

# BOA GENERAL REVIEW COVERSHEET

**CASE:** C15-2020-0059

**BOA DATE:** October 12, 2020

**ADDRESS:** 6004 Sierra Grande

**COUNCIL DISTRICT:** 10

**OWNER:** Robert H. Sparks

**AGENT:** Stephen Valdez

**ZONING:** SF-2

**LEGAL DESCRIPTION:** LOT 7 BLK C SIERRA VISTA I

**VARIANCE REQUEST:** front yard setback from 25 ft. to 17 ft.

**SUMMARY:** complete a carport

**ISSUES:** irregular shape of property and angle of lot

	<b>ZONING</b>	<b>LAND USES</b>
<i>Site</i>	SF-2	Single-Family
<i>North</i>	SF-2	Single-Family
<i>South</i>	SF-2	Single-Family
<i>East</i>	SF-2	Single-Family
<i>West</i>	SF-2	Single-Family

**NEIGHBORHOOD ORGANIZATIONS:**

Austin Independent School District

Austin Lost and Found Pets

Bike Austin

Bull Creek Foundation

Friends of Austin Neighborhoods

Long Canyon Homeowners Assn.

Mountain Neighborhood Association (MNA)

Neighborhood Empowerment Foundation

North Oaks Neighborhood Assn.

SELTexas

Sierra Club, Austin Regional Group

TNR BCP – Travis County Natural Resources



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

1" = 333'

**NOTIFICATIONS**

CASE#: C15-2020-0059

LOCATION: 6004 Sierra Grande Dr

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.





## CITY OF AUSTIN

### Development Services Department

One Texas Center | Phone: 512.978.4000

505 Barton Springs Road, Austin, Texas 78704

## Board of Adjustment General/Parking Variance Application

**WARNING:** Filing of this appeal stops all affected construction activity.

**This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.**

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

### For Office Use Only

Case # \_\_\_\_\_ ROW # \_\_\_\_\_ Tax # \_\_\_\_\_

### Section 1: Applicant Statement

Street Address: \_\_\_\_\_

Subdivision Legal Description:

\_\_\_\_\_

Lot(s): \_\_\_\_\_ Block(s): \_\_\_\_\_

Outlot: \_\_\_\_\_ Division: \_\_\_\_\_

Zoning District: \_\_\_\_\_

I/We \_\_\_\_\_ on behalf of myself/ourselves as  
authorized agent for \_\_\_\_\_ affirm that on  
Month \_\_\_\_\_, Day \_\_\_\_\_, Year \_\_\_\_\_, hereby apply for a hearing before the  
Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☐ Other: \_\_\_\_\_

Type of Structure: \_\_\_\_\_

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

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## Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

**NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.**

I contend that my entitlement to the requested variance is based on the following findings:

### Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

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### Hardship

a) The hardship for which the variance is requested is unique to the property in that:

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b) The hardship is not general to the area in which the property is located because:

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**Area Character**

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

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**Parking** (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

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2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

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3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

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4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

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### Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant Name (typed or printed): \_\_\_\_\_

Applicant Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): [REDACTED] \_\_\_\_\_

### Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner Name (typed or printed): \_\_\_\_\_

Owner Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): [REDACTED] \_\_\_\_\_

### Section 5: Agent Information

Agent Name: \_\_\_\_\_

Agent Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): \_\_\_\_\_

### Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

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**Section 3: Applicant Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: Stephen Valdez Date: 9-14-2020

Applicant Name (typed or printed): Stephen Valdez

Applicant Mailing Address: P O Box 1232

City: Buda State: TX Zip: 78610

Phone (will be public information): (512) 971-6637

Email (optional – will be public information): [REDACTED]

**Section 4: Owner Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: Robert H Sparks Patricia E Sparks Date: 9/14/2020

Owner Name (typed or printed): Robert H and Patricia E Sparks

Owner Mailing Address: 6004 Sierra Grande Drive

City: Austin State: TX Zip: 78759

Phone (will be public information): (713) 443-5652

Email (optional – will be public information): [REDACTED]

**Section 5: Agent Information**

Agent Name: \_\_\_\_\_

Agent Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): \_\_\_\_\_

**Section 6: Additional Space (if applicable)**

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

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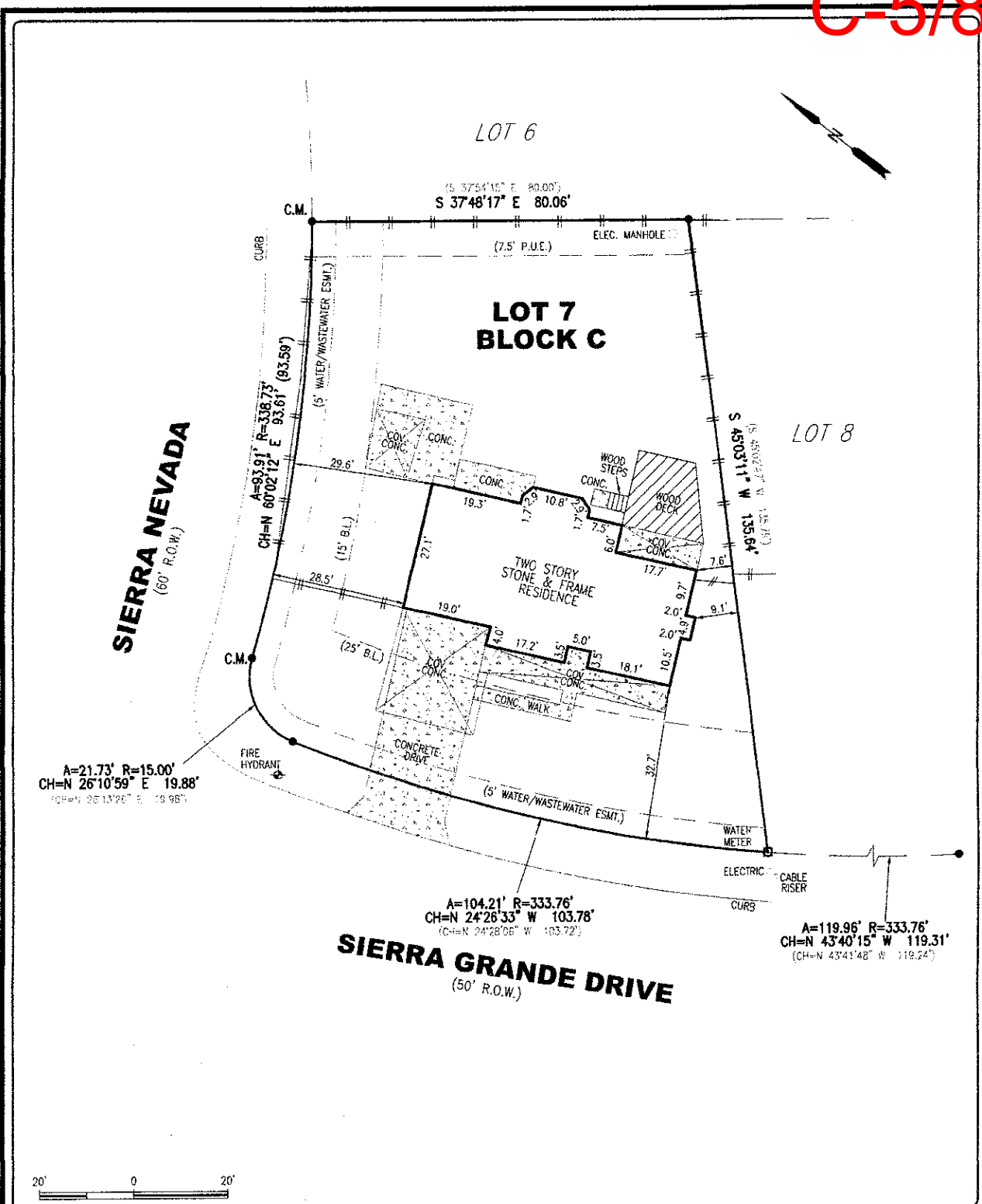
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**LEGEND**

●	1/2" REBAR FOUND
○	1/2" CAPPED REBAR SET
○	1/2" IRON PIPE FOUND
○	600 NAL FOUND
○	600 NAL SET
○	CAPPED REBAR FOUND
○	"X" SET IN CONCRETE
○	"X" FOUND IN CONCRETE
○	SPINDLE FOUND
○	PUNCH HOLE FOUND
○	CHAIN LINK FENCE
○	WOOD FENCE
○	METAL FENCE
B.L.	BUILDING LINE
P.U.E.	PUBLIC UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
( )	PER PLAT
C.M.	CONTROL MONUMENT
R.O.W.	RIGHT OF WAY
P.O.B.	PLACE OF BEGINNING
○	OVERHEAD UTILITY LINE
○	POWER POLE
○	AIR CONDITIONER
○	BREAK IN SCALE

**IMPORTANT NOTICE**  
This Survey was prepared without the benefit of a title commitment. There may be additional setback lines, easements and interests which are relevant to this property and unknown to B & G SURVEYING, LLC. Building dimensions are approximate.

*[Signature]*  
TO THE OWNER AND/OR PRESENT OWNER OF THE PREMISES SURVEYED

STREET ADDRESS: 6004 SIERRA GRANDE DRIVE CITY: AUSTIN COUNTY: TRAVIS STATE OF TEXAS  
LOT: 7 BLOCK: C SUBDIVISION: SIERRA VISTA 1 VOL/CAB 84 PG/SLD 124B PLAT RECORDS  
REFERENCE NAME: PATRICIA SPARKS

**B & G SURVEYING, LLC**  
TAX REGISTRATION NO. 100363-00  
WWW.BANDGSURVEY.COM  
1404 West North Loop Blvd.  
Austin, Texas 78756 - Office 512-456-6969

JOB #: B0801520\_TA  
DATE: 08/12/20  
SCALE: 1" = 20'

FIELD WORK BY:	JMW	08/12/20
CALC'D BY:	JOE	08/12/20
DRAWN BY:	BR	08/12/20
CHECKED BY:	VG/ML	08/12/20



**CASE C15-2020-0059**

Robert H and Patricia E Sparks

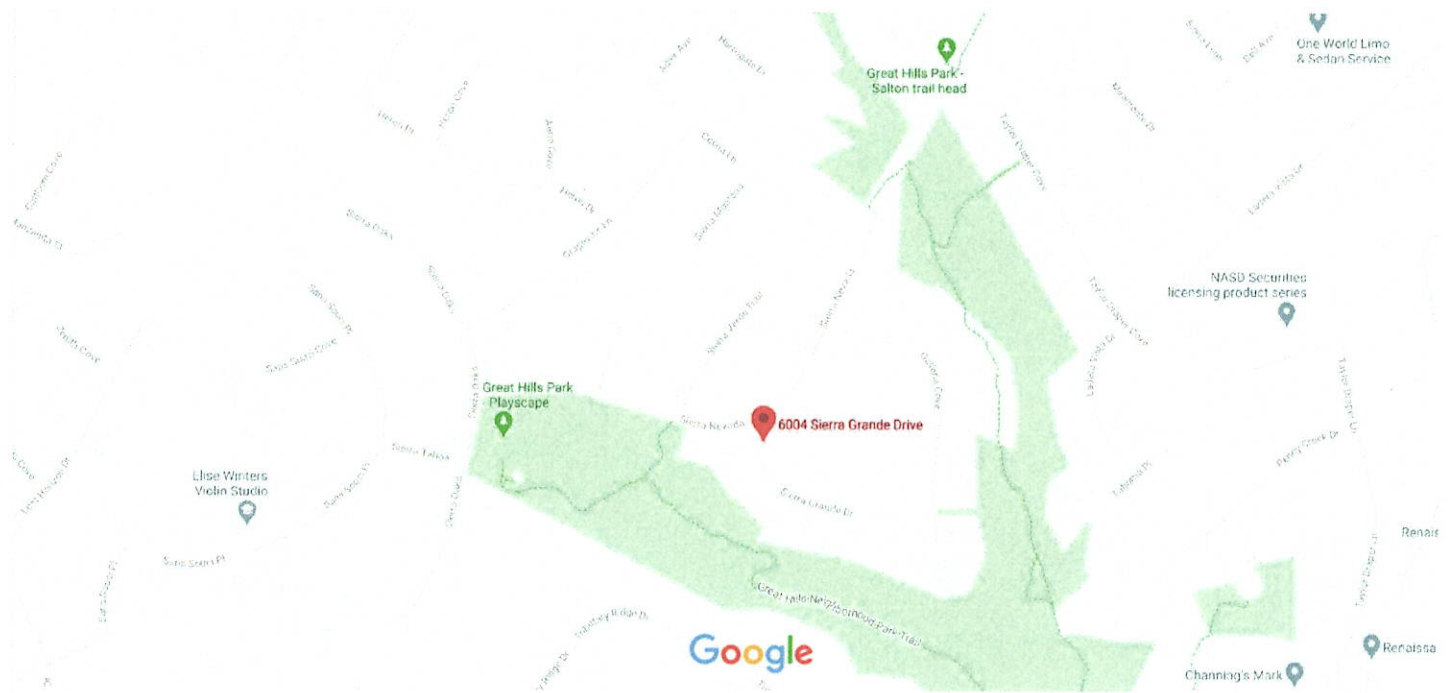
6004 Sierra Grande Dr – Austin, TX 78759

Advanced Packet Documents:

1. Map Location in Austin (1 page)
2. Current Survey showing home situated on an angle on property (1 page)
3. Photo of Structure showing consistency of design and materials (1 page)
4. Photo showing negligible encroachment on property (1 page)
5. Signed Sealed architectural plans (5 pages)
6. Austin Energy Approval (1 page)
7. Austin Arborist statement non-necessity of tree review (1 page)

Google Maps

6004 Sierra Grande Dr



Map data ©2020 Google 200 ft



6004 Sierra Grande Dr

Austin, TX 78759

Building



Directions



Save



Nearby

Send to your  
phone

Share

Photos

C-5/11

LOT 6

SIERRA NEVADA  
(60' R.O.W.)

LOT 7  
BLOCK C

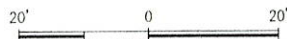
LOT 8

A=21.73' R=15.00'  
CH=N 26°10'59" E 19.88'  
(CH=N 26°13'26" E 19.98')

A=104.21' R=333.76'  
CH=N 24°26'33" W 103.78'  
(CH=N 24°28'06" W 103.72')

A=119.96' R=333.76'  
CH=N 43°40'15" W 119.31'  
(CH=N 43°41'48" W 119.24')

SIERRA GRANDE DRIVE  
(50' R.O.W.)

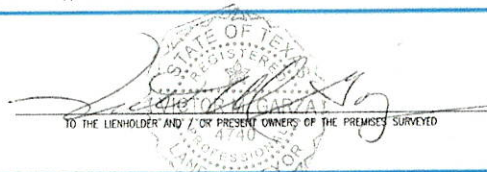


### LEGEND

- 1/2" REBAR FOUND
- 1/2" CAPPED REBAR SET
- 1/2" IRON PIPE FOUND
- 60D NAIL FOUND
- 60D NAIL SET
- CAPPED REBAR FOUND
- "X" SET IN CONCRETE
- "X" FOUND IN CONCRETE
- SPINDLE FOUND
- PUNCH HOLE FOUND
- CHAIN LINK FENCE
- WOOD FENCE
- METAL FENCE
- B.L. BUILDING LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- ( ) PER PLAT
- C.M. CONTROL MONUMENT
- R.O.W. RIGHT OF WAY
- P.O.B. PLACE OF BEGINNING
- OVERHEAD UTILITY LINE
- POWER POLE
- AIR CONDITIONER
- BREAK IN SCALE

### IMPORTANT NOTICE

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STREET ADDRESS: 6004 SIERRA GRANDE DRIVE CITY: AUSTIN COUNTY: TRAVIS STATE OF TEXAS  
LOT: 7 BLOCK: C SUBDIVISION: SIERRA VISTA I VOL/CAB 84 PG/SLD 124B PLAT RECORDS  
REFERENCE NAME: PATRICIA SPARKS



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1404 West North Loop Blvd.  
Austin, Texas 78756 - Office 512\*458-6969

JOB #: B0801520\_TA  
DATE: 08/12/20  
SCALE: 1" = 20'

FIELD WORK BY	JAV	08/12/20
CALC'D BY	JOSE	08/12/20
DRAFTED BY	PR	08/12/20
CHECKED BY	VS/ML	08/12/20



C-5/12

6000 Sierra Grande

Photo to illustrate  
consistency w/architectural design  
and roof line

Will install  
Stone to match Existing

Roofing to Match Existing

Sierra Grande 6000





C-5/13



Original driveway

Demonstrates non-encroachment excess  
No effect on street, neighbors

BL PREEXISTING SIDEWALK

CENTRAL SECURITY



C-5/14

08-24-2020

SHEET #  
S1 OF 1

**GENERAL NOTES:**

DESIGNED BY BSA STRUCTURAL ENGINEERS

DESIGNS LOADS: BASED ON ASCE 7-10 CODE AND 2015 INTERNATIONAL RESIDENTIAL CODE.

THE STRUCTURAL COMPONENTS OF THIS PROJECT HAVE BEEN DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE IRC CODE, 2015 EDITION. THE DESIGN LOADS ARE AS FOLLOWS:

- **CEILING LOADS:**  
DEAD 10 PSF  
LIVE 20 PSF
- **ROOF LOADS:**  
DEAD 12 PSF (COMP. ROOF)  
DEAD 20 PSF (TILE ROOF)  
LIVE 20 PSF
- **ROOF LOADS FOR TRUSSES ROOF:**  
DEAD  
ROOF TOP CHORD 12 PSF  
ROOF BOTTOM CHORD 8 PSF  
LIVE  
ROOF TOP CHORD 20 PSF  
ROOF BOTTOM CHORD 10 PSF

NOTES: REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND CONSTRUCTION DETAILS FOR ALL FIRE RATED WALLS AND PLAN DIMENSIONS TO ALL WALLS AND OTHER ELEMENTS. BOTTOM CHORD LIVE LOADS DO NOT HAVE TO BE APPLIED CONCURRENTLY WITH TOP CHORD LIVE LOADS.

**WOOD CONSTRUCTION GENERAL NOTE:**

V1. NON-LOAD BEARING DOOR AND WINDOW HEADERS SHALL BE A MINIMUM OF (2)-2x8'S, GRADE #2, FOR LOAD BEARING WALLS. HEADERS SHALL BE AS SHOWN ON THE PLANS AND TABLES AND SHALL BE GRADE #2 SOUTHERN PINE OR DOUGLAS FIR-LARCH, OR AN EQUIVALENT WOOD. ANY SINGLE SPAN GLULAMS SHOWN SHALL BE VISUALLY GRADED WESTERN SPECIES, GRADE 24F-V3 (F(b)=2400 PSI). ANY MULTI SPAN GLULAMS AND GLULAM CANTILEVERED OVER SUPPORTS SHALL BE GRADE 24F-V3 LUMBER FOR PLATES, BRACING, BRIDGING, AND BLOCKING SHALL BE GRADE #2 OR BETTER SOUTHERN PINE OR DOUGLAS FIR-LARCH. ALL LVL, LVL, AND PSL MEMBERS SHOWN ON THE PLANS SHALL MEET THE MINIMUM SPECIFICATIONS AND INSTALLATION REQUIREMENTS PER THE Weyerhaeuser CORPORATION.

V2. STUDS SHALL BE PER THE GRADE SHOWN ON THE TABLE ON THIS SHEET. WOOD POSTS AND COLUMNS SHALL BE GRADE #2 OR BETTER U.N.O.

V3. ROOF TRUSSES SHALL BE SPACED AT 2'-0" ON CENTER (MAX.) UNLESS OTHERWISE NOTED ON THE PLANS OR SPACING CONTROLLED BY TRUSS DEFLECTIONS.

V4. JOIST AND TRUSS CONNECTIONS TO SUPPORTING BEAMS SHALL BE MADE WITH SIMPSON SERIES, GALVANIZED STEEL JOIST HANGERS AND CONNECTORS, UNLESS DETAILED OTHERWISE. FLUSH-TYPE AND SKEWED CONNECTIONS USING THESE JOIST HANGERS SHALL UTILIZE THE HANGER TYPE AND SIZE, AND NUMBER OF FASTENERS SPECIFIED BY THE CONNECTOR MANUFACTURER FOR THE MEMBER SIZE TO BE SUPPORTED.

V5. WHERE MULTIPLE JOISTS OR HEADERS OCCUR, AND THE HEADER SPAN IS GREATER THAN 4'-0", A STUD FOR EACH MEMBER SHALL BE PROVIDED, I.E. USE DOUBLE JACK STUDS AND DOUBLE KING STUDS ON EACH SIDE OF OPENINGS 4'-1" TO 8'-0" WIDE. UNLESS OTHERWISE SHOWN ON THE PLANS, USE TRIPLE STUD COLUMNS (RE DETAIL S5.215) UNDER ALL LVL AND GLULAM BEAMS, AND UNDER ALL FLOOR TRUSS GIRDERS AND PRIMARY ROOF TRUSS GIRDERS AT POINTS OF BEARING. CONTINUE ALL LOADS DOWN TO THE CONCRETE FOUNDATION.

V6. STUDDING SHALL BE DOUBLED AT ALL CORNERS, ANGLES AND EACH FACE OF OPENINGS.

V7. ALL LUMBER EMBEDDED OR PLACED ON CONCRETE (INCLUDING ALL SILL PLATES) SHALL BE PRESSURE TREATED.

V8. BOTTOM EXTERIOR SILL PLATES AND INTERIOR SHEAR WALL SILL PLATES SHALL BE FASTENED TO THE CONCRETE SLAB 1/2"Ø "J" BOLTS OR EXPANSION ANCHORS AT 48" O.C. AND ALSO WITH 0.145"Øx3" PINS AT 16" ON CENTER, AND AT THE ENDS OF SHEAR WALLS WITH SIMPSON HTT4 HOLDDOVNS. ALL INTERIOR BEARING WALLS SHALL BE FASTENED WITH 0.145"Øx3" PINS AT 16" O.C. NON-LOAD BEARING PARTITION WALLS SHALL BE FASTENED TO THE SLAB WITH 0.145"Øx3" PINS AT 24" O.C.

V9. BUILT UP POST, COLUMNS, STUDS OR JAMBS (ETC., AXIAL COMPRESSION MEMBERS) SHALL BE NAILED OR BOLTED ACCORDING TO NATIONAL DESIGN STANDARDS (NDS) LATEST EDITION.

V10. FASTENING OF ALL WOOD-TO-WOOD CONNECTIONS AND WOOD-TO-CONCRETE CONNECTIONS SHALL MEET THE MINIMUM REQUIREMENTS PER IRC 2015. ALL WOOD FRAMING SHALL COMPLY WITH LOCAL BUILDING CODES.

- BSA STRUCTURAL ENGINEERS RESERVES THE RIGHT TO THESE PLANS AS OF THE YEAR DATED.
- ALL CONSTRUCTIONS PRESENTED IN THIS PLAN AND NOT ADDRESSED BY THE PLANS SHALL BE CONSTRUCTED PER TYPICAL CONSTRUCTION METHODS IN COMPLIANCE WITH THE LATEST BUILDING CODE ADOPTED BY THE LOCAL CITIES.
- THE BUILDER SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AND SHALL ENSURE CONFORMANCE WITH BEST PRACTICE.
- IF CONDITIONS BE DISCOVERED THAT ARE DIFFERENT THAN THOSE THAT ARE ANTICIPATED IN THE PLANS, CONTACT THE ENGINEER OF THE RECORD FOR ASSISTANCE.
- THE BUILDER IS RESPONSIBLE FOR ADEQUATE SHORING, BRACING, FORM WORK, ETC., AS REQUIRED FOR PROTECTION OF LIFE AND PROPERTY, TO SUPPORT ANY CONSTRUCTION LOADS, AND TO MAINTAIN ALL BUILDING COMPONENTS SAFELY IN PLACE PRIOR TO THEIR FINAL ASSEMBLY AND ANCHORAGE INTO THE COMPLETED STRUCTURE.
- ITS THE CONTRACTOR RESPONSIBILITY TO INSURE THE PUBLIC SAFETY PER OSHA OCCUPATIONAL SAFETY MANUAL.
- ALL HORIZONTAL FRAMING MEMBERS SHALL BE SOLID (NOT JOINTED LUMBERS).

**CEILING JOISTS**

- ALL CEILING JOISTS ARE #2 GRADE AND 24" O.C. U.N.O.
- DESIGN VALUE FOR VISUALLY GRADED LUMBER (#2 SOUTHERN YELLOW PINE) AND SHOULD COMPLY WITH THE DESIGN VALUES SET BY THE AMERICAN WOOD COUNCIL (AWC) EFFECTED ON JUNE 2013.

LUMBER	Fb(PSI)	Fv(PSI)	E(KSI)
2x6	1000	175	1400
2x8	925	175	1400
2x10	800	175	1400
2x12	750	175	1400

**WALL NOTES:**

- ALL STUDS SHALL BE #2 GRADE.
  - HEADER SIZE PER FRAMING PLAN.
  - TOP PLATE TO BE DOUBLE 2x4" U.N.O.
  - DOUBLE TOP PLATE TO BE CONNECTED AT SPLICE WITH 3x8 131 @ 4" O.C. (EACH SIDE @ INTERSECTION). SPLICES NEED NOT OCCUR OVER A STUD.
  - ALL STUD SIZE, HEIGHT, AND SPACING.
- PER IRC 2015

**WOOD STUD BEARING WALL TABLE  
(MINIMUM REQUIREMENTS)**

LOCATION	MAX. HEIGHT	STUD SIZE / SPACING	GRADE
EXTERIOR WALLS	10'-1"	2x6'S AT 16" O.C. OR 2x4'S AT 16" O.C.	#2
	12'-1"	2x6'S AT 16" O.C. OR (2)-2x4'S AT 16" O.C.	#2
	15'-1"	2x6'S AT 12" O.C.	#2
INTERIOR LOAD BEARING WALLS	10'-1"	2x6'S AT 16" O.C. OR 2x4'S AT 16" O.C.	#2
	12'-1"	2x6'S AT 16" O.C. OR (2)-2x4'S AT 16" O.C.	#2
	15'-1"	2x6'S AT 12" O.C.	#2
INTERIOR NON-LOAD BEARING WALLS	10'-1"	2x6'S AT 24" O.C. OR 2x4'S AT 24" O.C.	STUD
	12'-1"	2x6'S AT 24" O.C. OR 2x4'S AT 16" O.C.	STUD
	15'-1"	2x6'S AT 16" O.C. OR 2x4'S AT 12" O.C.	#2

**ROOF NOTES:**

- MATERIAL LOAD UP TO 5 PSF FOR COMPOSITION ROOF AND UP TO 15 PSF FOR TILE ROOF.
- ROOF SHEATHING SHALL BE 1/2" THICK MIN. U.N.O.
- BRACES UP TO 6" SHALL BE 2x6". LONGER BRACES (6'-16") SHALL BE MADE OF 2x6" AND LONGER BRACES (16'-27") SHALL BE MADE OF 2x10" FASTENED TOGETHER IN A "L" OR "T" PATTERN.
- VERIFY ALL DIMENSIONS AGAINST ARCHITECTURAL.
- ALL PURLIN SIZE SHALL MATCH RAFTER SIZE.
- ALL FRAMING AND CONSTRUCTION MEMBERS TO BE PER 2015 IRC CODE.

**BEAMS**

- ALL BEAMS SHALL BE LATERALLY BRACED AT ALL SUPPORT POINTS. FLOATING BEAMS SHOULD HAVE ADDITIONAL LATERAL SUPPORT AT 1/3 SPAN POINTS. ALL KICKERS SHOULD BE PLACED AT AN ANGLE BETWEEN 45° AND HORIZONTAL.
- FLOATING BEAMS SHALL HAVE A MINIMUM CLEARANCE OF 1-1/2" FROM BOTTOM OF BEAM.
- 1-3 PLY BEAMS CAN BE NAILED TOGETHER. CONNECT 4 AND 5 PLY BEAM WITH 1/2"Ø THROUGH BOLTS @ 24" O.C. TOP AND BOTTOM.

**MINIMUM CAPACITY FOR ENGINEERED BEAM.**

TYPE	Fb(PSI)	Fv(PSI)	E(KSI)
LVL	2,600	285	2,000
LSL	2,325	310	1,550
PSL	2,900	290	2,000

**FLOOR AND FLOOR JOISTS**

- LATERALLY SUPPORT JOISTS AT THE ENDS BY FULL DEPTH SOLID BLOCKING, ATTACHMENT TO A HEADER, BAND OR RIM JOIST, OR TO AN ADJOINING STUD.
- DO NOT USE TOPPING SLABS UNLESS NOTED OTHERWISE ON PLAN.



08-24-2020

REVISIONS	DESCRIPTIONS	DATE	INITIAL
A-REV			
B-REV			
C-REV			
D-REV			

<b>6004 SIERRA BRANDE DRIVE</b>		<b>DATE</b> 08-24-2020	
<b>SUBDIVISION</b>		<b>LOT</b>	
<b>CITY</b>	AUSTIN, TEXAS 78759	<b>DRN BY</b>	RA
<b>CLIENT</b>		<b>CHK BY</b>	SA

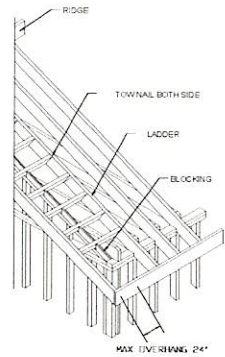


TYPE FIRM LICENSE #: 19354  
2911 A.W. GRIMES BLVD, SUITE 203  
PFLUGERVILLE, TX 78660  
PH: (512)-577-2974  
ADMIN@BSA-ENGINEERS.COM  
FOUNDATION/FRAMING/  
WIND BRACING  
INSPECTION

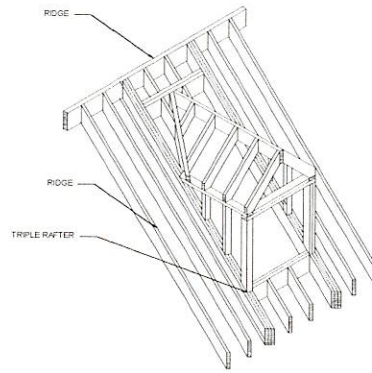
SHEET #

N1 OF 4





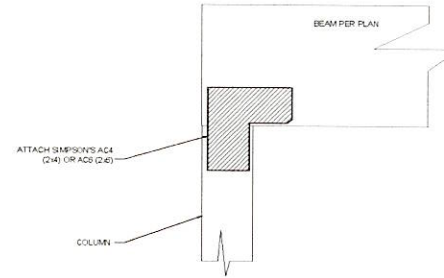
**1** ROOF GABLE OVERHANG DETAIL



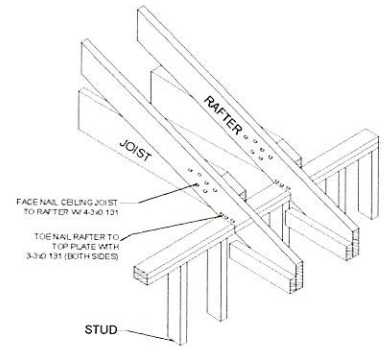
**2** ROOF DORMER FRAMING (TYP.)

1" BRACE	1" BRACE
MAX LENGTH	ROOF BRACE
0'-0"	2x6
15'-0"	2x8 T
27'-0"	2x10 T

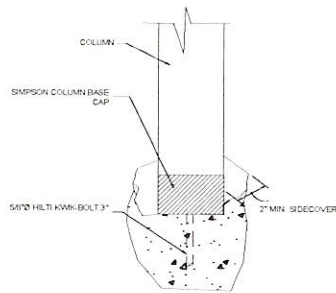
**3** ROOF BRACE SIZES



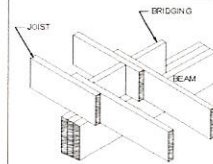
**4** BEAM AND COLUMN CONNECTION



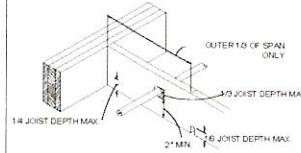
**5** ROOF FRAMING AT EAVE W/FLAT CEILING



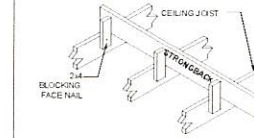
**6** COLUMN BASE (TYP.)



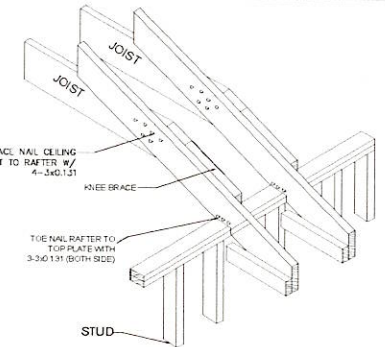
**7** JOIST RESTING ON WALL OR BEAM



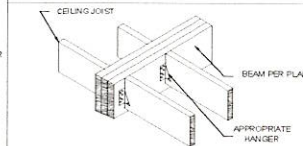
**9** NOTCHING AND BORING OF JOISTS



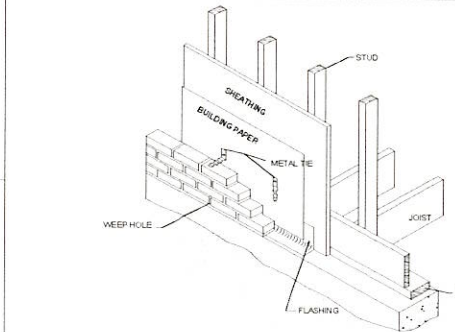
**10** STRONGBACK



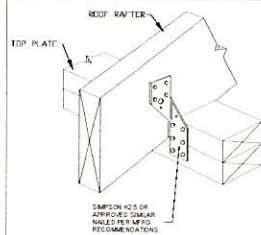
**14** ROOF FRAMING AT EAVE W/COFFERED CEILING (TYP.)



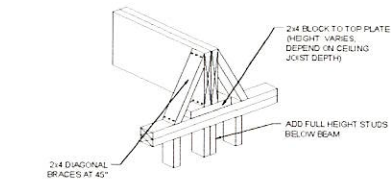
**8** CONCEALED BEAM AND CEILING JOIST



**13** APPLICATION OF MASONRY VENEER TO WOOD FRAMING



**12** RAFTER CONNECTION AT RAISE PLATE HEIGHT  
PLATE HEIGHT HIGHER THAN CEILING HEIGHT.



**11** FLOATING BEAM

THE DETAILS SHOW ONLY TYPICAL CONDITIONS AND DO NOT REPRESENT EVERY CONDITION. THEY DO NOT CONVEY OR IMPLY THE MEANS AND METHODS TO IMPLEMENT THE DESIGN.

NOT TO SCALE



REVISIONS	DESCRIPTIONS	DATE	INITIAL
A-REV			
B-REV			
C-REV			
D-REV			

6004 SIERRA BRANDE DRIVE			
SUBDIVISION	LOT	BLOCK	PH/SEC
CITY	AUSTIN, TEXAS 78759	JOB NO.	08-24-2020
CLIENT		DRN BY	RA
		CHK BY	SA

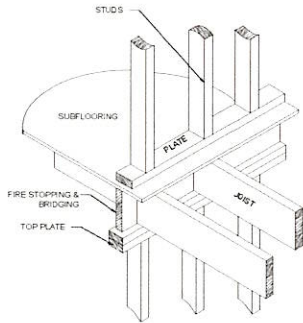


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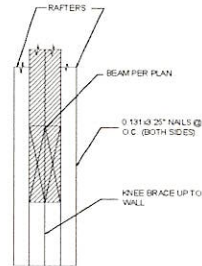
TBPE FIRM LICENSE #: 19354  
2911 A.W. GRIMES BLVD, SUITE 203  
PFLUGERVILLE, TX 78050  
PH: (512) 577-2974  
ADMIN@BSA-ENGINEERS.COM  
FOUNDATION/FRAMING/  
WIND BRACING  
INSPECTION

SHEET #  
N2 OF 4

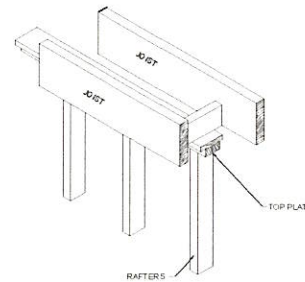




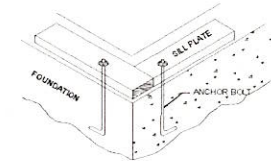
15 PLATFORM WALL OVER BEARING WALL (TYP.)



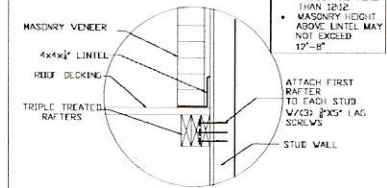
16 RAFTERS SUPPORTED BEAM (RSB)



17 ATTACHMENT OF NON BEARING CEILING FRAMING (TYP.)



18 SILL TO FOUNDATION CONNECTION (TYP.)



19 MASONRY ABOVE ROOF (TYP.)

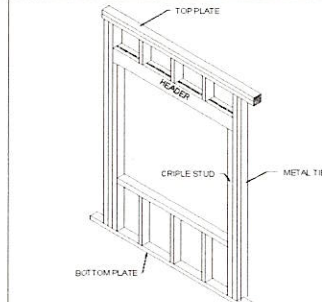
# OF NAILER ROW	2x4	2x6	2x8	2x10	2x12
NAIL ROW	1	1	2	2	2
END DISTANCE	1"	1"	1"	1"	1"
SPACE BETWEEN COL.	6"	6"	6"	6"	6"

WHEN ONE NAIL PER ROW IS SPECIFIED, NAILS IN ADJACENT ROWS SHALL BE DRIVEN FROM OPPOSITE SIDES IN OPPOSITE COLUMNS.

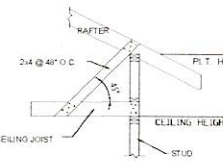
4 1/2\"/>

SOLID TIMBER MEMBERS OF EQUAL OR GREATER SIZE MAY BE USED INSTEAD OF SPECIFIED STUD PACKS.

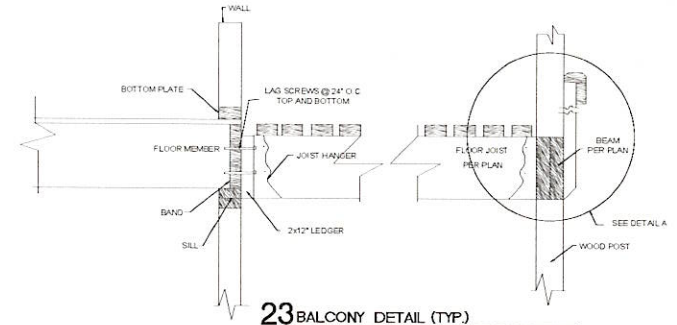
20 STUD PACK COLUMN



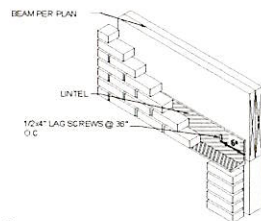
21 WINDOW OPENING FRAMING (TYP.)



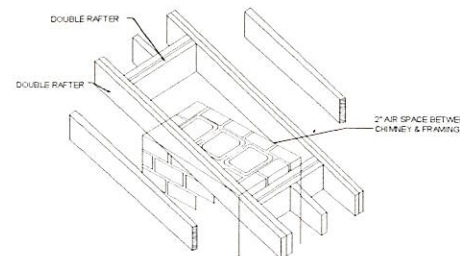
22 TENSION TIE (TYP.)



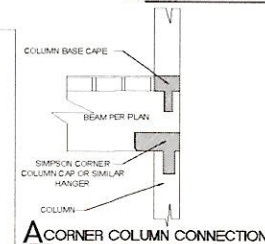
23 BALCONY DETAIL (TYP.)



24 MASONRY ABOVE OPENING (TYP.)



25 ROOF FRAMING AROUND CHIMNEY



26 CORNER COLUMN CONNECTION



NOT TO SCALE

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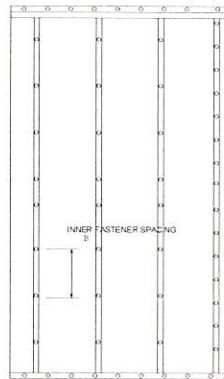
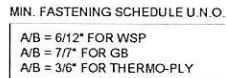
REVISIONS	DESCRIPTIONS	DATE	INITIAL	6004 SIERRA BRANDE DRIVE			
A-REV				SUBDIVISION		DATE	08-24-2020
B-REV				LOT	BLOCK	PH/SEC	JOB NO.
C-REV				CITY	AUSTIN, TEXAS 78759	DRN BY	RA
D-REV				CLIENT		CHK BY	SA

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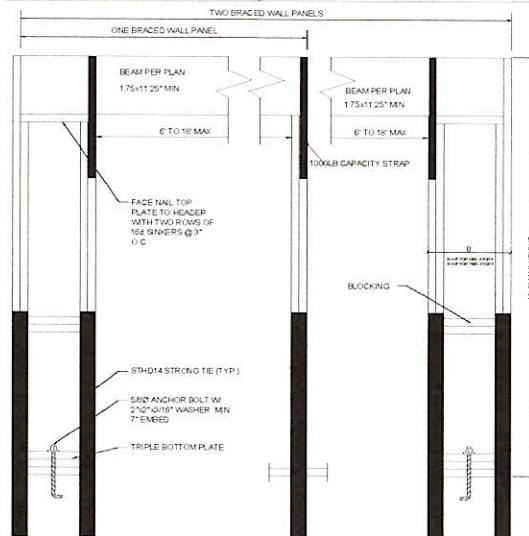
TBPE FIRM LICENSE #: 19354  
2311 A.W. GRIMES BLVD, SUITE 203  
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**SHEET #**  
**N3 OF 4**

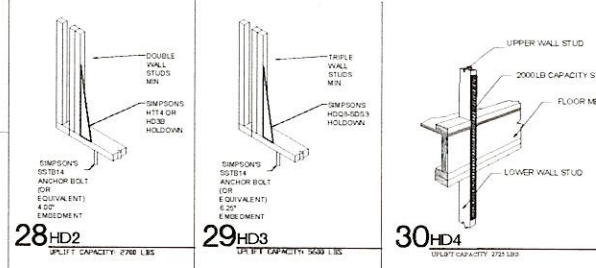
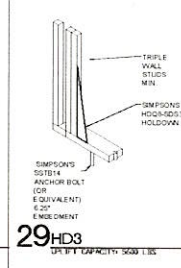
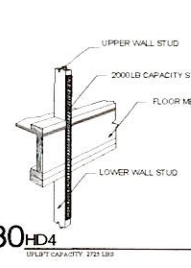
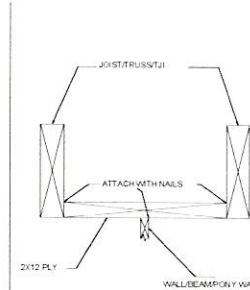
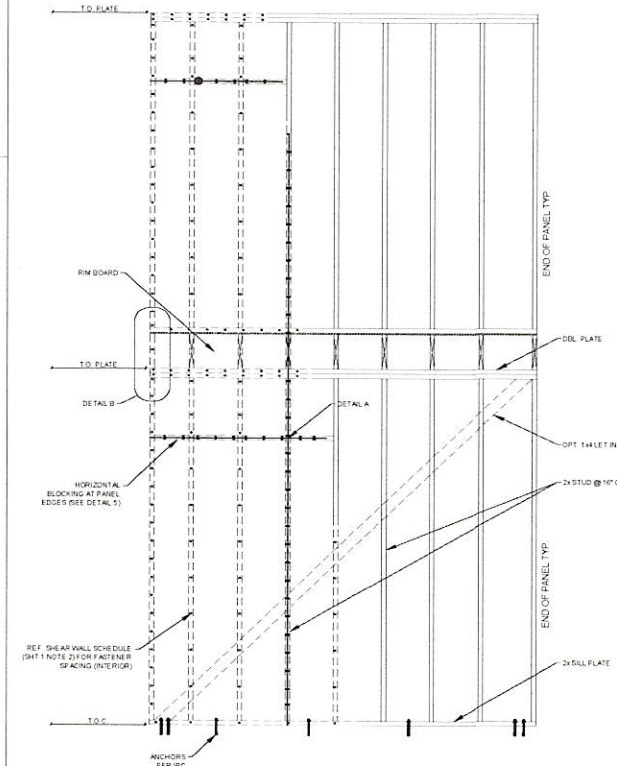
### SHEAR WALL PANEL BOTTOM PLATE FASTENING REQUIREMENTS



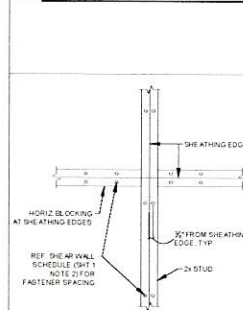
**26** SHEATING ON WALL (TYP.)



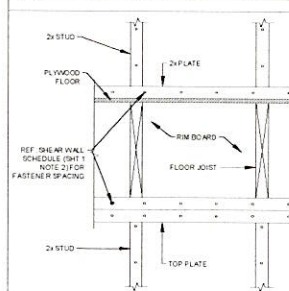
SHEATH EXTERIOR SIDE OF PANEL W/ 7/8" OSB FROM TOP OF  
HEADER TO BOTTOM PLATE FASTEN TO FRAMING W/ 3" x 13"  
3" O.C.  
(SHEATHING CUT AWAY FOR CLARITY)

28<sub>HD2</sub>29<sub>HD3</sub>30<sub>HD4</sub>31 DRAGBLOCK

33 TWO STORY WALL PANEL (TYP.)



## A SHEAR WALL DETAIL



### B SHEAR WALL DETAIL

- STUD SPACING TO BE 16" O.C. FOR ALL SHEARWALL (SOLID ON PLAN)
- SHEATHING TO BE CONTINUOUS TO HEIGHT OF DIAPHRAGM CONNECTION

SHEAR WALL PANEL BOTTOM PLATE FASTENING REQUIREMENTS:

- ALL GROUND LEVEL INTERIOR WALLS ON PLAN DENOTED WITH SOLID, CONTINUOUS LINES SHALL BE FASTENED WITH RAMSET TYPE POWDER ACTUATED FASTENERS (PAF'S) EQUIVALENT TO Hilti X-CF72 (OR EQUAL) @ 8" O.C.
- ALL UPPER LEVEL WALLS, FASTEN BOTTOM PLATE TO FLOOR FRAMING OR BLOCKING WITH MIN. (4) 3/8 131 @ 16" O.C. / (1) 3/8 131 @ 4" O.C.

**STRUCTURAL BOLTS AND THREADED FASTENERS:**

- UNLESS NOTED OTHERWISE, ALL BOLTS IN STRUCTURAL CONNECTIONS SHALL CONFORM TO ASTM A305 TYPE 1
- THREADED ROD: ASTM F72 GRADE 50
- PINS: ASTM A36
- ALL ASTM A305, F1622, AND A308 HIGH STRENGTH BOLTS TO BE INSTALLED AS NOTED ON PLANS. REFER TO RCSC SPECIFICATION 4.1 FOR SNUG-TIGHTENED JOINTS, 4.2 FOR PRETENSIONED JOINTS, AND 4.3 FOR SLIP CRITICAL JOINTS.

THE DETAILS SHOW ONLY TYPICAL CONDITIONS AND DO NOT REPRESENT EVERY CONDITION. THEY DO NOT CONVEY OR IMPLY THE MEANS AND METHODS TO IMPLEMENT THE DESIGN.

**NOT TO SCALE**



08-24-2020

### 32 PORTAL FRAME (PFH)

REVISIONS:	DESCRIPTIONS	DATE:	INITIAL
A-REV			
B-REV			
C-REV			
D-REV			

6004 SIERRA BRANDE DRIVE

SUBDIVISION				DATE	08-24-2020
LOT		BLOCK		PH/SEC	JOB NO.
CITY	AUSTIN, TEXAS 78759			DRN BY	RA
CLIENT				CHK BY	SA



**B S A**  
**STRUCTURAL ENGINEERS**

TBPE FIRM LICENSE #: 19354  
 2911 A.W. GRIMES BLVD, SUITE  
 PFLUGERVILLE, TX 78660  
 PH: (512)-577-2974  
 ADMIN@BSA-ENGINEERS.COM  
 FOUNDATION/FRAMING/  
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 INSPECTION

SHEET #

N4 OF 4





**AUSTIN ENERGY**  
One Texas Center | 505 Barton Springs Road  
Phone: (512) 974-2632, (512) 974-9112  
Email: [aebspaespa@austinenergy.com](mailto:aebspaespa@austinenergy.com)

**C-5/19**

☐ This project will require a Temporary Loop

☐ Design Required

## Building Service Planning Application (BSPA)

**This form to be used for review of Residential Building Permits only**

*For use in DAC only*

Person Responsible for Request: Robert H. Sparks

Email: rsparks444@aol.com

Project Address: 6004 Sierra Grande Dr. -OR-

Legal Description: Sierra Vista Lot: 7 Block: C

Who is your electrical provider? ☒ AE ☐ Other: \_\_\_\_\_

☐ Overhead Service ☒ Underground Service ☐ Single-Phase (1Ø) ☐ Three-Phase (3Ø)

Location of meter: Right front side of house, facing the house

Scope of work: Carport - over existing concrete drive.

No electrical being added.

ROBERT H. SPARKS

BSPA Completed by (print name)

Robert H. Sparks

BSPA Completed by (signature)

713-443-5652

Phone

7-29-20

Date

(Any change to the above information requires review and re-approval)

**AE Representative Use Only**

**APPROVED**

**By PaceM at 7:00 am, Jul 30, 2020**

**No structures/pools/etc. may be placed in an electric utility easement.**

**From:** Cityarborist@austintexas.gov,

**To:** [REDACTED]

**Subject:** RE: 6004 Sierra Grande Dr.

**Date:** Wed, Jun 24, 2020 3:49 pm

**Attachments:** Do I need a Tree Permit.pdf (1523K), CRZ\_postcard\_030818.pdf (306K), COA Checklist for Residential Tree Review.pdf (248K),

Hello Robert and Patricia,

Thank you for your email. Historically, like replacement of existing disturbances within the critical root zone of a protected tree have been approvable. If not associated with additional new SF development and solely as a driveway replacement or enclosure, then an online, non-development TORA application and plan with details for the work will need to be submitted through the Austin build connect system. Like replacement will include demolition of the existing driveway within the critical root zone of the tree by hand and replacement of the same type of driveway with no additional cut or fill to be proposed.

So if your project is only a porch or driveway enclosure, then it is not subject to tree review. Still complete the building application accurately but the project will not need to undergo tree review and therefore there will not be an examination of the trees on the plans. However, please keep in mind that even though there will not be a tree review, you are required to maintain tree preservation measures during construction. Any code violations that are discovered during construction may require corrective actions.

I've included a few brochures that visually explain our tree regulations and a COA Residential Tree Review Checklist if you were to impact the Critical Root Zone of your tree further.

Best regards and I hope this helps,

*No tree review  
required per  
COA Arborist*

**Naomi Rotramel**

*City Arborist, Community Tree Preservation Division*

*ISA Municipal Specialist PN-1937AM, Tree Risk Assessment Qualified (TRAQ)*

City of Austin Development Services Department

One Texas Center, 505 Barton Springs Rd.

512-974-9135

<http://austintexas.gov/page/tree-reviews-and-permitting>



**Development**  
SERVICES DEPARTMENT

*Building a Better and Safer Austin Together*