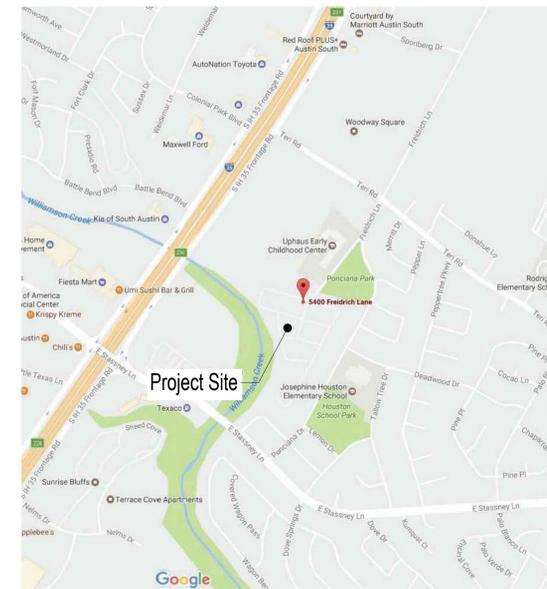


ABBREVIATIONS:

A	M
ABV ABOVE	MAS MASONRY
ACCOUST ACUSTICAL	MATL MATERIAL
ACCU AIR COOLED CONDENSING UNIT	MAX MAXIMUM
ACT ACUSTICAL CEILING TILE	MECH MECHANICAL
AD ACCESS DOOR	MEZZ MEZZANINE
ADA AMERICAN WITH DISABILITIES ACT	MFR MANUFACTURER
ADJ ADJUSTABLE OR ADJACENT	MID MIDDLE
AFC ABOVE FINISHED CEILING	MIN MINIMUM
AFF ABOVE FINISHED FLOOR	MISC MISCELLANEOUS
AHU AIR HANDLING UNIT	MK MARK
ALUM ALUMINUM	MO MASONRY OPENING
AP ACCESS PANEL	MTL METAL
ARCH ARCHITECT, ARCHITECTURAL	MTD MOUNTED
B	N
BFF BELOW FINISHED FLOOR	N NORTH
BFE BRACKET MOUNTED FIRE EXTINGUISHER	N/A NOT APPLICABLE
BLDG BUILDING	NF NOT IN CONTRACT
BOC BACK OF CURB	NC NOMINAL
BP BASE PLATE	NTS NOT TO SCALE
BRG BEARING	O
BRKT BRACKET	OC ON CENTER
BS BOTH SIDES	OD OVERFLOW DRAIN
BW BOTH WAYS	OFD OUTSIDE FACE
BO BOTTOM OF	OFDI OWNER FURNISHED CONTRACTOR INSTALLED
C	OFDI OWNER FURNISHED OWNER INSTALLED
CAB CABINET	OH OPPOSITE HAND
CIP CAST IN PLACE	OPG OPENING
CJ CONTROL OR CONSTRUCTION JOINT	OPP OPPOSITE
CL CENTERLINE	OS OVERFLOW THROUGH WALL SCUPPER
CLG CEILING	P
CLR CLEAR	PC PRE-CAST CONCRETE
CMU CONCRETE MASONRY UNIT	PERM PERIMETER
CO CLEAN OUT	PERP PERPENDICULAR
COL COLUMN	PI POINT OF INTERSECTION
CONC CONCRETE	P PLATE
CONST CONSTRUCTION	PL PROPERTY LINE
CONT CONTINUOUS	PLAM PLASTIC LAMINATE
CORR CORRIDOR	PLBG PLUMBING
CT CERAMIC TILE	PLYD FLYWOOD
CTR CENTER	PNL PANEL
D	PR PAIR
D DEPTH	PRFAB PREFABRICATED
DEG DEGREES	PRELIM PRELIMINARY
DET DETAIL	PTD PAINTED
DIA DIAMETER	Q
DIAG DIAGONAL	QT QUARRY TILE
DIM DIMENSION	QTY QUANTITY
DN DOWN	R
DP DAMP PROOFING	R RADIUS
DS DOWN SPOUT	RCP REFLECTED CEILING PLAN
DWG DRAWING	RD ROOF DRAIN
DWL DOWEL	REF REFERENCE, REFER
E	REINF REINFORCING
E EAST	REQD REQUIRED
EA EACH	REV REVISION, REVISE
EF EACH FACE	RM ROOM
EIFS EXTERIOR INSULATION FINISH SYSTEM	RND ROUND
EFS EXTERIOR FINISH SYSTEM	RO ROUGH OPENING
EJ EXPANSION JOINT	RP RADIUS POINT
EL ELEVATION	RTU ROOF TOP UNIT
ELEC ELECTRICAL	S
EQ EQUAL	S SOUTH
EQUIP EQUIPMENT	SCHED SCHEDULED
EW EACH WAY	SECT SECTION
EWIC ELECTRIC WATER COOLER	SF SQUARE FEET
EXIST EXISTING	SHT SHEET
EXP EXPANSION	SHT MTL SHEET METAL
EXT EXTERIOR	SJ SAW JOINT
F	SL SLOPE
FA FIRE ALARM	SPEC SPECIFICATION
FACP FIRE ALARM CONTROL PANEL	SS STAINLESS STEEL
FOD FLOOR CLEAN OUT	STC SOUND TRANSMISSION CLASS
FD FLOOR DRAIN	STD STANDARD
FDC FIRE DEPARTMENT CONNECTION	STL STEEL
FDV FIRE DEPARTMENT VALVE	STRUCT STRUCTURAL
FE FIRE EXTINGUISHER	SURF SURFACE
FEC FIRE EXTINGUISHER CABINET	T
FF FINISHED FLOOR	T TREAD OR TOP
FG FINISHED GRADE	TO TOP OF
FH FIRE HYDRANT	TAS TEXAS ACCESSIBILITY STANDARDS
FHC FIRE HOSE CABINET	TC TOP OF CURB
FP FIRE PROTECTION	TEL TELEPHONE
FR FIRE RATED	TEMP TEMPORARY
FRP FIBERGLASS REINFORCED PLASTIC	THK THICKNESS
FRT FIRE TREATED	THRD THREADED
G	THRU THROUGH
GALV GALVANIZED	TYP TYPICAL
GB GRADE BEAM	U
GC GENERAL CONTRACTOR	UNON UNLESS OTHERWISE NOTED
GFRC GLASS FIBER REINFORCED CONCRETE	UR URINAL
GND GROUND	V
GRS GALVANIZED RIGID STEEL	VB VAPOR BARRIER
GTR GUTTER	VCT VINYL COMPOSITION TILE
GWB GYPSUM WALL BOARD	VERT VERTICAL
H	VEST VESTIBULE
HT HEIGHT	VR VAPOR RETARDER
HB HOSE BIB	VT VINYL TILE
HC HANDICAP	VTR VENT THROUGH ROOF
HDW HARDWARE	W
HDWD HARD WOOD	W WITH
HM HOLLOW METAL	WC WATER CLOSET
HORIZ HORIZONTAL	WH WATER HEATER
HYD HYDRANT	WP WORK POINT
I	X, Y, & Z
IBC INTERNATIONAL BUILDING CODE	RESERVED
ID INSIDE DIAMETER	
F INSIDE FACE	
IN INCH OR INCHES	
INCAND INCANDESCENT	
INSUL INSULATION	
INT INTERIOR	
J	
JAN JANITOR	
JST JOIST	
JT JOINT	
K	
KO KNOCKOUT	
L	
L LENGTH	
LAV LAVATORY	
LB# POUNDS	
LDD LANDING	
LF LINEAR FEET	
LG LONG	
LH LEFT HAND	
LL LIVE LOAD	
LLH LONG LEG HORIZONTAL	
LLV LONG LEG VERTICAL	
LONG LONGITUDINAL	
LT LIGHT	
LTG LIGHTING	



Site Map



Vicinity Map

Miller-Searight House

5400 Freidrich Ln. Austin, TX 78744



VINCENT P. HAUSER
ARCHITECT
2301 E Riverside Dr., Suite 80
Austin, Texas 78741
Ph# 512-452-3041

In Association with

SHEET NO.	TITLE	Permit and Pricing Set	Issued for Construction	Amendments
G0.0	COVER SHEET AND SHEET LIST	01/28/2020		
ARCHITECTURE				
A1.0	DEMO SITE PLAN	01/28/2020		
A1.1	SITE PLAN	01/28/2020		
A2.0	DEMO FLOOR PLAN	01/28/2020		
A2.1	FLOOR PLAN	01/28/2020		
A2.2	ROOF PLAN	01/28/2020		
A2.3	FRAMING PLANS	01/28/2020		
A3.1	REFLECTED CEILING PLAN	01/28/2020		
A4.1	BUILDING ELEVATIONS	01/28/2020		
A5.1	DOOR AND WINDOW SCHEDULE AND DETAILS	01/28/2020		
A6.1	INTERIOR ELEVATIONS AND DETAILS	01/28/2020		
A6.2	INTERIOR ELEVATIONS	01/28/2020		
A7.1	FINISH PLAN AND SCHEDULE	01/28/2020		
A8.0	RESTORATION DETAILS	01/28/2020		
A8.1	RESTORATION DETAILS	01/28/2020		
A8.2	RESTORATION DETAILS	01/28/2020		

ARCHITECTURAL SYMBOLS:

	DOOR NUMBER		ELEVATION TAGS
	INACTIVE LEAF		ELEVATION TAGS
	DETAIL NAME		SECTION TAGS
	ROOM NAME		PLAN TAGS
	WINDOW TAG		SPOT ELEVATION
	PARTITION TAG		COLUMN TAG
	KEYED NOTE TAG		FINISH CHANGE
	FINISH NOTE TAG		
	DELTA SYMBOL		

GENERAL NOTES

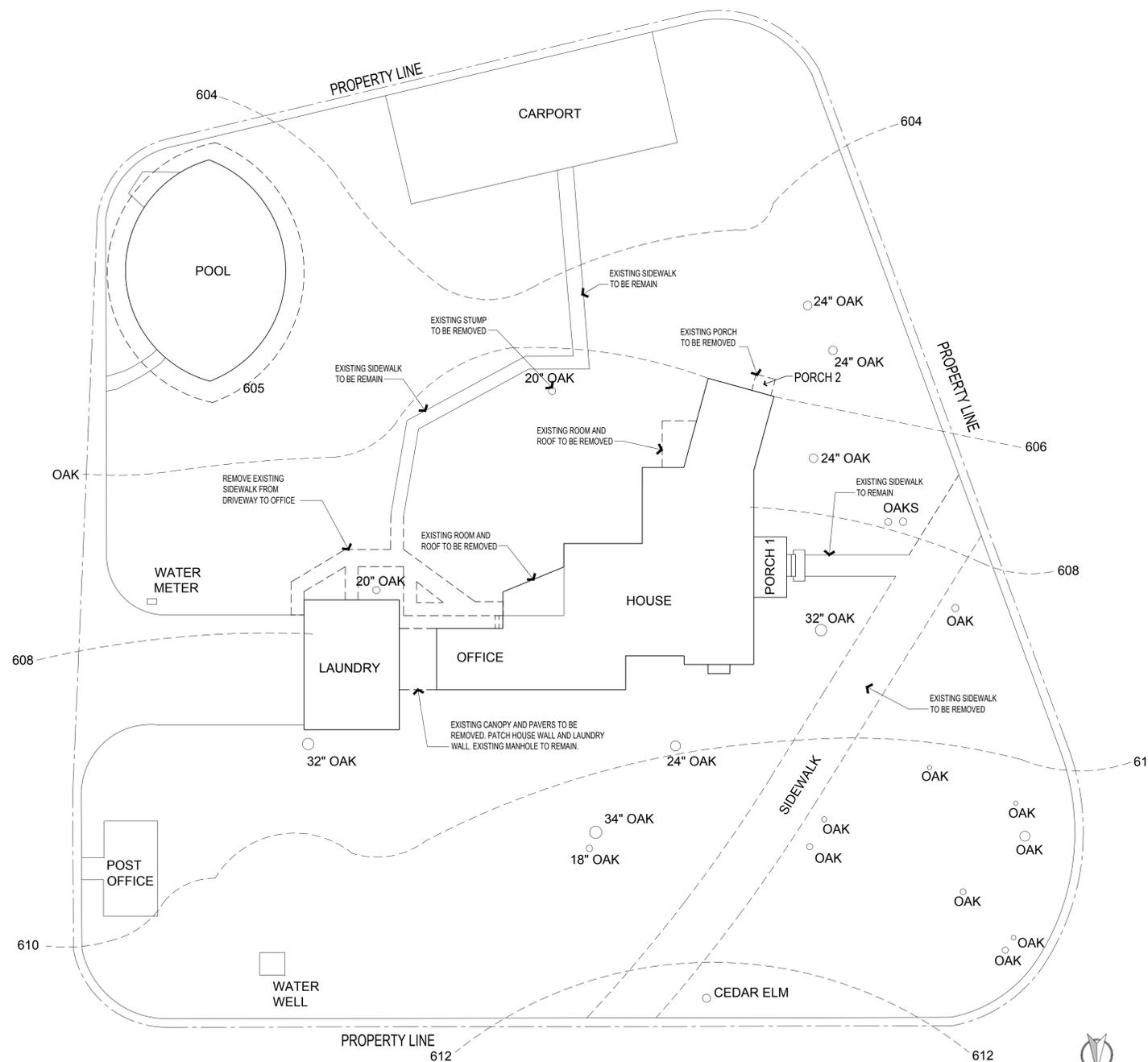
1. Provide tree protection as required by the City of Austin for all oak trees in the construction area.
2. Prepare a staging plan for the project showing materials staging and spoils locations for review with the Owner prior to beginning work.
3. Notify and schedule potential utility shutdowns prior to any excavation or demolition work.
4. Trace and mark on Record Drawing all existing utility lines and locations.
5. Mark all new utility work on Record Drawings.
6. Route all work below grade so as not to damage tree root systems.
7. Provide all temporary utilities, monitor, repair and keep in good working order during construction.
8. Provide temporary security fence to secure the property during construction.
9. Provide erosion controls as reasonably required and as directed by the City of Austin.
10. Maintain access for the Owner and emergency vehicles during construction.

Site Plan Keyed Notes

- (A.) Major rooms and areas to be leveled
- (B.) Not used.
- (C.) Rebuild window sash to match existing, repair and rebuild jambs and re-rope weights as required. Reuse all existing trim, repaint as required.
- (D.) Level and repair porch.
- (E.) Repair porch framing, replace existing columns and deck.
- (F.) Remove interior partition
- (G.) Remove existing door and frame
- (H.) Remove plumbing fixture and associated piping
- (L.) Remove millwork and existing appliances. Cap any unused utility lines for future re-use.
- (K.) Excavate soil to provide 12" clear from the underside of the wood floor joists in the crawl space under the entire house.
- (M.) Remove existing exterior wall. Patch and repair areas for new waterproofing and siding.
- (N.) Remove existing window.

SITE PLAN LEGEND

- Existing contour line
- Existing to be demolished
- ===== Existing to remain
- 24" Existing tree to remain
- Property line



01 SITE DEMO PLAN

SCALE: 1/16" = 1'-0"



Miller-Searight
House

5400 Freidrich Ln.
Austin, Texas 78744

PRELIMINARY - FOR PRICING ONLY

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Vincent P. Hauser January 2020

REVISIONS

No.	Issue	Date
1	Revision	12/04/2018
2	Revision	02/05/2019
3	Revision	08/05/2019
4	Revision	08/30/2019
5	Revision	10/08/2019
6	Revision	12/07/2019
7	Revision	01/28/2020

SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

TITLE

Site Demo Plan

scale: 1/16"=1'-0"

SHEET

A1.0

GENERAL NOTES

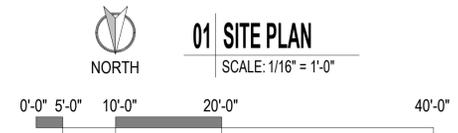
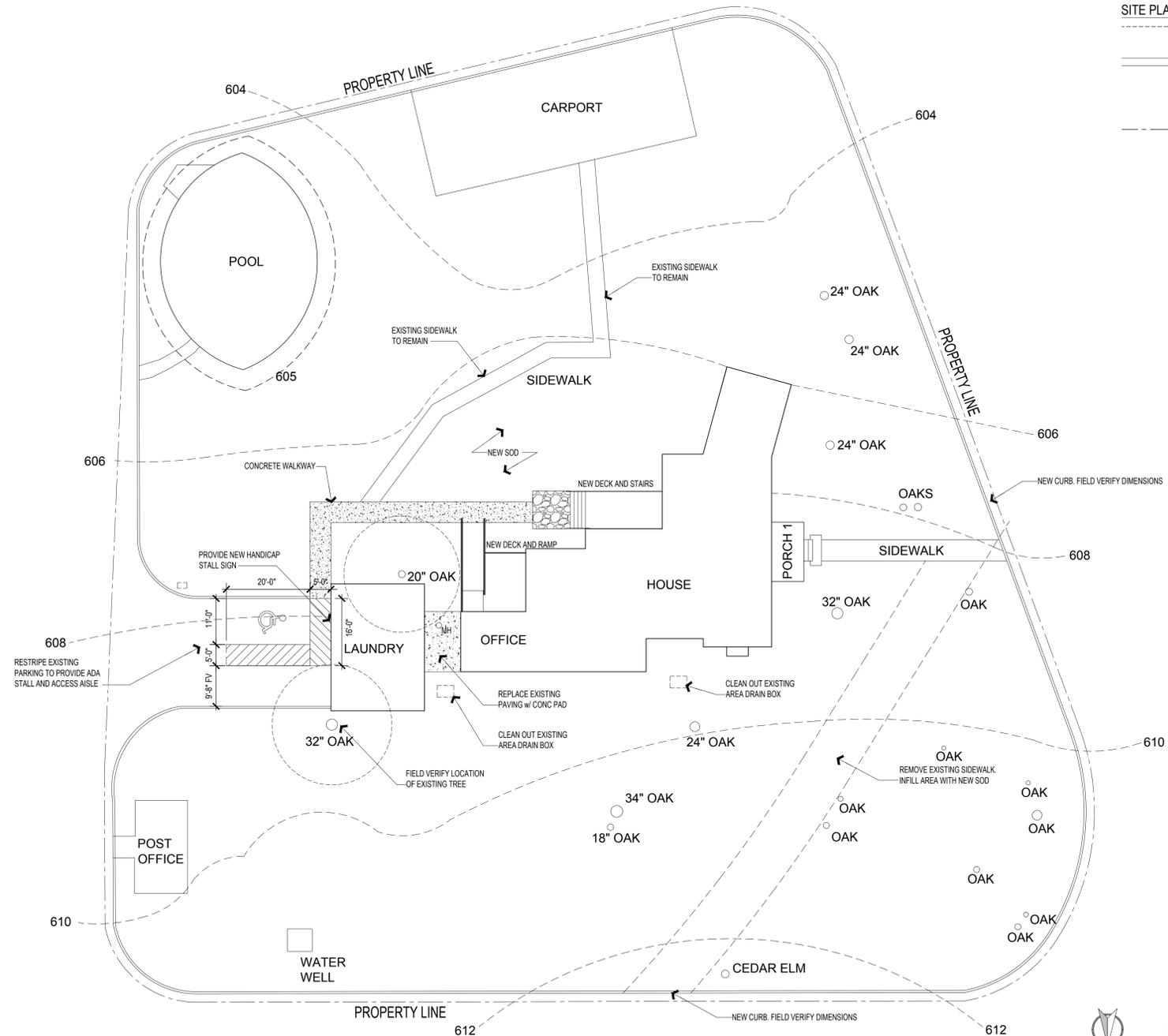
1. Provide tree protection as required by the City of Austin for all oak trees in the construction area.
2. Prepare a staging plan for the project showing materials staging and spoils locations for review with the Owner prior to beginning work.
3. Notify and schedule potential utility shutdowns prior to any excavation or demolition work.
4. Trace and mark on Record Drawing all existing utility lines and locations.
5. Mark all new utility work on Record Drawings.
6. Route all work below grade so as not to damage tree root systems.
7. Provide all temporary utilities, monitor, repair and keep in good working order during construction.
8. Provide temporary security fence to secure the property during construction.
9. Provide erosion controls as reasonably required and as directed by the City of Austin.
10. Maintain access for the Owner and emergency vehicles during construction.

Site Plan Keyed Notes

- A. Demolish existing deck, provide new sod
- B. No work in this area
- C. No work to street paving
- D. Remove shrubs as directed by the Architect
- E. Provide allowance for trench structures in existing sidewalk and new accessible paving.

SITE PLAN LEGEND

- - - - - Existing contour line
- ==== Existing to remain
- 24" Existing tree to remain
- - - - - Property line



Miller-Searight
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SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

TITLE

Site Plan

scale: 1/16"=1'-0"

SHEET

A1.1

**Miller-Searight
House**

5400 Freidrich Ln.
Austin, Texas 78744

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7	Revision	01/28/2020

SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

TITLE

Demo Floor Plan

scale: varies

SHEET

A2.0

GENERAL NOTES:

Scope of Work

-Confirm completion of foundation work, repair augment as required during soil removal.

-Stabilize and repair existing perimeter foundation and floor framing system, per structural drawings. Repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

-The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

-All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-used. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

FRAMING GENERAL NOTES AND MATERIAL:

- Provide all wood framing and blocking required and install in compliance with the IRC for One and Two Family Residences as adopted by the City of Austin.
- Lumber to be new stock, thoroughly seasoned and well manufactured, free from minor warp that cannot be corrected by bridging or blocking.
- Structural framing to be No. 1 or better kd doug fir / larch / pine with end-rated fiber stress bending of 1,000 psi.
- Unless otherwise shown on drawings or specifications, sizes of lumber shall be as follows:
Framing: 2 x 6, 2 x 8, 2 x 10, 2 x 12, 4 x 6 or 6 x to match existing sizes
Blocking: 2 x 4
Bridging: 1 x 4
Studs: 2 x 4
Grounds: 1 1/2" wide
Sleepers: 2 x 4
- Lumber to be finished on all 4 sides. Sizes given on plans and in the specifications are nominal sizes. Minimum dressed dimensions shall comply with current American Lumber Standards.
- Moisture content of framing lumber not to exceed 15% at the time of installation.
- Board lumber to comply with WWPA and American Lumber Standards R 16-39 for the material specified unless revised prior to submitting a bid. Grade of board lumber to be suitable for its intended use. In general, lumber with knots, knot holes or splits should be culled from lumber delivered and not installed.
- Provided treated lumber as required by the Codes.
- Carefully lay out and erect structural members and other rough carpentry as necessary to install the finished work. All members shall be properly braced, plumbed and leveled. Use sufficient size and number of nails, screws, bolts and other fasteners to ensure the rigidity of the construction. Provide all temporary framing and bracing of new and existing construction required.
- Provide a submittal for review and approval for all framing hardware proposed, including nails, bolts, lag bolts, Simpson connectors and similar; prior to ordering or purchasing material.
- Do not compromise any framing by improper cutting or drilling.
- All carpentry modifications by mechanical trades shall be corrected by the GC.
- For wall framing generally:
Nail studs to plates at a maximum spacing of 16" oc.
Plywood sheathings generally should overlap and be nailed to plates. Where sheathing does not overlap plates, anchor as required and at a minimum provide steel straps or appropriate Simpson anchors at every other stud.
Corner posts to be formed with no less than three studs to receive interior finishes.
Provide adequate corner and other bracing to resist wall racking and other movement.
- Unless shown or sized differently by the structural engineer, ceiling joists shall be a minimum dimension of 2 x 6. All joists should be properly toe-nailed to plates, every fourth joist and outrigger shall be connected to plate with steel straps or appropriate Simpson anchor.
- Roof sheathing to be nailed to supports at 6" oc with minimum 6d box or cc nails. Provide blocking under plywood panel joints perpendicular to main framing members as required.
- Provide solid blocking as required for all assemblies, including handrails, balusters, and around structural steel.
- Post up and provide pony walls at all locations necessary to reduce strongback spans. All such construction shall bear on primary load bearing construction.

SIDING AND TRIM GENERAL NOTES:

- Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
- All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing and material.

PAINTING GENERAL NOTES:

- Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
- Do not power wash anything prior to painting.
- Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system.
- Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

FLOOR PLAN KEYED NOTES:

- (A) Major rooms and areas to be leveled
- (B) Not used.
- (C) Rebuild window sash to match existing, repair and rebuild jambs and re-rope weights as required. Reuse all existing trim, repaint as required.
- (D) Level and repair porch.
- (E) Repair porch framing, replace existing columns and deck.
- (F) Remove interior partition
- (G) Remove existing door and frame
- (H) Remove plumbing fixture and associated piping
- (I) Remove millwork and existing appliances. Cap any unused utility lines for future re-use.
- (K) Excavate soil to provide 12" clear from the underside of the wood floor joists in the crawl space under the entire house.
- (M) Remove existing exterior wall. Patch and repair areas for new waterproofing and siding.
- (N) Remove existing window.
- (O) Remove existing gypsum board to existing frame. Protect existing door opening and trim.
- (P) Remove existing gypsum/plywood to expose existing window. Protect existing window trim.

HOUSE SF: 2757 SF

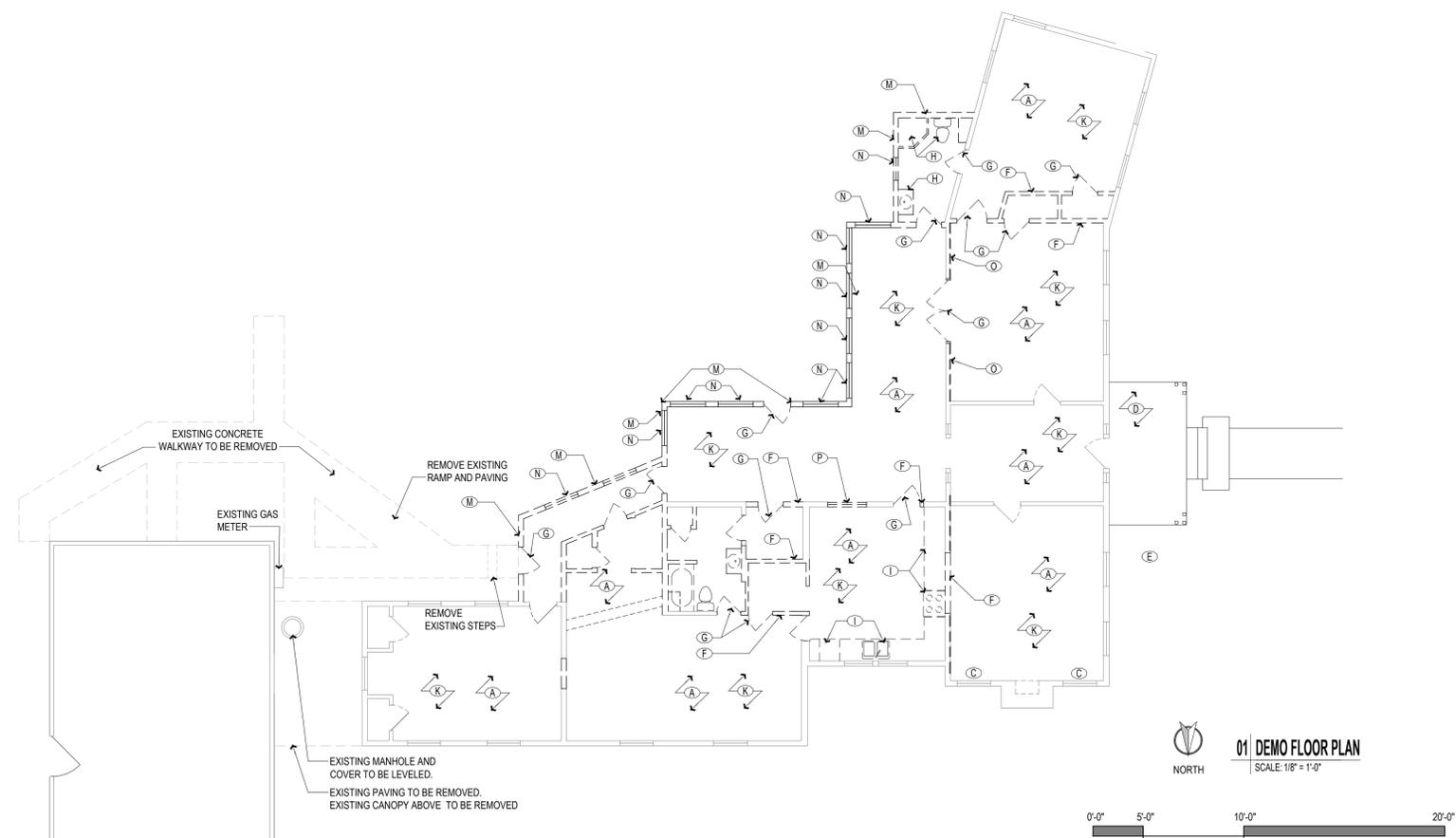
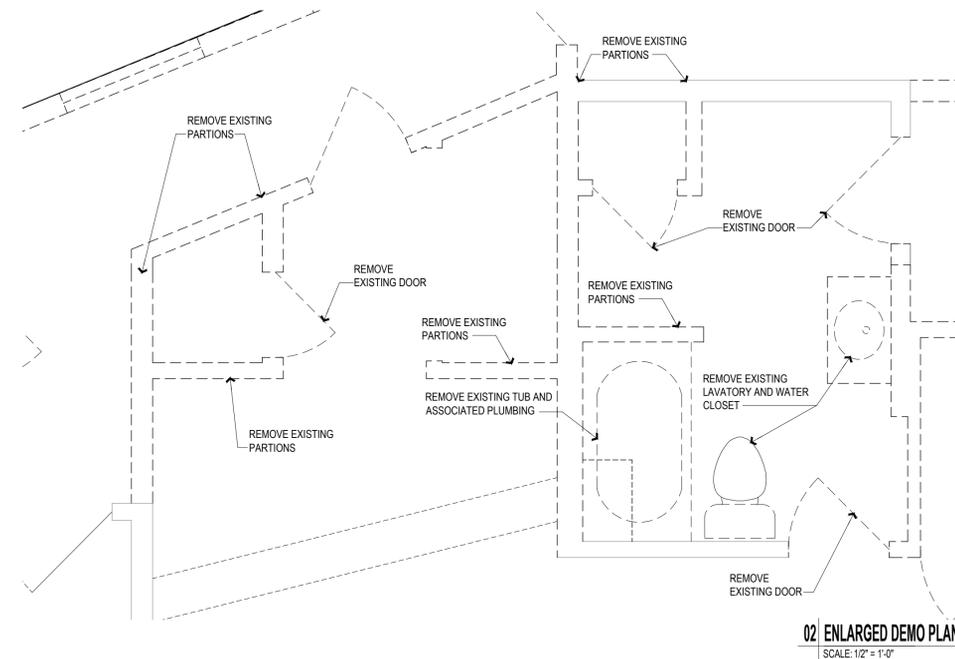
PORCH 1 SF: 109 SF

PORCH 2 SF: 18 SF

TOTAL SF: 2884 SF

DEMO PLAN LEGEND

- Existing construction to be removed
- _____ Existing construction to remain



GENERAL NOTES:

Scope of Work
Stabilize and repair existing perimeter foundation and floor framing system, per structural drawings. Repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

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Studs: 2 x 4
Grounds: 1 1/2" wide
Sleepers: 2 x 4
- Lumber to be finished on all 4 sides. Sizes given on plans and in the specifications are nominal sizes. Minimum dressed dimensions shall comply with current American Lumber Standards.
- Moisture content of framing lumber not to exceed 15% at the time of installation.
- Board lumber to comply with WWPA and American Lumber Standards R 16-39 for the material specified unless revised prior to submitting a bid. Grade of board lumber to be suitable for its intended use. In general, lumber with knots, knot holes or splits should be culled from lumber delivered and not installed.
- Provided treated lumber as required by the Codes.
- Carefully lay out and erect structural members and other rough carpentry as necessary to install the finished work. All members shall be properly braced, plumbed and leveled. Use sufficient size and number of nails, screws, bolts and other fasteners to ensure the rigidity of the construction. Provide all temporary framing and bracing of new and existing construction required.
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- Roof sheathing to be nailed to supports at 6" oc with minimum 6d box or cc nails. Provide blocking under plywood panel joints perpendicular to main framing members as required.
- Provide solid blocking as required for all assemblies, including handrails, balusters, and around structural steel.
- Post up and provide pony walls at all locations necessary to reduce strongback spans. All such construction shall bear on primary load bearing construction.

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- All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing material.

PAINTING GENERAL NOTES:

- Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
- Do not power wash anything prior to painting.
- Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system.
- Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

HOUSE SF: 2757 SF
PORCH 1 SF: 109 SF
PORCH 2 SF: 18 SF
TOTAL SF: 2884 SF

FLOOR PLAN LEGEND

- Existing construction to remain
- New construction
- New concrete walkway

REVISIONS

No.	Issue	Date
1	Revision	12/04/2018
2	Revision	02/05/2019
3	Revision	08/05/2019
4	Revision	08/30/2019
5	Revision	10/08/2019
6	Revision	12/07/2019
7	Revision	01/28/2020

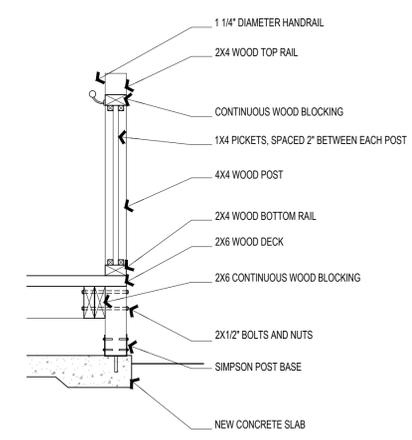
SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

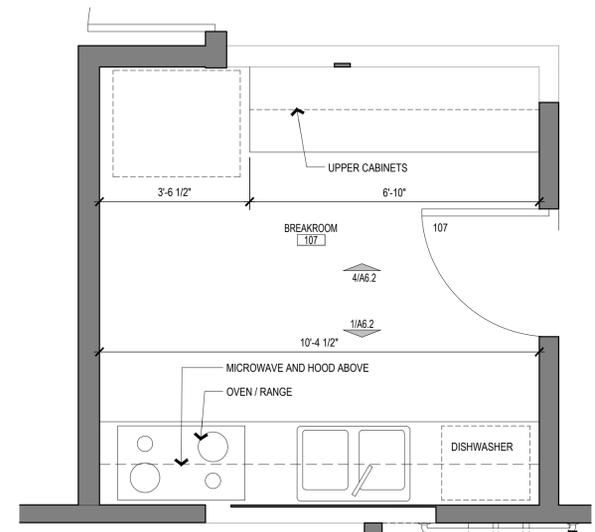
TITLE

Floor Plan
scale: varies

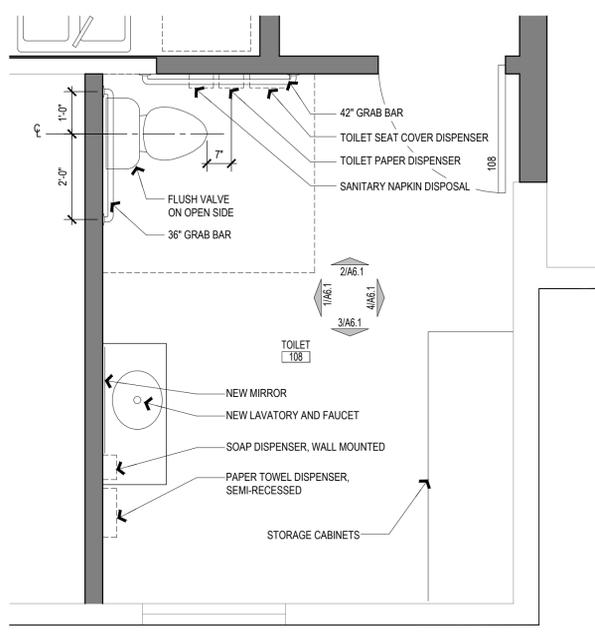
SHEET
A2.1



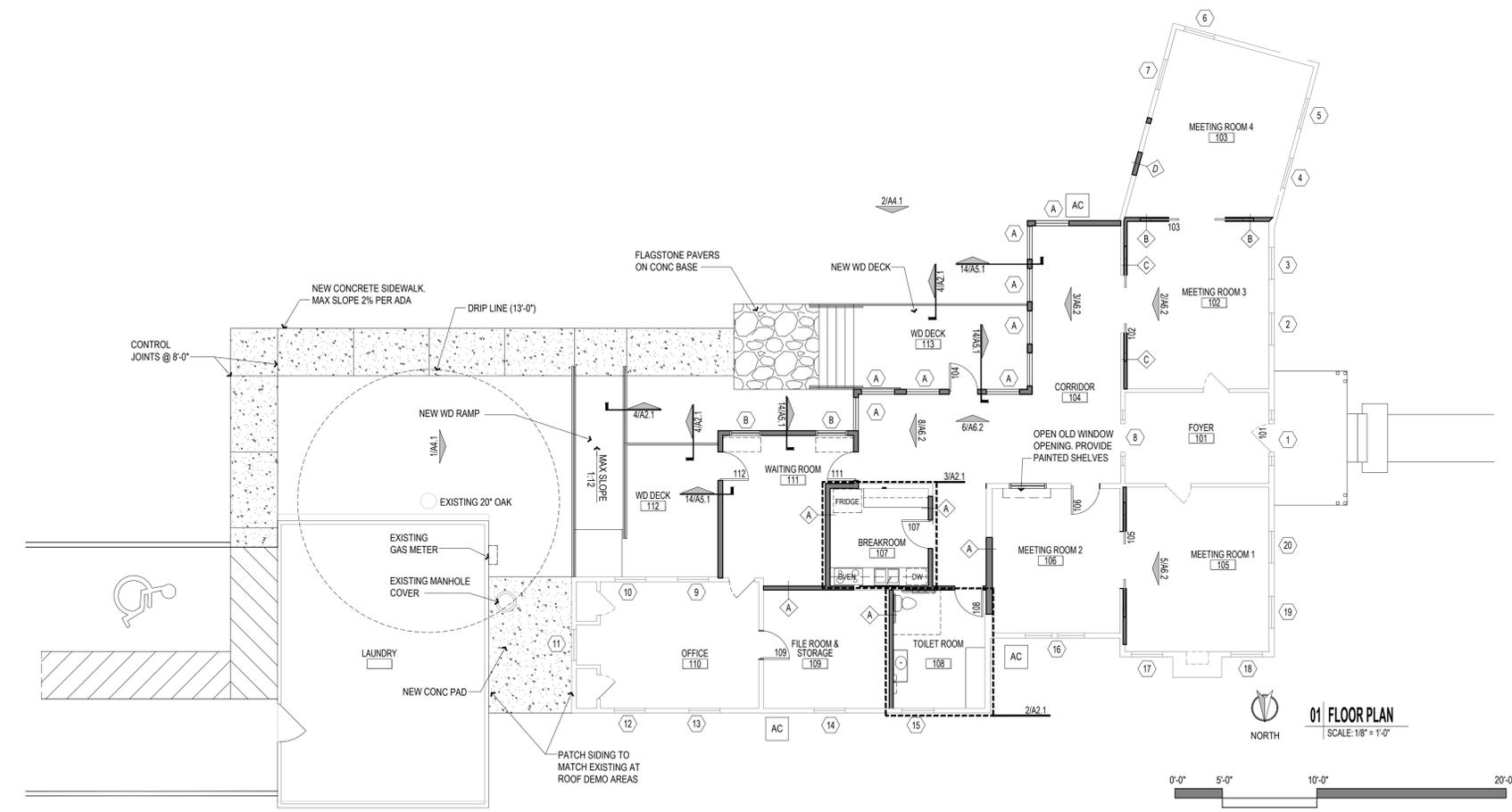
04 RAILING DETAIL
SCALE: 3/4" = 1'-0"



03 BREAK ROOM PLAN
SCALE: 1/2" = 1'-0"



02 TOILET ROOM PLAN
SCALE: 1/2" = 1'-0"



01 FLOOR PLAN
SCALE: 1/8" = 1'-0"

**Miller-Searight
House**

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BY, OR UNDER THE DIRECTION OF:

Vincent P. Hauser September 2015

REVISIONS

No.	Issue	Date
	Issue for Permit	12/17/2019

SHEET INFORMATION

Date	01/06/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

TITLE

Roof Plans

scale: 1/8"=1'-0"

SHEET

A2.2

GENERAL NOTES:

1. Provide allowance for repair of existing shingle roof to assure weathertight performance.
2. Provide allowance for 26 ga. Galvalume metal roofing. Provide samples for review and approval by the Owner prior to ordering material.
3. Provide allowance for 6" half-round galvalume gutter and downspout system.
4. Provide allowance for repair to all modified bitumen roofing to assure weathertight performance.

FOR NEW ROOFING ALLOWANCE, PROVIDE FOR THE FOLLOWING:

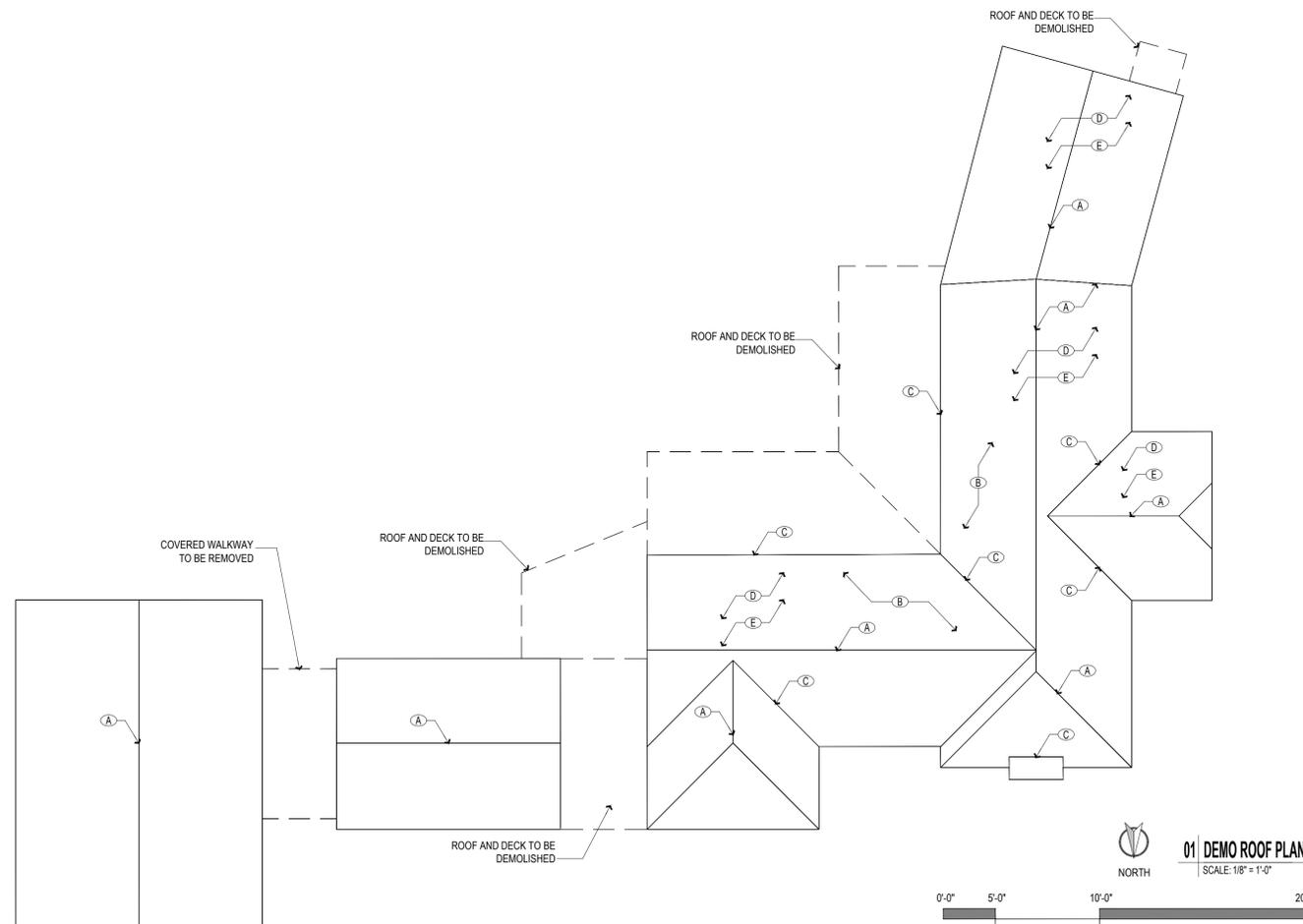
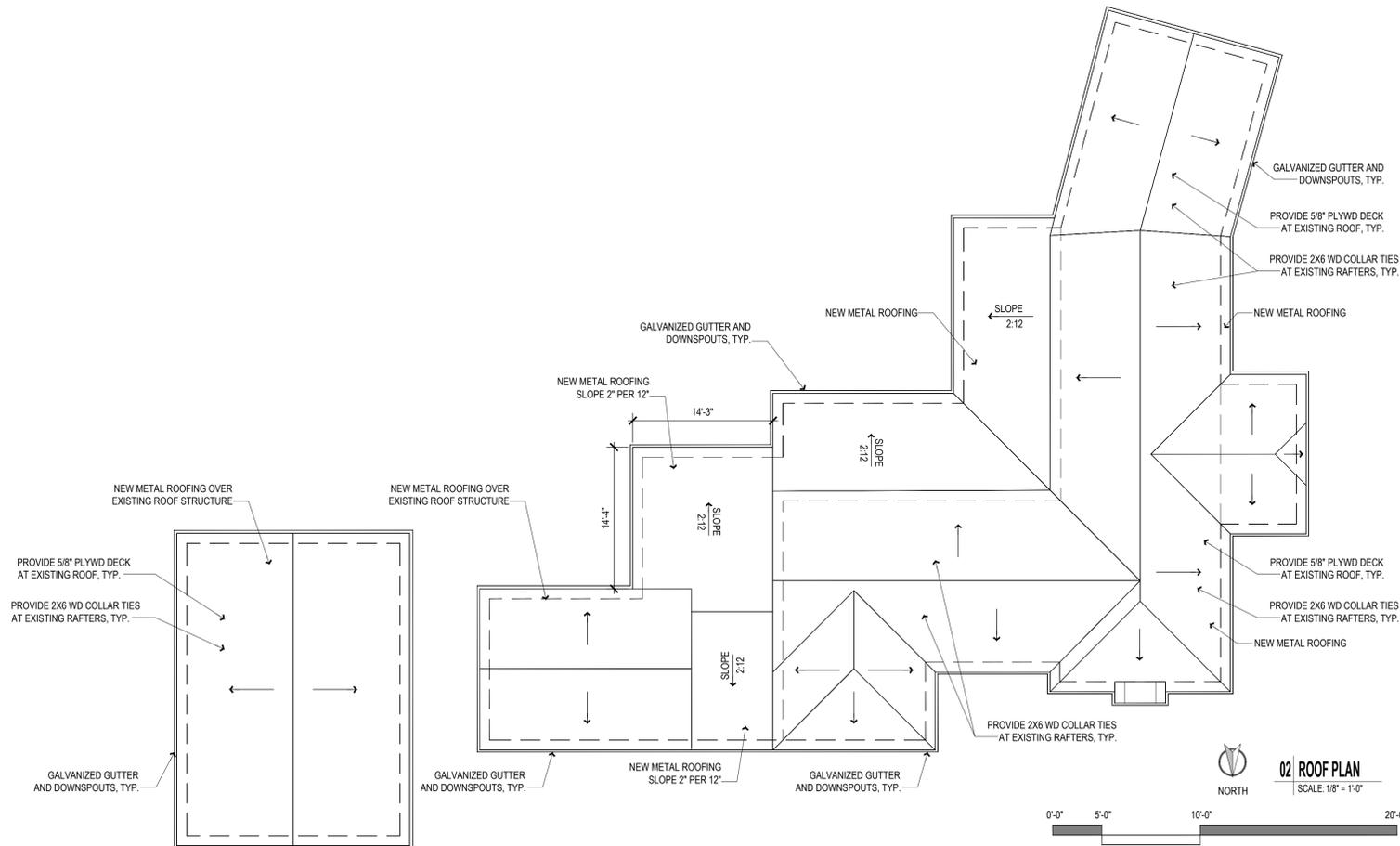
1. Prepare substrate prior to beginning roofing installation including decking, framing and blocking and all assemblies including vents, flues skylight curbs and similar work.
2. All flashings shall be standard, or shall be custom fabricated if required for the application.
3. Prior to beginning roofing work, convene a pre-construction conference with the Owner. Review sequencing of work, installation methods and coordination with other trades. Review edge, ridge, vent, flashing and other details with the Owner. Coordinate with gutter installation.
4. Provide manufacturer's standard written materials. Warranty. Provide a five (5) year written installation warranty for roof, flashing and counterflashing, against defects in workmanship. The 5-year term shall commence upon acceptance of the roof by the Owner. During the 5-year term, the roof is to be maintained and kept in good repair by the Owner. Defects due to poor workmanship and materials shall be corrected by the Contractor at no cost to the Owner.
5. Provide minimum 30# roofing felt under roofing, 36" wide roll with galv nails and plates. Do not use staples on felt underlayment.
6. Examine all areas and conditions where work is to be performed. Correct all conditions detrimental to the proper execution of the work. Decking shall be securely attached to rafters with no gaps. Do not proceed until improper conditions are corrected.
7. When metal roofing work is begun it constitutes acceptance of the existing conditions and the installer will be responsible for corrections as well as correction of his own work if it does not comply with the requirements or specifications.
8. Lap roofing felt 4" at horizontal joints and 12" at vertical joints. Provide a minimum double thickness at valleys.
9. Allow the metal roofing sheet to extend 2'- 3" beyond the eave trim unless otherwise required to coordinate with gutter installation. Do not bend the lower end of the panels at the eaves, as this will close the v-drain. Fasten with lead - headed screws or other fasteners specifically recommended by roofing manufacturer. Install space all fasteners as required by the manufacturer.
10. Walk through and inspect the installation of the roof after completion and make al corrections before the roofer leaves the job.

ROOF PLAN KEYED NOTES:

- (A) Remove existing shingles. Replace with new metal roofing. Montopolis Supply Co. Rain Gaurd Roofing panels.
- (B) Inspect and re-seal all roof penetrations
- (C) Inspect and repair all valley conditions. Inform the Architect of any soft spots and areas that may require repairs during an initial roof inspection.
- (D) Provide new 5/8" plywood deck over existing roof structure.
- (E) Provide 2x6 wood collar ties on existing roof rafters.

ROOF PLAN LEGEND

-  Existing Roof to be Removed
-  New metal roof
-  Location of Exterior walls



GENERAL NOTES:

Scope of Work

-Confirm completion of foundation work. Repair and augment as required during soil removal.

-Stabilize and repair existing perimeter foundation and floor framing system, per structural drawings.

-Repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

-The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

-All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-used. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

FRAMING GENERAL NOTES AND MATERIAL:

1. Provide all wood framing and blocking required and install in compliance with the IRC for One and Two Family Residences as adopted by the City of Austin.
2. Lumber to be new stock, thoroughly seasoned and well manufactured, free from minor warp that cannot be corrected by bridging or blocking.
3. Structural framing to be No. 1 or better kd doug fir / larch / pine with end-rated fiber stress bending of 1,000 psi.
4. Unless otherwise shown on drawings or specifications, sizes of lumber shall be as follows:
Framing: 2 x 6, 2 x 8, 2 x 10, 2 x 12, 4 x 4 or 6 x 6 to match existing sizes
Blocking: 2 x 4
Bridging: 1 x 4
Studs: 2 x 4
Grounds: 1 1/2" wide
Sleepers: 2 x 4
5. Lumber to be finished on all 4 sides. Sizes given on plans and in the specifications are nominal sizes. Minimum dressed dimensions shall comply with current American Lumber Standards.
6. Moisture content of framing lumber not to exceed 15% at the time of installation.
7. Board lumber to comply with WWPA and American Lumber Standards R 16-39 for the material specified unless revised prior to submitting a bid. Grade of board lumber to be suitable for its intended use. In general, lumber with knots, knot holes or splits should be culled from lumber delivered and not installed.
8. Provided treated lumber as required by the Codes.
9. Carefully lay out and erect structural members and other rough carpentry as necessary to install the finished work. All members shall be properly braced, plumbed and leveled. Use sufficient size and number of nails, screws, bolts and other fasteners to ensure the rigidity of the construction. Provide all temporary framing and bracing of new and existing construction required.
10. Provide a submittal for review and approval for all framing hardware proposed, including nails, bolts, lag bolts, Simpson connectors and similar; prior to ordering or purchasing material.
11. Do not compromise any framing by improper cutting or drilling.
12. All carpentry modifications by mechanical trades shall be corrected by the GC.
13. For wall framing generally:
Nail studs to plates at a maximum spacing of 16" oc.
Plywood sheathing generally should overlap and be nailed to plates. Where sheathing does not overlap plates, anchor as required and at a minimum provide steel straps or appropriate Simpson anchors at every other stud.
Corner posts to be formed with no less than three studs to receive interior finishes.
Provide adequate corner and other bracing to resist wall racking and other movement.
14. Unless shown or sized differently by the structural engineer, ceiling joists shall be a minimum dimension of 2 x 6. All joists should be properly toe-nailed to plates, every fourth joist and outgitter shall be connected to plate with steel straps or appropriate Simpson anchor.
15. Roof sheathing to be nailed to supports at 6" oc with minimum 6d box or cc nails. Provide blocking under plywood panel joints perpendicular to main framing members as required.
16. Provide solid blocking as required for all assemblies, including handrails, balusters, and around structural steel.
17. Post up and provide pony walls at all locations necessary to reduce strongback spans. All such construction shall bear on primary load bearing construction.

SIDING AND TRIM GENERAL NOTES:

1. Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
2. All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing and material.

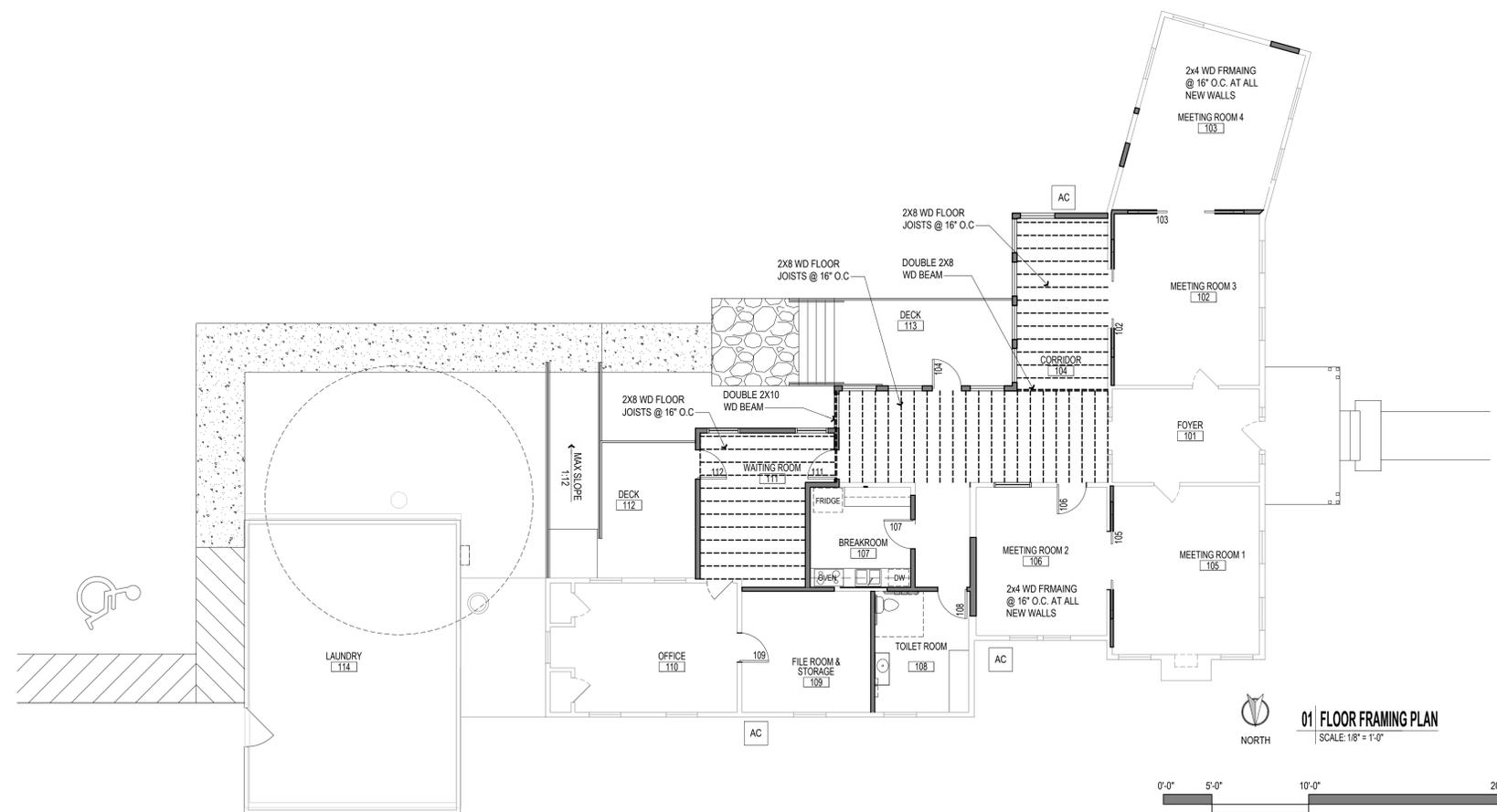
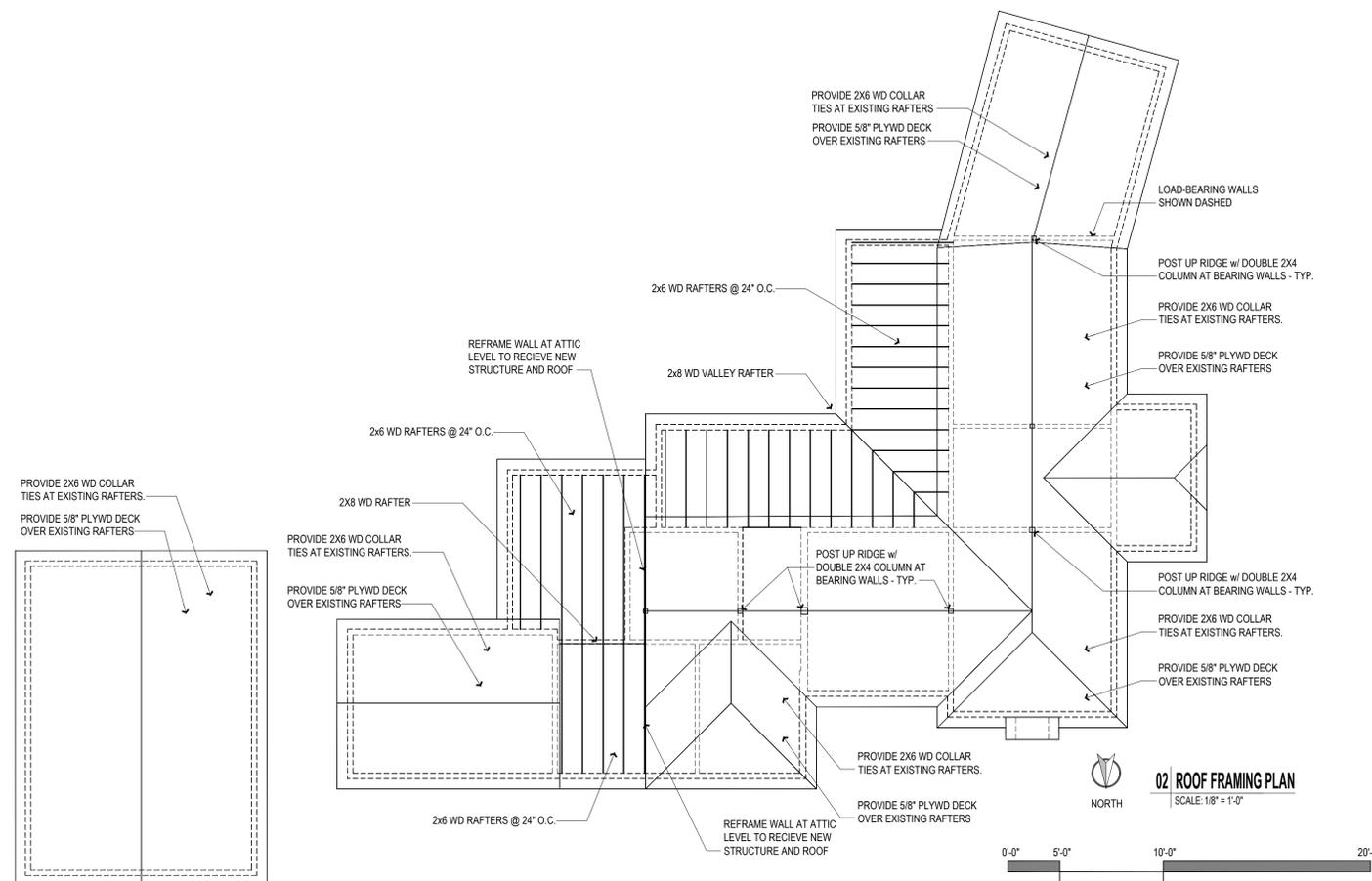
PAINTING GENERAL NOTES:

1. Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
2. Do not power wash anything prior to painting.
3. Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system.
4. Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

HOUSE SF: 2757 SF
PORCH 1 SF: 109 SF
PORCH 2 SF: 18 SF
TOTAL SF: 2884 SF

FLOOR PLAN LEGEND

- Existing construction to remain
- New construction
- New concrete walkway
- Load-bearing walls



Miller-Searight
House

5400 Freidrich Ln.
Austin, Texas 78744

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Vincent P. Hauser January 2020

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4	Revision	08/30/2019
5	Revision	10/08/2019
6	Revision	12/07/2019
7	Revision	01/28/2020

SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

TITLE

Framing Plan

scale: varies

SHEET

A2.3

GENERAL NOTES:

Scope of Work
Stabilize and repair existing perimeter foundation and floor framing system, per structural drawings. Repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

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- Provided treated lumber as required by the Codes.
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- Unless shown or sized differently by the structural engineer, ceiling joists shall be a minimum dimension of 2 x 6. All joists should be properly toe-nailed to plates, every fourth joist and outrigger shall be connected to plate with steel straps or appropriate Simpson anchor.
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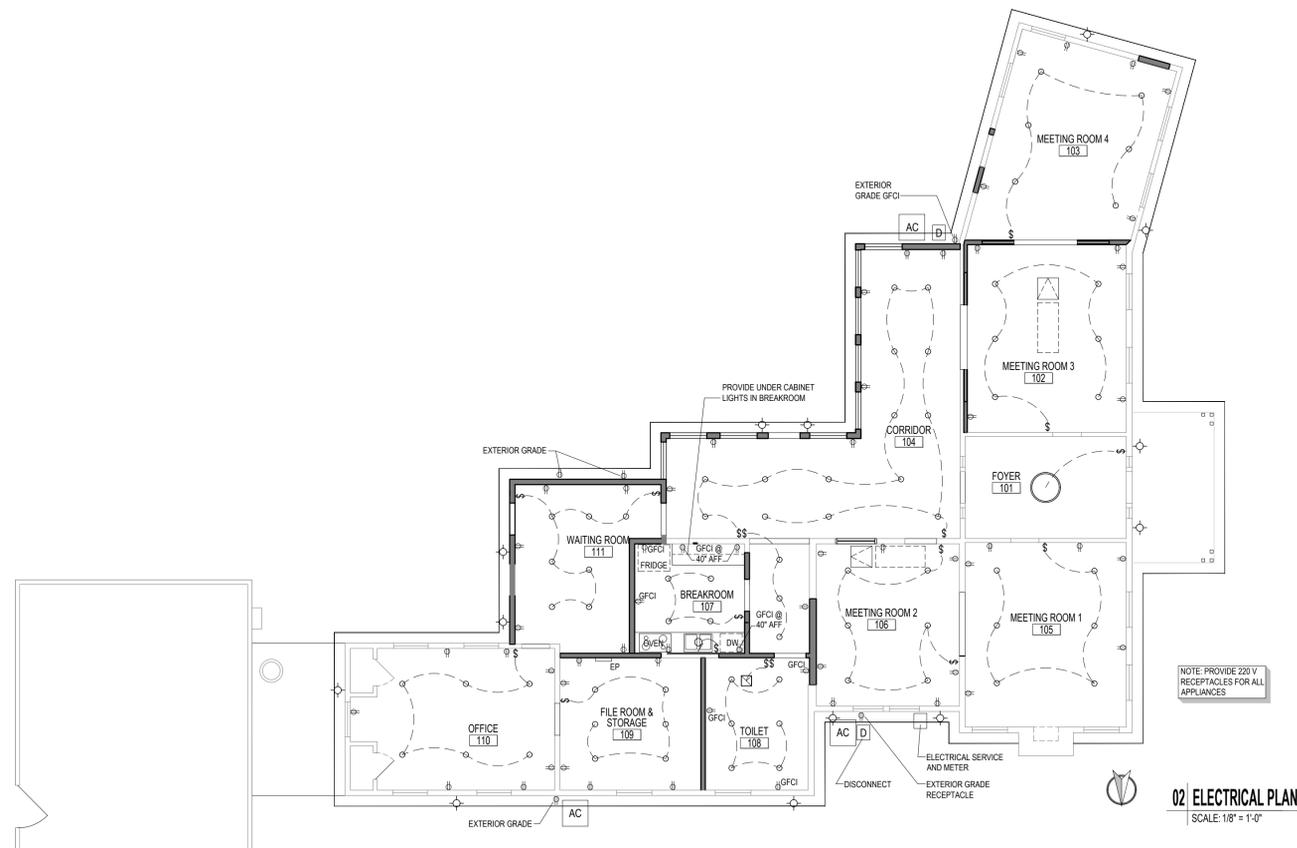
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- Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system.
- Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

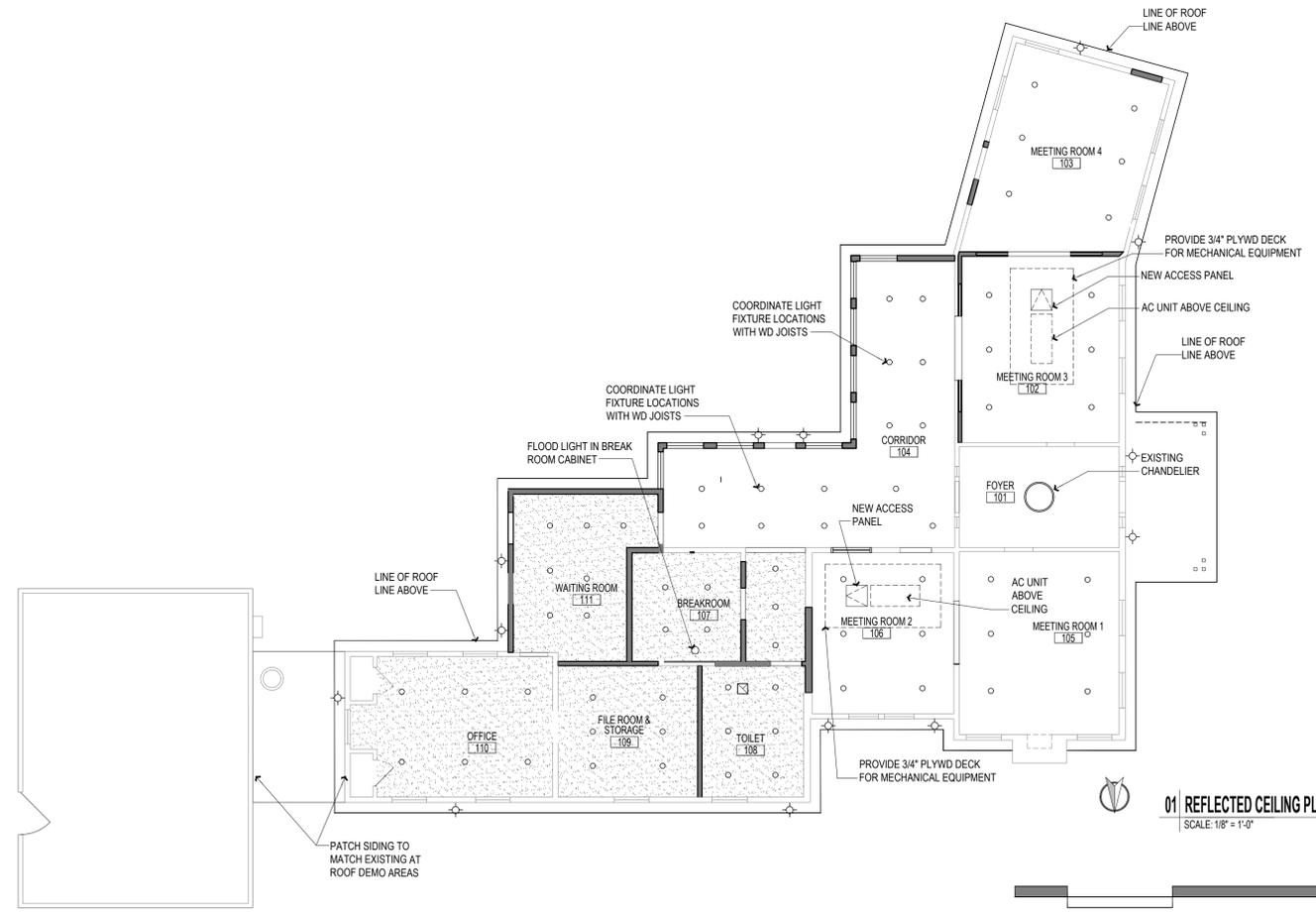
HOUSE SF: 2757 SF
PORCH 1 SF: 109 SF
PORCH 2 SF: 18 SF
TOTAL SF: 2884 SF

FLOOR PLAN LEGEND

-  Existing construction to remain
-  New construction
-  New hard ceiling (gypsum board)
-  New 6" light fixture
-  Wall Sconces light fixture
-  New Exhaust Fan
-  New Air Supply Diffuser
-  Electrical Disconnect



02 ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"



01 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

Miller-Searight
House
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Austin, Texas 78744

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7	Revision	01/28/2020

SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

Reflected
Ceiling Plan

scale: varies

SHEET

A3.1

**Miller-Searight
House**

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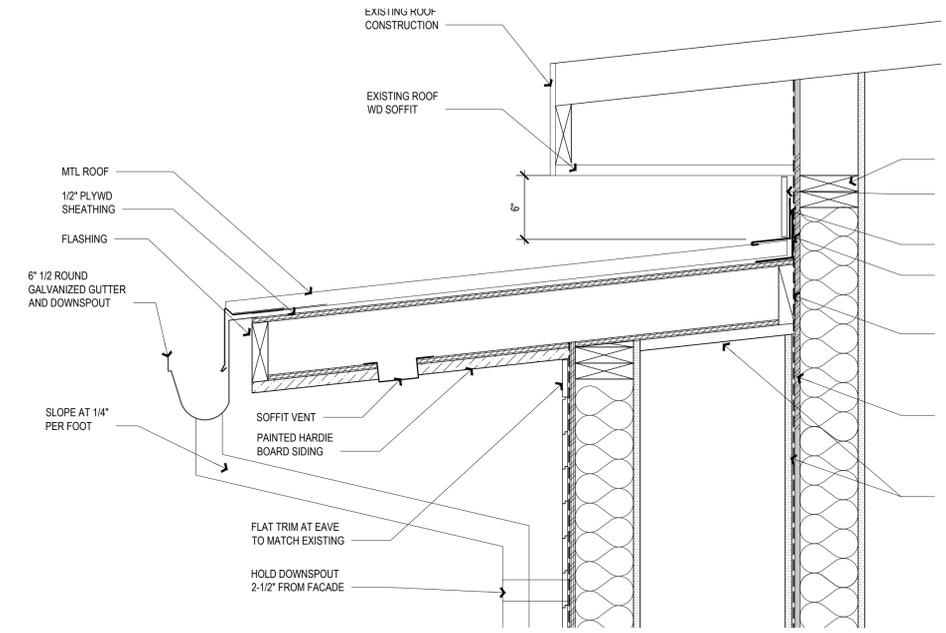
TITLE

**Building
Elevations**

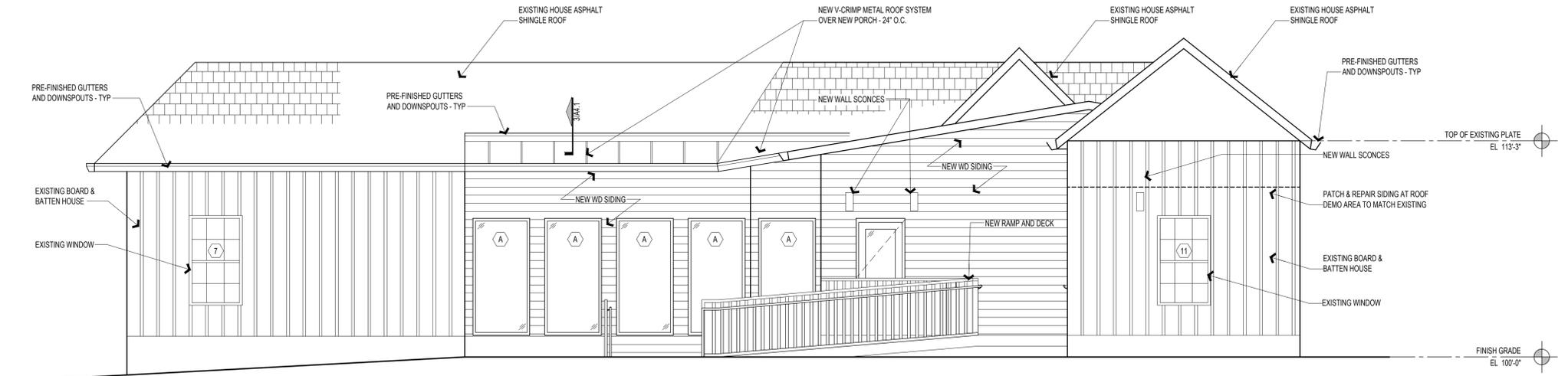
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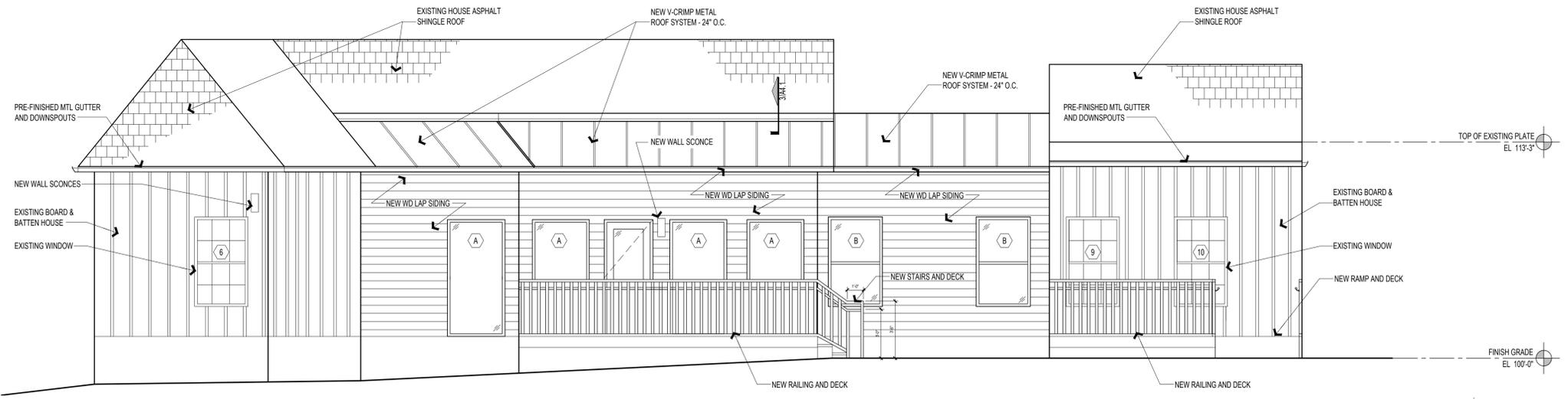
A4.1



03 ROOF DETAIL
SCALE: 1-1/2" = 1'-0"



02 WEST ELEVATION
SCALE: 1/4" = 1'-0"



01 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

MARK	SIZE	MATERIAL	FRAME	SASH	DETAIL REFERENCE			REMARKS
					HEAD	JAMB	SILL	
A	3'-6" x 6'-0"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
B	3'-0" x 7'-0"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
1	6'-0" x 7'-0"	EXISTING WD	EXISTING WD	EXISTING WD	EXIST	EXIST	EXIST	REPAIR AND RESTORE EXISTING WINDOW FRAME. MATCH EXISTING HISTORIC WINDOWS.
2	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
3	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
4	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
5	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
6	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
7	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
8	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	INTERIOR SIDELIGHTS. RESTORE EXISTING
9	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
10	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
11	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
12	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
13	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
14	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
15	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
16	2'-6" x 2'-10"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	MATCH EXISTING SIZE AND FUNCTION
17	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
18	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
19	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	
20	3'-4" x 6'-5"	VINYL	VINYL	VINYL	13/A5.1	12/A5.1	11/A5.1	

DOOR SCHEDULE

MARK	DOOR	RATING	TYPE	SIZE		MATERIAL					FRAME			HARDWARE	DETAIL REFERENCE	REMARKS		
				WIDTH	HEIGHT	THICKNESS	HOLLOW METAL	WOOD & GLASS	ALUMINUM & GLASS	THERM PLAIN DOOR	WOOD, REFERENCE INTERIOR FINISH SCHEDULE	GLASS	GLASS				GLASS	HOLLOW METAL
101	EXG	EXG	EXG	EXG	6'-0"	6'-8"	1 3/4"							CA	XXX		RESTORE EXISTING ENTRY DOOR	
102	DT2	6'-0"	6'-8"	1 3/4"										CA	XXX		3'-0" X 6'-0" PAIR DOUBLE POCKET DOOR	
103	DT2	6'-0"	6'-8"	1 3/4"										CA	XXX		3'-0" X 6'-0" PAIR DOUBLE POCKET DOOR	
104	DT1	3'-0"	6'-8"	1 3/4"										CA	XXX	9/A5.1	8/A5.1	7/A5.1
105	DT2	6'-0"	6'-8"	1 3/4"										CA	XXX			
106	DT1	3'-0"	6'-8"	1 3/4"										CA	XXX	9/A5.1	8/A5.1	
107	DT1	3'-0"	6'-8"	1 3/4"										CA	XXX	9/A5.1	8/A5.1	
108	DT3	3'-0"	6'-8"	1 3/4"										CA	XXX	9/A5.1	8/A5.1	
109	DT1	3'-0"	6'-8"	1 3/4"										CA	XXX	9/A5.1	8/A5.1	
110	DT1	3'-0"	6'-8"	1 3/4"										CA	XXX	9/A5.1	8/A5.1	
111	DT1	3'-0"	6'-8"	1 3/4"										CA	XXX	9/A5.1	8/A5.1	
112	DT1	3'-0"	6'-8"	1 3/4"										CA	XXX	9/A5.1	8/A5.1	7/A5.1

NOTE: REPAIR AND REPAINT EXISTING DOORS SHOWN TO REMAIN

VINCENT P. HAUSER ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight House

5400 Freidrich Ln. Austin, Texas 78744

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SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

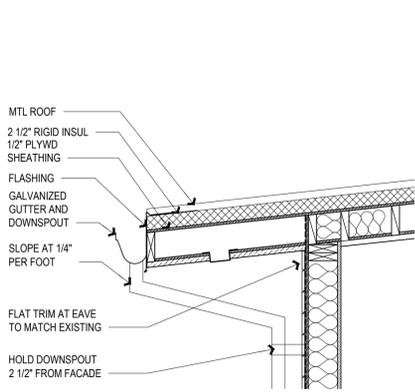
TITLE

Wall Sections & Partition Details

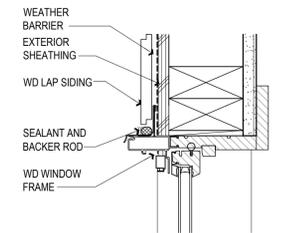
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SHEET

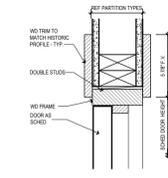
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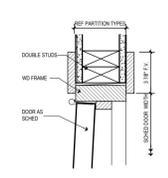
15 ROOF EDGE DETAIL
SCALE: 3/4" = 1'-0"



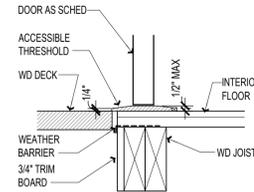
13 WINDOW HEAD DETAIL
SCALE: 3/8" = 1'-0"



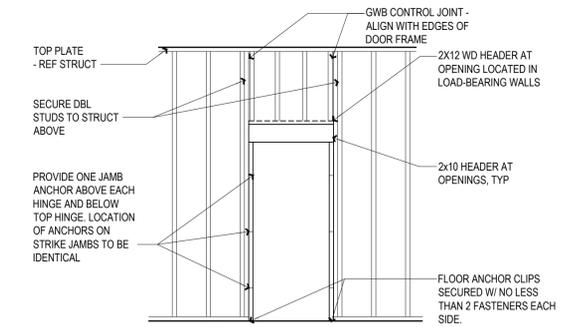
09 DOOR HEADER DETAIL
SCALE: 1 1/2" = 1'-0"



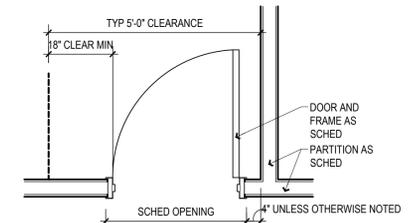
08 DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



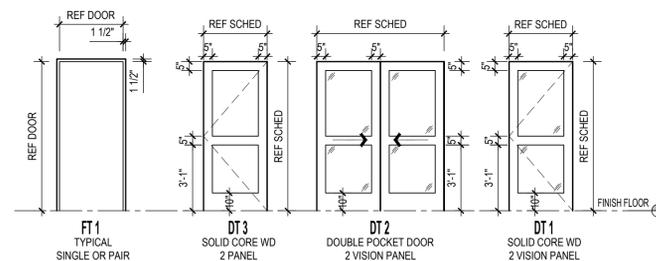
07 THRESHOLD DETAIL
SCALE: 1 1/2" = 1'-0"



03 TYP DOOR FRAMING DETAIL
SCALE: 1/4" = 1'-0"

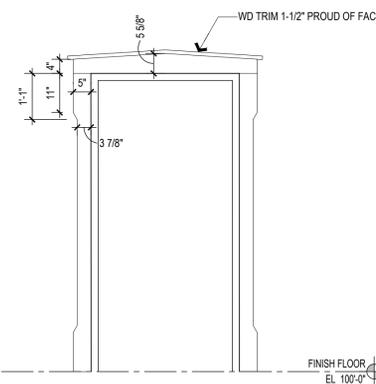


02 TYP DOOR LOCATION
SCALE: 1/2" = 1'-0"

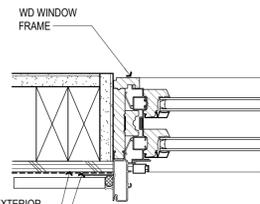


05 DOOR TYPES
SCALE: 1/2" = 1'-0"

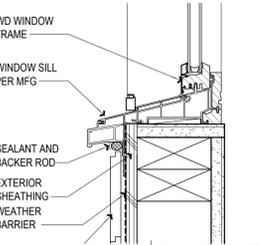
06 FRAMING TYPES
SCALE: 1/2" = 1'-0"



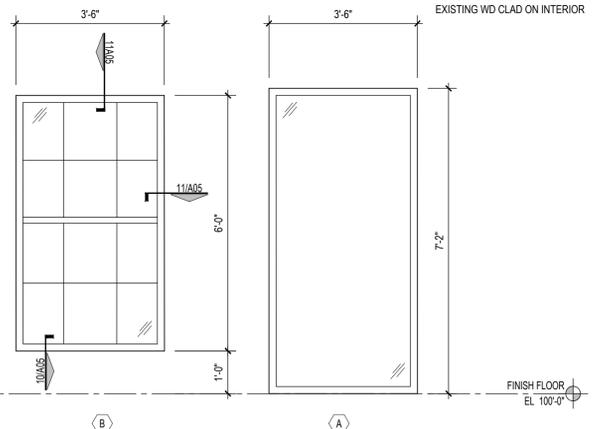
10 HISTORIC DETAILS
SCALE: 1/2" = 1'-0"



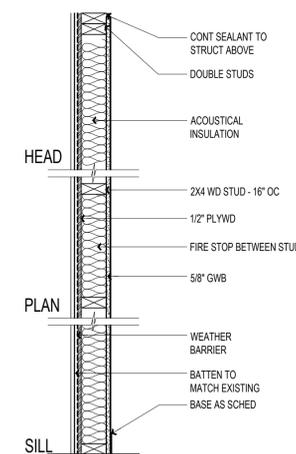
12 WINDOW JAMB DETAIL
SCALE: 3/8" = 1'-0"



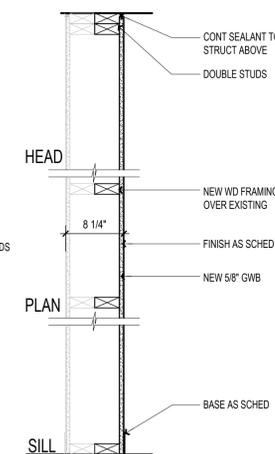
11 WINDOW SILL DETAIL
SCALE: 3/8" = 1'-0"



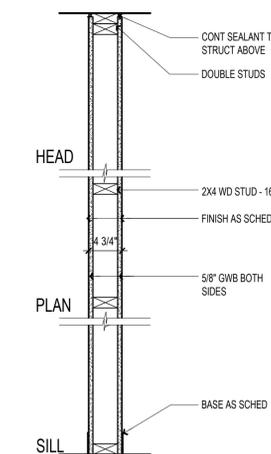
04 WINDOW SCHEDULE
SCALE: 1/2" = 1'-0"



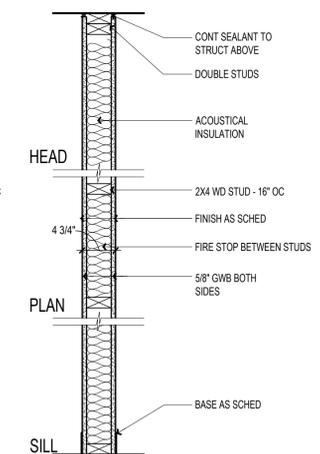
D - 2x4 WD FRAMING - EXTERIOR PARTITION



C - NEW PARTITION OVER EXISTING



B - 2x4 WD FRAMING - INTERIOR PARTITION



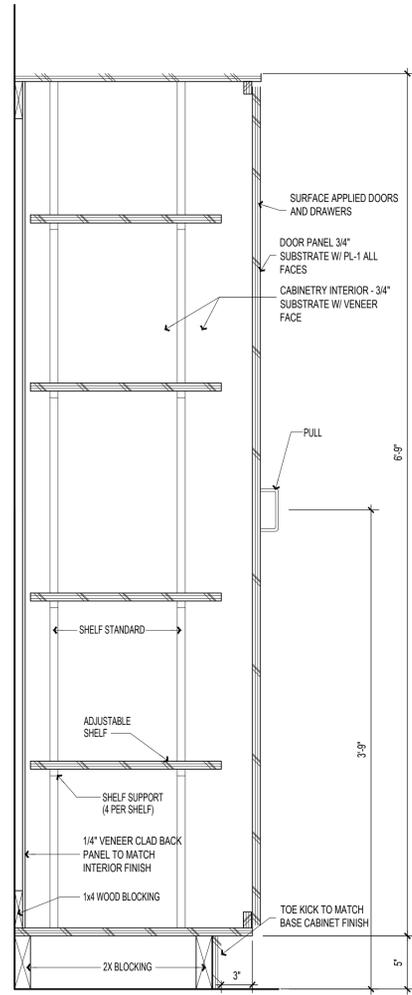
01 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"

14 WALL SECTION DETAIL
SCALE: 3/4" = 1'-0"

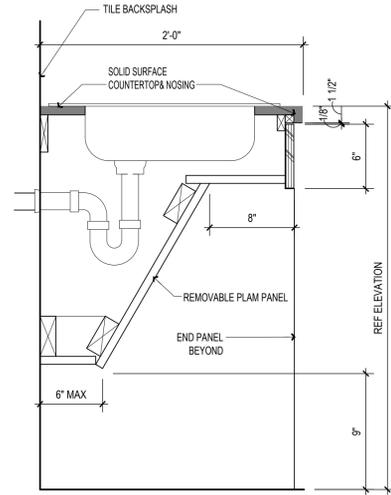
- GENERAL NOTES:
- All partition types are "Type A" unless otherwise noted.
 - All dimensioned are from face of finish to face of finish.
 - All areas scheduled to receive new finishes are to be inspected for any patching that may be required due to existing conditions. Perform all patching as required prior to application of new finishes.
 - Contractor shall field verify all existing dimensions. Drawn information shall not supercede actual conditions.

TOILET ROOM ACCESSORIES KEYED NOTES:
All toilet room accessories are Bobrick, unless otherwise noted.

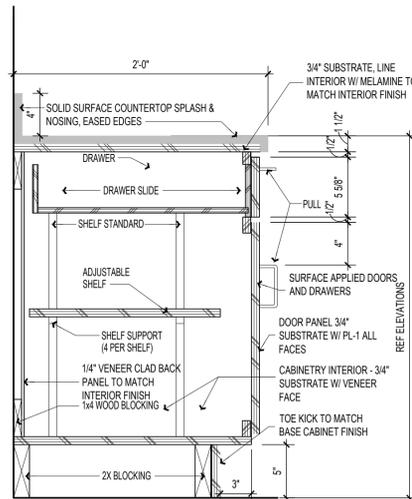
- 36" ADA grab bar. Top of bar at 34" AFF. B-6806 x 36
- 42" ADA grab bar. Top of bar at 34" AFF. B-6806 x 42
- Toilet paper dispenser. B-26212
- Sanitary napkin disposal. Surface mounted. B-254
- Paper towel dispenser. Surface mounted. B-262
- Soap Dispenser. Surface mounted. B-4112
- Hat and coat hook. Mounted 48" AFF. B-6827
- 24" x 36" glass mirror. B-165 2436
- Flush valve located on open side of water closet.
- Toilet seat cover dispenser. B-221



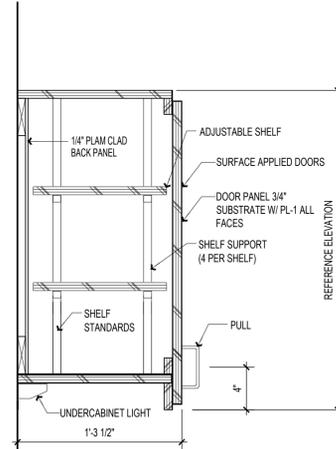
09 MILLWORK SECTION
SCALE: 1-1/2" = 1'-0"



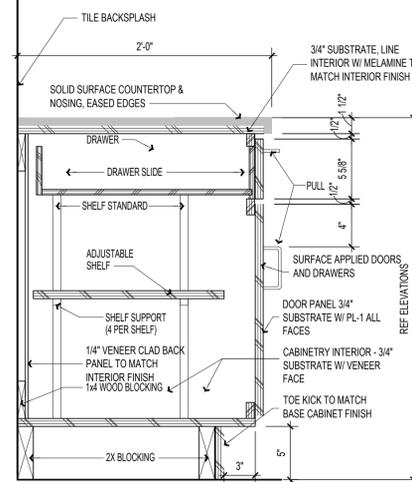
08 MILLWORK SECTION
SCALE: 1-1/2" = 1'-0"



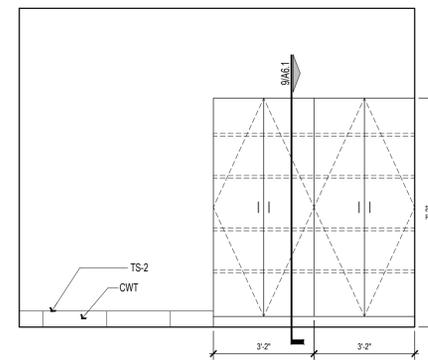
07 MILLWORK SECTION
SCALE: 1-1/2" = 1'-0"



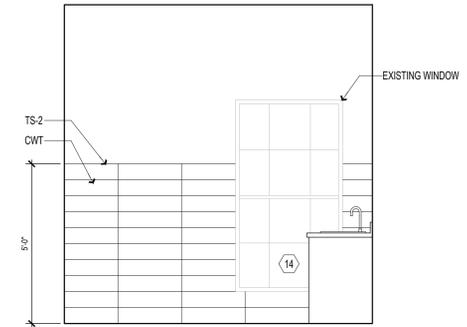
06 MILLWORK SECTION
SCALE: 1-1/2" = 1'-0"



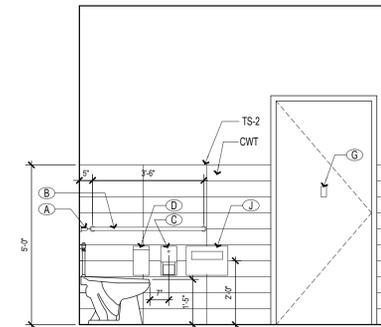
05 MILLWORK SECTION
SCALE: 1-1/2" = 1'-0"



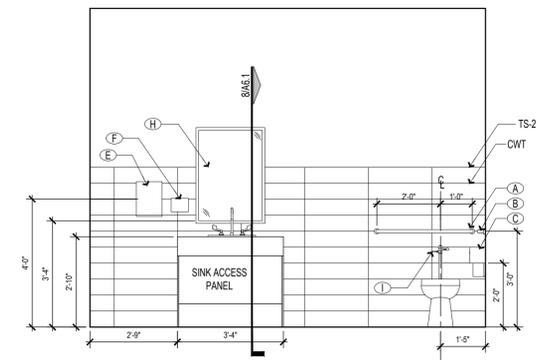
04 TOILET ROOM
SCALE: 3/8" = 1'-0"



03 TOILET ROOM
SCALE: 3/8" = 1'-0"



02 TOILET ROOM
SCALE: 3/8" = 1'-0"



01 TOILET ROOM
SCALE: 3/8" = 1'-0"

Miller-Searight
House
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Vincent P. Hauser January 2020

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6	Revision	12/07/2019
7	Revision	01/28/2020

SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

Interior
Elevations
& Details

scale: varies

SHEET

A6.1

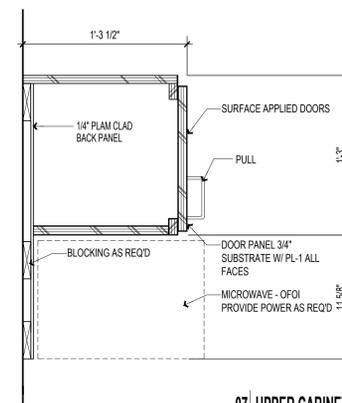
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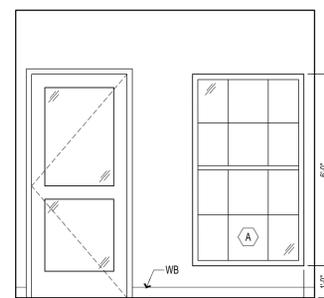
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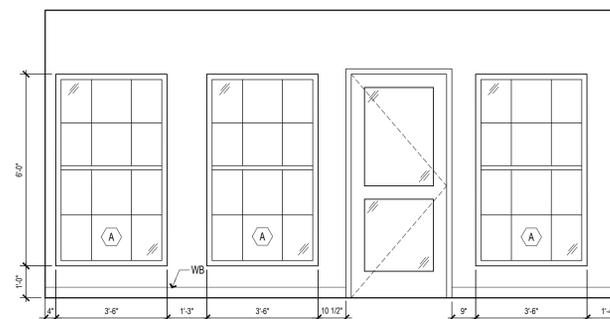
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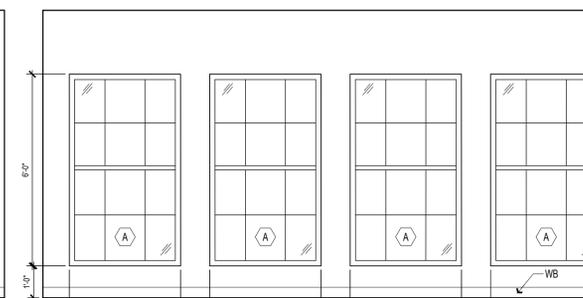
07 UPPER CABINET DETAIL
SCALE: 3/8" = 1'-0"



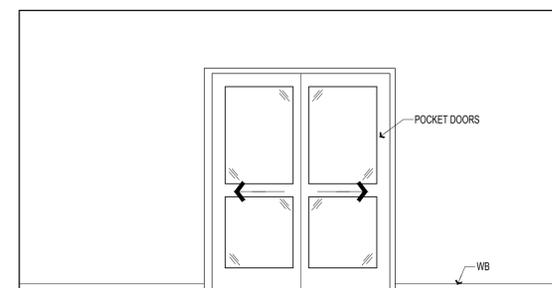
08 CORRIDOR 104
SCALE: 3/8" = 1'-0"



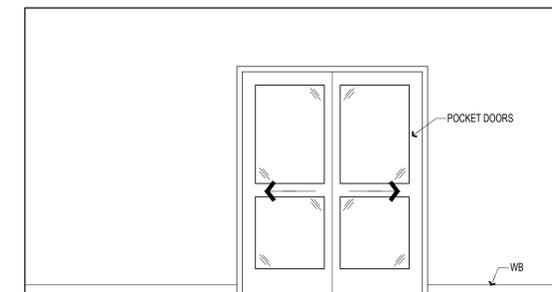
06 CORRIDOR 104
SCALE: 3/8" = 1'-0"



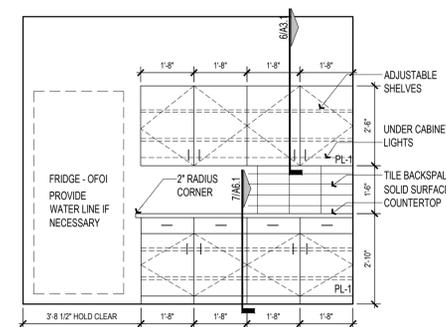
03 CORRIDOR 104
SCALE: 3/8" = 1'-0"



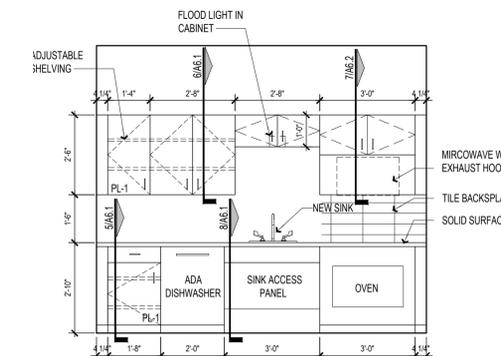
05 MEETING ROOM 105
SCALE: 3/8" = 1'-0"



02 MEETING ROOM 102
SCALE: 3/8" = 1'-0"



04 BREAK ROOM ELEVATION
SCALE: 3/8" = 1'-0"



01 BREAK ROOM ELEVATION
SCALE: 3/8" = 1'-0"

Miller-Searight
House

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SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

TITLE

Interior
Elevations
& Details

scale: varies

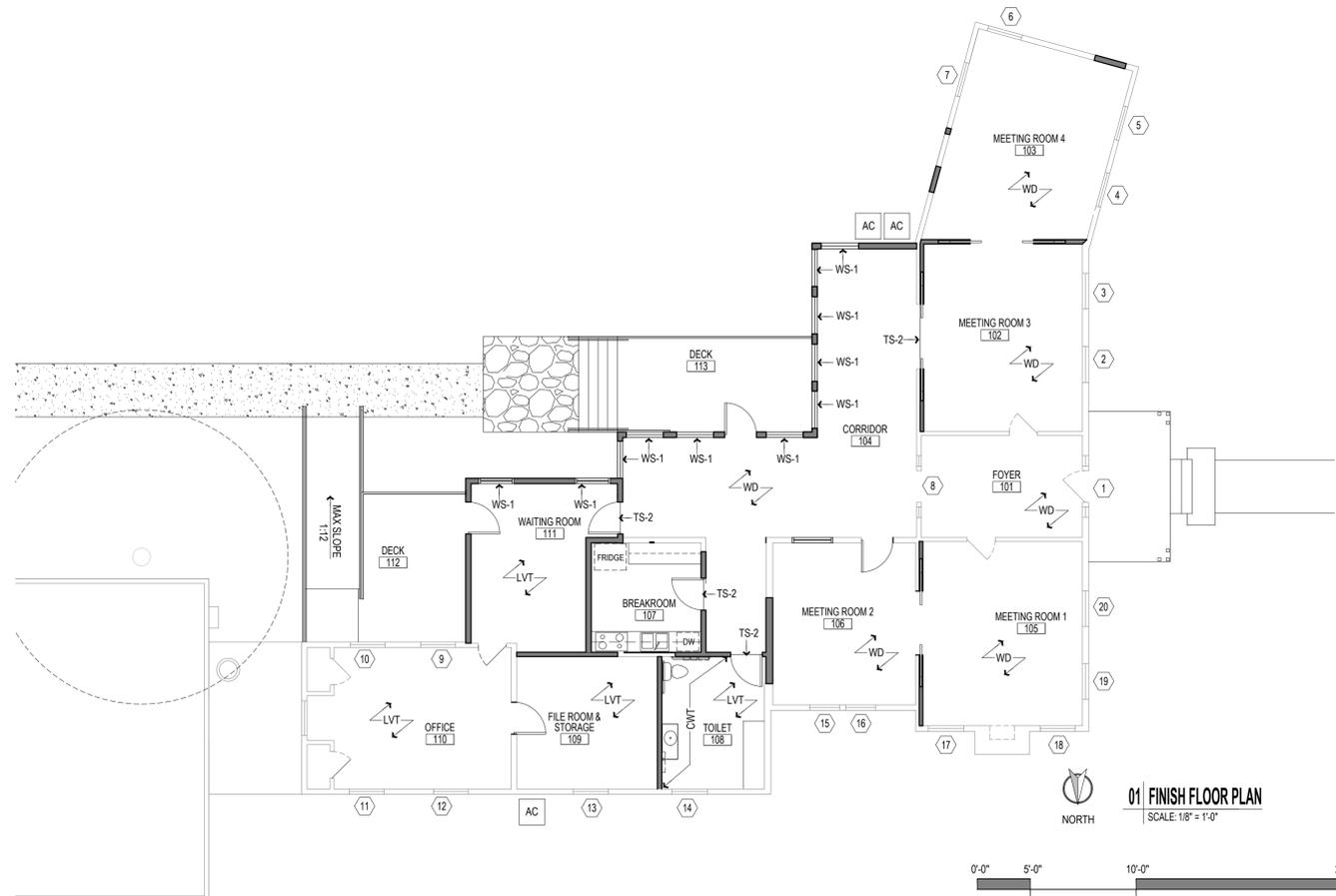
SHEET

A6.2

ROOM FINISH SCHEDULE											
ROOM NUMBER	ROOM	FLOORS		WALLS				CEILING	MILLWORK		NOTES
		FLOOR FINISH	BASE	FINISHES REFERENCE PLAN NORTH					FINISH	MLWK	
				NORTH	EAST	SOUTH	WEST				
101	FOYER	EXISTING WD	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-3			REFINISH EXISTING WOOD FLOORING. REMOVE VINYL
102	MEETING ROOM	EXISTING WD	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-3			REFINISH EXISTING WOOD FLOORING. REMOVE CARPET
103	MEETING ROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-3			REFINISH EXISTING WOOD FLOORING. REMOVE CARPET
104	CORRIDOR	NEW WD FLOORING	WB-1	PT-1	PT-1	PT-1	PT-1	PT-3			NEW WOOD FLOORING
105	MEETING ROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-3			REFINISH EXISTING WOOD FLOORING. REMOVE CARPET
106	MEETING ROOM	LVT	WB-1	PT-1	PT-1	PT-1	PT-1	PT-3			
107	BREAK ROOM	LVT	WB-1	PT-1	PT-1	PT-1	PT-1	PT-3	PL-1	SS-1	
108	TOILET ROOM	LVT	WB-1	PT-1	PT-1	PT-1	PT-1	PT-3	PL-1	SS-1	
109	FILE & STORAGE	LVT	WB-1	PT-1	PT-1	PT-1	PT-1	PT-3			
110	OFFICE	LVT	WB-1	PT-1	PT-1	PT-1	PT-1	PT-3			
111	WAITING ROOM	LVT	WB-1	PT-1	PT-1	PT-1	PT-1	PT-3			

FINAL FINISH SELECTION IS PENDING APPROVAL BY OWNER.

ROOM FINISH LEGEND							
FLOORING							
MATERIAL	CODE	MANUFACTURE/PATTERN	PRODUCT NO.	COLOR	FINISH	DIMENSIONS	REMARKS
LUXURY VINYL TILE	LVT	MOHAWK / SELECT STEP C0007	P0086	COTTAGE GREY	-	6' X 48"	BRICK ASHLAR INSTALLATION. REFER TO DETAIL.
WD FLOORING	WD	--	--	STAINED TO MATCH EXISTING	-	TO MATCH EXISTING	QUARTERSAWN OR RECYCLED HEART PINE
WD WALL BASE	WB	--	--	PAINTED WHITE	--	4" HIGH	WOOD BASE. REF TO DETAIL
WALLS							
PAINT	PT-1	SHERWIN WILLIAMS	SW 6196	FROSTY WHITE	EGG SHELL	-	FIELD WALL PAINT
PAINT	PT-2	SHERWIN WILLIAMS	SW ---	--	EGG SHELL	-	ACCENT WALL COLOR
CERAMIC WALL TILE	CWT	CONCEPT SURFACES	NUOVO	ARGENTO	--	6 X 24 X 3/8" THICK	WALL TILE IN TOILET ROOM. REF TO ELEVATIONS FOR PATTERN
TILE BACKSPLASH	--	--	--	--	--	-	BACKSPLASH IN BREAKROOM
CEILING							
PAINT	PT-3	SHERWIN WILLIAMS	SW -	WHITE	-	-	PAINT ALL CEILINGS
MILLWORK							
PLASTIC LAMINATE	PL-1	FORMICA	TBD	TBD	MATTE	-	
SOLID SURFACE	SS-1	WILSONART	TBD	TBD	-	-	
MISC.							
WOOD VENEER	WV-1	BACON VENEER COMPANY OR EQUIV	-	RIFT WHITE OAK	CLEAR SEAL	-	DOOR FINISH
WINDOW SHADES	WS-1	SWF CONTRACT MANUAL SOLAR SHADES	SW 2701 (1% OPENESS)	TBD	-	-	
TRANSITION STRIP	TS-1	SCHLUTER SYSTEMS JOLLY	--	BRUSHED NICKEL	-	-	TOP OF CERAMIC WALL TILE IN TOILETROOMS. REF TO ELEVATIONS
TRANSITION STRIP	TS-2	ARMSTRONG	T18S31041	TO MATCH WD FLOORING	-	-	TRANSITION FROM WOOD FLOORING
TRANSITION STRIP	TS-3	ARMSTRONG	--	BLACK	-	-	TRANSITION FROM LVT TO CARPET



VINCENT P. HAUSER ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight House

5400 Freidrich Ln. Austin, Texas 78744

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7	Revision	01/28/2020

SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CX
Checked	VPH
Approved	VPH

TITLE

Finish Plan & Schedule

scale: varies

SHEET

A7.1

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7	Revision	01/28/2020

SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

TITLE
**Restoration
Details**

SHEET

A8.0

GENERAL NOTES:

Scope of Work
Stabilize and repair existing perimeter foundation and floor framing system, repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. The initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-used. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

FRAMING GENERAL NOTES AND MATERIAL - See Floor Plan Sheet A1.0

SIDING AND TRIM GENERAL NOTES:

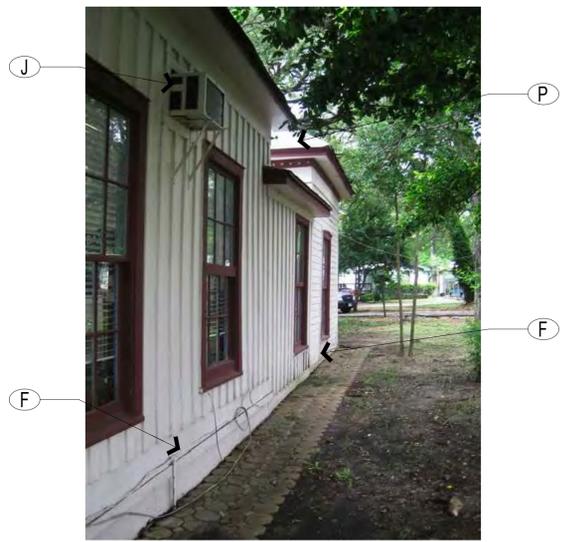
1. Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
2. All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing and material.
3. Remove all exterior cabling, wiring, drain and vent piping. Coordinate with Owner's telecom provider to reroute prior to demo of exterior cabling. Provide temporary wiring and piping as required to keep systems functioning.
4. Photograph siding conditions prior to and during removals for record and to assist in repair work and re-installation. Remove exterior materials only as required to repair framing and other tasks related to leveling work.
5. Contact the Architect during siding and water table removal to review unanticipated conditions.
6. Store all material to be salvaged for reuse and for patterns inside the building as agreed to with Owner. Store on blocking or other frames as appropriate to keep from twisting and warping. Mark boards for original location on the building exterior.
7. Remove window head trim and provide access for new z flashing installation. Provide new window head flashing to be detailed.
8. Provide half-round gutters and round downspouts. Review downspout locations prior to fabrication. Provide splash blocks and flexible drains as required to divert water away from foundations.
9. Provide access doors to crawl space as shown

PAINTING GENERAL NOTES:

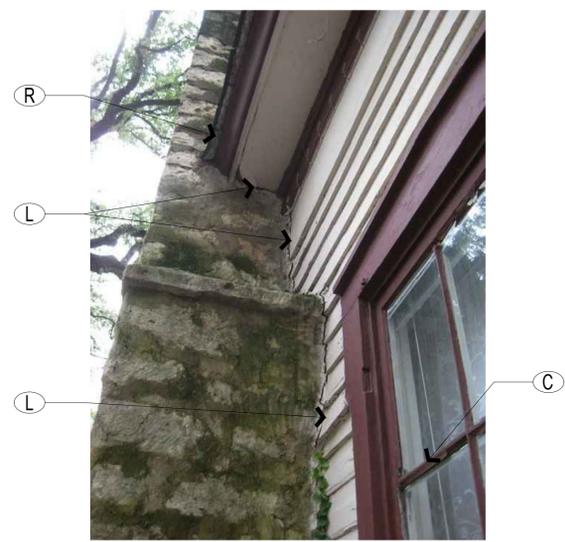
1. Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
2. Do not power wash anything prior to painting.
3. Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system. Comply with paint system prep and application specifications and other requirements.
4. Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

BUILDING ELEVATIONS KEYED NOTES:

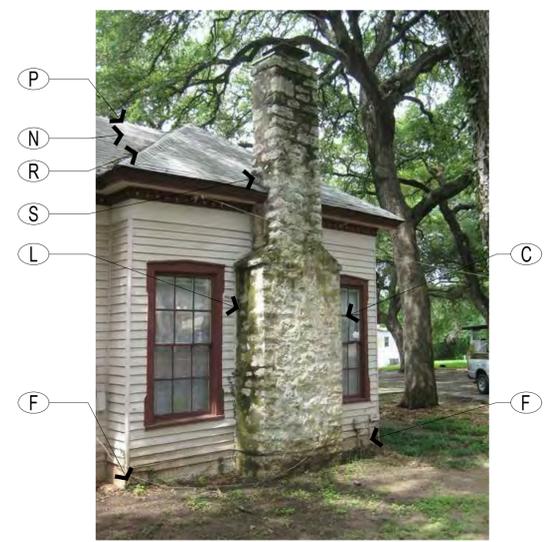
- (A) Demolish existing deck.
- (B) Remove porch structure, repair and reinstall siding as required to match assumed original pattern. Remove existing screen door and fix existing door in place.
- (C) Rebuild window sash to match existing, repair and rebuild jambs and re-rope weights as required. Reuse all existing trim, repaint as required.
- (D) Level and repair porch.
- (E) Provide new column base trim to be detailed.
- (F) Provide new wood skirt and water table as required to match assumed historic profiles, to be detailed
- (G) Provide allowance for accessible concrete ramp to front entry porch.
- (H) Repair porch framing, replace existing columns and deck, per structural drawings.
- (I) Remove ac compressor and reconnect at a serviceable location
- (J) Remove wall ac unit, patch and repair framing and siding to match existing adjacent design.
- (K) Remove light pole and supply as required
- (L) Clean joint between masonry and siding, repair wood and reseal. Provide backer rod as required.
- (M) Provide access door to crawl space
- (N) Replace missing and damaged roof shingles
- (O) Patch and repair modified bitumen roofing and flashings.
- (P) Inspect and repair all ridge and cap shingles, replace as needed to match existing.
- (Q) Inspect and re-seal all roof penetrations
- (R) Inspect and repair all valley conditions. Inform the Architect of any soft spots and areas that may require repairs during an initial roof inspection. Add temporary edge flashings as required
- (S) Repair flashing / provide temporary repairs at chimney and roof interface



**09 NORTH FACADE DETAIL
AT 110 & 116**
SCALE: N/A



**06 DETAIL AT CHIMNEY -
NORTH FACADE**
SCALE: N/A



**03 NORTH FACADE
AT ROOM 101**
SCALE: N/A



**08 NORTH FACADE
AT NE CORNER**
SCALE: N/A



**05 PARTIAL NORTH ELEVATION
AT KITCHEN 108**
SCALE: N/A



02 NORTHWEST CORNER
SCALE: N/A



**07 WINDOW AT
NORTH FACADE**
SCALE: N/A



**04 NORTH FACADE - PARTIAL
AT ROOMS 101, 108, 110**
SCALE: N/A



01 WEST ELEVATION
SCALE: N/A



18 PORCH 107 TO EAST
SCALE: N/A



17 PORCH 107 TO EAST FROM ENTRY HALL 100
SCALE: N/A



16 ENTRY HALL 100 TO WEST
SCALE: N/A



15 SOUTH ELEVATION AT ENCLOSED PORCH 107
SCALE: N/A



14 SOUTH ELEVATION
SCALE: N/A



13 DETAIL AT SOUTH FACADE
SCALE: N/A



12 DETAIL AT SW CORNER
SCALE: N/A



11 SOUTH FACADE AT 104
SCALE: N/A



10 WEST FACADE AT SW CORNER
SCALE: N/A

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9. Provide access doors to crawl space as shown

PAINTING GENERAL NOTES:

1. Remove all loose paint and repair or replace missing and rotted trim. Provide one color for the siding, two colors for trim. Provide a good mechanical base for all new paint.
2. Do not power wash anything prior to painting.
3. Paint system to be Sherwin Williams 100% acrylic, gloss or semi-gloss, three coat system. Comply with paint system prep and application specifications and other requirements.
4. Sealant to be one-part polyurethane or acrylic and demonstrated to be compatible with paint system.

BUILDING ELEVATIONS KEYED NOTES:

- (A) Demolish existing deck.
- (B) Remove porch structure, repair and reinstall siding as required to match assumed original pattern. Remove existing screen door and fix existing door in place.
- (C) Rebuild window sash to match existing, repair and rebuild jambs and re-rope weights as required. Reuse all existing trim, repaint as required.
- (D) Level and repair porch.
- (E) Provide new column base trim to be detailed.
- (F) Provide new wood skirt and water table as required to match assumed historic profiles, to be detailed.
- (G) Provide allowance for accessible concrete ramp to front entry porch.
- (H) Repair porch framing, replace existing columns and deck, per structural drawings.
- (I) Remove ac compressor and reconnect at a serviceable location
- (J) Remove wall ac unit, patch and repair framing and siding to match existing adjacent design.
- (K) Remove light pole and supply as required
- (L) Clean joint between masonry and siding, repair wood and reseal. Provide backer rod as required.
- (M) Provide access door to crawl space
- (N) Replace missing and damaged roof shingles
- (O) Patch and repair modified bitumen roofing and flashings.
- (P) Inspect and repair all ridge and cap shingles, replace as needed to match existing.
- (Q) Inspect and re-seal all roof penetrations
- (R) Inspect and repair all valley conditions. Inform the Architect of any soft spots and areas that may require repairs during an initial roof inspection. Add temporary edge flashings as required
- (S) Repair flashing / provide temporary repairs at chimney and roof interface

VINCENT P. HAUSER ARCHITECT

2301 E. Riverside, Suite 80 Austin, TX 78741

512-452-3041

Miller-Searight House

5400 Freidrich Ln.
Austin, Texas 78744

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Vincent P. Hauser January 2020

REVISIONS

No.	Issue	Date
1	Revision	12/04/2018
2	Revision	02/05/2019
3	Revision	08/05/2019
4	Revision	08/30/2019
5	Revision	10/08/2019
6	Revision	12/07/2019
7	Revision	01/28/2020

SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

Restoration Details

SHEET

A8.1



21 KITCHEN 108 TO NORTH
SCALE: N/A



20 PORCH 107 NORTH WALL
SCALE: N/A



19 PORCH 107 TO SOUTH
SCALE: N/A

GENERAL NOTES:

Scope of Work

Stabilize and repair existing perimeter foundation and floor framing system, repair and reinforce interior floor framing, level to the extent feasible as determined in conjunction with the Architect. This initial design tolerance is assumed to be 1/4", to be modified in the field as conditions warrant.

The work will include removing exterior perimeter wood trim to expose foundation and framing conditions, some selective interior floor removal to expose and access interior framing and foundation conditions. Interior floor removal is not allowed in Rooms 100, 101, 102, 104. Interior floor removal will be allowed in Room 106, 107, 108, 109, 110, 113. Other locations may be available for access, subject to the Floor Leveling Plan to be provided by the Contractor.

All trim removed for leveling and repair purposes will be marked and stored by the Contractor on site for re-use and/or replication in the rebuild. In general, existing trim determined to be historic material will be re-used. Material for the build-back will be either existing historic material, or new material milled to match historic material. Historic material determined by the Architect to be not suitable for re-use will be stored on site and delivered to the Owner at the completion of the work. Under no circumstances will any historic material be discarded or destroyed.

FRAMING GENERAL NOTES AND MATERIAL: - See Floor Plan Sheet A1.0

SIDING AND TRIM GENERAL NOTES:

1. Remove and replace all rotting or missing siding and trim, match profiles of existing historic material.
2. All new material to be No 1 or better rift - or quarter - sawn doug fir, western red cedar or approved salvaged material. Provide a submittal and samples of all trim material for review and approval prior to ordering or purchasing and material.
3. Remove all exterior cabling, wiring, drain and vent piping. Coordinate with Owner's telecom provider to reroute prior to demo of exterior cabling. Provide temporary wiring and piping as required to keep systems functioning.
4. Photograph siding conditions prior to and during removals for record and to assist in repair work and re-installation. Remove exterior materials only as required to repair framing and other tasks related to leveling work.
5. Contact the Architect during siding and water table removal to review unanticipated conditions.
6. Store all material to be salvaged for reuse and for patterns inside the building as agreed to with Owner. Store on blocking or other frames as appropriate to keep from twisting and warping. Mark boards for original location on the building exterior.
7. Remove window head trim and provide access for new z flashing installation. Provide new window head flashing to be detailed.
8. Provide half-round gutters and round downspouts. Review downspout locations prior to fabrication. Provide splash blocks and flexible drains as required to divert water away from foundations.
9. Provide access doors to crawl space as shown

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SHEET INFORMATION

Date	01/28/2020
Job Number	
Scale	
Drawn	CK
Checked	VPH
Approved	VPH

TITLE

Restoration Details

SHEET

A8.2