

# ZONING CHANGE REVIEW SHEET

**CASE NUMBER:** C14H-2020-0069

**HLC DATE:**

July 27, 2020

**PC DATE:**

August 11, 2020

**APPLICANTS:** Rogers-Washington-Holy Cross Historic District Application

**HISTORIC NAME:** Rogers Washington Holy Cross Historic District

**WATERSHED:** Boggy Creek

**ADDRESS OF PROPOSED ZONING CHANGE:** Roughly bounded by E. 21<sup>st</sup> Street on the north, Cedar Avenue on the east, E. Martin Luther King Jr. Boulevard on the south, and Chestnut Avenue (to E. 20<sup>th</sup> Street) on the west. See map for additional details.

**ZONING:** All base zoning within the proposed historic district will have the HD (Historic Area Combining District) overlay added. No changes to base zoning are proposed by this application.

**SUMMARY STAFF RECOMMENDATION:** Staff recommends the proposed zoning change to create the Rogers Washington Holy Cross Historic District, with the revised boundaries (8/8/2020).

**QUALIFICATIONS FOR HISTORIC DISTRICT DESIGNATION:** The Rogers Washington Holy Cross Historic District application meets all Code requirements for the formation of a historic district.

**HISTORIC LANDMARK COMMISSION ACTION:** Recommend granting historic area (HD) combining district overlay to existing base zoning for all parcels within the proposed historic district, including 1905 Chestnut Avenue as a contributing resource. Motion: Myers, Heimsath seconding. Vote: 10-0, Reed absent.

**PLANNING COMMISSION ACTION:** Recommend granting historic area (HD) combining district overlay to existing base zoning for all parcels within the proposed historic district (boundaries revised 8/8/2020). Motion: Anderson, Howard seconding. Vote: 10-0, Llanes Pulido off the dais, Sheih and Flores absent.

**DEPARTMENT COMMENTS:** The proposed Rogers Washington Holy Cross Historic District is a largely intact postwar neighborhood that demonstrates the determination and success of the African American community in Austin. The neighborhood was developed by Black professionals for Black professionals. This was a major milestone at a time when many white Austinites with similar socioeconomic and community standing were buying suburban homes and moving out of the city. Racially restrictive covenants, redlining, prejudiced lenders, and other social and governmental barriers prevented African Americans from making the same move. Rogers Washington Holy Cross was a powerful symbolic response, and established a tight-knit neighborhood of movers and shakers in the Black community, Austin, and beyond.

Early residents included Huston-Tillotson Chancellor John Q. Taylor King; Carnegie H. Mims, Jr., the first Ombudsman at the University of Texas; T. C. Calhoun, longtime principal of Kealing Junior High School; and numerous other educational leaders, including Willie Mae Kirk, Carnegie Harvard Mims, Sr., and Ira Poole. The Kirk family lived on Maple Avenue; Ms. Kirk's husband Lee Sr. was the first African American postal worker and certified pilot in Austin, and her son Ron served as Dallas's first African American Mayor and an Obama

cabinet member. Jimmy Snell was a City Council member who served as the first Black Mayor Pro Tem. Norman Scales was a member of the famed Tuskegee Airmen. Prominent business owners, some of the earliest graduates from UT following desegregation, and even more leaders also called the neighborhood home.

John Chase, the first African American graduate of UT's School of Architecture and the first licensed African American architect in Texas, designed at least two houses in the neighborhood, attesting to residents' prominent standing and creating a rich architectural legacy. Nash Phillips, a well-known and prolific Austin builder, constructed houses along Maple, Givens, and Werner avenues.

The prevailing architectural style within the district is Ranch; other styles include Minimal Traditional, Split Level, and Contemporary/Mid-Century Modern.

The City held a community workshop to discuss the draft design standards for the district, and the proposed standards reflect the comments and concerns raised at the workshops and through outreach efforts from the applicant. The applicant conducted additional outreach through door-to-door outreach and neighborhood meetings.

**CITY COUNCIL DATE:** September 3, 2020

**ACTION:**

**ORDINANCE READINGS:** 1<sup>ST</sup> 2<sup>ND</sup> 3<sup>RD</sup>

**ORDINANCE NUMBER:**

**CASE MANAGER:** Cara Bertron

**PHONE:** (512) 974-1446

**NEIGHBORHOOD ORGANIZATIONS:**

Anberly Airport Association  
Austin Independent School District  
Austin Lost and Found Pets  
Austin Neighborhoods Council  
Bike Austin  
Del Valle Community Coalition  
East Austin Conservancy  
Friends of Austin Neighborhoods  
Homeless Neighborhood Association

Neighborhood Empowerment Foundation  
Neighbors United for Progress  
Preservation Austin  
Rogers Washington Holy Cross  
SELTexas  
Sierra Club, Austin Regional Group  
Upper Boggy Creek Neighborhood  
Planning Team

**BASIS FOR RECOMMENDATION:**

The Code requires that at least 51% of the structures within a proposed district contribute to its historic character; and that at least 51% of the property owners or the owners of 51% of the land within the district must support its creation. The proposed historic district contains 55 resources, of which 46 (84%) are contributing. The application to create the historic district has the demonstrated support of the owners of 55% of the land area within the district and 52% of the number of property owners. The district's design standards (preservation plan) have been reviewed and approved by the City Law Department and Austin Energy.

**PARCEL NO.:** See attached appendix.

**LEGAL DESCRIPTION:** See attached appendix.

**ESTIMATED ANNUAL TAX ABATEMENT:** N/A. The owners of eligible properties within the district may apply for an abatement of the taxes on the added value of the property after completing qualified rehabilitation or restoration projects approved by the Historic Landmark Commission.

**APPRAISED VALUE:** N/A

**PRESENT USE:** The proposed historic district is entirely residential.

**CONDITION:** N/A

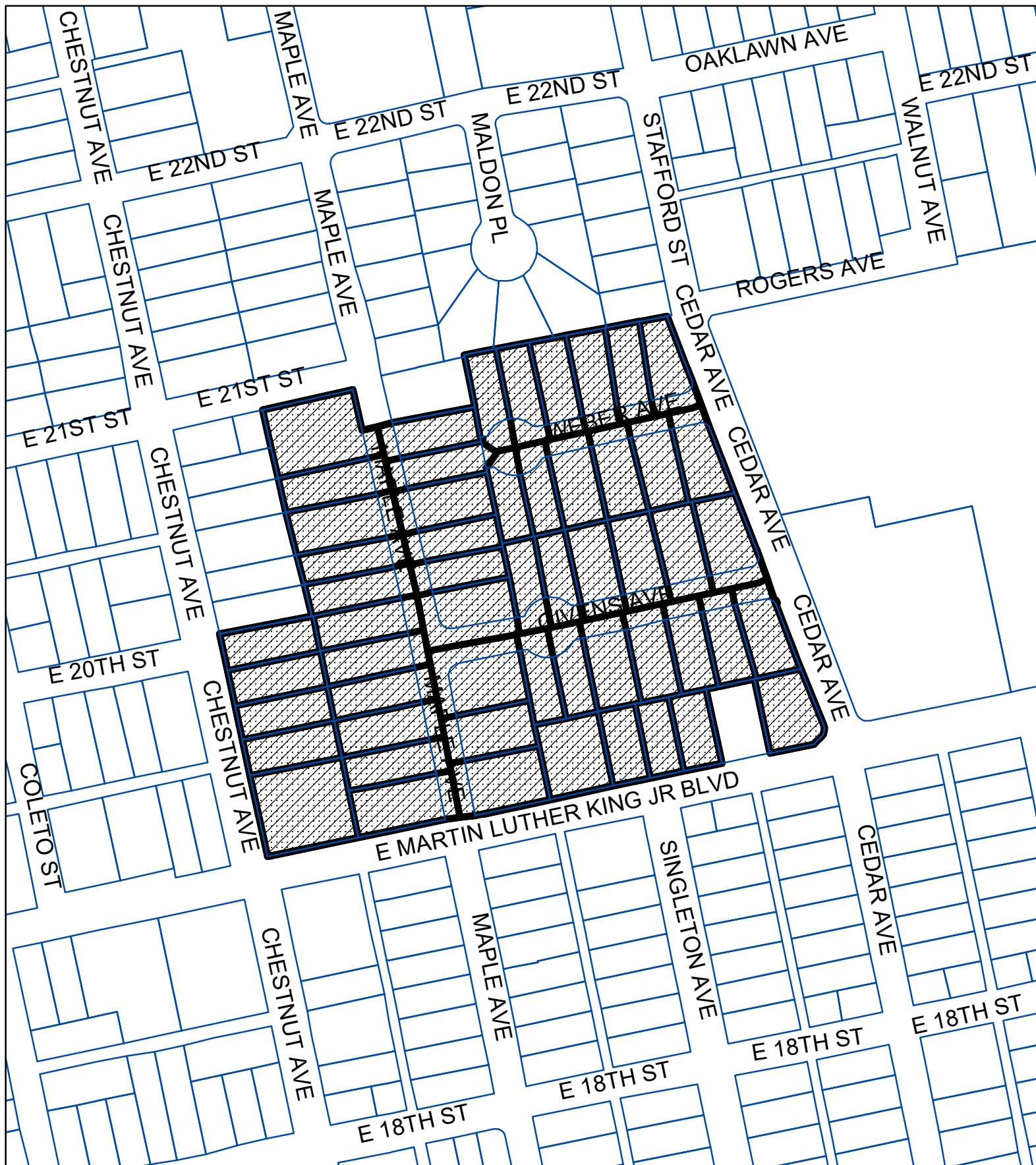
**PRESENT OWNERS:** See attached appendix.

**DATE BUILT:** The period of significance for the proposed Rogers Washington Holy Cross Historic District begins in 1953, with the construction of the earliest homes, and ends in 1970, at the fifty-year threshold typically used to evaluate historic properties.

**ALTERATIONS/ADDITIONS:** See Design Standards, attached.

**ORIGINAL OWNER(S):** Multiple

**OTHER HISTORICAL DESIGNATIONS:** There are no City of Austin historic landmarks in the proposed historic district.



N



BUFFER

PROPERTY\_OWNER

SUBJECT\_TRACT

## PETITION

Case#: C14H-2020-0069

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



1" = 200'



TYPICAL VIEWS OF THE PROPOSED DISTRICT:









## MEMORANDUM

**TO:** Mayor and City Council

**FROM:** Cara Bertron, Deputy Historic Preservation Officer  
Planning and Zoning Department

**DATE:** August 20, 2020

**SUBJECT:** Rogers Washington Holy Cross Historic District  
C14H-2020-0069  
District 3

The Applicant has submitted revised design standards for the proposed Rogers Washington Holy Cross Historic District, which are included in your backup. Staff has determined that the revisions do not substantially impact the design standards, and supports the revised standards. Changes consist of:

- Including the complete name of the neighborhood (Rogers Washington Holy Cross)
- Removing language around deck construction methodology
- Allowing historic-age or compatible metal screen doors
- Allowing security bars (though not recommended)
- Other minor clarifying changes (e.g., using “principal building” rather than “house”)

If you have any questions about this item, please contact me at [cara.bertron@austintexas.gov](mailto:cara.bertron@austintexas.gov) or (512) 974-1446.

Rogers Washington Holy Cross Historic District  
Preservation Plan &  
Narrative History

## **Rogers Washington Holy Cross Preservation Plan Overview**

### ***About the historic district***

The Rogers Washington Holy Cross Historic District is one of the most intact concentrations of post-World War II housing for African Americans in Austin. As an early neighborhood developed by black professionals for black professionals, its development pattern is strongly tied to its cultural significance as a professional, middle-class, suburban neighborhood. Neighborhood residents positively impacted science, architecture, local and national government, education, the U.S. Army and U.S. Air Force, and more. Architecturally, the houses represent post-war stylistic trends, including ranch, minimal traditional, contemporary and split-level styles. John Chase, the first African American to graduate from the University of Texas School of Architecture, designed houses in the district. Nash Phillips, a well-known builder, is also associated with the district.

Historic district (HD) designation is intended to protect and enhance existing historic resources. By establishing Rogers Washington Holy Cross Historic District zoning, the City of Austin provides a mechanism to ensure that architectural changes within the district are compatible with its historic character. Some of the homes within the district may not have sufficient historical or architectural significance to be designated as individual historic landmarks, but they have significance as part of the neighborhood fabric and context.

Rogers Washington Holy Cross has retained its original appearance and landscape patterns and conveys a distinct and accurate sense of its own history. As noted in the East Austin Historic Resource Survey, the district is significant for its relevance to important historic development and architectural trends in Austin, including post-World War II development patterns and its associations with Nash Phillips and John Chase, both known for their impact on Austin's growth and development.

In sum, Rogers Washington Holy Cross meets several of the criteria for local designation, including architecture, historical associations, and community value. The neighborhood is overwhelmingly comprised of historic-age resources that retain architectural integrity (47 of 57 resources), and it has an exceptional ratio of contributing to noncontributing properties with 82% contributing and 18% non-contributing.

The Rogers Washington Holy Cross Historic District represents the history and significance of an underrepresented population and under-told story of the history of Austin.

### ***Purpose of the preservation plan***

The City of Austin benefits from having neighborhoods and buildings that represent its diverse history and with unique architectural styles. The Rogers Washington Holy Cross Historic District was identified by the East Austin Historic Resource Survey for its innate historical and architectural value. Historic district designation will ensure that the historical and architectural significance of this neighborhood will be understood and valued by future generations. The designation will protect and preserve the existing form, integrity, and materials of historic properties and will preserve this significant neighborhood.

The Design Standards recognize that change is inevitable. They are written to acknowledge and maintain the integrity of the structures and comply with the Secretary of the Interior's Standards for Rehabilitation. Consequently, the Rogers Washington Holy Cross Preservation Plan and Design Standards address rehabilitation, additions, and new construction.

Designation of the Rogers Washington Holy Cross Place Historic District does not require property owners to make changes to their properties, such as returning buildings to their historic appearance. Additionally, the review of construction projects within the district that results from district designation is limited to those

projects that affect the exterior of the building and its site; interior remodeling projects do not require review and approval.

***Goals of the preservation plan***

- Preserve the historic fabric of the Rogers Washington Holy Cross Historic District.
- Prevent the demolition of contributing buildings in the neighborhood.
- Encourage the rehabilitation, maintenance, and retention of historic structures.
- Ensure that alterations to existing buildings are compatible with the historic character of the structure and the district.
- Assist property owners and designers in developing plans for historic properties and encourage the compatibility of new structures with the existing historic fabric of the district.
- Encourage sustainable design and building practices in the neighborhood.
- Ensure that new construction in the district meets the design standards.

This document is a tool for the following parties:

- Property owners, tenants, contractors, design professionals, realtors or anyone else planning a change to the exterior or site of a building or new construction within the district.
- Historic Preservation Office staff and the Historic Landmark Commission, in their evaluation of whether to grant a Certificate of Appropriateness for any project covered by these Standards.

## Rogers Washington Holy Cross Historic District

### GEOGRAPHIC DESCRIPTION

**Geographical Description/Boundaries:** East side of Chestnut Ave from E 20<sup>th</sup> Street to E Martin Luther King Jr Boulevard, both sides of Maple Avenue from E 21<sup>st</sup> Street to E Martin Luther King Jr Boulevard, both sides of Givens Avenue, both sides of Weber Avenue, north side of E Martin Luther King Jr Boulevard between Chestnut and Cedar

**Acreage:** 12.665 acres

**Topography:** Sloping gradually toward Boggy Creek to the southeast

**Natural Features:** N/A

**Subdivisions Included:** Sunrise Addition, Holy Cross Heights, Holy Cross Heights Re-subdivision, Washington Subdivision, various re-subdivisions (see map)

### PROPERTIES WITHIN THE DISTRICT

**Total Properties:** 57

**Contributing/Noncontributing:** 82% contributing (47 resources), 18% noncontributing (10 resources)

### OVERALL DISTRICT DEVELOPMENT PATTERNS

**Dates of subdivisions:** 1932 (Sunrise Addition), 1956 (Holy Cross Heights), 1958 (Holy Cross Heights Re-subdivision), 1959 (Washington Subdivision)

**Circulation Patterns:** Combination of grid and cul de sac patterns

**Open Spaces:** No public open spaces within district boundaries, but open front yards and typically fenced back yards

### PRINCIPAL ARCHITECTURAL STYLES AND PERIODS OF CONSTRUCTIONS

**Period(s) of Construction:** Earliest constructed 1952. Construction period ended 1972.

**Property Types (Use):** 3% vacant, 95% residential

**Property Subtypes (Form):** Ranch

**Common Styles:** Ranch, Minimal Traditional, Split Level and Contemporary

### OVERALL DISTRICT INTEGRITY

**Common Alterations:** Doors replaced, windows replaced, exterior wall materials replaced

**Non-historic-age Infill:** A few new houses were constructed in 2015-2016 on Givens Avenue and E Martin Luther King Jr Boulevard

### HISTORIC ASSOCIATIONS

**Themes within the Context of East Austin:**

Post-World War II Development Patterns (Section 7.1.2), Desegregation, Private Sector (Section 7.4.3). The Holy Cross Heights Subdivision has a significant association with the introduction of the postwar curvilinear suburb neighborhood typology into East Austin, and because of the typically modest Ranch stylistic influences displayed by the collection of houses.

**Significant Historic Events:** Unknown

**Social, Racial, or Ethnic:** African American

**Known Architects and/or Builders:** Nash Phillips, John S. Chase

### PERIOD OF SIGNIFICANCE

**Period of Significance:** 1953-1970



[illegible]

6



THE STATE OF TEXAS ) Know All Men By These Presents:  
County of Travis ) Travis C. Givens, a T. C. Hermanns of  
Austin, sole owner of the above described property, out  
of the certain facts of said fact of title, out  
of Government Outlets in the City of Austin, Travis County, Texas, conveyed  
to us by deed of record in Volume 725 pages 381-383 and Volume 1205  
page 324 of the Deed Records of Travis County, Texas, do hereby adopt  
this map or part of our subdivision to be known as HOLY CROSS  
TRAVIS AD 5785. We do hereby dedicate to the public all rights therein  
except that of any future date that Givens Avenue and Weber Avenue  
are extended westerly over adjacent property then Givens Ave. and  
Weber Ave. shall be considered to have a width of fifty  
feet and the adjacent portions of Givens Avenue  
and Weber Avenue as shown on this map, not required for a  
subdivision lot owners, shall remain the property of the  
adjacent lot owners.

this 22<sup>nd</sup> day of October 1956. WITNESSE WE, HAVE HEREUNTO SET OUR HAND  
AND SEAL OF THE STATE OF TEXAS, THIS 22<sup>nd</sup> DAY OF October A.D. 1956.

THE STATE OF TEXAS ) Know All Men By These Presents:  
County of Travis ) Travis C. Givens, a T. C. Hermanns of  
Austin, sole owner of the above described property, out  
of the certain facts of said fact of title, out  
of Government Outlets in the City of Austin, Travis County, Texas, conveyed  
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this 22<sup>nd</sup> day of October 1956. WITNESSE WE, HAVE HEREUNTO SET OUR HAND  
AND SEAL OF THE STATE OF TEXAS, THIS 22<sup>nd</sup> DAY OF October A.D. 1956.

THE STATE OF TEXAS,  
COUNTY OF TRAVIS.

Before me, the undersigned authority, on this day personally appeared J.W. Gregg, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

THE STATE OF TEXAS  
COUNTY OF TRANSIL  
I, \_\_\_\_\_, the undersigned authority, on this day  
personally appeared Travis C. Cowie, a T.L. Homestead, known to me to be  
the person whose name was subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and  
consideration therein expressed.

\_\_\_\_\_  
J. D. \_\_\_\_\_, J. D. \_\_\_\_\_, J. D. \_\_\_\_\_  
22 day of \_\_\_\_\_, A.D. 1956.

(SEAL)

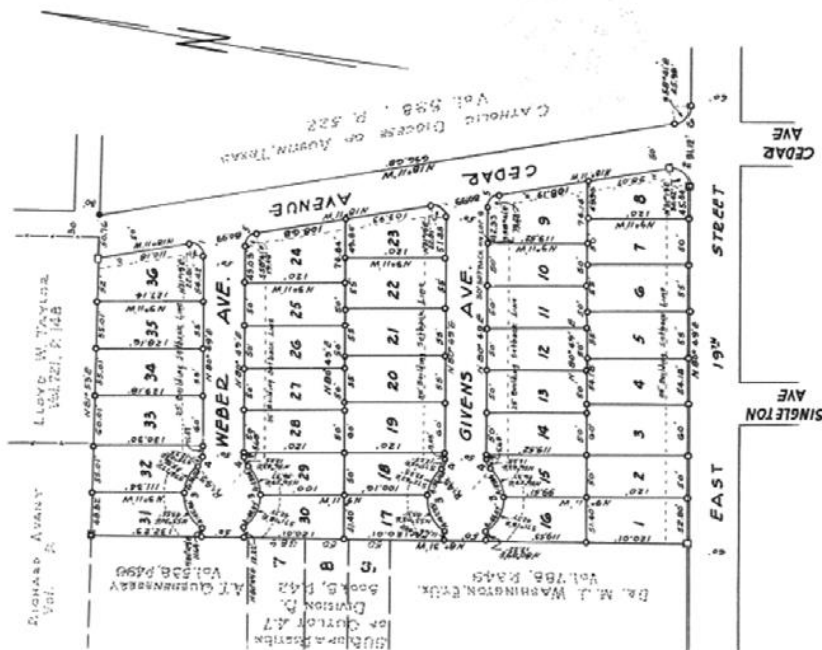
APPROVED FOR ACCEPTANCE:

Date: Nov. 13, 1956

ACCEPTED AND AUTHORIZED FOR RECORD BY THE  
CITY PLAN COMMISSION OF AUSTIN, TEXAS. THIS  
THE 13th DAY OF November A.D. 1956.

W. H. Buchanan  
Mrs. Helen Munnick  
Secretary

FILED FOR RECORD



THE STATE OF TEXAS } I, Miss Emilee Lumbus, Clerk of the County  
COUNTY OF TRAVIS } Court, within and for the County and State aforesaid, do hereby  
certify that the within and foregoing Instrument was filed  
for record with this Office on this 23rd day of November, A.D.  
1936, at 10 o'clock and 19 minutes, and that the same is  
correctly indexed and the receipt thereon is in the custody of  
the County Clerk of said County.

Witness My Hand and Seal of the County  
Court of said County, the date last written above.

(SEAL)

Miss Emilee Lumbus, Clerk  
County Court, Travis County, Texas.

SCALE, 1"=100'

**EASEMENTS:**

Lots 17, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, and the east thirty (30) feet of Lots 1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32; the north forty (40) feet of Lots 1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32; the west five (5) feet of Lots 1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32; the south thirty (30) feet of the west line of Lots 1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32; the east five (5) feet of Lots 1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32 are reserved for Public Utilities who will use them for (a) feet of Lots 1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32; the west ten (10) feet of Lots 1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32; the west seven (7) feet of Lots 1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32; the west four (4) feet of Lots 1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32; the west two (2) feet of Lots 1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32 are reserved for drainage and Public Utilities, also 5' along the rear of all lots.

In addition, the easements specified above shall be subject to the easement specified herein granted by this subdivision plat, as a part of the same, for electric, gas, water, sewer, telephone and telegraph wires on the rear portion of all lots of this subdivision.

It is now necessary to cross, in order to provide the improvements in any one lot or more, the easements herein provided for, and it is hereby agreed that the easements herein provided for shall be construed liberally in favor of the owner of said lots.

**LEGEND**

(A) = 10' x 10' plot  
B = 10' x 10' plot

**LEGEND**  
 0 = 10 Set  
 1 = 10 Set

- = I.P. Set
- = I.P. Fixed
- = C.M. Set

■ C.M.S.d

**Conclusion**

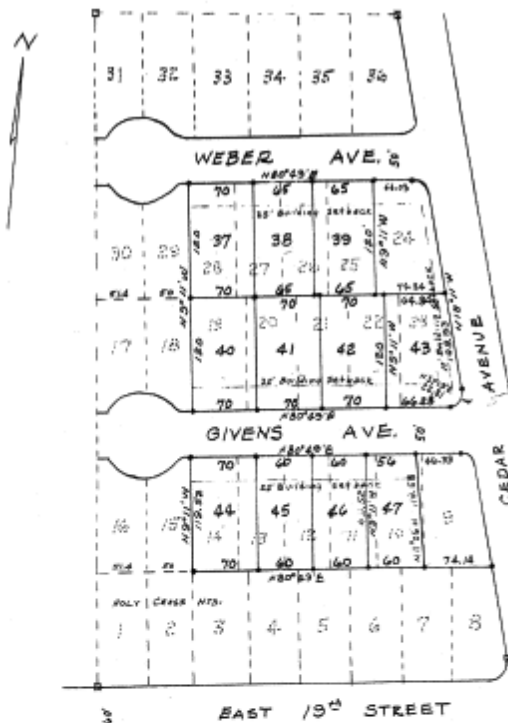
SCALE: 1"=100'

1

100

**12/15/2016**

# HOLY CROSS HEIGHTS RESUBDIVISION



APPROVED FOR ACCEPTANCE:

Date: Jan. 21, 1958 *V. L. Mike Mahoney*  
V. L. Mike Mahoney,  
Director of Planning

ACCEPTED AND AUTHORIZED FOR RECORD BY THE  
PLANNING COMMISSION OF THE CITY OF AUSTIN  
TEXAS, this the 21st day of Jan. A.D. 1958

*David B. Baner*  
Chairman

*Mar Helen Mitchell*  
Secretary

EASEMENTS: 5 ft along the rear of all  
lots for public utilities; ~~EXCEPT~~  
the west 7.5 ft of Lots 1 & 4 and  
the west 10 ft of Lot 44 for drainage  
and public utilities, and an aerial over-  
hang easement for electric and telephone  
wires only on the rear portion of all  
lots in this subdivision.

SCALE: 1" = 100'  
• = L.S.  
□ = C.M.



STATE OF TEXAS:  
COUNTY OF TRAVIS: Know All Men By These Presents:

That we, J. W. Gregg, Travis C. Cooke, & T. L. Hammons of Austin, Texas, sole owners of the tract  
of land shown hereon out of those certain tracts of land in Outlots 47 & 48, Division B of the Government  
Outlots in the City of Austin, Travis County, Texas, conveyed to us by deeds of record in Vol. 1703,  
pages 351-353 and Vol. 1703, page 354, Travis County Deed Records, do hereby adopt this plat as our  
resubdivision to be known as HOLY CROSS HEIGHTS RESUBDIVISION and we do hereby dedicate to the public  
all streets and easements shown hereon as far as our interests may appear.

WITNESS our hands this the 15<sup>th</sup> day of JAN. A.D. 1958

*J. W. Gregg*  
J. W. Gregg

*Travis C. Cooke*  
Travis C. Cooke

*T. L. Hammons*  
T. L. Hammons

STATE OF TEXAS:  
COUNTY OF TRAVIS:

Before me, the undersigned authority, on this day personally appeared J. W. Gregg, Travis C. Cooke,  
& T. L. Hammons, known to me to be the persons whose names are subscribed to the foregoing instrument  
and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN under my hand and seal of office this the 15<sup>th</sup> day of JAN. A.D. 1958.

(SEAL)

*Eugene Plant*  
Notary Public, Travis County, Texas

STATE OF TEXAS:  
COUNTY OF TRAVIS:

I, Miss Emilie Linberg, Clerk of the County Court within and for the County and State aforesaid do  
hereby certify that the within and foregoing instrument of writing with its Certificate of Authentication  
was filed for record in my office on the 23 day of Jan. A.D. 1958 at 9:45 o'clock A.M. and duly  
recorded on the 23 day of Jan. A.D. 1958 at 9:45 o'clock A.M. in the Plat Records of said  
County in Book 4 Page 83.

WITNESS My Hand and Seal of the County Court of said County, the date last written above.

(SEAL)

Miss Emilie Linberg  
Clerk County Court, Travis County, Texas  
By: Deputy.

RESUBDIVIDED in accordance with the  
subdivision ordinance of the City  
of Austin, Texas

By: *James J. Watson*  
Registered Surveyor  
Austin - Texas  
(SEAL)



C8s-58-11



# PROPERTY INVENTORY

## Rogers Washington Holy Cross Historic District

TCAD ID	Address	Construction Date	Style	Contributing/ Noncontributing	Legal Description
0212101503	2305 E 21 ST	1956	Ranch	C	LOT 4-5 BLK 1 OLT 47 DIV B SUNRISE ADDN
0212101408	1900 CEDAR AVE	1957	Ranch	C	LOT 8 * & E 25FT LOT 7 HOLY CROSS HEIGHTS
0212101407	1906 CEDAR AVE	1957	Ranch	C	LOT 9 *NE TRI OF LOT 10 HOLY CROSS HEIGHTS
0212101307	2000 CEDAR AVE	1958	Ranch	C	LOT 43 HOLY CROSS HEIGHTS RESUB
0212101306	2006 CEDAR AVE	1957	Ranch	C	LOT 24 HOLY CROSS HEIGHTS
0212101225	2100 CEDAR AVE	1960	Ranch	C	LOT 3 HOLY CROSS HEIGHTS RESUB 2
0212101521	1903 CHESTNUT AVE	1968	Ranch	C	LOT 5&6 WASHINGTON SUBD
0212101522	1905 CHESTNUT AVE	1972	Ranch	NC	LOT 4 WASHINGTON SUBD
0212101523	1907 CHESTNUT AVE	1964	Ranch	C	LOT 3 WASHINGTO SUBD
0212101524	1909 CHESTNUT AVE	1961	Ranch	C	LOT 2 WASHINGTON SUBD
0212101525	1911 CHESTNUT AVE	1962	Ranch	C	LOT 1 WASHINGTON SUBD
0212101316	2400 GIVENS AVE	1959	Ranch	C	LOT 13 WASHINGTO SUBD
0212101417	2401 GIVENS AVE	1959	Ranch	C	LOT 14 WASHINGTON SUBD
0212101317	2500 GIVENS AVE	2016	No style	NC	LOT 17&18 HOLY CROSS HEIGHTS
0212101401	2501 GIVENS AVE	1958	Ranch	C	LOT 17&18 HOLY CROSS HEIGHTS
0212101311	2502 GIVENS AVE	2015	No style	NC	LOT 16 HOLY CROSS HEIGHTS
0212101402	2503 GIVENS AVE	1964	Ranch	NC	LOT 15 HOLY CROSS HEIGHTS
0212101310	2504 GIVENS AVE	1960	Ranch	C	LOT 40 HOLY CROS HEIGHTS RESUB
0212101801	2505 GIVENS AVE	2016	No style	NC	LOT 44 HOLY CROSS HEIGHTS RESUB
0212101309	2506 GIVENS AVE	1958	Ranch	C	LOT 41 HOLY CROSS HEIGHTS RESUB
0212101404	2507 GIVENS AVE	1958	Ranch	C	LOT 45 HOLY CROSS HEIGHTS RESUB
0212101308	2508 GIVENS AVE	1959	Ranch	C	LOT 42 HOLY CROS HEIGHTS RESUB
0212101405	2509 GIVENS AVE	1958	Ranch	C	LOT 46 HOLY CROSS HEIGHTS RESUB
0212101406	2511 GIVENS AVE	1959	Ranch	C	LOT 47 HOLY CROSS HEIGHTS RESUB
0212101518	1902 MAPLE AVE	n/a	n/a	NC	
0212101416	1903 MAPLE AVE	1963	Ranch	C	LOT 15 WASHINGTON SUBD
0212101517	1904 MAPLE AVE	1969	Ranch	C	LOT 9 WASHINGTON SUBD
0212101516	1906 MAPLE AVE	1963	Ranch	C	LOT 10 WASHINGTON SUBD
0212101515	1908 MAPLE AVE	1962	Ranch	C	LOT 11 WASHINGTON SUBD
0212101514	1910 MAPLE AVE	1964	Ranch	C	LOT 12 WASHINGTO SUBD
0212101507	2000 MAPLE AVE	1961	Ranch	C	LOT 6 OLT 47 *RESUB PT OLT 47 DIVISION B
0212101312	2001 MAPLE AVE	1960	Ranch	C	LOT 9 OLT 47 *RESUB PT OLT 47 DIVISION B
0212101506	2002 MAPLE AVE	1961	Minimal Traditional	C	LOT 5 OLT 47 *RESUB PT OLT 47 DIVISION B
0212101313	2003 MAPLE AVE	1960	Ranch	C	LOT 8 OLT 47 *RESUB PT OLT 47 DIVISION B
0212101505	2004 MAPLE AVE	1960	Ranch	C	LOT 4 OLT 47 *RESUB PT OLT 47 DIVISION B
0212101314	2005 MAPLE AVE	1960	Ranch	C	LOT 7 OLT 47 *RESUB PT OLT 47 DIVISION B
0212101504	2006 MAPLE AVE	1953	Minimal Traditional	C	LOT 6 BLK 1 OLT 47 DIV B SUNRISE ADDN
0212101233	2007 MAPLE AVE	1959	No style	C	LOT 3 OLT 47 DIV B WELTON CITY SUBD
0212101232	2009 MAPLE AVE	1961	Ranch	C	LOT 2A *RESUB LOT 1-2 OLT 47 DIV B WELTON CITY SUBD
0212101519	2310 E M L KING JR BLVD	1964	1960s Contemporary	C	LOT 7 WASHINGTON SUBD
0212101415	2400 E M L KING JR BLVD	1964	Ranch	C	LOT 16 WASHINGTON SUBD
0212101414	2406 E M L KING JR BLVD	1957	Ranch	C	LOT 1-2 HOLY CROSS HEIGHTS
0212102001	2414 E M L KING JR BLVD	2016	No style	NC	UNT A 2414 E MLK CONDOMINIUMS PLUS 50.0 % INT IN COM AREA
0212102101	2500 E M L KING JR BLVD	1960	Ranch	NC	LOT 3&4 HOLY CROSS HEIGHTS
0212101410	2502 E M L KING JR BLVD	1957	Ranch	C	LOT 5 HOLY CROSS HEIGHTS
0212101230	2500 WEBER AVE	1956	Ranch	NC	LOT 31 HOLY CROSS HEIGHTS
0212101301	2501 WEBER AVE	1958	Minimal Traditional	C	LOT 30 HOLY CROSS HEIGHTS
0212101229	2502 WEBER AVE	1961	Ranch	C	LOT 32 HOLY CROSS HEIGHTS
0212101302	2503 WEBER AVE	1959	Minimal Traditional	C	LOT 29 HOLY CROSS HEIGHTS
0212101228	2504 WEBER AVE	1959	Ranch	C	LOT 33 HOLY CROSS HEIGHTS
0212101303	2505 WEBER AVE	1959	Ranch	C	LOT 37 HOLY CROSS HEIGHTS RESUB
0212101227	2506 WEBER AVE	1957	Ranch	C	LOT 1 HOLY CROSS HEIGHTS RESUB 2
0212101304	2507 WEBER AVE	1958	Ranch	C	LOT 38 HOLY CROSS HEIGHTS RESUB
0212101226	2508 WEBER AVE	1958	Ranch	C	LOT 2 HOLY CROSS HEIGHTS RESUB 2
0212101305	2509 WEBER AVE	1959	Ranch	C	LOT 39 HOLY CROSS HEIGHTS RESUB

## Context and Narrative History

The initial sections of this context statement were excerpted from the East Austin Historic Resource Survey conducted in 2016 by Hardy-Heck-Moore, Inc. Additional information and research about the neighborhood and families who lived here follows.

### Postwar Suburbanization, 1946–1969

Infill development continued gradually in East Austin in the post-World War II era, as opposed to the rapid and large-scale suburbanization generally thought to characterize development in the United States during the period. For the most part, land within the East Austin survey area was platted, and development had begun prior to World War II. In predominantly white areas, the process of residential development in the United States typically required that developers file a plat with the local government that specified “their plans for improving the land with streets and utilities.” However, in East Austin, completion of a plat did not equate provision of city services, and many platted subdivisions were devoid of paved streets, water and sewer services, and electricity lines. The resulting inequities in municipal services resulted in slower, more sporadic development patterns that counter the narrative of planned suburban development typical in the United States in the post-World War II era.

To assert their rights to equitable public services in exchange for their tax contributions, East Austin communities built strong non-governmental institutions, ranging from churches to political organizations to business enterprises. In East Austin and in similar communities across the United States, the grassroots activism of the post-World War II era resulted in policy changes at the federal, state, and local level that laid the groundwork for correcting inequalities in municipal services, encouraging private-sector redevelopment efforts in the decades to come.

### Development Patterns

Within East Austin, residential construction boomed immediately after World War II with the shortage of housing as veterans returned and rural populations moved toward cities. During the 1950s and 60s, the pace of residential construction declined. Commercial construction remained somewhat steady, though, and institutional construction spiked in the early 1960s, in connection with the expansion of Huston-Tillotson College and the construction of Martin Junior High School. The survey area was platted prior to World War II, but not fully built out until after the war’s conclusion. The trend of “Merchant Builders,” who both subdivided land and constructed houses for sale, and often provided financing as well, did not reach East Austin until the 1960s. Instead, each property owner took responsibility for building a house on their own land. For example, the College Heights Subdivision east of Chicon Street and north of East 11th Street was built out gradually from about 1910 through 1957. House plans and styles varied according to the day’s popular tastes.

From 1946 through ca. 1960, new houses were generally small, and additions and outbuildings often were constructed over time to enlarge living space and work space. In the 1950s, a number of large, older homes were subdivided into apartments, consistent of the trend toward small, modest living spaces in East Austin... Beginning ca. 1960, some new subdivision plats incorporated cul-de-sacs, a layout feature reminiscent of many postwar curvilinear suburbs of the era, but used on a much smaller scale. Notable examples in East Austin are the Washington and Holy Cross Heights Subdivisions—roughly bound by Cedar Avenue, East 19th Street (MLK, Jr. Boulevard), Chestnut Avenue, and East 20th Street.

### Effects of Desegregation on the Private Sector

With the legal imperative to desegregate public facilities after 1954, infrastructure gradually improved in East Austin. This stimulated private developers to plat residential suburbs that followed the postwar curvilinear pattern begun elsewhere in Austin (and across the United States) immediately after World War II. Within the East Austin survey boundaries, Holy Cross Heights forms the most prominent example. The subdivision was platted in 1952, featuring a street layout with the cul-de-sac pattern so characteristic of postwar American suburbs. Houses within the subdivision were constructed between 1956 and 1964. Overall, houses in the historic district were constructed between 1953 and 1972, with a few houses constructed recently (2015-2016).

Other similar suburbs were constructed beyond the East Austin survey boundaries to the east and northeast at an increasing rate after 1963. As a result, many families migrated into the newer and larger houses in these subdivisions rather than continuing the trend of constructing additions and enlarging houses in East Austin. With the resulting depopulation, a number of large-scale apartment complexes were constructed in East Austin beginning about 1963 as well—primarily along Manor Road and East 19th Street (MLK Jr. Boulevard), which were well-paved to accommodate automobile traffic. With the improvements to city infrastructure, white residents began to move into these new apartment complexes, slowly reintegrating the residential mix of the neighborhood, although single-family housing would remain occupied primarily by African American and Mexican American families for decades to come.

*[Conclusion of East Austin Historic Resource Survey excerpts]*

### Additional Information and Research about Rogers Washington Holy Cross

Rogers Washington Holy Cross was one of the first neighborhoods developed by black professionals for black professionals. Therefore, the neighborhood's development pattern is strongly tied to its cultural significance as a professional, middle-class, suburban African American neighborhood. Neighborhood residents positively impacted the areas of science, architecture, local and national government, education, the U.S. Armed Forces, and more.

- Oscar Thompson (1907-1962), who lived in **1906 Maple Avenue**, was one of the first African Americans to graduate from the University of Texas in 1951 with a master's degree in zoology. Thompson served in the Pacific Theatre in WWII prior to enrolling at UT. He went on to lead research in sickle cell anemia after graduation. His wife, Irene, was the only African American certified school secretary in Austin at the time. She served as secretary and registrar for Anderson High School for over 25 years, and spent over 34 years with Austin Independent School District. (Anderson High was the first African American high school in Austin.) Mrs. Thompson was a long-time member of Ebenezer Baptist Church. She also worked on the election committees of many Democratic candidates and hosted campaign functions in her house, which was designed by John Chase.
- Robert and Ruth McAlister lived in **1903 Maple Avenue**. Ruth was the first African American female teacher to receive a Master's Degree in Special Education at the University of Texas. She went on to be supervisor of special education—the first African American to hold a supervisory position in the Austin Independent School District. Her husband, Robert, was promoted to business manager at D.D.&B. After retirement, the couple owned and operated a grocery store at the corner of Chicon and Tillotson Streets.
- Della Phillips, who lived at **2310 E. MLK Jr. Boulevard**, also lived in a John Chase-designed house. Mrs. Phillips was a prominent businesswoman and an owner of the Phillips Upshaw Funeral Home. Phillips allowed Chase to design the house however he wanted to, with one stipulation: it must include spaces for

entertaining. This house stands out from the bungalow and Ranch-style homes in the rest of the district. Mrs. Phillips often hosted parties and events that brought the community together.

The following residents were part of the public service sector and helped improve education for the community through their work.

- **Kirk family (1908 Maple Avenue)**

Lee Kirk, Sr. was the first African American postal worker and certified pilot in Austin.

Willie Mae “Ankie” Kirk (1921-2013) donated 50 years of her life to improving local public services. Her leadership and service made her a beloved elder in the community. Mrs. Kirk attended high school at Anderson High School and earned her B.S. degree in Social Science at Sam Huston College (now part of Huston-Tillotson University, a historically black university affiliated with the United Methodist Church, the United Church of Christ, and the United Negro College Fund). She began her career in 1947 as a certified public school teacher and taught elementary education until retirement in 1982. Mrs. Kirk continued her education at Prairie View College and the University of Texas. She was appointed to the first Human Rights Coalition by the Austin City Council in 1968. Austin Mayor Jeffery Friedman appointed Kirk to the Library Commission in 1971. She succeeded in saving the Carver Library from demolition during her 12-years tenure as Commissioner. The Oak Springs Branch Library was renamed in honor of Willie Mae Kirk. The Kirks had four children together, Sandra, Connie, Lee, and Ron.

Ambassador Ron Kirk, son of Willie Mae Kirk, served two terms as the first African American mayor of Dallas. He was also the first African American Secretary of State in Texas under Governor Ann Richards. As a United States Trade Representative, Kirk was a member of President Obama’s cabinet and served as a principal trade advisor, negotiator, and spokesperson on trade issues. He was named one of “The 50 Most Influential Minority Leaders in America” by the *National Law Journal* in 2008.

- **Calhoun family (2401 Givens Avenue)**

T. C. Calhoun, who lived at **2401 Givens Avenue**, was the principal of Kealing Junior High School for over 40 years. He continued to be a leader by serving as one of the presidents of the African American State Teachers’ Association in the 1950s. Calhoun also opened the Teachers’ Credit Union for African American teachers. His wife, Thelma, worked with him to maintain the Union.

Thelma Calhoun was a supervisor for African American Travis County schools and a reading specialist at Sims and Maplewood elementary schools. She also assisted Ada Simon in the publishing of the *Let’s Pretend* series of children’s books and wrote elementary-school curriculum based on the books. Both T.C. and Thelma Calhoun were long-time active members of Ebenezer Baptist Church and helped many successfully find jobs.

- Norman Scales, who lived at **2509 Weber Avenue**, was born in Austin on November 11, 1918. He grew up in East Austin, and graduated from Anderson High School and Tillotson College (now Huston-Tillotson University). In 1940, he enlisted in the U.S. Army and served in WWII as a member of the Tuskegee Airmen, a renowned group of African American pilots. He was promoted to second lieutenant and then to captain. He was the first black pilot from Austin who was commissioned as second lieutenant. His squadron disabled or destroyed 400 German planes and at least 1,000 ground and sea targets. Scales flew over 70 missions over enemy territory and survived a plane crash. He was awarded the Distinguished Flying Cross at Bergstrom Air Force Base in Austin on February 21, 1945. Scales was also awarded a Certificate of Valor. In 1989, he was posthumously recognized with an Honors Award by the Texas Association for the Study of Afro-American Life and History at the Capitol’s Senate Chamber.

- Ira Poole, who lived at **2400 E. MLK Jr. Boulevard.**, moved to Austin as a student in order to earn his teaching credentials at Huston-Tillotson College. Throughout the course of his teaching career, he educated generations of Austin's students over a period of decades in several different elementary schools. A patriot and history buff, Poole generated enthusiasm among his students as he helped them learn, decorating his classroom bulletin boards and inventing hands-on projects that promoted a more in-depth understanding of their curriculum.

In the early 1960s, Poole built a single-story brick ranch-style home in Rogers Washington Holy Cross. Located on a corner, the house is situated toward the rear of the lot, providing an expansive front yard that, over time, Poole decorated with three-dimensional and bas-relief sculptures that reinforced the lessons he was teaching in school. Indeed, some of them actually began as school projects.

- John Quill Taylor and Marcet King lived at **2400 Givens Avenue** from 1962 into the 1990s, according to City directories. During this time, John Quill Taylor King served as Dean, President, and finally Chancellor of Huston-Tillotson College (now University). He also served as Vice President of King-Tears Mortuary.

- Jackson and Marshall families (**2508 Givens Avenue**)

Mrs. Sophia Lavon Jackson was an older married student who graduated from Tillotson College in 1944 with a B.A. degree in Home Economics. She was the highest-ranking student in the class. She worked at Tillotson's Home Economics Department from September 1944 to May 1960, Manor ISD from 1960 to 1962, and Prairie View University's Home Economics Department from 1962 to 1967.

Mr. Marion Sandy Jackson was one of the first African American mail handlers at the U.S. Postal Service in Austin from 1945 to 1962. The Jacksons purchased their house at 2508 Givens Avenue in 1959 from the builder, Travis Cook.

Mrs. Lavon Marshall, professor at Huston-Tillotson University, was active in The Links, Inc., an international nonprofit women's organization committed to enriching, sustaining, and ensuring the culture and economic survival of African Americans and other persons of African ancestry.

- Lester and Joyce Mays lived at **2502 Weber Avenue**. Joyce was an educator in the Flatonia, Coleman, Georgetown and Austin school systems. Lester Mays was a teacher and coach at Flatonia and DeValle. He was the first AISD Supervisor Coordinator over the Vocational Adjustment Coordinators in the Special Education Department and the Assistant Supervisor of the Clifton Center in Austin. He was also Assistant Director of the Upward Bound Program at Huston-Tillotson University.

- Mims family (**2502 Weber Avenue**)

Carnegie Harvard Mims, Sr. moved his wife and four children from San Angelo to Austin. The move was quite significant because he left a position in San Angelo, Texas as the state's first Black principal of an integrated high school. Even though he and his wife were highly educated and even founded some schools in West Texas, he took a lower-ranking position at the Negro Middle School to get his foot in the door of employment. His ambition did bear fruit after all.

Carnegie H. Mims, Jr. became the first Ombudsman of the University of Texas at Austin, mentoring young minds and proffering solutions to their problems. Before he went into private practice, he was chosen as an attorney for the first Texas Constitutional Revision Commission.



Brenda Mims Malik, daughter of Carnegie H. Mims, Sr., became one of the first Black broadcast news anchors in Austin. She continued to serve her community as a frequent host for the annual United Negro College Fund Extravaganza.

- Jimmy Snell, who lived at **2506 Givens Avenue**, served as Austin's first black Mayor Pro Tem in 1975. His candidacy was heavily supported by East Austin and University neighborhood residents. During his tenure as a City Councilman, he pursued the implementation of equal employment opportunity (EEO) programs. He also served as Honorary Public Service Chairman for the Austin Association of Life Underwriters.
- Maxine C. Johnson and Garvin Johnson, who lived at **1900 Cedar Avenue**, were among the first of the original homeowners to purchase a newly built home in the new Holy Cross Heights subdivision. Their home sits at the corner and intersection of Cedar Avenue and East Martin Luther King, Jr. Boulevard. Maxine graduated from Tillotson College with a degree in English in 1952, the same year that Tillotson merged with Samuel Huston College. After purchasing their new home in 1957, Maxine initially taught high school English in Roswell, New Mexico. She and her husband, Gavin, commuted weekly from Austin to Roswell. Garvin immediately returned to Austin after each trip in order to run his successful businesses—a Ritter Service Station on East 11th Street (behind Ebenezer Baptist Church) and the lucrative Harlem Cab business. Garvin returned each weekend to Roswell to pick up Maxine, and together they drove home to Austin.

### *John Chase*

John Saunders Chase was the first licensed African American architect in Texas. Chase was born in Annapolis, Maryland, to a principal and teacher. After serving in the Army during World War II, he studied architecture at Hampton University, a historically black university in Virginia. He moved to Austin in 1949 to work at the Lott Lumber Company, a black-owned business. In 1950, two days after the Supreme Court ruled that the University of Texas must admit Heman Sweatt and other African Americans in graduate and professional programs, Chase enrolled at UT's School of Architecture. He was the first African American to do so, and only one of two black students at UT. Federal marshals shadowed Chase for safety after he received hate mail.

After Chase graduated, no firms in Austin were willing to hire him. He moved to Houston in 1952, yet faced the same issue. So he established his own firm, John S. Chase, Architect, and taught architectural drafting at Texas Southern University, a historically black public university. Soon after moving to Houston, Chase and his wife Drucie visited black churches and shared his master's thesis on churches and progressive architecture with their ministers. That strategy generated ample work, and Chase went on to design schools, houses, churches, and public buildings. Influenced by Frank Lloyd Wright, his work features bright, spacious rooms and a minimalist approach.

Chase led the way for other African Americans as the first black member of the Texas Society of Architects, the Houston Chapter of the A.I.A., the United States Commission on Fine Arts (appointed by President Jimmy Carter), and the first black president of the University of Texas Exes; he also co-founded the National Organization of Minority Architects. Chase also became a mover and shaker for African Americans and their allies in Houston's political scene. John Chase died in 2012 and is now recognized as one of the most important African American architects of the 21<sup>st</sup> century and a leading Mid-Century Modern designer.

In Rogers Washington Holy Cross, Chase designed the houses at 1906 Maple Avenue and 2310 E. MLK Jr. Boulevard. He is also the architect of David Chapel, a striking Mid-Century Modern church complex kitty-corner from the historic district.

### *Nash Phillips*

Nash Phillips was a well-known Austin builder who constructed more than 80,000 homes over his career—50,000 in the Austin area alone. Phillips was born in Ft. Bliss, Texas in 1920. He grew up in San Antonio, graduated from the University of Texas, and attended law school. During World War II he served in the Navy, maintaining aircraft.

In 1945, Phillips and Clyde Copus founded Nash Phillips Copus Company (Nash Phillips/Copus Builders Inc.), which worked across Central Texas and in Phoenix. In Austin, the company constructed one-quarter of all houses built between 1945 and 1986 and served as a realtor for other properties. “The key to growth... has been quality design and quality building,” enthused *The Austin American* in 1958. The company prioritized houses with “livability-plus features” like pantries and fireplaces, in planned developments that balanced access to central Austin with proximity to new schools and shopping centers. That year, the company built and sold more than \$7 million in real estate.

Nash Phillips Copus also nurtured a new generation of homebuilders who went on to found their own companies. The company received the Builder of the Year award from *Professional Builder Magazine* in 1984. In 1991, Phillips co-founded Wilshire Homes. He died in 2011.

Phillips helped pioneer a number of innovations in homebuilding. Some were physical, such as preassembling house frames inside warehouses and erecting them on-site. Others were less tangible but equally critical, such as working with “sister” mortgage and insurance companies to help drive ownership opportunities.

In Rogers Washington Holy Cross, Phillips constructed houses along Maple, Givens, and Werner avenues.

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ROGERS WASHINGTON  
HOLY CROSS  
HISTORIC DISTRICT  
DESIGN STANDARDS

## CONTEXT

Historic Rogers Washington Holy Cross was one of the first neighborhoods developed by black professionals for black professionals, and therefore the development pattern of the neighborhood is strongly tied to the cultural significance of the neighborhood as a professional, middle-class, suburban neighborhood.

Historic Rogers Washington Holy Cross is an auto-oriented development. Therefore, the patterns of development are based on a street pattern favoring the auto, not the pedestrian. Much of the neighborhood is characterized by curvilinear streets without sidewalks.

Construction in the neighborhood began around 1950. The oldest structure documented in the neighborhood is from 1947, but the era of significance of the District is between 1950 and 1965, when the majority of the houses were built. The District features classic mid-century American architecture, which falls into three primary styles: Minimal Traditional, Ranch, and Contemporary.

# INTRODUCTION

The primary goal of this historic district is to preserve the overall character, identity, and presence of the Rogers Washington Holy Cross neighborhood. Buildings, sites, and landscapes help create the identity and character of the neighborhood. Design standards serve to preserve and protect areas of historical and architectural importance, as well as the overall visual characteristics of the district.

The design standards recognize that change is inevitable. They are written to enable and empower property owners to acknowledge and maintain the integrity of historic buildings and comply with the Secretary of Interior's Standards for Rehabilitation. Consequently, the Rogers Washington Holy Cross Design Standards provide guidance and support for the repair, rehabilitation, preservation and restoration of historic buildings within the historic district, and to ensure that additions and new construction are compatible with the architectural character of the district.

Historic district designation does not require property owners to make changes to their properties, such as returning buildings to their historic appearance. Additionally, the historic review process that results from district designation is limited to projects that affect the exterior of the building and its site. Interior remodeling projects do not require Historic Preservation Office or Historic Landmark Commission review and approval.

This document is a tool for property owners, tenants, contractors, design professionals, realtors, and anyone else planning a change to the exterior or site of a building or new construction within the district; as well as the Historic Landmark Commission in its evaluation of whether to grant a Certificate of Appropriateness for any project covered by these standards.

The goals of the design standards are to:

- Preserve the architectural heritage of the district through retention and preservation of historic buildings and landscape features;
- Discourage demolition of contributing buildings and buildings easily restored to contributing status;
- Support historic building preservation by providing guidance in building maintenance and repair;
- Ensure that alterations to existing buildings are compatible with the character of the structure and the district;
- Support sustainable design by providing guidance to improve energy efficiency and building performance and sustainable landscaping;
- Establish design criteria for new construction within the district to ensure that new structures will be compatible with the historic character of the district; and
- Stabilize property values by maintaining existing building stock and defining compatible new construction.

The following actions must receive a Certificate of Appropriateness prior to the issuance of any permits or before work begins, if no permit is required:

- Demolition or relocation of a contributing building;
- Construction or relocation of a new primary or accessory building or structure on any property;
- Construction of an addition to a contributing building;

- Exterior alterations to a contributing building; and
- Major site work, including but not limited to changes to or the construction of a deck (that is visible from the public right-of-way), pool, outbuilding, walls, and fences.

Of the above items, the Historic Landmark Commission shall review all demolitions, relocations, and ground-up new construction, as well as alterations, additions, and site work that are visible from the public right-of-way and/or considered by the Historic Preservation Officer to significantly alter the historic character of the structure or site.

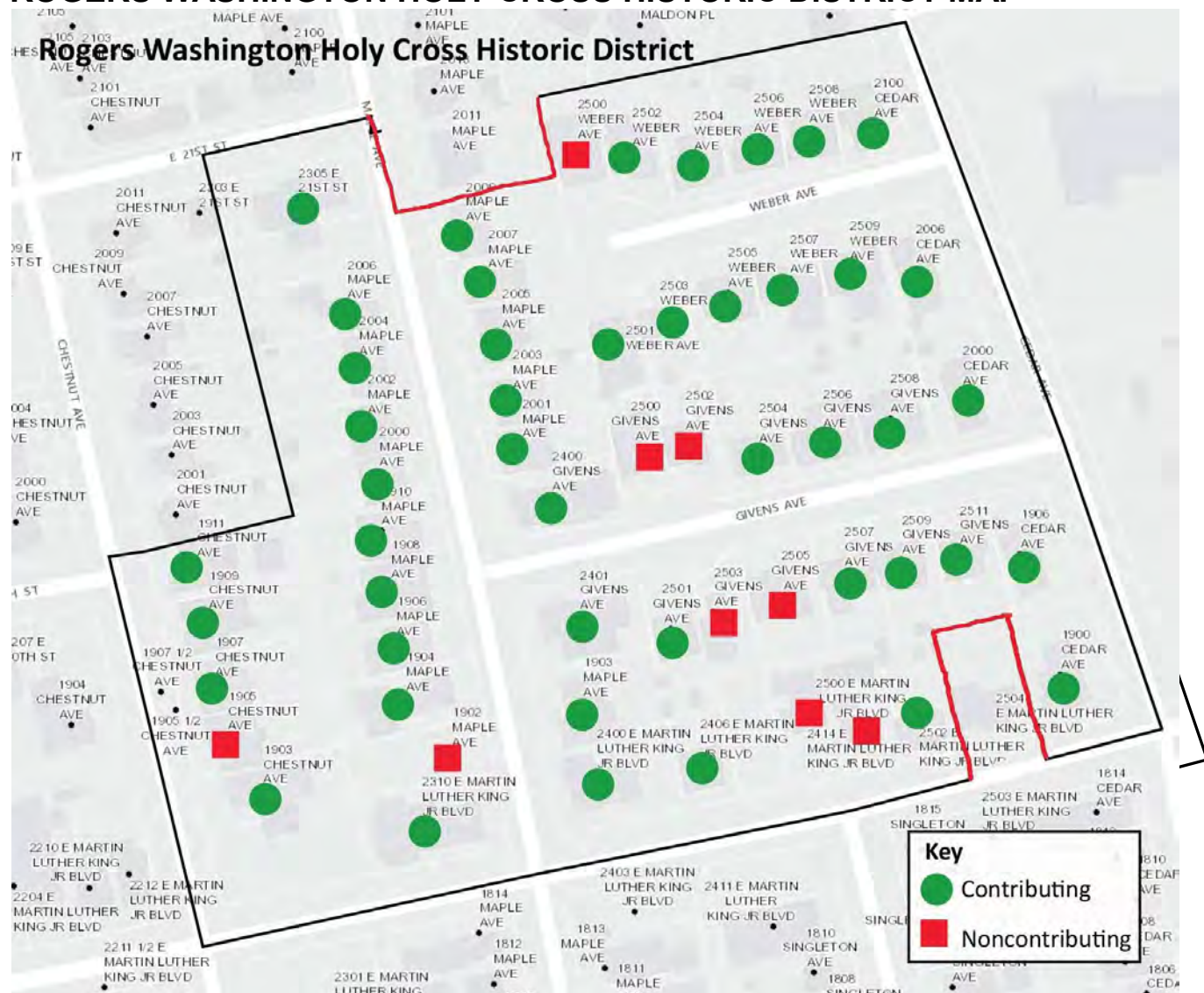
The Historic Preservation Officer shall review all other proposed repairs, alterations, or construction undertaken to the exterior of a site or structure within the district and evaluate their compliance with these standards. Work may be administratively approved, if allowed by code, or referred to the Historic Landmark Commission for further review.

If changes to a project are proposed subsequent to historic review and approval, these standards shall be used to determine the appropriateness of any proposed project to which they apply. All standards are required unless specifically noted.

The Historic Landmark Commission may approve a Certificate of Appropriateness for work that does not strictly comply with the design standards if it finds that the proposed work is historically accurate and/or consistent with the spirit and intent of the standards, and that the proposed work will not adversely affect the historic character of the property or the integrity of the district. The Commission may impose conditions on the Certificate of Appropriateness. The applicant has the burden of proof to establish the necessary facts to warrant favorable action. The Historic Preservation Officer shall notify the applicant of the Commission's action as prescribed by the Land Development Code.

The design standards prioritize the preservation of building facades that are visible from public streets; these are designated as "protected" facades and are defined in Section 1.0 Protected Facades. Protected facades should be preserved or restored, and alterations should be avoided if possible. Work to non-protected facades must comply with the design standards.

# ROGERS WASHINGTON HOLY CROSS HISTORIC DISTRICT MAP



Contributing properties fit the following criteria:

1. Contribute architecturally and/or historically to the historic character of the district;
2. Are at least 50 years old and retains their historic appearance; and
3. Were built during the period of significance for the district (1953-69).

Altered buildings may still be considered contributing if the alterations are minor and have not significantly compromised the integrity of materials and design of the building. However, a building that has been significantly altered and no longer retains its historic appearance is no longer contributing, even if it is over 50 years old. The building may be rehabilitated to its historic appearance and determined contributing at that time.



# ARCHITECTURAL STYLES AND CHARACTER-DEFINING FEATURES

The predominant architectural style in the Rogers Washington Holy Cross Historic District is Ranch; however, there are representations of other styles common to the period of significance (1952-1969) and the development patterns of this time. They include: Minimal Traditional, Split Level (a type of Ranch), and Contemporary.

Character-defining features are elements of a building that illustrate a period or style of architecture that should be preserved and maintained. These features can include building form and shape, roof type, materials, door and window patterns, craftsmanship, decorative details, and other physical details such as landscape features including retaining walls and trees and how a building is sited on a lot. Character-defining features of the Rogers Washington Holy Cross Historic District and the district's architectural styles are explained below. Although these styles may include certain features such as shed roofs or stucco cladding, the design standards address the typical representation of these styles in Rogers Washington Holy Cross.

## Character-defining Features of the District

This neighborhood is an auto-oriented development and the patterns of development are based on a street pattern favoring the auto, not the pedestrian. Much of the neighborhood is characterized by curvilinear streets without sidewalks. The setting of the houses is a typical suburban pattern of a front yard, side setbacks, and backyard. The front yards are open, some sloping due to the topography of the neighborhood. The character-defining features include the siting of the buildings on the lot forward facing to the street, the front yard and landscaping, exterior materials including brick, wood siding, rock and other exterior materials, roof form and chimneys, garages and carports and their placement in relation to the main structure, windows including placement, shape, size and materials; doors including placement, shape, size and materials, porches and entrances; decorative elements including decorative rafter tails and gables, brick work and stone and landscape elements including decorative masonry fencing, retaining walls, and other site elements.

## Architectural Styles within the District

### MINIMAL TRADITIONAL, CIRCA 1935-1950s

This style is characterized by a simple linear rectangle shape and form with little decoration and a low to intermediate pitched roof. It features closed narrow to moderate eave overhangs, sometimes with rake detailing. Houses are typically one story, though some two-story structures are possible, but there is almost always a large, wide chimney on the front face of the house and at least one front-facing gable. Houses are constructed of wood, brick, stone or a mix of two or more of these materials. Garages, if built, are usually attached to the house, flush to the elevation.



#### Character-defining features of the Minimal Traditional style:

- Building Form: L-plan, modified L-plan, bungalow, or ranch.
- Exterior walls: Wood siding or asbestos shingle. Decorative wood shingles, board-and-batten, or wavy-edge siding sometimes present at gable ends. Brick or stone veneer sometimes present at water table.
- Foundation: Pier and beam with wood skirt, or concrete slab.
- Porches: Typically, partial-width, supported by simple wood posts, geometric wood posts, or decorative metal posts.
- Roofs: Cross-gabled or gable-on-hip.
- Windows: Casement or double-hung, wood or metal sash. Fixed picture windows sometimes present at front façade. Decorative wood shutters common.
- Doors: Wood, often with small lites in geometric patterns.
- Chimneys: If present, simple brick or stone.
- Garage/carport: Attached or detached. Attached are located on the side-flush, recessed or projecting. Detached are located to the rear.

#### RANCH, CIRCA 1950s-1960s

Also known as the 'rambler,' the Ranch style is loosely based on colonial styles, particularly Spanish Colonial or English Colonial. It is characterized by a single story, asymmetrical form, and linear, rambling shape, which maximizes the façade width. It always features a 'built-in' attached garage flush to the elevation, usually on the front or side façade. Roof forms are typically hipped, though cross-gable and side-gable types are possible, with low pitches and moderate to wide eave overhangs. Usually the house is constructed of wood and/or brick with decorative shutters and iron or wood porch supports. Partially enclosed courtyards and patios located on the rear elevation are typical. Picture windows in the living room and decorative ribbon-style windows are common.



#### Character-defining features of the Ranch style:

- Building Form: One-story, irregular-plan.
- Exterior Walls: Often brick or stone masonry, often using Roman brick or flagstone; sometimes wood siding or asbestos shingle siding.
- Foundation: Concrete slab or pier and beam.
- Porches: If present, typically recessed under main roof form and supported by simple wood posts or decorative metal posts. Floor typically concrete. Integral stone or brick planters often common. Details may exhibit influences of Revival Styles.
- Roofs: Low-sloped hipped or side-gabled, with deep eaves. Clerestory windows sometimes present at gable ends or below eaves. Details may exhibit influences of Revival Styles.
- Windows: Double-hung, casement, awning or jalousie, with wood or metal sash.
- Doors: Wood, often with small lites in geometric patterns. Decorative metal screen doors.
- Chimneys: If present, broad and simple brick or stone.
- Garages and carports: Located to the front side or rear; attached or detached.



## SPLIT LEVEL AND TWO-STORY, CIRCA 1950s-1970s

The Split Level house was a novel form that developed at the end of the 1950s and remained popular through the 1970s. It is often considered a subset of the Ranch-style house. Split Level houses typically have three or more separate levels that are staggered and separated from each other by a partial flight of stairs. The two primary types are the Tri-Level Split, with three distinct living stories each a half-level apart, and the Bi-Level, with two distinct living spaces and a split-entry level. Like the other house types of this era, Split Level houses characteristically display little decorative detail; where ornamentation exists, it is minimal and may reflect Colonial, Modern, or Prairie influences in a very simplified manner. Thus, the Split Level house shares many characteristics with the post-WWII Colonial or Ranch-style house. As with the Ranch style, the garage is fully integrated into the house, reflecting the predominance of the automobile in this era.



### Character-defining features of the Split Level style:

- Form: Asymmetrical; one section of the house is a half-story taller than the other, and often has a front-facing gable (side-facing gable on the lower portion is common). Hipped roofs are common as well.
- Materials: Wood siding, wide reveal; some brick or stone veneer is possible.
- Roofs: Low to moderate pitch, multiple levels, with cross-gable; hip or gable possible.
- Windows: Picture and bay windows are common. Early examples typically had double-hung windows; later examples had sliding windows.
- Doors: Modern door, often a solid wood door with small windows.
- Details: Little decorative ornamentation. Where present, details may reflect some Colonial Revival influence, but other stylistic references are possible.
- Garage: Fully integrated into house.

## CONTEMPORARY, CIRCA 1950s-1970s

This style was favored by American architects from about 1945 to 1965. Roofs may be either flat or low pitched gabled. The Contemporary style had advantages over the Ranch style: it could be adapted to a two-story house and it could be built on hillsides or sloped terrain. Earlier styles were concerned about exterior decorative details whereas Contemporary houses were designed with concern for how interior spaces would function, especially in relation to each other. Thought was put into how interior and exterior spaces were integrated. A typical contemporary-style house is one story, although later versions featured a shed-style roofline with alternating floor heights. Visually integrated attached garages are typical. The flat roof style has wide overhangs; the gabled style has a low-pitched roof with wide overhangs and a low, broad front-facing gable. Exposed support beams and structural members are common. The exterior is constructed of contrasting wall materials and textures of wood, brick, and stone. Windows are often unusual in size, shape, style, and placement.



Character-defining features of the Contemporary style:

- Building Form: Irregular or ranch.
- Exterior Walls: Stucco, wood, Roman brick, flagstone, glass, or tile. No applied ornament. Often curving or angular.
- Foundation: Concrete slab.
- Porches: Cantilevered flat awnings, or recessed under flat roof.
- Roofs: Flat, low-pitched, or irregular.
- Windows: Double-hung, casement, or fixed, with metal or wood sashes.
- Doors: Typically wood or metal, often with glazing.
- Chimneys: If present, typically brick or stone.
- Garages and carports: Are usually attached and integrated into the design.

# DESIGN STANDARDS

## 1.0 PROTECTED FACADES

The standards prioritize the preservation of building facades that are visible from public streets; these are designated as “protected” facades and are defined by the diagrams below. Protected facades are defined as the front façade, front 50% of the side facades, and front 75% of the corner side yard façade, as illustrated below. Non-protected facades are the remaining facades of the building.

- 1.1 Retain and preserve protected facades.
- 1.2 Do not change the character, appearance, configuration, or materials of protected façades, except to restore buildings to their original appearance.<sup>36</sup>
- 1.3 Do not add conjectural architectural features (e.g., do not add a front porch to a house that never had one).
- 1.4 Work to non-protected facades must be appropriate. However, the guidelines recognize that change will occur and that alterations and additions may be required on these non-protected facades.

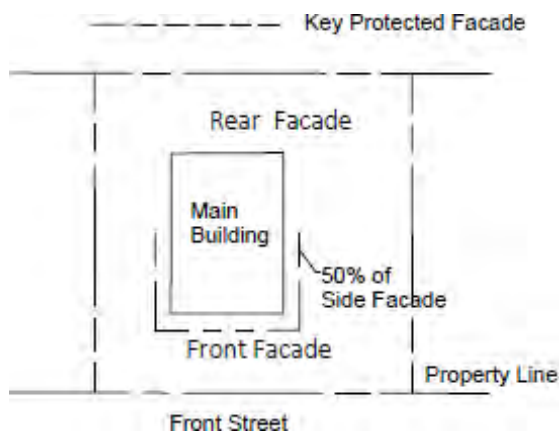


Diagram 1-1 Protected facades on an interior lot

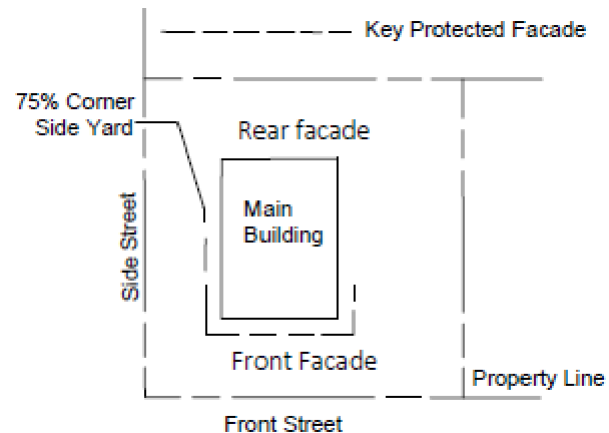


Diagram 1-2 Protected facades on a cornerside lot

## 2.0 LOT CONFIGURATION

Lot configuration and grading are important historic features of the Rogers Washington Holy Cross Historic District. These design standards seek to preserve, as much as possible, the lot configuration, orientation, scale, and dimensions of the neighborhood.

- 2.1 Do not replat one or more lots, which may alter the original lot configurations or orientations.
- 2.2 Development or redevelopment of vacant lots shall respect the historical development of the property and district in terms of lot size and relationship between public and private spaces.
- 2.3 Preserve existing single-family development patterns by constructing one principal house-scaled building on each platted lot. Accessory dwelling units are permitted.
- 2.4 Significant alteration of a property's topography through extensive grading, removal or alteration of rolled terraces and similar character-defining features, filling or excavating, is not permitted unless it is to correct significant flooding and drainage issues as specified by the City of Austin.

## 3.0 SITE AND SITE ELEMENTS

Site and context are critical to the character of a historic building and neighborhood. Therefore, the relationship of buildings and structures to their respective sites and to adjacent sites are important character-defining features of the district. Rogers Washington Holy Cross was an auto-oriented suburb. Therefore, the driveway, sidewalks, walkways, and parking areas were an integral part of the development pattern and are important to the character of the neighborhood.

### 3.1 SIDEWALKS/WALKWAYS

Many of the block faces have walkways to the front of the houses. These walkways are typically simple and perpendicular to the street.

- 3.1.1 Retain the original location, size and orientation of historic sidewalks/walkways.
- 3.1.2 Repair historic walkways rather than replacing them. If replacement is necessary due to severe deterioration or damage, the replacement shall match the size, form, location, and material of the historic walkway.
- 3.1.3 Where changes to historic walkways are necessary or new walkways are installed, the alterations and new walkways shall be similar to and compatible with the historic walkways in location, design, width, and materials.
- 3.1.4 Locate new walkways in front of the house, perpendicular to the street (as is typical of the neighborhood), matching the size, form, and material of historic walkways. On houses on an arterial corridor such as Martin Luther King Blvd, new walkways do not need to be perpendicular to the street.
- 3.1.5 New public sidewalks shall be aligned with those already on the block. If none exist, new sidewalks shall be placed immediately adjacent to the curb.

### 3.2 DRIVEWAYS

Typical neighborhood driveways are narrow, located to one side of the residence near the side property line, are straight and perpendicular to the street, constructed of concrete, and typically lead up to a garage or carport.

- 3.2.1 Retain the original size, location, orientation, and materials of historic driveways.
- 3.2.2 Integrate parking areas into the architecture of the house and orientation of the lot.
- 3.2.3 Do not pave historically landscaped areas of the yard.
- 3.2.4 Repair historic driveways rather than replacing them. If replacement is necessary due to severe deterioration or damage, the replacement shall match the historic form, width, location, and material.
- 3.2.5 New driveways shall be similar to and compatible with historic driveways in placement and location, design, width, and materials. Circular or semi-circular driveways are not allowed unless on an arterial corridor (such as Martin Luther King Drive).
- 3.2.6 Driveways shall be concrete or similar material. Do not use plain asphalt or



blacktop for a driveway or sidewalk or in the front of the house. Do not use artificial grass, asphalt, exposed aggregate, or outdoor carpet.

### 3.3 LANDSCAPING

The predominant landscaping in front and side yards includes grassy areas that connect one property to another. Trees have been planted in many front yards.

- 3.3.1 Keep landscape planting, beds, and features at the curb or front lot line low (no more than 3 feet tall). Do not obscure the front or primary façade of the house with vegetation.
- 3.3.2 Replace only those portions of character-defining landscape features that are deteriorated beyond repair. Existing mature trees located in the front yard shall be maintained, with the exception of unhealthy or damaged trees, which may be removed and replaced.
- 3.3.3 Landscape elements in back yards, not visible from any street and less than six feet in height, are not subject to review unless a building or other type of permit is required by the Municipal Code.

#### *Recommendations*

- 3.3.a Indigenous plant species, which are better adapted to local climate, may require less water than non-native species and are therefore encouraged.
- 3.3.b Deciduous trees that provide shade in the summer and allow passive heating in the winter are also encouraged.
- 3.3.c Grass types that are drought-resistant are encouraged. Some drought-tolerant grasses include native Buffalo grass, Tall Fescue, and Bermuda.
- 3.3.d Drought-tolerant landscaping offers an alternative to turf in yards and is encouraged. Alternatives for lawn areas can include any combination of hardy, low-growing ground- covers, rock, and grass.
- 3.3.e Native and drought-tolerant species are encouraged for landscape beds.

### 3.4 RETAINING WALLS

- 3.4.1 Preserve historic retaining walls.
- 3.4.2 Repair retaining walls with materials that match the original.
- 3.4.3 New retaining walls located in front or side yards and visible from the right-of-way shall be constructed of brushed concrete, stone, brick, or a combination of these materials that is compatible in texture, color, and style to the principal building or adjacent paving materials.
- 3.4.4 The height of a new retaining wall shall not exceed the height of the slope it retains.

### 3.5 PATIOS AND DECKS

Locate new patios and decks at the rear of the existing structure.

### 3.6 OUTDOOR LIGHTING

- 3.6.1 Outdoor lighting must be compatible with the historic character of the building and neighborhood in design, material, and scale.

### 3.7 MECHANICAL AND ENERGY CONSERVATION EQUIPMENT

- 3.7.1 Locate mechanical equipment and energy conservation equipment on non-primary elevations, where feasible, to minimize visibility from the street.
- 3.7.2 Solar panels shall be installed flat and not alter the slope of the roof. Installation of panels must be reversible and not damage the historic integrity of the property or district.
- 3.7.3 Locate rainwater collection systems on the side or rear of the house and not along the front façade.
- 3.7.4 Locate wind power systems to the rear of the site or the rear of new additions. The color of the turbine must be muted and free from graphics.

#### *Recommendation*

- 3.7.a Appropriate landscaping is encouraged to screen mechanical equipment or accessories.
- 3.7.b Gutters are encouraged as a method of directing stormwater runoff and preventing drainage problems.

### 3.8 ENERGY EFFICIENCY

- 3.8.1 Compliance with energy or building codes shall not be used as a reason to demolish a historic, contributing, or potentially contributing structure, or to change a structure in such a way that its historic features are modified or removed. The City of Austin recognizes that protection of our cultural heritage contributes to sustainable communities and preserves the value of embodied energy used in the construction of the building.
- 3.8.2 Construction of any new structures or alterations of existing structures shall be done in such a way as to meet or exceed the intent and requirements of current energy and building codes, except in cases where compliance with the codes would adversely impact the historic character of the property or the district.

### 3.9 ARCHITECTURAL BARRIERS AND ACCESSIBILITY

When needed or required, accessibility to historic properties can be achieved with careful and creative design solutions.

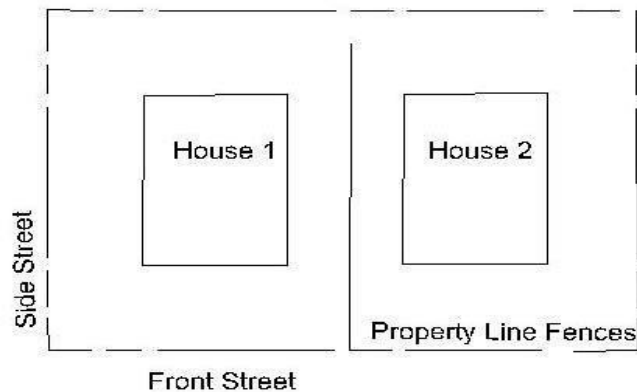
- 3.9.1 Construct ramps and other accessibility-related installations materials that are compatible with the building and district, with a design that is as unobtrusive as possible.

### 3.10 FENCES

The primary purpose of a fence is to define a boundary or to enclose a site. It is appropriate to construct and use fences in this manner for a historic neighborhood. Typically, Rogers Washington Holy Cross has chain link and wood fencing around properties and decorative masonry (CMU) walls (see following photo) and wing walls adjacent to side facades.



- 3.10.1 Fences and fence walls are permitted in side, corner side, and back yards. Interior side and corner side yard fences and fence walls shall not extend in front of the historic front building facade, except as addressed below. Depending on the materials and details of a fence and fence wall, additional requirements of this section may apply.
- 3.10.2 Construct fences in a material and style consistent with the adjacent buildings and in accordance with applicable zoning regulations. Allowed fence locations are shown below.



- 3.10.3 Fences shall not obscure significant views of protected facades nor obscure views to other character-defining features of the neighborhood. Fences in the front shall be no more than 4 feet in height.
- 3.10.4 Repair historic decorative masonry walls (CMU) rather than replacing them. If replacement is necessary due to severe deterioration or damage, the replacement shall match the historic size, form, location, and material of the historic masonry wall.
- 3.10.5 Fences historically located on the property line between houses and extending into the front yard are permitted and may remain and be repaired or replaced with material that is compatible with mid-century architecture.

## 4.0

## ALTERATIONS TO CONTRIBUTING PROPERTIES

The intent of the historic district is to preserve existing buildings that contribute to the overall historic identity and character of Rogers Washington Holy Cross. Because the Ranch and Minimal Traditional-style homes that dominate the district have very little ornamentation, features such as roofline, doors, windows and exterior materials become more important.

Wherever possible, materials, design, and craftsmanship of original features shall be retained, used and maintained in a manner consistent with these standards. The preservation of historic materials provides individual properties and the neighborhood with authenticity and integrity.

### 4.1 EXTERIOR WALLS

- 4.1.1 Retain original exterior materials, including siding and trim. Wood and historic masonry and features such as texture, tooling, bonding patterns, and joint treatment are protected and must be retained.
- 4.1.2 Repair rather than replacing original exterior materials.
- 4.1.3 When replacement of historic original exterior material is necessary due to severe deterioration or damage, the replacement shall match the historic element in appearance, dimension, form, color, reflectivity, finish, and texture. Mortar used in re-pointing must match the color and composition of the original. Incompatible mortar, too high in Portland cement content, may exceed the strength of historic brick and result in accelerated deterioration of brickwork.
- 4.1.4 Do not apply aluminum, vinyl, or other synthetic siding as a replacement for a primary building material. Artificial siding materials have been documented to cause serious, costly, and often irreparable damage to underlying materials and structural members.
- 4.1.5 Exposed wood shall be painted, stained, or otherwise protected from deterioration, except for roof shingles and other elements, including brick that were historically unpainted.
- 4.1.6 Do not use paint removal methods that involve thermal devices, or utilize chemical strippers that are not neutralized and stripping over a prolonged period such that the grain is raised and the surface is roughened, and mechanical abrasive methods.
- 4.1.7 Do not paint masonry elements unless they were originally painted. Moisture may become trapped between the paint and masonry, causing deterioration of the underlying materials and structural members.
- 4.1.8 Cleaning of masonry should only be undertaken when necessary to stop deterioration and shall employ the gentlest means possible, such as low-pressure water and soft bristle brushes. Test chemical cleaners or micro-abrasive systems on a hidden area of the building to determine if damage will occur and to ensure an appropriate cleaning treatment.
- 4.1.9 Replacement of deteriorated asbestos tiles and boards is allowed. Replacement materials shall match in size, form, texture, and pattern.

## 4.2 ROOFS

Roofs are an important character-defining feature for houses in the neighborhood. Roofs are a principal structural element of houses and help define the character of historic architectural styles through their form and material.

- 4.2.1 Retain historic original roof form, shape, overhang, eaves, coping, dormers, and decorative elements. With Ranch, Minimal Traditional, and Split Level styles, the roof form is usually gable-side crossed or front-facing or hipped or a combination. The roof pitch is generally low or intermediate, with minimal cornice boards and other decoration. Contemporary-style houses often have flat or low-pitched roofs, but may be “gull-wing” or “butterfly.”
- 4.2.2 Base replacement roofing for non-historic roofing on roofing that is appropriate to the style of the building. Substitute materials that simulate historic roofing materials are permitted where their design is appropriate. Typical historic roof materials are composition shingles or metal for Ranch, Split Level, and Minimal Traditional style houses. Typical roof materials for Contemporary houses are composition roll roofing or tar and gravel.
- 4.2.3 If replacement is necessary due to severe deterioration or damage, the replacement shall match the original in material, texture, color, and shape, where possible or be similar in appearance to the historic roofing and/or features.
- 4.2.4 Do not apply roof detail if it did not exist historically.

## 4.3 CHIMNEYS

- 4.3.1 Retain chimneys as protected features.
- 4.3.2 Repair historic chimney material rather than replacing it.
- 4.3.3 If chimney material is severely deteriorated or damaged, replacement materials shall match the original in material, size, and form, texture, bonding pattern, joint size, shape, appearance, color, and mortar.

## 4.4 PORCHES AND ENTRANCES

Porches and entrances are character-defining features that provide interest and are integral to the housing styles in Rogers Washington Holy Cross.

- 4.4.1 Retain historic porches and entrances as protected features, including porch railings and/or columns.
- 4.4.2 If replacement is necessary due to severe deterioration or damage, replacement materials shall match the original in design, profile, finish, and texture. Do not add porch elements that were not historically present.
- 4.4.3 Do not enclose front porches.
- 4.4.4 Do not construct a new front deck or front porch or expand an existing porch on the main or corner side facade.
- 4.4.5 If original porch elements are missing, they may be restored to their historic appearance if sufficient documentation exists to ensure accuracy.
- 4.4.6 If new porch or stair railings are needed, style and materials shall be appropriate to the style of the house.

## 4.5 WINDOWS

Historic windows are an important character-defining feature of a building. Window design typically provides an accent and may incorporate a special material, finish, or design that provides variety and visual interest to the building and neighborhood. Each style of building uses characteristic window styles, and it is important to maintain appropriate designs for these elements.

- 4.5.1 Do not enlarge, move, or enclose historic window openings on protected facades. Do not create new window openings on protected façades. It may be appropriate to restore original window openings that have been enclosed.
- 4.5.2 Repair historic windows, surrounds, and elements rather than replacing them. If replacement is necessary due to severe deterioration or damage, or to meet a whole-house energy standard along with other energy-efficiency measures, the replacement shall match the historic window size, profile, appearance, window pane number and configuration, and other design characteristics. The relationship between the replacement windows, the window surrounds, and the screens (if present) shall match the original.
- 4.5.3 Do not install vinyl-clad wood windows or vinyl-sash windows. Vinyl is not an environmentally sustainable material, and the texture and sheen of vinyl windows does not match the materials or appearance of original windows.
- 4.5.4 Muntins, the strip of wood or metal separating and holding panes of glass in a window, must match the profile of the original window with either true divided lights or dimensional muntins placed on the outside of the glass. Do not use false muntins inserted inside the glass.
- 4.5.5 Replacement glazing shall be clear. The application of clear ultraviolet (UV) film to window glazing is the least costly option for reducing heat gain from sunlight and may be an acceptable addition to window glass.
- 4.5.6 Storm windows can provide increased energy efficiency without damaging historic windows. Interior storm windows may be used to maintain the historic exterior appearance of the window. If using storm windows, install them in a way that does not damage exterior historic fabric.

### *Recommendation*

- 4.5.a The replacement of non-historic incompatible windows with windows that are more historically appropriate is encouraged.

## 4.6 DOORS

Historic doors are an important character-defining feature of a building. Door design typically provides an accent and may incorporate a special material, finish, or design that provides variety and visual interest to the building and neighborhood. Each style of building uses characteristic door styles and it is important to maintain appropriate designs for these elements.

- 4.6.1 Do not enlarge, move, or enclose original door openings. It may be appropriate to restore original door openings that have been enclosed.
- 4.6.2 Retain original doors, door surrounds, and sidelights.
- 4.6.3 If a replacement door, door surround, sidelight, or transom is necessary due to severe deterioration or damage, the style, materials, and finish of the replacement shall reflect the style and period of the house. Replacement

doors shall be compatible with historic-age doors in proportion, shape, location, pattern, size, materials, and details.

- 4.6.4 Do not create new door openings in the front facade of a principal building.
- 4.6.5 If new openings are necessary due to code requirements or unique circumstances, they may be considered by the Historic Landmark Commission. In this case, new openings shall be compatible with existing door openings in proportion, shape, location, pattern, size, and material.
- 4.6.6 A storm or screen door visible from the public right-of-way shall be limited to one intermediate rail and full view glazed panels (clear glass) to maximize the view of the existing door, while not damaging or obscuring the door and frame. An exception is the addition of historic-age or compatible-style decorative metal screen doors originally found in the neighborhood. Example is shown in the picture below. Do not enlarge or decrease the size of a door opening to accommodate a storm door.



#### *Recommendation*

- 4.6.a Consider using other security measures instead of installing security bars on doors or windows visible from the public right-of-way.
- 4.7 RECONSTRUCTION OF MISSING ELEMENTS
- 4.7.1 Use photographs, documentary, or physical evidence to replace missing features or design elements. Replicate only those features that are known to have existed on the building or site.

## 5.0 ADDITIONS TO CONTRIBUTING PROPERTIES

The expansion of historic buildings can be part of a building's evolution. These standards are intended to manage that change in a way that protects the character-defining features of contributing buildings and the neighborhood. Additions should relate to and complement the style of the principal building and the streetscape.

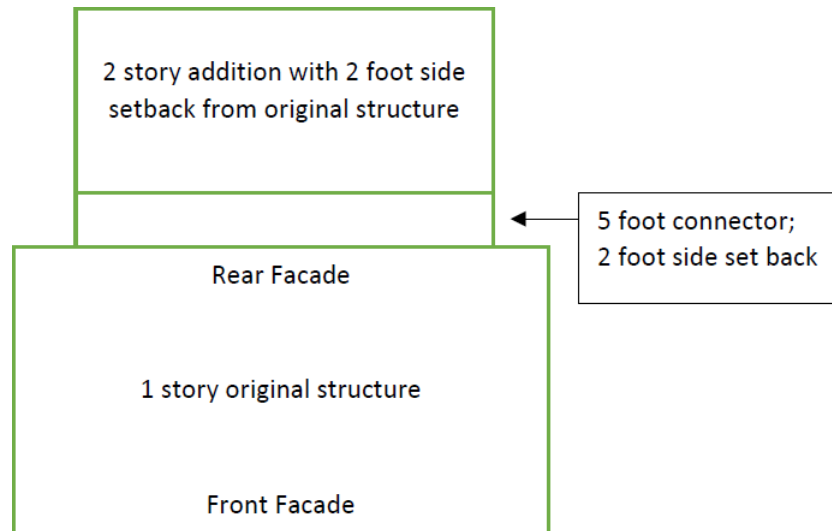
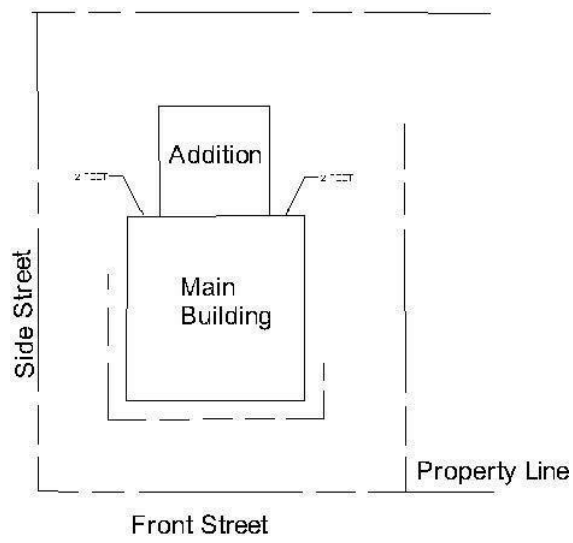
### 5.1 DESIGN OF ADDITIONS

- 5.1.1 Design additions to be compatible with the principal building in massing, size, scale, proportion, texture, finish materials, and detail.
- 5.1.2 Additions visible from the street (either from the front or from the side) shall have window- to-wall area ratios, floor-to-floor heights, fenestration patterns, and bay divisions compatible with those on the existing house.
- 5.1.3 Additions are not required to be designed in a particular style, but their design should be compatible with the architectural style of the existing building.
- 5.1.4 Design additions to appear secondary and subordinate to, and differentiated from, the existing house.
- 5.1.5 Design connections between additions and historic structures to be clearly discernible. A clear transition between the new addition and the historic structure shall be established and maintained.
- 5.1.6 One-story additions not visible from the public right-of-way do not need a connector between the original rear façade and new construction.
- 5.1.7 A two-story addition shall have a one-story connector of at least five (5) feet between the main building and the addition.
- 5.1.8 Design the roof form of additions to echo those of the original structure. Do not add dormers visible from the principal public right-of-way (the street on which the building fronts).

### 5.2 LOCATION OF ADDITIONS

- 5.2.1 Locate additions at the rear façade of the principal building. Additions must be set back at least two feet from the side facades of the building.
- 5.2.2 A two-story addition is permitted behind a one-story house and shall have a one-story connector of at least five (5) feet between the principal building and the two-story addition.
- 5.2.3 A second-story addition built directly over the principal building is permitted only when the second-story is built over an existing addition that was not originally part of the contributing principal building.





## 6.0 ACCESSORY STRUCTURES

Accessory structures are differentiated from accessory dwelling units (ADUs) by use and by size. Accessory structures are not used as living spaces and may include buildings like sheds. See 8.0 New Construction for accessory dwelling unit standards.

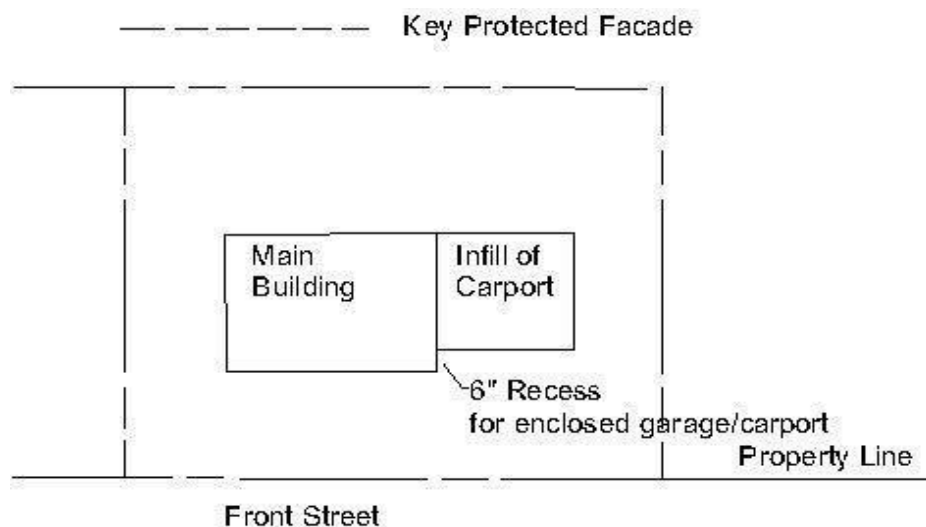
These standards apply to all ground-up, standalone new construction within the district, on both contributing and noncontributing properties.

- 6.1 Accessory buildings shall follow the historic setback patterns of the property or other accessory buildings in the streetscape or district when constructed new or replaced in kind.
- 6.2 Locate accessory structures behind the rear of the principal building.
- 6.3 Accessory structures shall be secondary in size and use to the existing principal building and garage.
- 6.4 Accessory structures shall not exceed the height of the existing principal building.

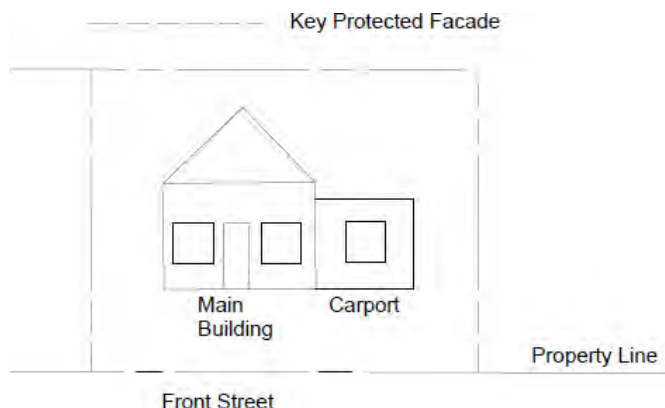
## 7.0 GARAGES, CARPORTS, AND GARAGE APARTMENTS

Garages and carports are an integral part of the design of the houses. Most garages and carports are attached to the front façade, as is typical for Ranch, Contemporary, and Split Level houses.

- 7.1 Retain historic garages and carports and their character-defining features, such as primary materials, roof materials, roof form, windows, window and door openings, and any architectural details.
- 7.2 If replacement of character-defining features is necessary due to severe deterioration or damage, replacements shall match the original as closely as possible in material, texture, size, and finish.
- 7.3 Conversion of historic-age attached carports into enclosed garages or living space, or historic-age garages into living space, is allowed.
- 7.4 The infill of the entry of the carport on the front facing façade for a garage shall be recessed six inches at minimum.



- 7.5 Infill of the entry of the historic-age carport or garage on the front façade as a living space shall be recessed at least six inches, shall use exterior materials similar to and compatible with the original house, and have at least one window similar in size to the typical window on the original house.



## 8.0 NEW CONSTRUCTION OF INFILL (PRINCIPAL BUILDINGS AND ACCESSORY DWELLING UNITS)

These standards apply to ground-up standalone new construction on every property within the district, both contributing and noncontributing. New construction within Rogers Washington Holy Cross should not copy the district's historic buildings, but it should be compatible with the mid-20<sup>th</sup>-century design of the neighborhood. New construction should reflect building forms, materials, massing, proportions, roof forms, and fenestration patterns historically present within the district. The intent of these standards is not to limit creativity, but to encourage compatible design and construction.

The neighborhood has historically been single-family, and therefore the most appropriate type of new construction reflects the single-family scale and aesthetic. The standards do not govern use or density.

To balance economic vitality, housing affordability, and historic preservation, accessory dwelling units (ADUs) are allowed in rear yards. This portion of the standards applies to ADUs as well as construction of new principal buildings.

Driveways, landscaping, fences, walls, mechanical equipment, and other site elements will be reviewed under the design standards for these elements in those sections.

### 8.1 ORIENTATION, SETBACKS, AND HEIGHT

- 8.1.1 Locate new or moved structures on their lot to maintain the existing patterns and setbacks of the street.
- 8.1.2 Front and side yard setbacks for new principal buildings shall equal the prevalent setback of the contributing houses on the same side of the street. When the historic street pattern is irregular, new principal buildings shall have a setback similar to adjacent contributing properties.
- 8.1.3 The height of new construction for principal buildings shall not exceed 27 feet measured vertically from a) the average of the highest and lowest grades adjacent to the side of the building facing the primary street (typically the front of the building) to b) the highest point of the building at any location. Refer to the Land Development Code for more detail on measuring building height.
- 8.1.4 The grade of the lot shall be the same as the grade of the adjacent street, as well as the grade of the adjacent contributing buildings.
- 8.1.5 The height of new construction for ADUs shall be compatible to the dimensions of the lot and the scale of the property.

#### *Recommendations*

- 8.1.a Consider cornice heights, porch heights, and foundation heights in the same block face when designing a new building.
- 8.1.b Consider the grade of the lot against the grade of the adjacent street, as well as the grade of adjacent contributing buildings.

## 8.2 DESIGN AND STYLE

- 8.2.1 The total massing and site coverage of a new building shall be consistent with adjacent contributing buildings. The massing of the various parts of a new building shall be compatible with contributing buildings that are adjacent and on the same block face.
- 8.2.2 Design new buildings to be compatible with the historic character of the district, yet differentiated from historic buildings in the district.
- 8.2.3 Buildings designed in a contemporary style shall respect the scale, massing, proportions, floor-to-floor heights, patterns (including door and window patterns), and materials prevalent among contributing houses.
- 8.2.4 Do not combine character-defining features from different architectural styles in the district historically.

### *Recommendation*

- 8.2.a The building forms and architectural styles that historically were present within the district may serve as a guide for new construction.

## 8.3 EXTERIOR WALLS

- 8.3.1 Use exterior materials that are compatible with the character of the district in scale, type, size, finish, and texture.
- 8.3.2 The pattern and arrangement of secondary materials shall be compatible with the overall character of the district.
- 8.3.3 Limestone/sandstone, brick, clapboard, wood, and cement board are appropriate cladding materials.
- 8.3.4 When cement board siding is used to simulate wood or asbestos siding, it shall reflect the general directional and dimensional characteristics found historically in the district.

## 8.4 PORCHES AND ENTRANCES

- 8.4.1 New construction shall have a front porch or entrance area that is similar to those on surrounding contributing buildings.
- 8.4.2 Porch posts/columns, railings, and detailing shall correspond to the form and architectural style of the new building.
- 8.4.3 Do not add porch elements that were not historically present.

## 8.5 ROOFS

- 8.5.1 Roofs shall be simple in form, reflecting the character of the roofs on contributing houses.
- 8.5.2 Roof details such as eave detailing and bargeboards shall correspond to the building form and architectural style of the new building.
- 8.5.3 Roof materials shall reflect the character of the roofs on contributing houses, as well as the historic character of houses with a similar building form and architectural style.

## 8.6 WINDOWS AND SCREENS

- 8.6.1 Windows and screens shall reflect the proportions, configuration, and patterns of windows and doors in historic buildings within the district.
- 8.6.2 Do not install vinyl-clad wood windows or vinyl-sash windows.
- 8.6.3 Divided-light windows must use either true divided lights or dimensional muntins placed on the outside of the glass. Do not use false muntins inserted inside the glass.
- 8.6.4 Glazing shall be clear. The application of clear ultraviolet (UV) film to window glazing is the least costly option for reducing heat gain from sunlight and may be an acceptable addition to window glass.

## 8.7 DOORS

- 8.7.1 A single primary door is allowed on the front, primary façade of new construction and shall be located so that it is visible from the street.
- 8.7.2 Match the style, proportions, materials, and finish of the front door to the overall style and design of the house. The door placement, style, proportions, materials and finish shall correspond to the building form and architectural style of the new building in a way that responds to historical styles and trends evident in the neighborhood.

## 8.8 CHIMNEYS

- 8.8.1 Chimneys shall reflect the configuration, form and patterns of chimneys in historic buildings within the district and be compatible with the overall style and design of the house.

## 8.9 GARAGES, CARPORTS, ACCESSORY BUILDINGS

- 8.9.1 Garages and carports shall correspond in size, scale, and placement to contributing houses on the block face and architectural styles within the district.
- 8.9.2 The materials and finishes used for new garages, carports, and outbuildings – including garage doors – shall correspond to the overall character of the district, as well as the building type and style of the new house.
- 8.9.3 Accessory buildings shall be located in the rear yard. Refer to “6.0 Accessory Structures” for additional standards.

## 9.0 DEMOLITION AND RELOCATION

- 9.1 Do not demolish a contributing building unless the structure is a threat to the safety of the public and/or cannot reasonably be rehabilitated either structurally or economically.
- 9.2 The relocation of contributing buildings from inside the district to locations outside the district shall be considered in the same manner as demolition for the purposes of considering the appropriateness of the action.
- 9.3 Relocation of buildings from outside of the district to a location within the district shall be considered appropriate only when the structure to be moved is architecturally, materially, and dimensionally compatible with the district.
- 9.4 The demolition and relocation of noncontributing buildings shall be considered using the process defined by code for historic-age buildings.

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*The City's Land Development Code addresses demolitions in historic districts with the following provisions:*

### ISSUANCE OF DEMOLITION PERMIT

When the Historic Landmark Commission recommends approval of a certificate regarding demolition of buildings, objects, sites, or structures in historic districts or historic landmarks, permits shall not be issued until all plans for the site have received approval from all appropriate city boards, commissions, departments and agencies. If any building, object, site or structure covered by this subdivision shall have to be demolished as a public safety hazard, no application for a permit for a project on the property may be considered for a period of two (2) years from the date of demolition of the structure provided that the following have occurred prior to an order for demolition:

- A. The owner thereof has received two (2) or more notices of building neglect in violation of this and other city ordinances from the historic preservation officer and the director of development services, or their designees;
- B. At least two (2) municipal court cases have been filed in an attempt to enforce applicable provisions of the City Code;
- C. A verified consultation between the owner, historic preservation officer, and the director of development services has occurred. Additionally, no permit for a curb cut needed for the operation of surface parking lot shall be granted by a city office during this period, nor shall a parking lot for vehicles be operated whether for remuneration or not on the site for a period of five (5) years from and after the date of such demolition.

### TREATMENT OF SITE FOLLOWING DEMOLITION

Following the demolition or removal of a historic landmark, a building, object or structure found eligible for landmark designation, or a building, object, or structure located in a historic district, the owner or other person having legal custody and control thereof shall

- (1) remove all traces of previous construction, including foundation,
- (2) grade, level, sod and seed the lot to prevent erosion and improve drainage, and
- (3) repair at his own expense any damage to public rights-of-way, including sidewalks, curbs and streets, that may have occurred in the course of removing the building, object, or structure and its appurtenances.

## 10.0 NONCONTRIBUTING PROPERTIES

It is recommended that historic-age properties that are noncontributing due to alterations be rehabilitated under these standards to return them to contributing status.



## DEFINITIONS

**ACCESSORY BUILDING** means a structure, such as a detached garage, shed, gazebo, or other building that supports the function of the principal building on the site and that is subordinate to this principal building.

**ACCESSORY DWELLING UNIT**, or ADU, is a secondary, usually smaller unit on a property with a primary house. It is self-contained with its own bathroom and kitchen. ADUs can include stand-alone one-story and two-story units as well as those above garages.

**ADDITION** means construction that increases the size of the original structure by building outside of the existing walls and/or roof. Additions can be either horizontal or vertical.

**ALTERATION** means an act that changes one or more of the exterior architectural features of a structure or its appurtenances, including but not limited to the erection, construction, reconstruction, or removal of any structure or appurtenance. Appurtenance is anything attached to the building.

**APPROPRIATE** means typical of the historic architectural style, compatible with the character of this district, and consistent with these design standards.

**ARCHITECTURAL STYLE** means a category of architecture of similar buildings distinguished by similar characteristics of construction, design, materials, etc.

**CERTIFICATE OF APPROPRIATENESS** means the documentation provided by the Historic Landmark Commission and Historic Preservation Office. Provided after review of proposed changes to a contributing structure in the historic district, a Certificate of Appropriateness certifies that the proposed change conforms to the Rogers Washington Holy Cross Historic District Design Standards. Certificates of Appropriateness are governed by sections 25-11-2 and 25-11-212 of the City of Austin Land Development Code, which provide that a person must obtain a Certificate of Appropriateness to change, restore, remove, or demolish an exterior architectural or site feature of a structure that is contributing to the historic district; and for ground-up new construction within the district. City Historic Preservation Office staff can approve applications for some Certificates of Appropriateness, as provided in the Land Development Code.

**CHARACTER-DEFINING FEATURE** means those important architectural materials or features that constitute the property's historic significance as determined by these design standards, Historic Preservation Office staff, or the Historic Landmark Commission. Character- defining features may include a historic building's form, materials, features, craftsmanship, decorative details, as well as its site/ environment. Because these elements contribute to a property's historic character, they are typically prioritized for preservation.

**COLUMN** means the entire column, including the base and capital.

**COMPATIBLE** means a design or use that maintains the historical appearance of a building and does not irreversibly alter the building.

**CONSTRUCTION** means the act or business of building a structure or part of a structure.

**CONTRIBUTING STRUCTURE** means a structure that fits the following criteria:

1. Contributes architecturally and/or historically to the historic character of the historic district and whose architectural style is typical of or integral to this district.
2. Is at least 50 years old and maintains a high degree of integrity in that it retains its historic appearance (see definition of integrity).
3. Was built during the period of significance for the historic district (1953-69 for Rogers Washington Holy Cross).

The determination of whether a structure is contributing to the historic district was included in the "East Austin Historic Resources Survey" conducted in 2016 by Hardy Heck Moore, Inc. who evaluated the survey and inventory of the buildings within the district, in conjunction with City of Austin staff. A structure is designated contributing to the historic district by the ordinance establishing the district.

Altered structures may still be considered contributing to the character of the historic district if the alterations are minor and have not significantly compromised the integrity of materials and design of the building. However, a building that has been significantly altered and no longer retains its historic appearance is no longer contributing to the district, even if the building is over 50 years old. The building may be rehabilitated to its historic appearance and determined contributing at that time.

CORNERSIDE FACADE means a facade facing a side street.

CORNERSIDE FENCE means a fence adjacent to a side street.

CORNERSIDE YARD means a side yard abutting a street.

DEMOLITION means an act or process that destroys or razes a structure or its appurtenances in part or in whole, or permanently impairs its structural integrity, including its demolition by neglect of necessary maintenance and repairs.

DIRECTOR means the Director of the Department of Planning and Zoning or the Director's representative.

DISTRICT means the Rogers Washington Holy Cross Historic Overlay District (or Historic District). A historic area (HD) combining district is the collection of structures and spatial relationships that give an area its historic character. At least 51% of the principal buildings within the historic area (HD) combining district must be designated as contributing to the district.

ENTRY means a door, gate, or passage used to enter a building.

ERECT means to attach, build, draw, fasten, fix, hang, maintain, paint, place, suspend, or otherwise construct.

FAÇADE means any exterior face or elevation of a building.

FENCE means a structure or hedgerow that provides a physical barrier, including a fence gate.

FENESTRATION means the arrangement, proportioning, and design of windows and doors in a building.

FORM means the size, shape, and massing of a building.

HEIGHT means the vertical distance from the average grade level to the average level of the

roof.

**HISTORIC** means a property, building, element, or material that dates either to the original construction date or to some later but important alteration date that is consistent with a historic district's period of significance.

**HISTORIC LANDMARK COMMISSION** means the City of Austin Historic Landmark Commission.

**INFILL CONSTRUCTION** means construction on property between or adjacent to existing buildings.

**INTEGRITY** means a measure of the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic period in comparison with its unaltered state.

**INTERIOR SIDE FACADE** means a facade not facing a street or alley.

**INTERIOR SIDE FENCE** means a fence not adjacent to a street or alley.

**INTERIOR SIDE YARD** means a side yard not abutting a street or alley.

**LANDSCAPE** means the whole of the exterior environment of a site, district, or region, including landforms, trees, and plants.

**LOT** means a surveyed parcel of land that fronts on a public street, especially of a size to accommodate an individual building.

**MAIN BUILDING** means the primary residential or commercial building on a site.

**MODIFY or MODIFICATION** means to make changes to an existing structure. See also alteration.

**MULLION** means a wide upright bar dividing two window units within a frame.

**MUNTIN** means a strip of wood or other material that separates lites or panes of glass within a window sash.

**NEW CONSTRUCTION** means the act of adding to an existing structure or erecting a new principal or accessory structure or appurtenances to a structure, including, but not limited to, buildings, extensions, outbuildings, fire escapes, and retaining walls.

**NO-BUILD ZONE** means that part of a district or a lot in which no new construction may take place.

**NONCONTRIBUTING STRUCTURE** means a structure that meets at least one of the following criteria:

1. Is less than 50 years old.
2. Has been moved into the district fewer than 50 years ago.
3. Is more than 50 years old, but has been significantly altered over time so that the building no longer conveys its historic appearance. A building is noncontributing to the district unless it is restored to its historic appearance. City incentives are available to owners of historic-age noncontributing properties to encourage restoration into a contributing building.

**ORDINARY MAINTENANCE AND REPAIR** means work meant to remedy damage to deterioration of a structure or its appurtenances. It does not involve changes in materials, dimensions, design, configuration, color, texture, or visual appearance.

**PERIOD OF SIGNIFICANCE** means a time period during the history of a neighborhood or district when a substantial amount of construction activity took place. For Rogers Washington Holy Cross, the period of significance is from 1952 to 1969. Most resources in the district were built during this time.

**PORCH** means the area of a building with a roof and floor, but no front wall. Porches are typically open at the sides as well.

**PRESERVATION** means measures necessary to sustain the existing form, integrity, and materials of a historic property. Preservation work focuses on maintenance and repair of historic materials and features rather than extensive replacement and/or new construction.

**PROPORTION** means the dimensional relationship between one part of a structure or appurtenance and another. Façade proportions involve relationships such as height to width, the percent of the façade given to window and door openings, the size of these openings, and floor-to-ceiling heights. Often described as a ratio, proportions may be vertical (taller than wide), horizontal (wider than tall), or non-directional (equally tall and wide).

**PROTECTED** means an architectural or landscaping feature that must be retained and maintain its historic appearance, as near as practical, in all aspects.

**RECONSTRUCTION** means new construction that replicates the form, features, and detailing of a non-surviving site, landscape, building, structure, or object. Examples of reconstruction include the construction of new window screens that replicate historic screens on a structure or the replacement of missing eave brackets or porch features. Reconstruction should be undertaken only when physical and/or documentary (photographic) evidence is available to show the size, scale, proportion, and materials of missing features.

**REHABILITATION** means the repair, alterations, and additions to a historic property that make a compatible use of the property possible, while preserving the character-defining features of the structure which convey its historic, cultural, or architectural values. Rehabilitation generally involves the construction of additions to historic buildings.

**REPAIR** means fixing a deteriorated part of a building, structure, or object, including mechanical or electrical systems or equipment, so that it is functional; may involve replacement of minor parts.

**REPLACEMENT** means interchanging a deteriorated element of a building, structure, or object with a new one that matches the original element as closely as possible in size, scale, proportion, and materials.

**REPLICATION** means the accurate reconstruction of an element of a building, structure or object using the original element as a model or mold. See reconstruction.

**REPOINTING** means the repair of existing masonry joints by removing defective mortar and installing new mortar.

**RESTORATION** means the accurate depiction of the form, features, and character of a property as it appeared at a particular period of time by removing features from other periods

in its history and reconstructing missing features from the restoration period.

RIGHT-OF-WAY means the land used for a transportation corridor such as a public street, alley, or railroad; typically owned by the government.

SCALE means the relative proportion of a building to neighboring buildings, or of a building to a pedestrian observer.

SETBACK means the horizontal distance between a structure's vertical planes (walls and/or foundation) and a reference line, usually the property line.

SITE means the land on which a building or other feature is located.

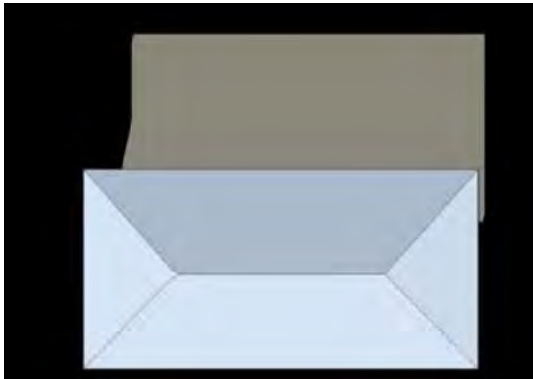
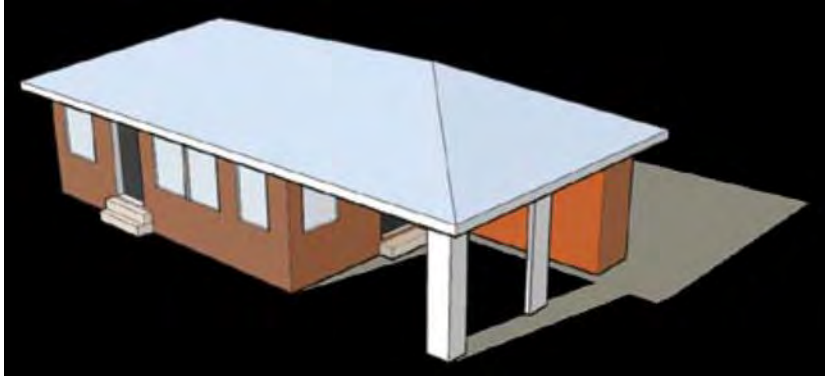
SOLID-TO-VOID RATIO means the proportion of window and door openings to wall surface area in the exterior wall of a building.

STRUCTURE means anything constructed or erected, on the ground or attached to something having a location on the ground, including but not limited to buildings, fences, site walls, gazebos, billboards, outbuildings, and swimming pools.

VISIBLE FROM A PUBLIC WAY means able to be seen from any public right-of-way (street, alley, or railroad), or other place, whether privately or publicly owned, upon which the public is regularly allowed or invited to be.

# ROOF FORMS

Hipped



Pyramid

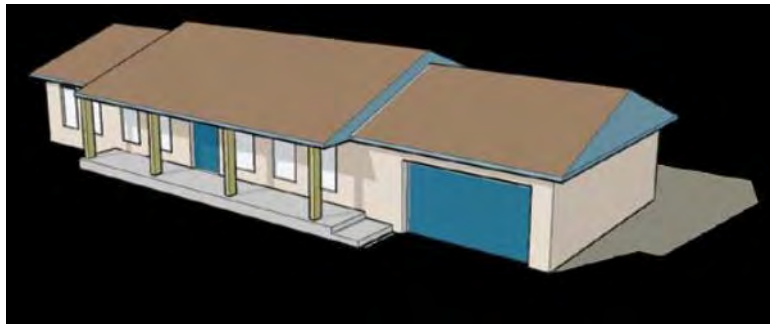




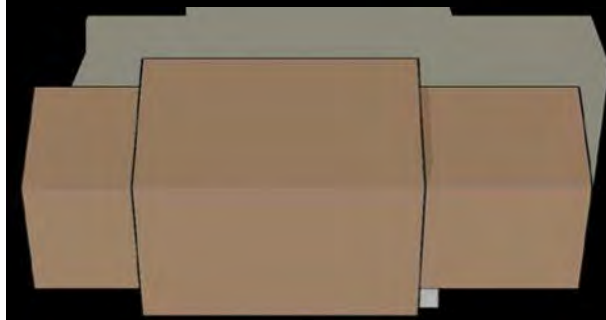
Cross-Hipped



Terraced Gable



L-Shaped with Hipped roof



## Examples of Homes in the Historic District



John Quill Taylor and Marcet King's house at 2400 Givens Avenue (built 1959). Photo by HHM, 2016.



2504 East 19th Street (now E. MLK, Jr. Boulevard), constructed in 1958 with Ranch-style influences. Photo by HHM, 2016.





Fri, 18 Mar 2016



March 2019

## IDENTIFICATION

Street number	2305	Legal description	LOT 4-5 BLK 1 OLT 47 DIV B
Street direction	E		SUNRISE ADDN
Street name	21	Zoning code	SF-3-NP
Street type	ST	Owner name	LEVINE PHILIPPA JUDITH
Zip Code	78722	Owner city	AUSTIN
Addition / subdivision	SUNRISE ADDN	Owner state	TX
Neighborhood	UPPER BOGGY CREEK	Owner zip code	78722
		Parcel ID	204113
		Zoning ID	134769

## GENERAL EXTERIOR

Type	Building - Residential - Single-Family House	Structural materials	
Stylistic influences	Ranch	Bays	
Exterior wall	Horizontal wood board, hardiplank, cut stone	Stories	1
		Foundation type	
		Description notes	

## ROOF

Roof shape	Hipped	Chimney locations	
Roof materials	Asphalt shingles	Chimney materials	
Number of chimneys		Chimney feature	

## DOORS AND WINDOWS

Door types		Window types	Awning, fixed
Door features		Window materials	Vinyl
		Window features	

## PORCH

Porch type		Porch support type	
Porch roof type		Other porch features	

## LANDSCAPE

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1956	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Windows replaced, Doors replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



October 2019



October 2019

**IDENTIFICATION**

Street number 1900  
 Street direction  
 Street name CEDAR  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision HOLY CROSS HEIGHTS  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 8 \* & E 25FT LOT 7 HOLY CROSS HEIGHTS  
 Zoning code SF-3-NP  
 Owner name BERRI T McBRIDE  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204103  
 Zoning ID 134740

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch  
 Exterior wall Horizontal wood board, PermaStone

Structural materials  
 Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Side Gable  
 Roof materials Asbestos shingle, stone, horizontal wood board  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Single-hung  
 Window materials Vinyl  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1957	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Integrity notes	Three side and one back doors are original; one door replaced; changes compatible
Alterations	Doors replaced, patio posts replaced		

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Fri, 18 Mar 2016



March 2019

**IDENTIFICATION**

Street number	1906	Zoning code	SF-3-NP
Street direction		Owner name	CUEVAS TERESA JACKQUELINE &
Street name	CEDAR	Owner city	AUSTIN
Street type	AVE	Owner state	TX
Zip Code	78722	Owner zip code	78722
Addition / subdivision	HOLY CROSS HEIGHTS	Parcel ID	204102
Neighborhood	UPPER BOGGY CREEK	Zoning ID	134740
Legal description	LOT 9 *NE TRI OF LOT 10 HOLY CROSS HEIGHTS		

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Bays	
Stylistic influences	Ranch	Stories	1
Exterior wall	Composite siding	Foundation type	
Structural materials		Description notes	

**ROOF**

Roof shape	Side Gable	Chimney locations	
Roof materials	Asphalt	Chimney materials	
Number of chimneys		Chimney feature	

**DOORS AND WINDOWS**

Door types		Window types	Single-hung
Door features		Window materials	Vinyl
		Window features	

**PORCH**

Porch type		Porch support type	
Porch roof type		Other porch features	

**LANDSCAPE**

Landscape features		No. of sheds	1
No. of garages		Other outbuildings	
		Other associated places	



**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1957	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Doors replaced, Windows replaced, Porch altered
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Tue, 22 Mar 2016



March 2019

**IDENTIFICATION**

Street number	2000	Legal description	LOT 43 HOLY CROSS HEIGHTS
Street direction			RESUB
Street name	CEDAR	Zoning code	SF-3-NP
Street type	AVE	Owner name	SIMMS MELVIN
Zip Code	78722	Owner city	AUSTIN
Addition / subdivision	HOLY CROSS HEIGHTS RESUB	Owner state	TX
Neighborhood	UPPER BOGGY CREEK	Owner zip code	78722
		Parcel ID	204087
		Zoning ID	134793

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Bays	
Stylistic influences	Ranch	Stories	1
Exterior wall	Brick, asbestos shingles, vinyl	Foundation type	
Structural materials		Description notes	

**ROOF**

Roof shape	Side Gable	Chimney locations	
Roof materials	Asphalt Shingle	Chimney materials	
Number of chimneys		Chimney feature	

**DOORS AND WINDOWS**

Door types		Window types	Double-hung
Door features		Window materials	Aluminum
		Window features	

**PORCH**

Porch type		Porch support type	
Porch roof type		Other porch features	

**LANDSCAPE**

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1958	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Tue, 22 Mar 2016



October 2019

## IDENTIFICATION

Street number	2006	Zoning code	SF-3-NP
Street direction		Owner name	ADAMS JOHN MICHAEL & REGINA CELESTE
Street name	CEDAR	Owner city	GEORGETOWN
Street type	AVE	Owner state	TX
Zip Code	78722	Owner zip code	78628
Addition / subdivision	HOLY CROSS HEIGHTS	Parcel ID	204086
Neighborhood	UPPER BOGGY CREEK	Zoning ID	134793
Legal description	LOT 24 HOLY CROSS HEIGHTS		

## GENERAL EXTERIOR

Type	Building - Residential - Single-Family House	Structural materials	
Stylistic influences	Ranch	Bays	
Exterior wall	Asbestos shingles, horizontal wood board, cut stone	Stories	1
		Foundation type	
		Description notes	

## ROOF

Roof shape	Side gable	Chimney locations	
Roof materials	Metal	Chimney materials	
Number of chimneys		Chimney feature	

## DOORS AND WINDOWS

Door types	Wood Aluminum	Window types	Single-hung, fixed, sliding
Door features		Window materials	Vinyl
		Window features	

## PORCH

Porch type		Porch support type	
Porch roof type		Other porch features	

## LANDSCAPE

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1957	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Doors replaced, Windows replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Tue, 22 Mar 2016



March 2019

## IDENTIFICATION

Street number	2100	Legal description	LOT 3 HOLY CROSS HEIGHTS
Street direction			RESUB 2
Street name	CEDAR	Zoning code	SF-3-NP
Street type	AVE	Owner name	KEELING CHARLES L
Zip Code	78722	Owner city	AUSTIN
Addition / subdivision	HOLY CROSS HEIGHTS RESUB 2	Owner state	TX
Neighborhood	UPPER BOGGY CREEK	Owner zip code	78722
		Parcel ID	204072
		Zoning ID	134793

## GENERAL EXTERIOR

Type	Building - Residential - Single-Family House	Structural materials	
Stylistic influences	Ranch	Bays	
Exterior wall	Cut stone, asbestos shingles, horizontal wood siding	Stories	1
		Foundation type	
		Description notes	

## ROOF

Roof shape	Side Gable	Chimney locations	
Roof materials	Asphalt Shingles	Chimney materials	
Number of chimneys		Chimney feature	

## DOORS AND WINDOWS

Door types		Window types	Single-hung
Door features		Window materials	Vinyl
		Window features	

## PORCH

Porch type		Porch support type	
Porch roof type		Other porch features	

## LANDSCAPE

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1960	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Windows replaced, Doors replaced, Porch altered, Garage infilled
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





March 2019



Fri, 26 Feb 2016

## IDENTIFICATION

Street number 1903  
 Street direction  
 Street name CHESTNUT  
 Street type AVE  
 Zip Code 78702  
 Addition / subdivision WASHINGTON SUBD  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 5&6 WASHINGTON SUBD  
 Zoning code SF-3-NP  
 Owner name RICHARDS GLORIA H  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204129  
 Zoning ID 134769

## GENERAL EXTERIOR

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch, Mid-century Modern  
 Exterior wall Brick  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

## ROOF

Roof shape Cross Gable  
 Roof materials Asphalt Shingles  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

## DOORS AND WINDOWS

Door types  
 Door features

Window types Fixed, single-hung  
 Window materials Aluminum  
 Window features

## PORCH

Porch type  
 Porch roof type

Porch support type  
 Other porch features

## LANDSCAPE

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1968	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Doors replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



March 2019



Fri, 26 Feb 2016

## IDENTIFICATION

Street number 1905  
 Street direction  
 Street name CHESTNUT  
 Street type AVE  
 Zip Code 78702  
 Addition / subdivision WASHINGTON SUBD  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 4 WASHINGTON SUBD  
 Zoning code SF-3-NP  
 Owner name BAXTER LUNECIA N  
 Owner city ARLINGTON HEIGHTS  
 Owner state IL  
 Owner zip code 60004  
 Parcel ID 204130  
 Zoning ID 134769

## GENERAL EXTERIOR

Type Building - Residential - Single-Family House  
 Stylistic influences No style  
 Exterior wall Brick  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

## ROOF

Roof shape Hipped  
 Roof materials Asphalt Shingles  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

## DOORS AND WINDOWS

Door types  
 Door features

Window types Single-hung  
 Window materials Aluminum  
 Window features

## PORCH

Porch type  
 Porch roof type

Porch support type  
 Other porch features

## LANDSCAPE

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1972	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended non-contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended non-contributing to a NRHP district
Recommended local designations	Recommended non-contributing to a local historic district	Recommended NRHP designations	Recommended non-contributing to a NRHP district
Justification for local recommendation	Not historic age	Justification for NRHP designations	Not historic age
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Fri, 26 Feb 2016



March 2019

## IDENTIFICATION

Street number 1907  
 Street direction  
 Street name CHESTNUT  
 Street type AVE  
 Zip Code 78702  
 Addition / subdivision WASHINGTON SUBD  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 3 WASHINGTON SUBD  
 Zoning code SF-3-NP  
 Owner name BAXTER LOU NELL CARTER &  
 Owner city ARLINGTON HEIGHTS  
 Owner state IL  
 Owner zip code 60004  
 Parcel ID 204131  
 Zoning ID 134769

## GENERAL EXTERIOR

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch, Mid-century Modern  
 Exterior wall Vertical wood board, Brick  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

## ROOF

Roof shape Cross Gable  
 Roof materials Shingles  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

## DOORS AND WINDOWS

Door types  
 Door features

Window types Sliding, not visible  
 Window materials Aluminum, not visible  
 Window features

## PORCH

Porch type  
 Porch roof type

Porch support type  
 Other porch features

## LANDSCAPE

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1964	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





March 2019



Fri, 26 Feb 2016

**IDENTIFICATION**

Street number 1909  
 Street direction  
 Street name CHESTNUT  
 Street type AVE  
 Zip Code 78702  
 Addition / subdivision WASHINGTON SUBD  
 Neighborhood UPPER BOGGY CREEK

Zoning code SF-3-NP  
 Owner name DOUGLAS MARVIN H &  
 MORENE T  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204132  
 Zoning ID 134769

Legal description LOT 2 WASHINGTON SUBD

**GENERAL EXTERIOR**

Type Building - Residential - Single-  
 Family House  
 Stylistic influences Ranch  
 Exterior wall Brick  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Cross Gabled  
 Roof materials Shingles  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Double-hung, fixed, sliding  
 Window materials Aluminum  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use		Source for historic use
Year built	1961	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	Carport enlarged	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





Fri, 26 Feb 2016



March 2019

**IDENTIFICATION**

Street number 1911  
 Street direction  
 Street name CHESTNUT  
 Street type AVE  
 Zip Code 78702  
 Addition / subdivision WASHINGTON SUBD  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 1 WASHINGTON SUBD  
 Zoning code SF-3-NP  
 Owner name HALE JENNIFER L  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204133  
 Zoning ID 134769

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch  
 Exterior wall Brick  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Cross Gable  
 Roof materials Shingles  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Sliding, single-hung  
 Window materials Vinyl  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1962	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	Windows replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	

## 2400 GIVENS AVE



January 2020



### IDENTIFICATION

Street number	2400	Zoning code	SF-3-NP
Street direction		Owner name	King Stuart H & John Q King Estate
Street name	GIVENS	Owner city	AUSTIN
Street type	AVE	Owner state	TX
Zip Code	78722	Owner zip code	78722
Addition / subdivision	WASHINGTON SUBD	Parcel ID	204095
Neighborhood	UPPER BOGGY CREEK	Zoning ID	
Legal description	LOT 13 WASHINGTON SUBD		

### GENERAL EXTERIOR

Type	Building - Residential Family House – Ranch, Split Level	Bays	
Stylistic influences	Mid-century Modern, Ranch	Stories	2
Exterior wall	Brick, horizontal vinyl	Foundation type	
Structural materials		Description notes	

### ROOF

Roof shape	Gabled	Chimney locations	
Roof materials	Shingle	Chimney materials	
Number of chimneys	1	Chimney feature	

### DOORS AND WINDOWS

Door types		Window types	Double-hung, fixed
Door features		Window materials	Aluminum, wood
		Window features	

### PORCH

Porch type		Porch support type	
Porch roof type		Other porch features	

### LANDSCAPE

Landscape features	Retaining wall
No. of garages	1

No. of sheds

Other outbuildings

# 2400 GIVENS AVE

## HISTORY

Current name		Historic use	Residential
Current use	Residential	Source for historic use	
Year built	1959	Architect	
Source for year built	TCAD	Source for architect	
Historic name		Builder	
Source for historic name		Source for builder	
		History notes	
Occupant history	John T. King		
Source of occupant history	Newspaper		

## INTEGRITY

Additions	Carport (temporary structure)	Alterations	Exterior wall materials partially replaced
		Integrity notes	Alterations compatible

## PRIOR DESIGNATIONS

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

## PREVIOUS AND RECOMMENDED DESIGNATIONS

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district, potential historic landmark	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district, potential historic landmark	Recommended NRHP designations	Recommended contributing to a NRHP district; Potential individual listing in NRHP
Justification for local recommendation		Justification for NRHP designations	Architecture, historic association
Local criteria	Architecture, historical association	NRHP criteria	Person, Design/Construction
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Fri, 18 Mar 2016



March 2019

## IDENTIFICATION

Street number	2401	Legal description	LOT 14 WASHINGTON SUBD
Street direction		Zoning code	SF-3-NP
Street name	GIVENS	Owner name	CALHOUN PATRICIA
Street type	AVE	Owner city	AUSTIN
Zip Code	78722	Owner state	TX
Addition / subdivision	WASHINGTON SUBD	Owner zip code	78722
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204110
		Zoning ID	134740

## GENERAL EXTERIOR

Type	Building - Residential - Single-Family House	Bays	
Stylistic influences	Ranch	Stories	1
Exterior wall	Vertical wood board, Brick	Foundation type	
Structural materials		Description notes	

## ROOF

Roof shape	Cross Gable	Chimney locations	
Roof materials	Shingles	Chimney materials	
Number of chimneys		Chimney feature	

## DOORS AND WINDOWS

Door types		Window types	Sliding
Door features		Window materials	Aluminum
		Window features	

## PORCH

Porch type		Porch support type	
Porch roof type		Other porch features	

## LANDSCAPE

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1959	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	Rear 1-story addition	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





March 2019



March 2019

**IDENTIFICATION**

Street number	2500	Zoning code	SF-3-NP
Street direction		Owner name	YOUNG KORRINE SALAS & WILLIAM JONATHAN YOUNG
Street name	GIVENS	Owner city	AUSTIN
Street type	AVE	Owner state	TX
Zip Code	78722	Owner zip code	78722
Addition / subdivision	HOLY CROSS HEIGHTS	Parcel ID	204091
Neighborhood	UPPER BOGGY CREEK	Zoning ID	134793
Legal description	LOT 17&18 HOLY CROSS HEIGHTS		

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Bays	
Stylistic influences	No style	Stories	2
Exterior wall	Stone, composite	Foundation type	
Structural materials		Description notes	

**ROOF**

Roof shape	Hipped, gable	Chimney locations	
Roof materials		Chimney materials	
Number of chimneys		Chimney feature	

**DOORS AND WINDOWS**

Door types		Window types	Single-hung
Door features		Window materials	Vinyl
		Window features	

**PORCH**

Porch type		Porch support type	
Porch roof type		Other porch features	

**LANDSCAPE**

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use		Source for historic use
Year built	2015	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended non-contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended non-contributing to a NRHP district
Recommended local designations	Recommended non-contributing to a local historic district	Recommended NRHP designations	Recommended non-contributing to a NRHP district
Justification for local recommendation	Not historic age	Justification for NRHP designations	Not historic age
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





February 2016



March 2019

**IDENTIFICATION**

Street number 2502  
 Street direction  
 Street name GIVENS  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision HOLY CROSS HEIGHTS  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 17&18 HOLY CROSS HEIGHTS  
 Zoning code SF-3-NP  
 Owner name SWIDER ERIN & JOEL PEABODY  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204091  
 Zoning ID 134793

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences No style  
 Exterior wall Wood, composite  
 Structural materials

Bays  
 Stories 2.5  
 Foundation type  
 Description notes

**ROOF**

Roof shape Shed, flat  
 Roof materials  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Fixed  
 Window materials Vinyl  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use		Source for historic use
Year built	2015	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended non-contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended non-contributing to a NRHP district
Recommended local designations	Recommended non-contributing to a local historic district	Recommended NRHP designations	Recommended non-contributing to a NRHP district
Justification for local recommendation	Not historic age	Justification for NRHP designations	Not historic age
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



October 2019



Fri, 18 Mar 2016

**IDENTIFICATION**

Street number 2501  
 Street direction  
 Street name GIVENS  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision HOLY CROSS HEIGHTS  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 16 HOLY CROSS HEIGHTS  
 Zoning code SF-3-NP  
 Owner name McArthur, Robbie J. et al  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78714  
 Parcel ID 204096  
 Zoning ID 134740

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences Minimal Traditional  
 Exterior wall Stone, composite  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Front Gable  
 Roof materials Asphalt Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Single-hung, sliding  
 Window materials Vinyl  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1958	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	Windows replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





Fri, 18 Mar 2016



October 2019

**IDENTIFICATION**

Street number 2503  
 Street direction  
 Street name GIVENS  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision HOLY CROSS HEIGHTS  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 15 HOLY CROSS HEIGHTS  
 Zoning code SF-3-NP  
 Owner name KRITZMAN MONICA T  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204097  
 Zoning ID 134740

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences No style  
 Exterior wall Horizontal board  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Gable  
 Roof materials Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Single-hung  
 Window materials Vinyl  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1964	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	Front addition	Alterations	Doors replaced, Windows replaced, Exterior wall materials replaced
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended non-contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended non-contributing to a NRHP district
Recommended local designations	Recommended non-contributing to a local historic district	Recommended NRHP designations	Recommended non-contributing to a NRHP district
Justification for local recommendation	Lacks integrity	Justification for NRHP designations	Lacks integrity
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Thu, 03 Mar 2016



March 2019

## IDENTIFICATION

Street number 2504  
 Street direction  
 Street name GIVENS  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision HOLY CROSS HEIGHTS RESUB  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 40 HOLY CROSS HEIGHTS  
 RESUB  
 Zoning code SF-3-NP  
 Owner name BLACKHURST MICHAEL F &  
 Owner city PITTSBURGH  
 Owner state PA  
 Owner zip code 15224  
 Parcel ID 204090  
 Zoning ID 134793

## GENERAL EXTERIOR

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch  
 Exterior wall Rusticated cut stone, Horizontal wood board

Structural materials  
 Bays  
 Stories 1  
 Foundation type  
 Description notes

## ROOF

Roof shape Side Gable  
 Roof materials Asphalt Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

## DOORS AND WINDOWS

Door types  
 Door features

Window types Double-hung  
 Window materials Aluminum  
 Window features

## PORCH

Porch type  
 Porch roof type

Porch support type  
 Other porch features

## LANDSCAPE

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places



**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1960	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



January 2020



January 2020

## IDENTIFICATION

Street number	2505	Zoning code	SF-3-NP
Street direction		Owner name	KHAN MARY BREARLEY & ALI ALEXANDER (A); NG MICHELLE (B)
Street name	GIVENS	Owner city	AUSTIN
Street type	AVE	Owner state	TX
Zip Code	78722	Owner zip code	78722
Addition / subdivision	HOLY CROSS HEIGHTS RESUB	Parcel ID	204098
Neighborhood	UPPER BOGGY CREEK	Zoning ID	134740
Legal description	LOT 44 HOLY CROSS HEIGHTS RESUB		

## GENERAL EXTERIOR

Type	Building - Residential - Two-Family House	Bays	
Stylistic influences	Modern	Stories	2
Exterior wall	Stucco, composite	Foundation type	
Structural materials		Description notes	

## ROOF

Roof shape	Hip	Chimney locations	
Roof materials		Chimney materials	
Number of chimneys		Chimney feature	

## DOORS AND WINDOWS

Door types		Window types	Fixed, casement
Door features		Window materials	Vinyl
		Window features	

## PORCH

Porch type		Porch support type	
Porch roof type		Other porch features	

## LANDSCAPE

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	2016	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended non-contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended non-contributing to a NRHP district
Recommended local designations	Recommended non-contributing to a local historic district	Recommended NRHP designations	Recommended non-contributing to a NRHP district
Justification for local recommendation	Not historic age	Justification for NRHP designations	Not historic age
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



October 2019



Thu, 03 Mar 2016

## IDENTIFICATION

Street number 2506  
 Street direction  
 Street name GIVENS  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision HOLY CROSS HEIGHTS RESUB  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 41 HOLY CROSS HEIGHTS RESUB  
 Zoning code SF-3-NP  
 Owner name SNELL JIMMY & JOANNA  
 Owner city PEARLAND  
 Owner state TX  
 Owner zip code 77581  
 Parcel ID 204089  
 Zoning ID 134793

## GENERAL EXTERIOR

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch  
 Exterior wall Vinyl, Rough-faced cut stone  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

## ROOF

Roof shape Side Gable  
 Roof materials Asphalt Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

## DOORS AND WINDOWS

Door types  
 Door features

Window types Single-hung  
 Window materials Aluminum  
 Window features

## PORCH

Porch type  
 Porch roof type

Porch support type  
 Other porch features

## LANDSCAPE

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1958	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	Exterior wall materials partially replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



October 2019

**IDENTIFICATION**

Street number	2507	Legal description	LOT 45 HOLY CROSS HEIGHTS RESUB
Street direction		Zoning code	SF-3-NP
Street name	GIVENS	Owner name	White, Estelle
Street type	AVE	Owner city	AUSTIN
Zip Code	78722	Owner state	TX
Addition / subdivision	HOLY CROSS HEIGHTS RESUB	Owner zip code	78754
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204099
		Zoning ID	134740

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Bays	
Stylistic influences	Ranch	Stories	1
Exterior wall	Vinyl, cut stone	Foundation type	
Structural materials		Description notes	

**ROOF**

Roof shape	Side Gable	Chimney locations	
Roof materials	Asphalt Shingle	Chimney materials	
Number of chimneys		Chimney feature	

**DOORS AND WINDOWS**

Door types		Window types	Double-hung
Door features		Window materials	Aluminum
		Window features	

**PORCH**

Porch type		Porch support type	
Porch roof type		Other porch features	

**LANDSCAPE**

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1958	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	Exterior wall materials replaced, Doors replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





October 2019



Thu, 03 Mar 2016

**IDENTIFICATION**

Street number	2508	Legal description	LOT 42 HOLY CROSS HEIGHTS RESUB
Street direction		Zoning code	SF-3-NP
Street name	GIVENS	Owner name	MARSHALL MARIAN LAVON &
Street type	AVE	Owner city	AUSTIN
Zip Code	78722	Owner state	TX
Addition / subdivision	HOLY CROSS HEIGHTS RESUB	Owner zip code	78722
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204088
		Zoning ID	134793

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Bays	
Stylistic influences	Ranch	Stories	1
Exterior wall	Vinyl, Brick	Foundation type	
Structural materials		Description notes	

**ROOF**

Roof shape	Side Gable	Chimney locations	
Roof materials	Asphalt Shingle	Chimney materials	
Number of chimneys		Chimney feature	

**DOORS AND WINDOWS**

Door types		Window types	Double-hung
Door features		Window materials	Aluminum
		Window features	

**PORCH**

Porch type		Porch support type	
Porch roof type		Other porch features	

**LANDSCAPE**

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1959	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	Exterior wall materials partially replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Fri, 18 Mar 2016



Fri, 18 Mar 2016

**IDENTIFICATION**

Street number	2509	Legal description	LOT 46 HOLY CROSS HEIGHTS RESUB
Street direction		Zoning code	SF-3-NP
Street name	GIVENS	Owner name	EI35 Properties LLC
Street type	AVE	Owner city	AUSTIN
Zip Code	78722	Owner state	TX
Addition / subdivision	HOLY CROSS HEIGHTS RESUB	Owner zip code	78702
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204100
		Zoning ID	134740

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Structural materials	
Stylistic influences	Ranch	Bays	
Exterior wall	Horizontal wood board, asbestos, cut stone	Stories	1
		Foundation type	
		Description notes	

**ROOF**

Roof shape	Side Gable	Chimney locations	
Roof materials	Asphalt Shingle	Chimney materials	
Number of chimneys		Chimney feature	

**DOORS AND WINDOWS**

Door types		Window types	Double-hung
Door features		Window materials	Aluminum
		Window features	

**PORCH**

Porch type		Porch support type	
Porch roof type		Other porch features	

**LANDSCAPE**

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1958	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Front door and patio support posts replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





October 2019



Fri, 18 Mar 2016

**IDENTIFICATION**

Street number	2511	Zoning code	SF-3-NP
Street direction		Owner name	DOTSON BLANCHE MARIE
Street name	GIVENS		JEFFERSON
Street type	AVE	Owner city	AUSTIN
Zip Code	78722	Owner state	TX
Addition / subdivision	HOLY CROSS HEIGHTS RESUB	Owner zip code	78722
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204101
		Zoning ID	134740
Legal description	LOT 47 HOLY CROSS HEIGHTS RESUB		

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Bays	
Stylistic influences	Ranch	Stories	1
Exterior wall	Vinyl, Brick	Foundation type	
Structural materials		Description notes	

**ROOF**

Roof shape	Side gable	Chimney locations	
Roof materials	Asphalt shingle	Chimney materials	
Number of chimneys		Chimney feature	

**DOORS AND WINDOWS**

Door types		Window types	Double-hung
Door features		Window materials	Aluminum
		Window features	

**PORCH**

Porch type		Porch support type	
Porch roof type		Other porch features	

**LANDSCAPE**

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1959	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Fri, 18 Mar 2016



October 2019

**IDENTIFICATION**

Street number 1902  
 Street direction  
 Street name MAPLE  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision Washington Subd.  
 Neighborhood UPPER BOGGY CREEK

Legal description Lot 8 Washington Subd.  
 Zoning code SF3  
 Owner name Houston Ora Ann Life Estate  
 Owner city Austin  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204127  
 Zoning ID

**GENERAL EXTERIOR**

Type Site - Vacant  
 Stylistic influences  
 Exterior wall  
 Structural materials

Bays  
 Stories  
 Foundation type  
 Description notes

**ROOF**

Roof shape  
 Roof materials  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types  
 Window materials  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places



**HISTORY**

Current name	Historic use
Current use	Source for historic use
Year built 0	Architect
Source for year built N/A	Source for architect
Historic name	Builder
Source for historic name	Source for builder
	History notes
Occupant history	
Source of occupant history	

**INTEGRITY**

Additions N/A	Alterations N/A
	Integrity notes

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended non-contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended non-contributing to a NRHP district
Recommended local designations	Recommended non-contributing to a local historic district	Recommended NRHP designations	Recommended non-contributing to a NRHP district
Justification for local recommendation	Does not meet criteria	Justification for NRHP designations	Does not meet criteria
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



March 2019

**IDENTIFICATION**

Street number	1903	Legal description	LOT 15 WASHINGTON SUBD
Street direction		Zoning code	SF-3-NP
Street name	MAPLE	Owner name	BAKER VINCENT LANIER &
Street type	AVE	Owner city	LAS VEGAS
Zip Code	78722	Owner state	NV
Addition / subdivision	WASHINGTON SUBD	Owner zip code	89123
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204109
		Zoning ID	134740

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Bays	
Stylistic influences	Ranch	Stories	1
Exterior wall	Brick	Foundation type	
Structural materials		Description notes	

**ROOF**

Roof shape	Cross gable	Chimney locations	
Roof materials	Shingles	Chimney materials	
Number of chimneys		Chimney feature	

**DOORS AND WINDOWS**

Door types		Window types	Double-hung
Door features		Window materials	Aluminum
		Window features	

**PORCH**

Porch type		Porch support type	
Porch roof type		Other porch features	

**LANDSCAPE**

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1963	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



March 2019



October 2019

**IDENTIFICATION**

Street number	1904	Legal description	LOT 9 WASHINGTON SUBD
Street direction		Zoning code	SF-3-NP
Street name	MAPLE	Owner name	WASHINGTON BETTYE J
Street type	AVE	Owner city	AUSTIN
Zip Code	78722	Owner state	TX
Addition / subdivision	WASHINGTON SUBD	Owner zip code	78722
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204126
		Zoning ID	134769

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Structural materials	
Stylistic influences	Ranch	Bays	
Exterior wall	Vertical wood board, Rusticated cut stone	Stories	1
		Foundation type	
		Description notes	

**ROOF**

Roof shape	Cross gable	Chimney locations	
Roof materials	Shingle	Chimney materials	
Number of chimneys		Chimney feature	

**DOORS AND WINDOWS**

Door types		Window types	Fixed
Door features		Window materials	Vinyl
		Window features	

**PORCH**

Porch type		Porch support type	
Porch roof type		Other porch features	

**LANDSCAPE**

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1969	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Windows replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	

# 1906 MAPLE AVE



January 2020



The Maple Avenue Thompson House, designed by Chase in 1963, remains in the original family.

Photo credit: *Sightlines Magazine*, March 2018

## IDENTIFICATION

Street number	1906	Legal description	LOT 10 WASHINGTON SUBD
Street direction		Zoning code	SF-3-NP
Street name	MAPLE	Owner name	Thompson Ida Dawne
Street type	AVE	Owner city	AUSTIN
Zip Code	78722	Owner state	TX
Addition / subdivision	WASHINGTON SUBD	Owner zip code	78722
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204125
		Zoning ID	

## GENERAL EXTERIOR

Type	Building - Residential Family House – Ranch, Split Level	Bays	
Stylistic influences	Mid-century Modern	Stories	1.5
Exterior wall	River rock, vertical wood	Foundation type	
Structural materials		Description notes	

## ROOF

Roof shape	Side-gabled	Chimney locations	
Roof materials	Shingle	Chimney materials	
Number of chimneys		Chimney feature	

## DOORS AND WINDOWS

Door types		Window types	Fixed, hopper
Door features		Window materials	Aluminum
		Window features	

## PORCH

Porch type		Porch support type	
Porch roof type		Other porch features	

## LANDSCAPE

Landscape features	
No. of garages	

No. of sheds  
Other outbuildings

# 1906 MAPLE AVE

## HISTORY

Current name		Historic use	
Current use		Source for historic use	
Year built	1963	Architect	John S. Chase
Source for year built	TCAD	Source for architect	
Historic name		Builder	
Source for historic name		Source for builder	
		History notes	
Occupant history			
Source of occupant history			

## INTEGRITY

Additions	None visible	Alterations	None visible
		Integrity notes	

## PRIOR DESIGNATIONS

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

## PREVIOUS AND RECOMMENDED DESIGNATIONS

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation	Historic architect	Justification for NRHP designations	Historic architect
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



## 1908 MAPLE AVE



October 2019

### IDENTIFICATION

Street number	1908	Zoning code	SF-3-NP
Street direction		Owner name	KIRK RONALD and V SAUNDRA
Street name	MAPLE		KIRK
Street type	AVE	Owner city	AUSTIN
Zip Code	78722	Owner state	TX
Addition / subdivision	WASHINGTON SUBD	Owner zip code	78722
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204124
		Zoning ID	
Legal description	LOT 11 WASHINGTON SUBD		

### GENERAL EXTERIOR

Type	Building - Residential Family House – Ranch, Split Level	Bays	
Stylistic influences	Ranch	Stories	1.5
Exterior wall	Brick	Foundation type	
Structural materials		Description notes	

### ROOF

Roof shape	Cross-gabled	Chimney locations	
Roof materials	Shingle	Chimney materials	
Number of chimneys		Chimney feature	

### DOORS AND WINDOWS

Door types		Window types	Double-hung
Door features		Window materials	Aluminum
		Window features	

### PORCH

Porch type	
Porch roof type	
Porch support type	
Other porch features	

### LANDSCAPE

Landscape features	
No. of garages	
No. of sheds	
Other outbuildings	
Other associated places	

1908 MAPLE AVE

HISTORY

Current name		Historic use
Current use		Source for historic use
Year built	1962	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

INTEGRITY

Additions	None visible	Alterations	None visible
		Integrity notes	

PRIOR DESIGNATIONS

Prior local designations
Prior NRHP designations
Prior NRHP determinations
Other designations
Designation notes

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation	Kirk Family	Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Fri, 18 Mar 2016



March 2019

## IDENTIFICATION

Street number 1910  
 Street direction  
 Street name MAPLE  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision WASHINGTON SUBD  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 12 WASHINGTON SUBD  
 Zoning code SF-3-NP  
 Owner name HARRIS TIFFANY MARIE  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78702  
 Parcel ID 204123  
 Zoning ID 134769

## GENERAL EXTERIOR

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch  
 Exterior wall Rusticated cut stone  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

## ROOF

Roof shape Cross Gable  
 Roof materials Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

## DOORS AND WINDOWS

Door types  
 Door features

Window types Sliding  
 Window materials Aluminum  
 Window features

## PORCH

Porch type  
 Porch roof type

Porch support type  
 Other porch features

## LANDSCAPE

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1964	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Doors replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



October 2019



Mon, 28 Mar 2016

**IDENTIFICATION**

Street number 2000  
 Street direction  
 Street name MAPLE  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision DIVISION B  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 6 OLT 47 \*RESUB PT OLT 47  
 DIVISION B  
 Zoning code SF-3-NP  
 Owner name PATTON GERTRUDE  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78723  
 Parcel ID 204117  
 Zoning ID 134769

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch  
 Exterior wall Vinyl, brick or permastone  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Side gable  
 Roof materials Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Double-hung  
 Window materials Aluminum  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1961	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Some exterior wall materials replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





March 2016 (left); October 2019 (right)

**IDENTIFICATION**

Street number 2001  
 Street direction  
 Street name MAPLE  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision DIVISION B  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 9 OLT 47 \*RESUB PT OLT 47  
 DIVISION B  
 Zoning code SF-3-NP  
 Owner name OLIVET BAPTIST CHURCH  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78702  
 Parcel ID 204092  
 Zoning ID 134793

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch, no style  
 Exterior wall Asbestos Siding, cut stone, vinyl  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Side gable  
 Roof materials Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Double-hung  
 Window materials Aluminum  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places



**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1960	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	Garage bay infilled, some wall materials replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



March 2019



Fri, 18 Mar 2016

**IDENTIFICATION**

Street number 2002  
 Street direction  
 Street name MAPLE  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision DIVISION B  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 5 OLT 47 \*RESUB PT OLT 47  
 DIVISION B  
 Zoning code SF-3-NP  
 Owner name PATTERSON ROY L  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204116  
 Zoning ID 134769

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences Minimal Traditional  
 Exterior wall Shiplap, vertical wood siding, Permastone

Structural materials  
 Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Cross-gabled  
 Roof materials Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Double-hung  
 Window materials Aluminum  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1961	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Some exterior wall materials replaced, Doors replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

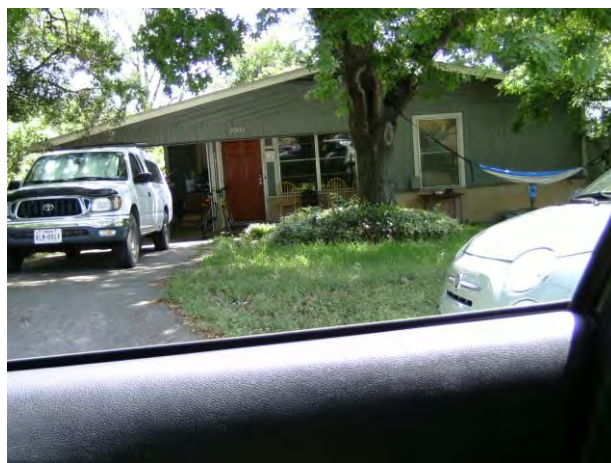
**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





Thu, 03 Mar 2016



October 2019

**IDENTIFICATION**

Street number 2003  
 Street direction  
 Street name MAPLE  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision DIVISION B  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 8 OLT 47 \*RESUB PT OLT 47  
 DIVISION B  
 Zoning code SF-3-NP  
 Owner name ARELLANO ALEXANDER  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204093  
 Zoning ID 134793

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch, Mid-century Modern  
 Exterior wall Vertical wood board, Brick, shiplap

Structural materials  
 Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Side Gable  
 Roof materials Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Double-hung  
 Window materials Aluminum  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1960	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	





Fri, 18 Mar 2016



March 2019

**IDENTIFICATION**

Street number 2004  
 Street direction  
 Street name MAPLE  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision DIVISION B  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 4 OLT 47 \*RESUB PT OLT 47  
 DIVISION B  
 Zoning code SF-3-NP  
 Owner name ALARK SONDRRA  
 Owner city BALTIMORE  
 Owner state MD  
 Owner zip code 21207  
 Parcel ID 204115  
 Zoning ID 134769

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch  
 Exterior wall Permastone, Asbestos siding  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Side-gabled  
 Roof materials Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Double-hung  
 Window materials Aluminum  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1960	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Doors replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Thu, 03 Mar 2016



March 2019

**IDENTIFICATION**

Street number	2005	Zoning code	SF-3-NP
Street direction		Owner name	ALLAN NICHOLAS & NEVIN
Street name	MAPLE		ALLAN
Street type	AVE	Owner city	AUSTIN
Zip Code	78722	Owner state	TX
Addition / subdivision	DIVISION B	Owner zip code	78722
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204094
		Zoning ID	134793
Legal description	LOT 7 OLT 47 *RESUB PT OLT 47 DIVISION B		

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Bays	
Stylistic influences	Ranch	Stories	1
Exterior wall	Composite, cut stone	Foundation type	
Structural materials		Description notes	

**ROOF**

Roof shape	Side-gabled	Chimney locations	
Roof materials	Shingle	Chimney materials	
Number of chimneys		Chimney feature	

**DOORS AND WINDOWS**

Door types		Window types	Single-hung
Door features		Window materials	Vinyl
		Window features	

**PORCH**

Porch type		Porch support type	
Porch roof type		Other porch features	

**LANDSCAPE**

Landscape features		No. of sheds	
No. of garages		Other outbuildings	
		Other associated places	

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1960	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	Garage bay infilled, windows replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Fri, 18 Mar 2016



October 2019

## IDENTIFICATION

Street number 2006  
 Street direction  
 Street name MAPLE  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision SUNRISE ADDN  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 6 BLK 1 OLT 47 DIV B  
 SUNRISE ADDN  
 Zoning code SF-3-NP  
 Owner name HAMMOND LIFE ESTATE  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204114  
 Zoning ID 134769

## GENERAL EXTERIOR

Type Building - Residential - Single-Family House  
 Stylistic influences Minimal Traditional  
 Exterior wall Fiber cement siding  
 Structural materials

Bays  
 Stories 1  
 Foundation type  
 Description notes

## ROOF

Roof shape Hip  
 Roof materials Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

## DOORS AND WINDOWS

Door types  
 Door features

Window types Double-hung, casement  
 Window materials Wood, metal  
 Window features

## PORCH

Porch type  
 Porch roof type

Porch support type  
 Other porch features

## LANDSCAPE

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places



**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1953	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Integrity notes	Alterations compatible; window replacement possibly during historic period
Alterations	Windows replaced, wall materials replaced		

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



October 2019



March 2016

**IDENTIFICATION**

Street number 2007  
 Street direction  
 Street name MAPLE  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision WELTON CITY SUBD  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 3 OLT 47 DIV B WELTON  
 CITY SUBD  
 Zoning code SF-3-NP  
 Owner name MAYS LESTER & JOYCE  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204080  
 Zoning ID 134793

**GENERAL EXTERIOR**

Type Building - Residential - Single-  
 Family House  
 Stylistic influences No style, Minimal Traditional  
 Exterior wall Horizontal wood board,  
 Asbestos Siding

Structural materials  
 Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Cross Gabled  
 Roof materials Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Double-hung  
 Window materials Wood, possibly vinyl  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places



**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1959	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes

Occupant history  
Source of occupant history

**INTEGRITY**

Additions	None visible	Alterations	Screens replaced, Windows partially replaced
		Integrity notes	Alterations compatible

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Thu, 03 Mar 2016



October 2019

October 2019

**IDENTIFICATION**

Street number 2009  
 Street direction  
 Street name MAPLE  
 Street type AVE  
 Zip Code 78722  
 Addition / subdivision WELTON CITY SUBD  
 Neighborhood UPPER BOGGY CREEK

Legal description LOT 2A \*RESUB LOT 1-2 OLT 47  
 DIV B WELTON CITY SUBD  
 Zoning code SF-3-NP  
 Owner name HICKS ESTELLA  
 Owner city AUSTIN  
 Owner state TX  
 Owner zip code 78722  
 Parcel ID 204079  
 Zoning ID 134793

**GENERAL EXTERIOR**

Type Building - Residential - Single-Family House  
 Stylistic influences Ranch  
 Exterior wall Horizontal wood board, cut stone

Structural materials  
 Bays  
 Stories 1  
 Foundation type  
 Description notes

**ROOF**

Roof shape Side-gabled/cross-gabled  
 Roof materials Shingle  
 Number of chimneys

Chimney locations  
 Chimney materials  
 Chimney feature

**DOORS AND WINDOWS**

Door types  
 Door features

Window types Fixed, casement, double-hung  
 Window materials Aluminum  
 Window features

**PORCH**

Porch type  
 Porch roof type

Porch support type  
 Other porch features

**LANDSCAPE**

Landscape features  
 No. of garages

No. of sheds  
 Other outbuildings  
 Other associated places

**HISTORY**

Current name		Historic use
Current use	Residential	Source for historic use
Year built	1961	Architect
Source for year built	TCAD	Source for architect
Historic name		Builder
Source for historic name		Source for builder
		History notes
Occupant history		
Source of occupant history		

**INTEGRITY**

Additions	None visible	Alterations	None visible
		Integrity notes	

**PRIOR DESIGNATIONS**

Prior local designations	Prior NRHP determinations
Prior NRHP designations	Other designations
	Designation notes

**PREVIOUS AND RECOMMENDED DESIGNATIONS**

Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation		Justification for NRHP designations	
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	

## 2310 E. MARTIN LUTHER KING JR BLVD



March 2017



March 2019

### IDENTIFICATION

Street number	2310	Zoning code	SF-3-NP
Street direction	E	Owner name	MOORE JAMES W & PENNY JO PEHL
Street name	MARTIN LUTHER KING, JR	Owner city	AUSTIN
Street type		Owner state	TX
Zip Code	78722	Owner zip code	78722
Addition / subdivision	WASHINGTON SUBD	Parcel ID	204128
Neighborhood	UPPER BOGGY CREEK	Zoning ID	
Legal description	LOT 7 WASHINGTON SUBD		

### GENERAL EXTERIOR

Type	Building - Residential Single-Family House – Split Level	Structural materials	
Stylistic influences	Ranch, Mid-century Modern	Bays	
Exterior wall	River rock, limestone veneer panels, horizontal wood	Stories	1.5
		Foundation type	
		Description notes	

### ROOF

Roof shape	Cantilevered	Chimney locations	
Roof materials	Shingle	Chimney materials	
Number of chimneys		Chimney feature	

### DOORS AND WINDOWS

Door types		Window types	Sliding, fixed, awning
Door features		Window materials	Aluminum
		Window features	

### PORCH

Porch type		Porch support type	
Porch roof type		Other porch features	

### LANDSCAPE

Landscape features	
No. of garages	
No. of sheds	
Other outbuildings	
Other associated places	

## 2310 E. MARTIN LUTHER KING JR BLVD

### HISTORY

Current name	Phillips House	Historic use	
Current use		Source for historic use	
Year built	1964	Architect	John S. Chase
Source for year built	TCAD	Source for architect	
Historic name		Builder	
Source for historic name		Source for builder	
		History notes	
Occupant history			
Source of occupant history			

### INTEGRITY

Additions	None visible	Alterations	None visible
		Integrity notes	

### PRIOR DESIGNATIONS

Prior local designations			
Prior NRHP designations			
Prior NRHP determinations			
Other designations			
Designation notes			
Previous and recommended local designations	No previous local designations; Recommended contributing to a local historic district, potential historic landmark	Previous and recommended NRHP designations	No previous NRHP designations; Recommended contributing to a NRHP district
Recommended local designations	Recommended contributing to a local historic district, potential historic landmark	Recommended NRHP designations	Recommended contributing to a NRHP district
Justification for local recommendation	Architecture, historical association	Justification for NRHP designations	Design/construction
Local criteria		NRHP criteria	
Local areas of significance		NRHP areas of significance	
		NRHP level of significance	



Thu, 03 Mar 2016

**IDENTIFICATION**

Street number	2400	Legal description	LOT 16 WASHINGTON SUBD
Street direction	E	Zoning code	SF-3-NP
Street name	M L KING JR	Owner name	POOLE IRA LEE
Street type	BLVD	Owner city	AUSTIN
Zip Code	78702	Owner state	TX
Addition / subdivision	WASHINGTON SUBD	Owner zip code	78702
Neighborhood	UPPER BOGGY CREEK	Parcel ID	204108
		Zoning ID	134740

**GENERAL EXTERIOR**

Type	Building - Residential - Single-Family House	Bays
Stylistic influences	Ranch	Stories
Exterior wall	Brick	Foundation type
Structural materials		Description notes

**ROOF**

Roof shape	Side-gabled	Chimney locations
Roof materials	Metal	Chimney materials
Number of chimneys		Chimney feature

**DOORS AND WINDOWS**

Door types	Window types	Single, fixed
Door features	Window materials	Vinyl
	Window features	

**PORCH**

Porch type	Porch support type
Porch roof type	Other porch features

**LANDSCAPE**

Landscape features	No. of sheds
No. of garages	Other outbuildings
	Other associated places