architect  
608 W. Monroe St., Unit D  
Austin, TX 78704

Date	Description
------	-------------

NOT FOR  
CONSTRUCTION

Seal / Signature



14 AUGUST 2020

Project Name

BLOCK 16

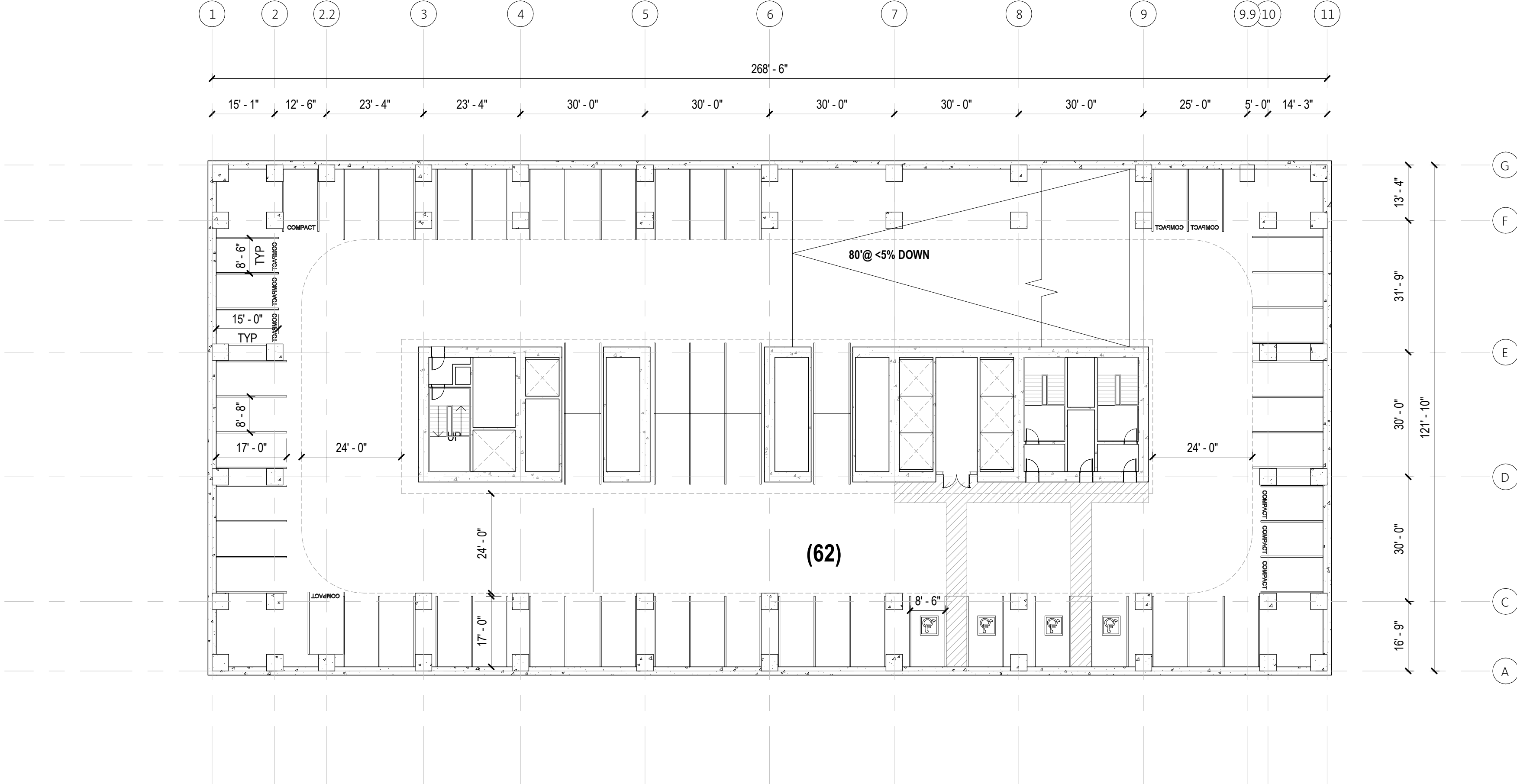
Project Number

025.1558.000

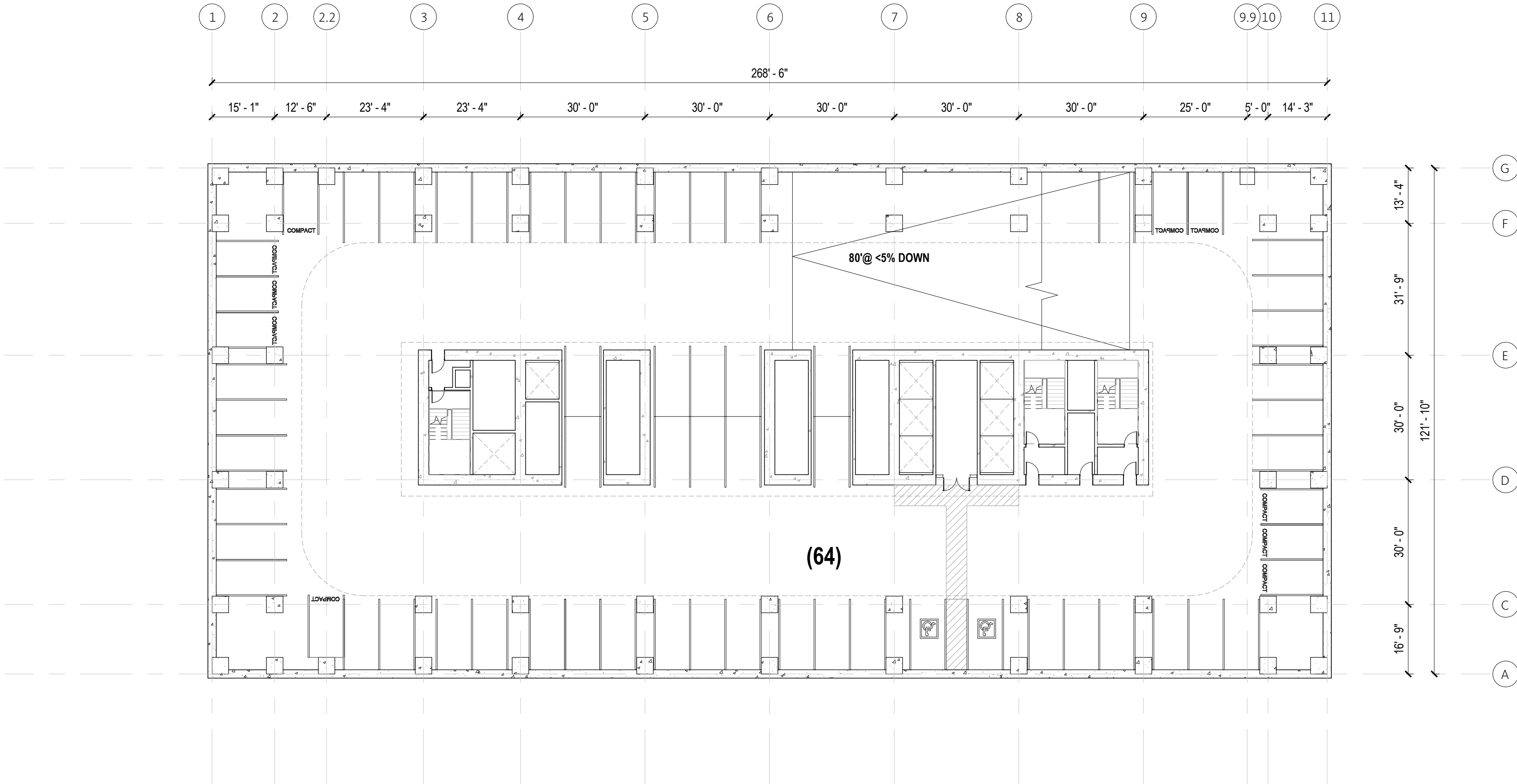
Description

PLANTING PLAN

Scale



2 Parking Layout Plan - BELOW GRADE LEVEL 02  
SCALE: 1" = 20'-0"



1 Parking Layout Plan -BELOW GRADE LEVEL 03  
SCALE: 1" = 20'-0"

Parking Count									
Level	USE	FLOOR AREA	FULL STALLS	ADA STALLS	ADA VAN STALLS	LEFE STALLS	ELEC STALLS	ELEC ADA	TOTAL PARKING COUNT
LEVEL 18 (P17)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 17 (P16)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 16 (P15)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 15 (P14)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 14 (P13)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 13 (P12)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 12 (P11)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 11 (P10)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 10 (P9)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 09 (P8)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 08 (P7)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 07 (P6)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 06 (P5)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 05 (P4)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 04 (P3)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 03 (P2)	AG PARKING	29,150 SF	43	0	2	4	6	0	55
LEVEL 02 (P1)	AG PARKING	28,012 SF	39	0	2	4	6	0	51
AG PARKING SUBTOTAL		494,414 SF	829	30	4	24	36	8	931
BELOW GRADE 03	BG PARKING	31,773 SF	58	2	0	0	0	0	60
BELOW GRADE 02	BG PARKING	31,773 SF	55	3	0	0	0	0	58
BELOW GRADE 01	BG PARKING	30,883 SF	42	0	2	5	7	2	58
BG PARKING SUBTOTAL		94,429 SF	155	5	2	5	7	2	176
TOTAL		588,842 SF	984	35	6	29	43	10	1107



**BENCHMARKS**

TBM #1- SQUARE CUT ON TOP OF CONCRETE CURB IN THE EAST MARGIN OF TRINITY STREET 42' SOUTHWEST FROM A 12" LIVE OAK WITH TREE TAG # 5007 IN THE EAST MARGIN OF TRINITY STREET. 427' NORTH FROM A 18" LIVE OAK WITH TREE TAG # 5006 IN THE EAST MARGIN OF TRINITY STREET. 102' NORTH FROM A 10" CEDAR ELM WITH TREE TAG # 5014 IN THE EAST MARGIN OF TRINITY STREET. ELEVATION = 469.47'

TBM #2- SQUARE CUT ON TOP OF CONCRETE CURB IN THE WEST MARGIN OF SAN JACINTO STREET 45' EAST FROM A STORM SEWER MANHOLE IN THE WEST MARGIN OF SAN JACINTO STREET. 456' WEST FROM A STORM SEWER MANHOLE IN THE EAST MARGIN OF SAN JACINTO STREET. 48' WEST FROM A 8" RED OAK WITH TREE TAG # 5012. ELEVATION = 470.58'

**SITE PLAN APPROVAL** SHEET \_\_\_\_ OF \_\_\_\_

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION \_\_\_\_ OF CHAPTER \_\_\_\_\_ OF THE CITY OF AUSTIN CODE.

EXPIRATION DATE (25-5-81.LDC) \_\_\_\_\_ CASE MANAGER \_\_\_\_\_

PROJECT EXPIRATION DATE (ORD.8970905-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DOZ \_\_\_\_\_

Director, Development Services Department \_\_\_\_\_

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

# Manifold

201 San Jacinto Blvd  
Austin, TX 78701

# Gensler

212 Lavaca Street  
Suite 390  
Austin, TX 78701  
United States

Tel 512.867.8100  
Fax 512.867.8101

Date	Description
------	-------------

Seal / Signature

NOT FOR CONSTRUCTION

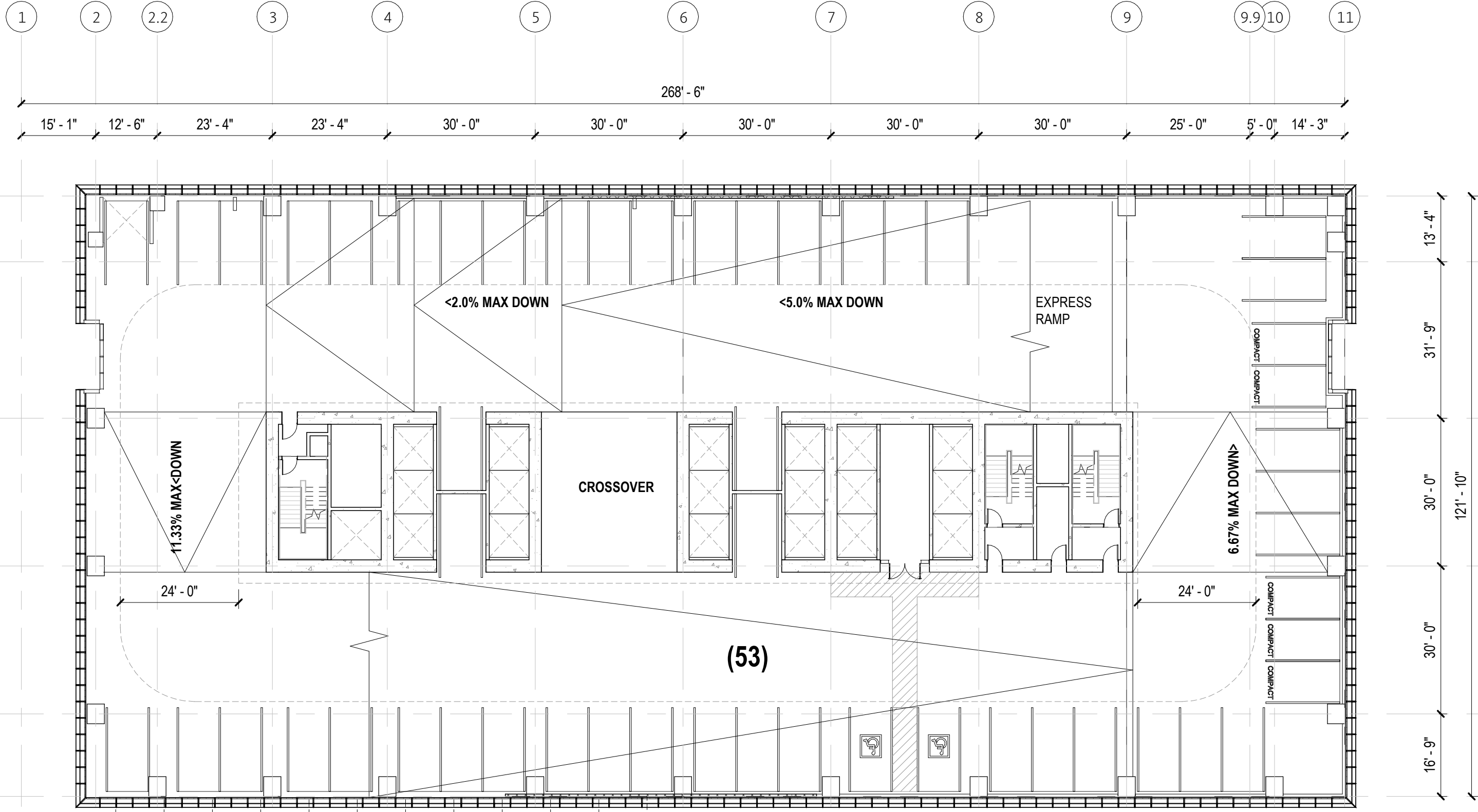
Project Name  
BLOCK 16

Project Number  
025.1558.000

Description  
PARKING LAYOUT - BELOW GRADE 02 & BELOW GRADE 03

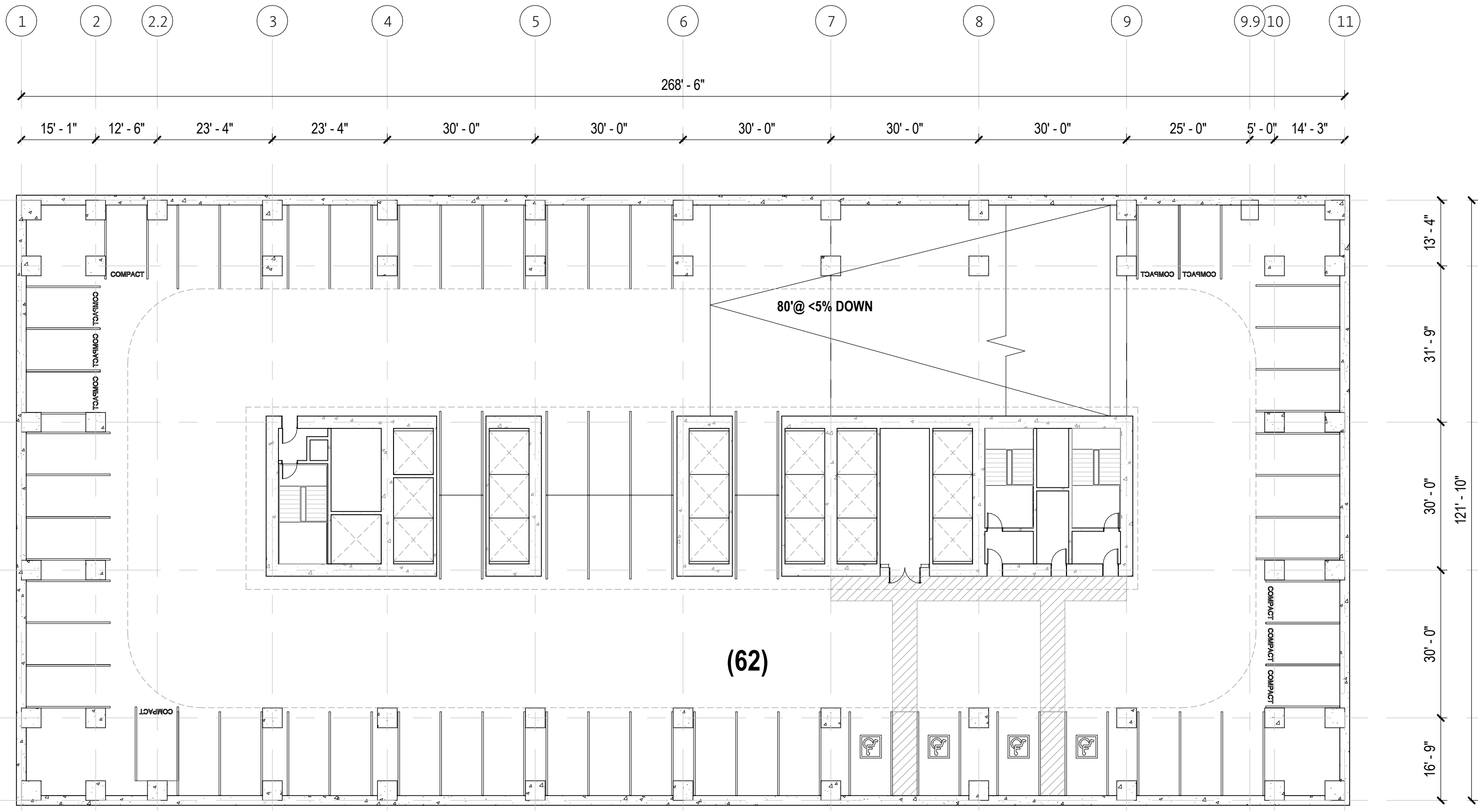
Scale  
1" = 20'-0"

37 OF 43  
CASE NUMBER: SP-2019-0426C



## 2 Parking Layout Plan - LEVEL 02 (P1)

SCALE: 1" = 20'-0"



## 1 Parking Layout Plan - BELOW GRADE LEVEL 01

SCALE: 1" = 20'-0"

Parking Count									
Level	USE	FLOOR AREA	FULL STALLS	ADA STALLS	ADA VAN STALLS	LEFE STALLS	ELEC STALLS	ELEC ADA	TOTAL PARKING COUNT
LEVEL 18 (P17)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 17 (P16)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 16 (P15)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 15 (P14)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 14 (P13)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 13 (P12)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 12 (P11)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 11 (P10)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 10 (P9)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 09 (P8)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 08 (P7)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 07 (P6)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 06 (P5)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 05 (P4)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 04 (P3)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 03 (P2)	AG PARKING	29,150 SF	43	0	2	4	6	0	55
LEVEL 02 (P1)	AG PARKING	28,012 SF	39	0	2	4	6	0	51
AG PARKING SUBTOTAL		494,414 SF	829	30	4	24	36	8	931
BELOW GRADE 03	BG PARKING	31,773 SF	58	2	0	0	0	0	60
BELOW GRADE 02	BG PARKING	31,773 SF	55	3	0	0	0	0	58
BELOW GRADE 01	BG PARKING	30,883 SF	42	0	2	5	7	2	58
BG PARKING SUBTOTAL		94,429 SF	155	5	2	5	7	2	176
TOTAL		588,842 SF	984	35	6	29	43	10	1107

## Manifold

201 San Jacinto Blvd  
Austin, TX 78701

## Gensler

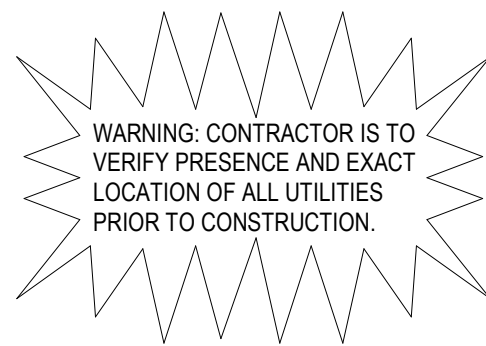
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Austin, TX 78701  
United States

Tel 512.867.8100  
Fax 512.867.8101

Date Description



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### BENCHMARKS

TBM #1: SQUARE CUT ON TOP OF CONCRETE CURB IN THE EAST MARGIN OF TRINITY STREET 42' SOUTHWEST FROM A 12" LIVE OAK WITH TREE TAG # 5007 IN THE EAST MARGIN OF TRINITY STREET, 427' NORTH FROM A 18" LIVE OAK WITH TREE TAG # 5006 IN THE EAST MARGIN OF TRINITY STREET, 1102' NORTH FROM A 10" CEDAR ELM WITH TREE TAG # 5014 IN THE EAST MARGIN OF TRINITY STREET. ELEVATION = 469.47.

TBM #2: SQUARE CUT ON TOP OF CONCRETE CURB IN THE WEST MARGIN OF SAN JACINTO STREET 45' EAST FROM A STORM SEWER MANHOLE IN THE WEST MARGIN OF SAN JACINTO STREET, 456' WEST FROM A STORM SEWER MANHOLE IN THE EAST MARGIN OF SAN JACINTO STREET, 489' WEST FROM A 8" RED OAK WITH TREE TAG # 5012. ELEVATION = 470.58.

SITE PLAN APPROVAL SHEET \_\_\_ OF \_\_\_  
FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION \_\_\_\_\_ OF \_\_\_\_\_  
CHAPTER \_\_\_\_\_ OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81.LDC) \_\_\_\_\_ CASE MANAGER \_\_\_\_\_  
PROJECT EXPIRATION DATE (ORD.897085-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DOZ \_\_\_\_\_

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_  
Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name

BLOCK 16

Project Number

025.1558.000

Description

PARKING LAYOUT - BELOW GRADE  
LEVEL 1 & LEVEL 02 (P1)

Scale

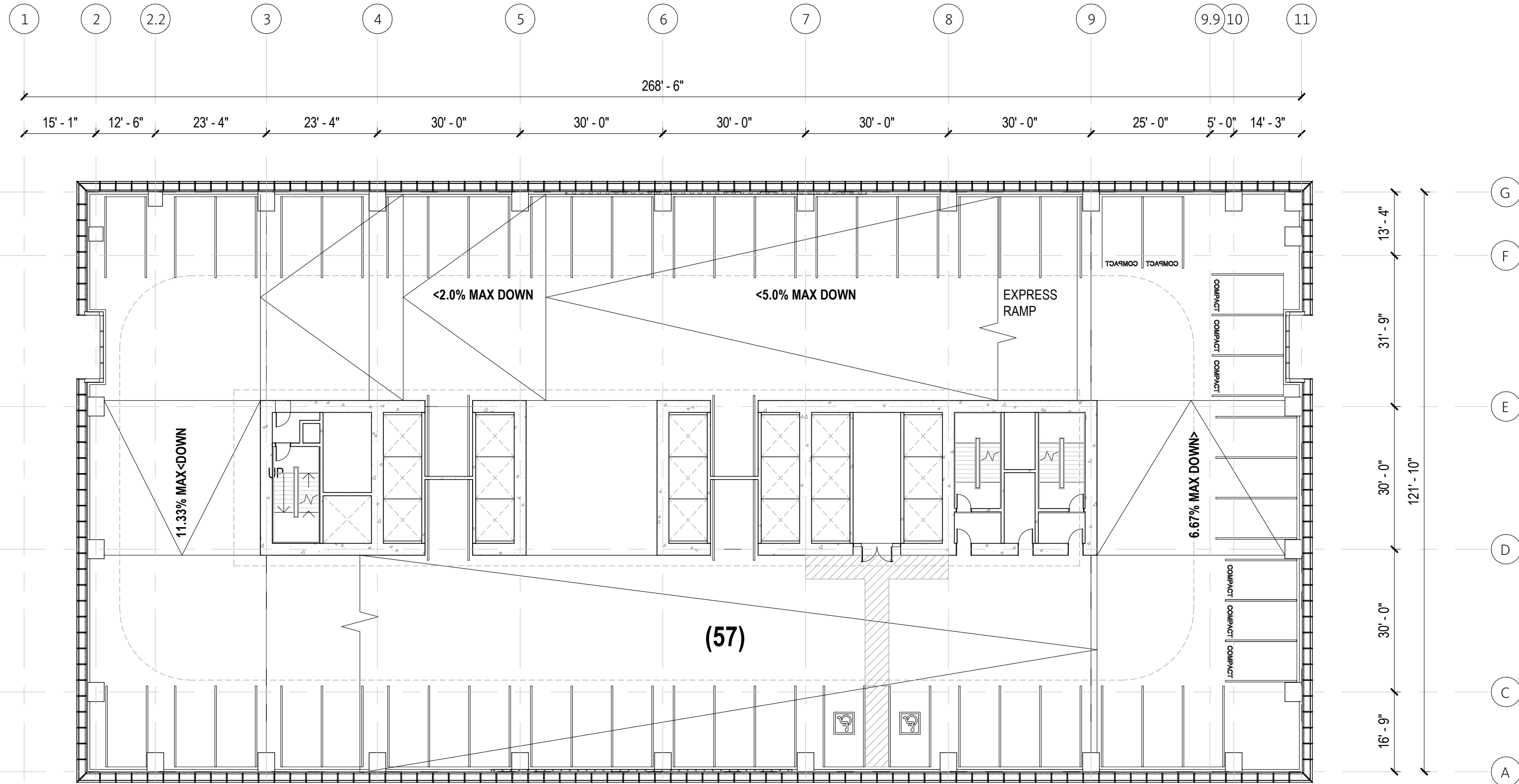
1" = 20'-0"

38 OF 43

CASE NUMBER: SP-2019-0426C



2 Parking Layout Plan - LEVELS 04 (P3) - LEVEL 07 (P6)  
SCALE: 1" = 20'-0"



1 Parking Layout Plan - LEVEL 03 (P2)  
SCALE: 1" = 20'-0"

Parking Count									
Level	USE	FLOOR AREA	FULL STALLS	ADA STALLS	ADA VAN STALLS	LEFE STALLS	ELEC STALLS	ELEC ADA	TOTAL PARKING COUNT
LEVEL 18 (P17)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 17 (P16)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 16 (P15)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 15 (P14)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 14 (P13)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 13 (P12)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 12 (P11)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 11 (P10)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 10 (P9)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 09 (P8)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 08 (P7)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 07 (P6)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 06 (P5)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 05 (P4)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 04 (P3)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 03 (P2)	AG PARKING	29,150 SF	43	0	2	4	6	0	55
LEVEL 02 (P1)	AG PARKING	28,012 SF	39	0	2	4	6	0	51
AG PARKING SUBTOTAL		494,414 SF	829	30	4	24	36	8	931
BELOW GRADE 03	BG PARKING	31,773 SF	58	2	0	0	0	0	60
BELOW GRADE 02	BG PARKING	31,773 SF	55	3	0	0	0	0	58
BELOW GRADE 01	BG PARKING	30,883 SF	42	0	2	5	7	2	58
BG PARKING SUBTOTAL		94,429 SF	155	5	2	5	7	2	176
TOTAL		588,842 SF	984	35	6	29	43	10	1107

## Manifold

201 San Jacinto Blvd  
Austin, TX 78701

## Gensler

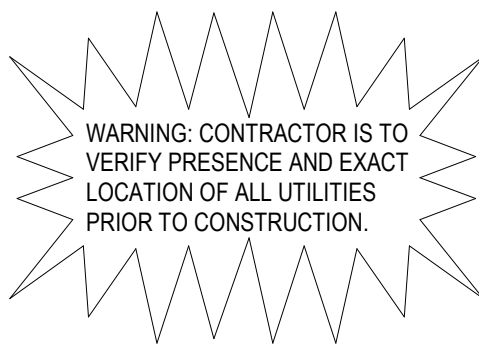
212 Lavaca Street  
Suite 390  
Austin, TX 78701  
United States

Tel 512.867.8100  
Fax 512.867.8101

Date Description



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#### BENCHMARKS

TBM #1- SQUARE CUT ON TOP OF CONCRETE CURB IN THE EAST MARGIN OF TRINITY STREET 42' SOUTHWEST FROM A 12" LIVE OAK WITH TREE TAG # 5007 IN THE EAST MARGIN OF TRINITY STREET, 427' NORTH FROM A 18" LIVE OAK WITH TREE TAG # 5006 IN THE EAST MARGIN OF TRINITY STREET, 4102' NORTH FROM A 10" CEDAR ELM WITH TREE TAG # 5014 IN THE EAST MARGIN OF TRINITY STREET. ELEVATION = 469.47.

TBM #2- SQUARE CUT ON TOP OF CONCRETE CURB IN THE WEST MARGIN OF SAN JACINTO STREET 45' EAST FROM A STORM SEWER MANHOLE IN THE WEST MARGIN OF SAN JACINTO STREET, 456' WEST FROM A STORM SEWER MANHOLE IN THE EAST MARGIN OF SAN JACINTO STREET, 449' WEST FROM A 8" RED OAK WITH TREE TAG # 5012. ELEVATION = 470.58.

SITE PLAN APPROVAL SHEET \_\_\_ OF \_\_\_  
FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION \_\_\_\_\_ OF \_\_\_\_\_  
CHAPTER \_\_\_\_\_ OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81.LDC) \_\_\_\_\_ CASE MANAGER \_\_\_\_\_  
PROJECT EXPIRATION DATE (ORD.8970905-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DOZ \_\_\_\_\_

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_  
Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name

BLOCK 16

Project Number

025.1558.000

Description

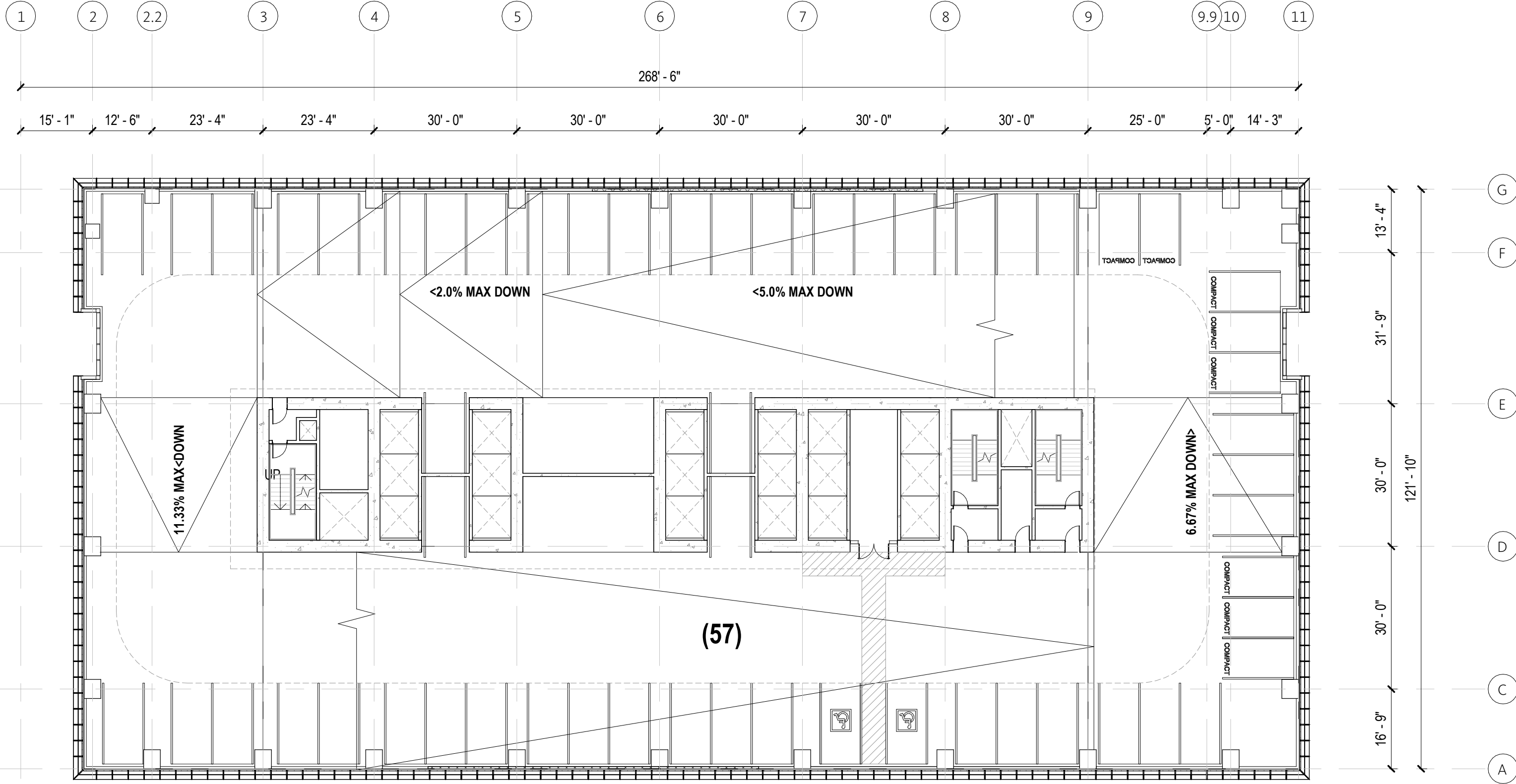
PARKING LAYOUT - LEVEL 03 (P2) &  
LEVELS 04 (P3) - 07 (P6)

Scale

1" = 20'-0"

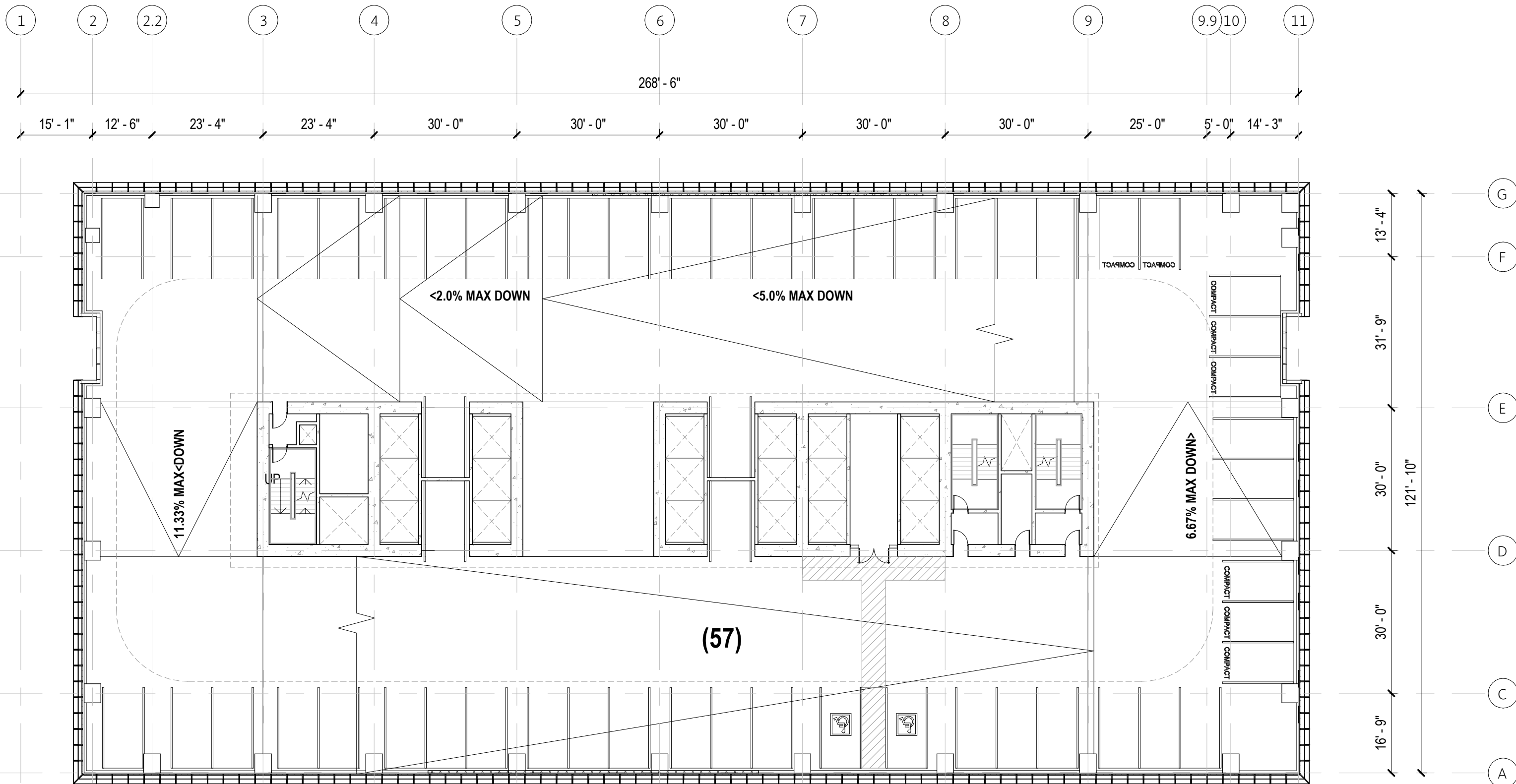
39 OF 43

CASE NUMBER: SP-2019-0426C



## 2 Parking Layout Plan - LEVEL 17 (P16)

SCALE: 1" = 20'-0"



## 1 Parking Layout Plan - LEVELS 08 (P7) - 16 (P15)

SCALE: 1" = 20'-0"

Parking Count									
Level	USE	FLOOR AREA	FULL STALLS	ADA STALLS	ADA VAN STALLS	LEFE STALLS	ELEC STALLS	ELEC ADA	TOTAL PARKING COUNT
LEVEL 18 (P17)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 17 (P16)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 16 (P15)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 15 (P14)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 14 (P13)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 13 (P12)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 12 (P11)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 11 (P10)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 10 (P9)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 09 (P8)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 08 (P7)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 07 (P6)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 06 (P5)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 05 (P4)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 04 (P3)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 03 (P2)	AG PARKING	29,150 SF	43	0	2	4	6	0	55
LEVEL 02 (P1)	AG PARKING	28,012 SF	39	0	2	4	6	0	51
AG PARKING SUBTOTAL		494,414 SF	829	30	4	24	36	8	931
BELOW GRADE 03	BG PARKING	31,773 SF	58	2	0	0	0	0	60
BELOW GRADE 02	BG PARKING	31,773 SF	55	3	0	0	0	0	58
BELOW GRADE 01	BG PARKING	30,883 SF	42	0	2	5	7	2	58
BG PARKING SUBTOTAL		94,429 SF	155	5	2	5	7	2	176
TOTAL		588,842 SF	984	35	6	29	43	10	1107

## Manifold

201 San Jacinto Blvd  
Austin, TX 78701

## Gensler

212 Lavaca Street  
Suite 390  
Austin, TX 78701  
United States

Tel 512.867.8100  
Fax 512.867.8101

Date Description



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Call before you dig

WARNING: CONTRACTOR IS TO  
VERIFY PRESENCE AND EXACT  
LOCATION OF ALL UTILITIES  
PRIOR TO CONSTRUCTION.

### BENCHMARKS

TBM #1- SQUARE CUT ON TOP OF CONCRETE CURB IN THE EAST MARGIN OF TRINITY STREET 42' SOUTHWEST FROM A 12" LIVE OAK WITH TREE TAG # 5007 IN THE EAST MARGIN OF TRINITY STREET, 427' NORTH FROM A 18" LIVE OAK WITH TREE TAG # 5006 IN THE EAST MARGIN OF TRINITY STREET, 4102' NORTH FROM A 10" CEDAR ELM WITH TREE TAG # 5014 IN THE EAST MARGIN OF TRINITY STREET.  
ELEVATION = 469.47'

TBM #2- SQUARE CUT ON TOP OF CONCRETE CURB IN THE WEST MARGIN OF SAN JACINTO STREET 45' EAST FROM A STORM SEWER MANHOLE IN THE WEST MARGIN OF SAN JACINTO STREET, 456' WEST FROM A STORM SEWER MANHOLE IN THE EAST MARGIN OF SAN JACINTO STREET, 449' WEST FROM A 8" RED OAK WITH TREE TAG # 5012.  
ELEVATION = 470.58'

SITE PLAN APPROVAL SHEET \_\_\_ OF \_\_\_  
FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION \_\_\_\_\_ OF  
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PROJECT EXPIRATION DATE (ORD.89/7985-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DOZ \_\_\_\_\_

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_  
Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name

BLOCK 16

Project Number

025.1558.000

Description

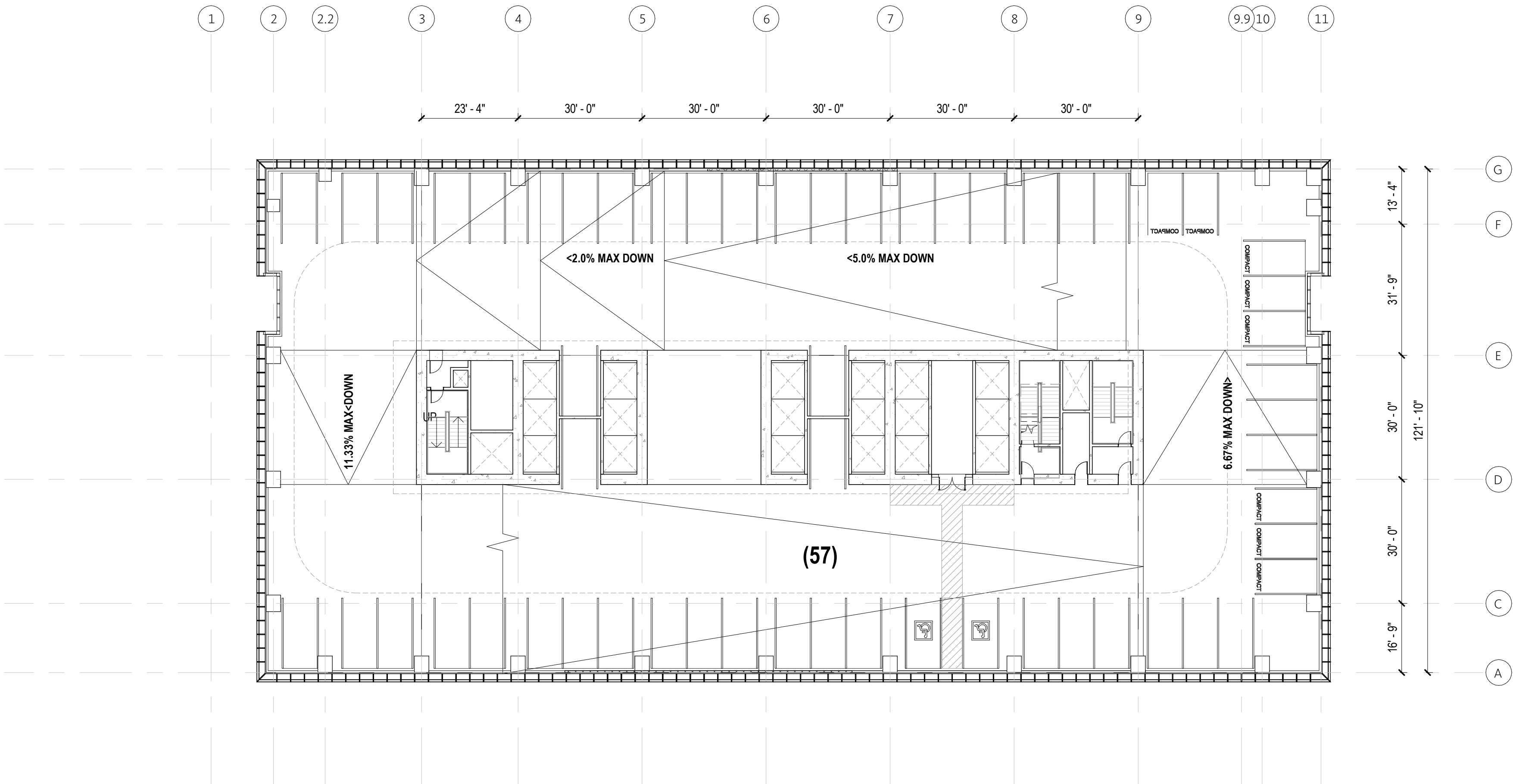
PARKING LAYOUT - LEVELS 08 (P7) -  
16 (P15) & LEVEL 17 (P16)

Scale

1" = 20'-0"

40 OF 43

CASE NUMBER: SP-2019-0426C



1 Parking Layout Plan - LEVEL 18 (P17)  
SCALE: 1" = 20'-0"

Parking Count									
Level	USE	FLOOR AREA	FULL STALLS	ADA STALLS	ADA VAN STALLS	LEFE STALLS	ELEC STALLS	ELEC ADA	TOTAL PARKING COUNT
LEVEL 18 (P17)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 17 (P16)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 16 (P15)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 15 (P14)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 14 (P13)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 13 (P12)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 12 (P11)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 11 (P10)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 10 (P9)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 09 (P8)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 08 (P7)	AG PARKING	29,150 SF	53	2	0	0	0	0	55
LEVEL 07 (P6)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 06 (P5)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 05 (P4)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 04 (P3)	AG PARKING	29,150 SF	41	2	0	4	6	2	55
LEVEL 03 (P2)	AG PARKING	29,150 SF	43	0	2	4	6	0	55
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BELOW GRADE 02	BG PARKING	31,773 SF	55	3	0	0	0	0	58
BELOW GRADE 01	BG PARKING	30,883 SF	42	0	2	5	7	2	58
BG PARKING SUBTOTAL		94,429 SF	155	5	2	5	7	2	176
TOTAL		588,842 SF	984	35	6	29	43	10	1107



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LOCATION OF ALL UTILITIES  
PRIOR TO CONSTRUCTION.

BENCHMARKS

TBM #1- SQUARE CUT ON TOP OF CONCRETE CURB IN THE EAST MARGIN OF TRINITY STREET 45' SOUTHWEST FROM A 12" LIVE OAK WITH TREE TAG # 6007 IN THE EAST MARGIN OF TRINITY STREET. 427' NORTH FROM A 18" LIVE OAK WITH TREE TAG # 6006 IN THE EAST MARGIN OF TRINITY STREET. 102' NORTH FROM A 10" CEDAR ELM WITH TREE TAG # 6014 IN THE EAST MARGIN OF TRINITY STREET. ELEVATION = 469.47'

TBM #2- SQUARE CUT ON TOP OF CONCRETE CURB IN THE WEST MARGIN OF SAN JACINTO STREET 45' EAST FROM A STORM SEWER MANHOLE IN THE WEST MARGIN OF SAN JACINTO STREET. 456' WEST FROM A STORM SEWER MANHOLE IN THE EAST MARGIN OF SAN JACINTO STREET. 469' WEST FROM A 8" RED OAK WITH TREE TAG # 6012. ELEVATION = 470.58'

SITE PLAN APPROVAL SHEET \_\_\_\_ OF \_\_\_\_  
FILE NUMBER \_\_\_\_ APPLICATION DATE \_\_\_\_  
APPROVED BY COMMISSION ON \_\_\_\_ UNDER SECTION \_\_\_\_ OF \_\_\_\_  
CHAPTER \_\_\_\_ OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81.LDC) \_\_\_\_ CASE MANAGER \_\_\_\_  
PROJECT EXPIRATION DATE (ORD.89/7985-A) \_\_\_\_ DWPZ \_\_\_\_ DOZ \_\_\_\_

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_ ZONING \_\_\_\_  
Rev. 1 \_\_\_\_ Correction 1 \_\_\_\_  
Rev. 2 \_\_\_\_ Correction 2 \_\_\_\_  
Rev. 3 \_\_\_\_ Correction 3 \_\_\_\_

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Manifold

201 San Jacinto Blvd  
Austin, TX 78701

Gensler

212 Lavaca Street  
Suite 390  
Austin, TX 78701  
United States

Tel 512.867.8100  
Fax 512.867.8101

△	Date	Description
---	------	-------------

Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name

BLOCK 16

Project Number

025.1558.000

Description

PARKING LAYOUT - LEVEL 18 (P17)

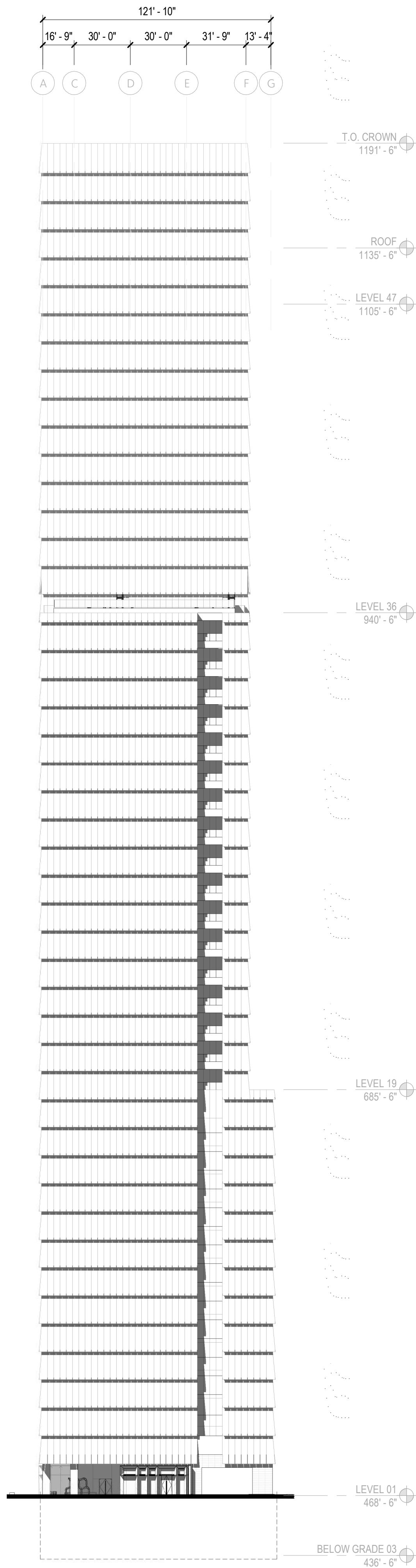
Scale

1" = 20'-0"

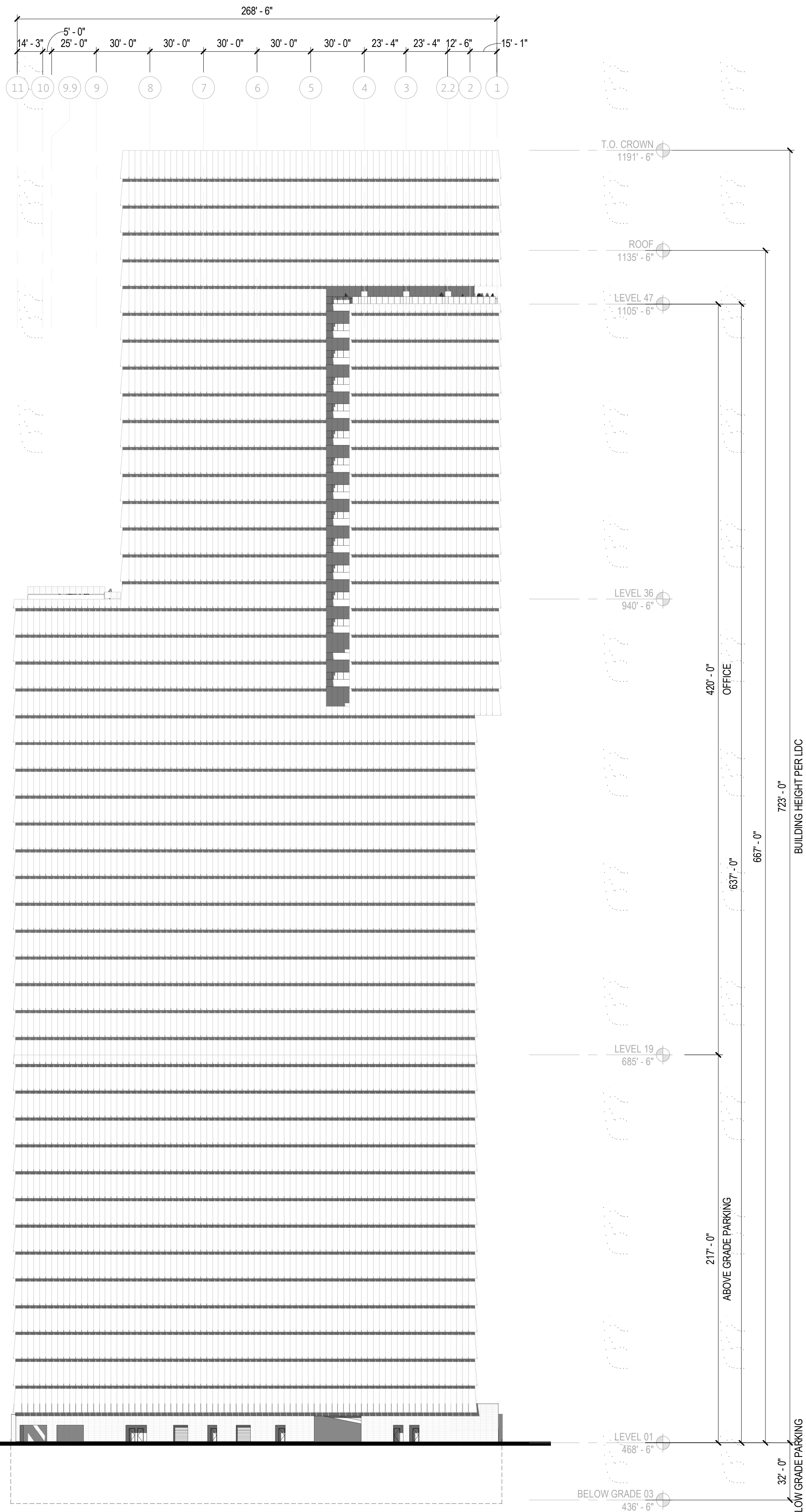
41 OF 43

CASE NUMBER: SP-2019-0426C

8/12/2020 3:35:54 PM BM 360/025-1558.000 - Block 16 Office Tower Concept Design\BLOCK 16 - ARCH\_R19.rvt



2 SDP - EAST ELEVATION / TRINITY ST  
SCALE: 1" = 40'-0"



1 SDP - NORTH ELEVATION / ALLEY R.O.W.  
SCALE: 1" = 40'-0"

COMPLIANCE WITH BUILDING DESIGN STANDARDS,  
ARTICLE 3 OF SUBCHAPTER E, IS REQUIRED, AND IS  
TO BE REVIEWED FOR COMPLIANCE DURING BUILDING  
CODE REVIEW.



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TBM #2- SQUARE CUT ON TOP OF CONCRETE CURB IN THE WEST MARGIN OF SAN JACINTO STREET 42' EAST FROM A STORM SEWER MANHOLE IN THE WEST MARGIN OF SAN JACINTO STREET, 450' WEST FROM A STORM SEWER MANHOLE IN THE EAST MARGIN OF SAN JACINTO STREET, 449' WEST FROM A 6" RED OAK WITH TREE TAG # 5012. ELEVATION = 470.58'

SITE PLAN APPROVAL SHEET \_\_\_ OF \_\_\_  
FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION \_\_\_\_\_ OF  
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EXPIRATION DATE (25-5-81 LDC) \_\_\_\_\_ CASE MANAGER \_\_\_\_\_  
PROJECT EXPIRATION DATE (ORD 897985-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DOZ \_\_\_\_\_

Director, Development Services Department \_\_\_\_\_  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_  
Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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Manifold

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Austin, TX 78701

Gensler

212 Lavaca Street  
Suite 390  
Austin, TX 78701  
United States

Tel 512.867.8100  
Fax 512.867.8101

Date	Description
------	-------------

Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name

BLOCK 16

Project Number

025.1558.000

Description

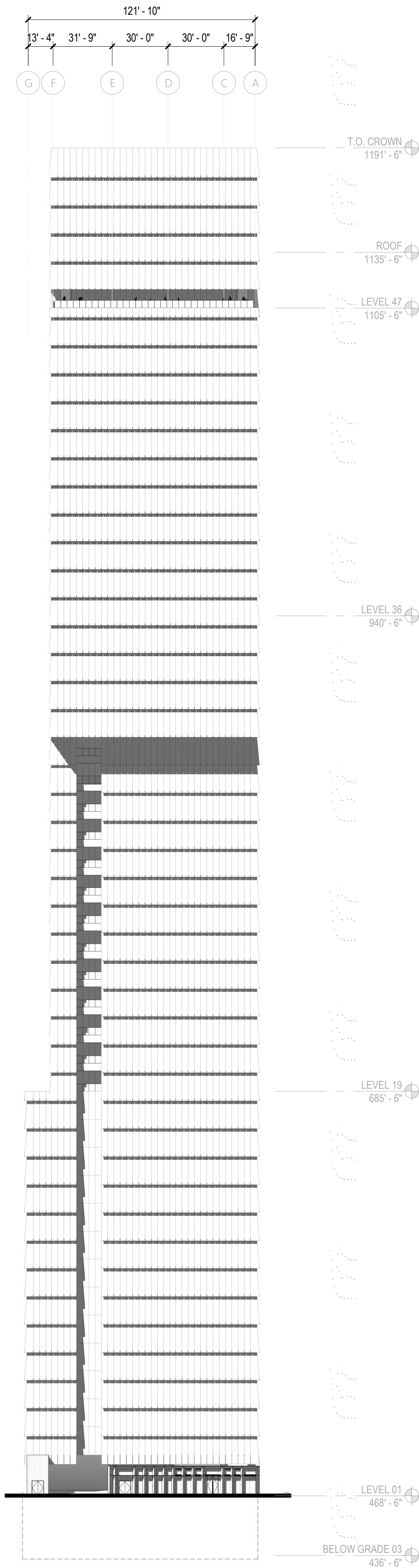
ELEVATIONS - NORTH & EAST

Scale

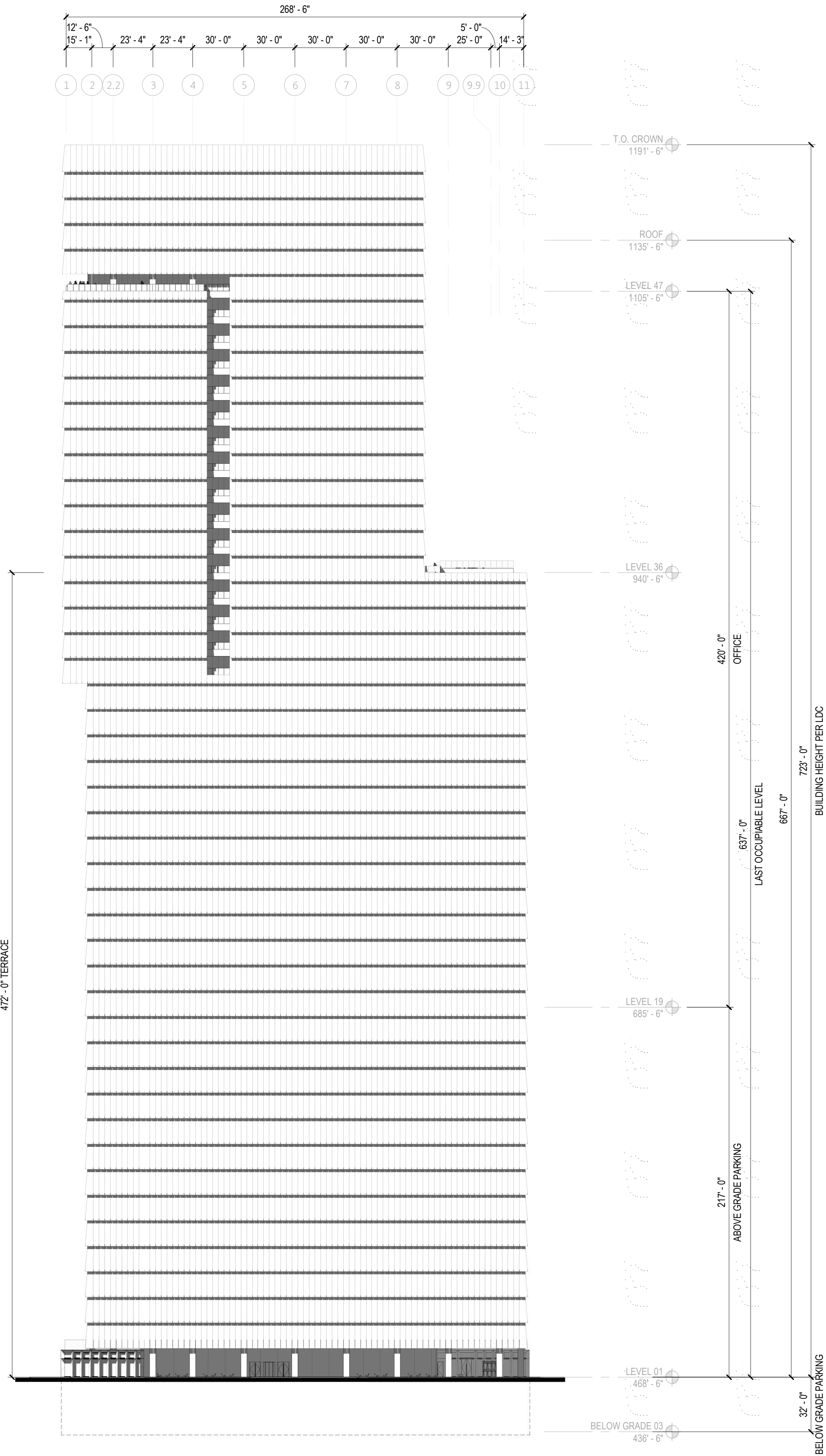
1" = 40'-0"

42 OF 43

CASE NUMBER: SP-2019-0426C



2 SDP - WEST ELEVATION / SAN JACINTO BLVD  
SCALE: 1" = 40'-0"



1 SDP - SOUTH ELEVATION / EAST 2ND ST  
SCALE: 1" = 40'-0"

COMPLIANCE WITH BUILDING DESIGN STANDARDS,  
ARTICLE 3 OF SUBCHAPTER E, IS REQUIRED, AND IS  
TO BE REVIEWED FOR COMPLIANCE DURING BUILDING  
CODE REVIEW.



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#### BENCHMARKS

TBM #1: SQUARE CUT ON TOP OF CONCRETE CURB IN THE EAST MARGIN OF TRINITY STREET 42' SOUTHWEST FROM A 12" LIVE OAK WITH TREE TAG # 5007 IN THE EAST MARGIN OF TRINITY STREET, 427' NORTH FROM A 18" LIVE OAK WITH TREE TAG # 5006 IN THE EAST MARGIN OF TRINITY STREET, 1102' NORTH FROM A 10" CEDAR ELM WITH TREE TAG # 5014 IN THE EAST MARGIN OF TRINITY STREET.  
ELEVATION = 469.47'

TBM #2: SQUARE CUT ON TOP OF CONCRETE CURB IN THE WEST MARGIN OF SAN JACINTO STREET 42' EAST FROM A STORM SEWER MANHOLE IN THE WEST MARGIN OF SAN JACINTO STREET, 450' WEST FROM A STORM SEWER MANHOLE IN THE EAST MARGIN OF SAN JACINTO STREET, 449' WEST FROM A 8" RED OAK WITH TREE TAG # 5012.  
ELEVATION = 470.58'

#### SITE PLAN APPROVAL

SHEET \_\_\_\_ OF \_\_\_\_  
FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION \_\_\_\_ OF  
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Director, Development Services Department  
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Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

## Manifold

201 San Jacinto Blvd  
Austin, TX 78701

## Gensler

212 Lavaca Street  
Suite 390  
Austin, TX 78701  
United States

Tel 512.867.8100  
Fax 512.867.8101

Date Description

Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name

BLOCK 16

Project Number

025.1558.000

Description

ELEVATIONS - SOUTH & WEST

Scale

1" = 40'-0"

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CASE NUMBER: SP-2019-0426C