



For Office Use Only

Date of Submission: _____

Plan Review #: _____

Historic Review Application

Property Address: 611 Oakland Avenue, Austin, TX 78703

Historic Landmark ☐

Historic District (Local) ☒

National Register Historic District ☐

Historic Landmark or
Historic District Name: Clarksville

Applicant Name: Craig Hoverman Phone #: 512-586-8652 Email: craig@dig-a.com

Applicant Address: 414 W Annie St City: Austin State: TX Zip: 78704

Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) <u>Repairing and replacing existing exterior siding, to be replaced with identical siding to match.</u>	<u>Several areas on front and sides of house. (NW, SE, & SW elevations)</u>	<u>Identical wood siding</u>
2) <u>Demolition of existing rear porch and replacing with new addition (highlighted in red on attached sheet). New addition will be clad in corrugated corten steel.</u>	<u>SW side of house, view from the street (NW elevation) will be minimal.</u>	<u>Corrugated corten steel, new windows.</u>
3) <u>All windows on existing house will be replaced to match existing windows.</u>	<u>Front and sides of house (NW, SE, & SW elevations).</u>	<u>Identical energy efficient windows</u>

Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing *and* proposed conditions for alterations and additions.

Site Plan ☒

Elevations ☒

Floor Plan ☒

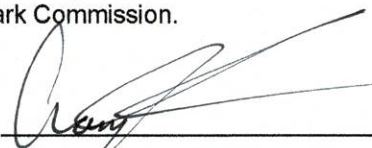
Roof Plan ☒

2. Color photographs of building and site:

Elevation(s) proposed to be modified ☒

Detailed view of each area proposed to be modified ☒

Any changes to these plans must be reviewed and approved by the Historic Preservation Office and/or Historic Landmark Commission.

Applicant Signature: 

Date: 8/28/20



OAKLAND

EXISTING HOUSE AND NEW EXTENSION



North-West Elevation



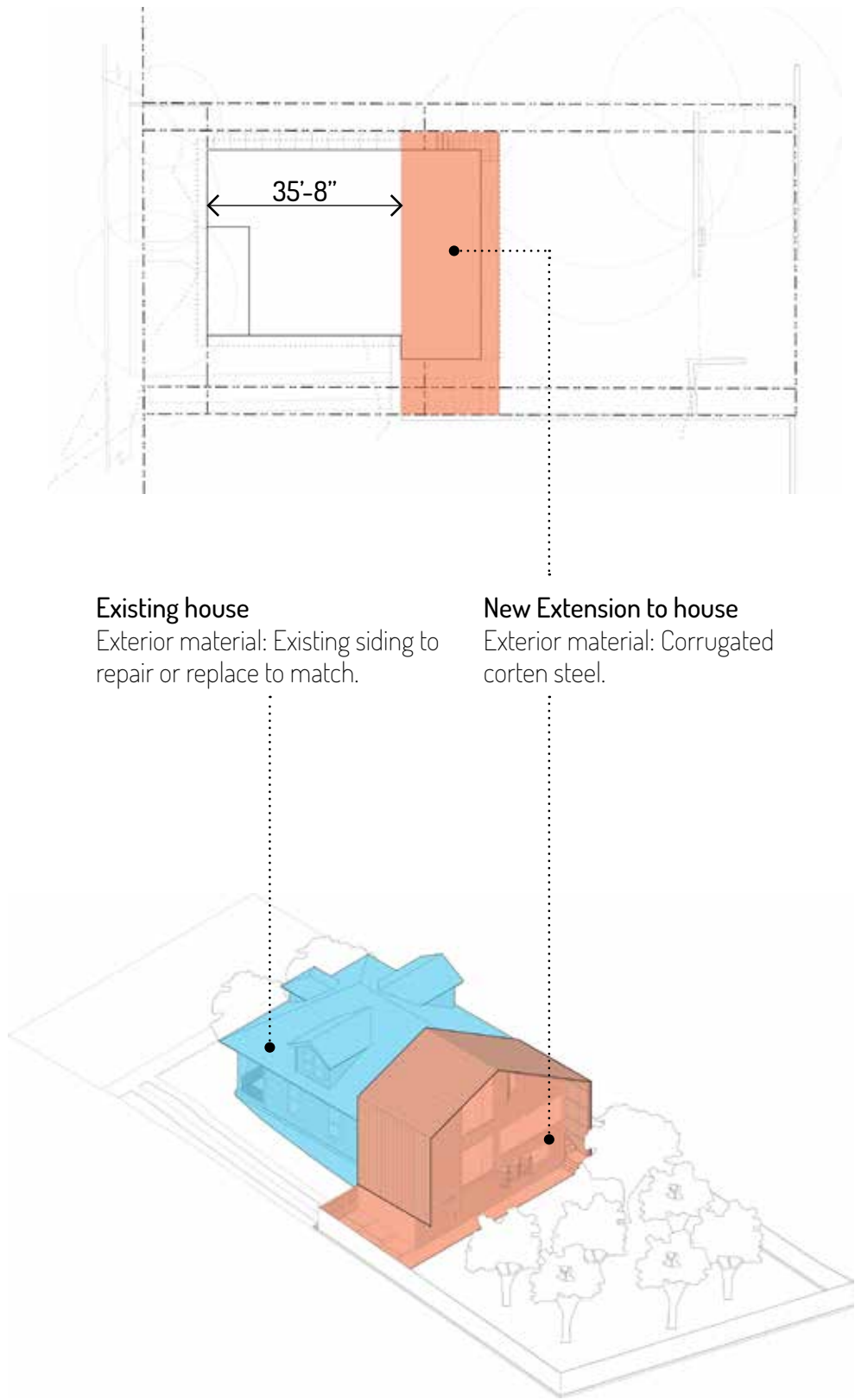
South-East Elevation



South-West Elevation



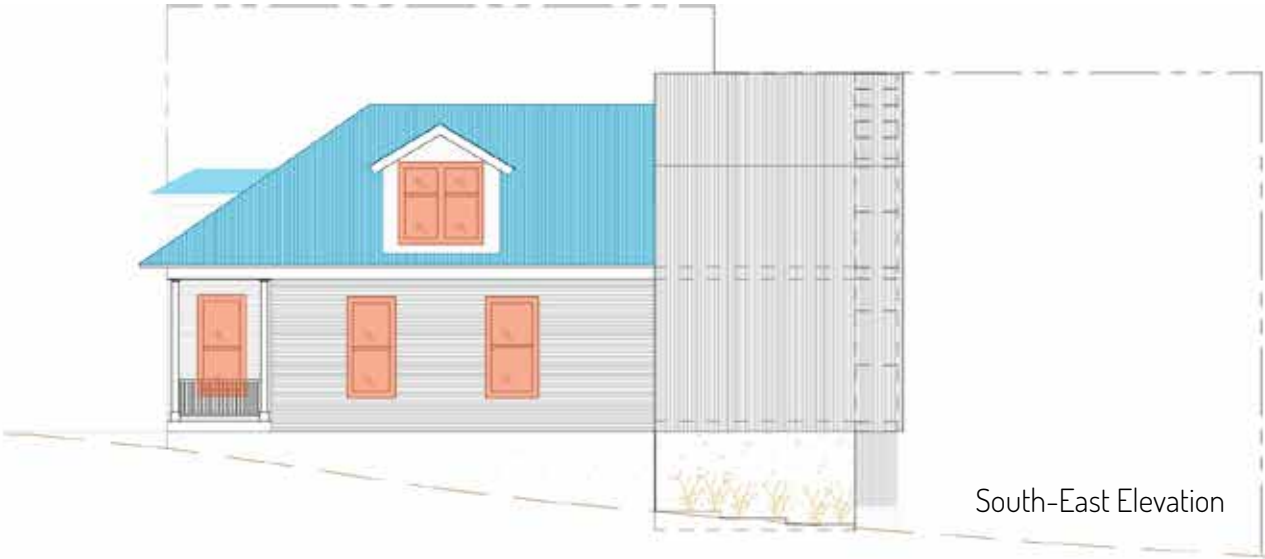
North-East Elevation



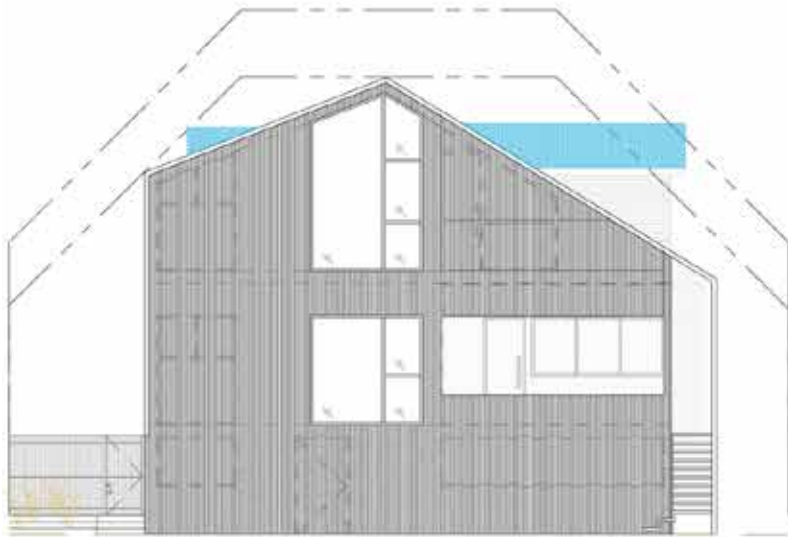
ROOF AND WINDOWS



North-West Elevation



South-East Elevation



South-West Elevation



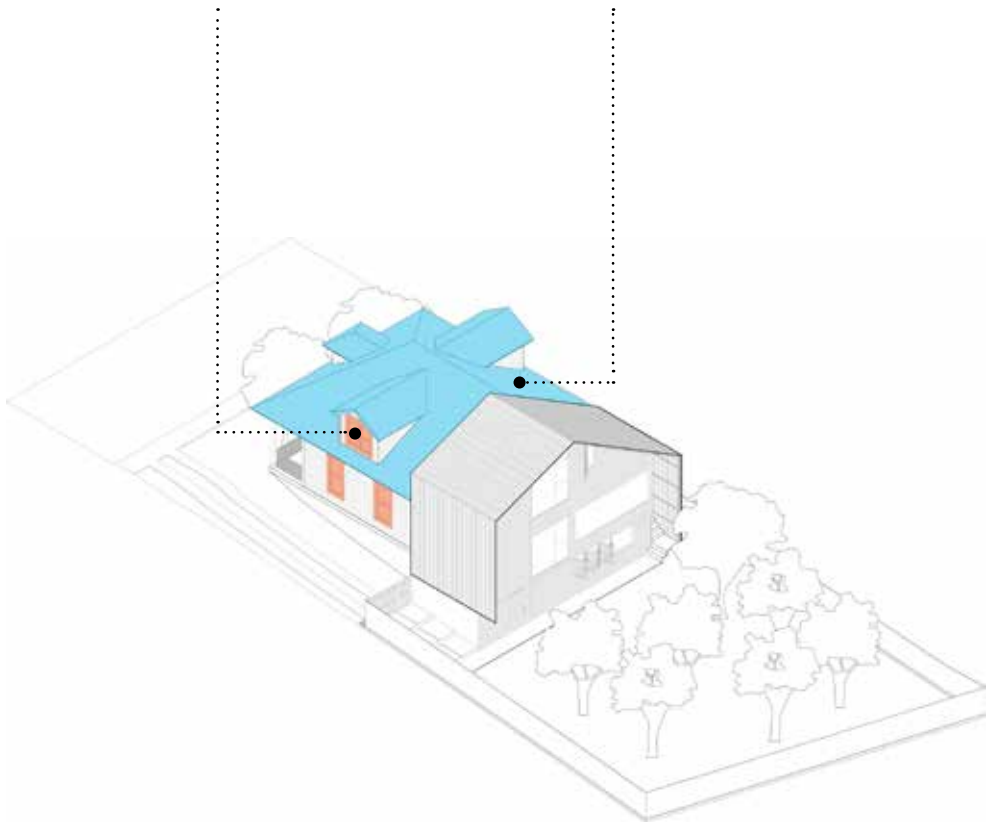
North-East Elevation

Windows

All windows to be replaces to match existing.

Roof

Existing roof to remain.

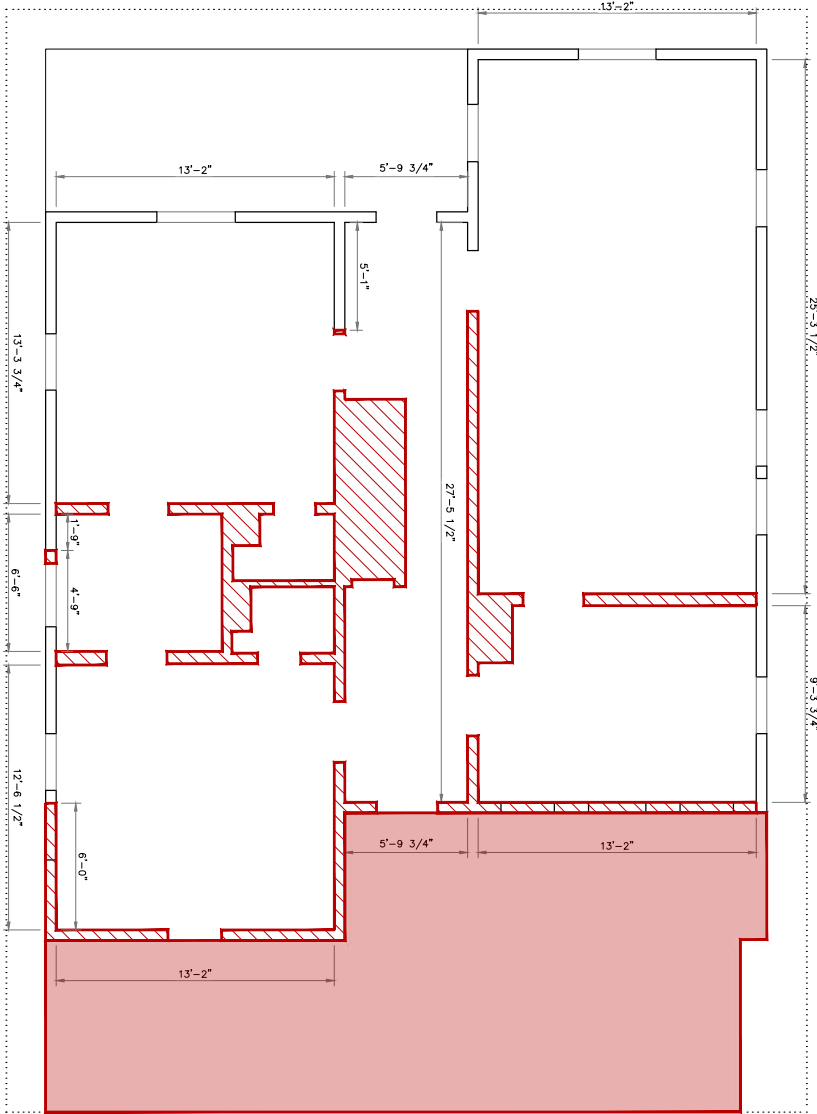


FRONT HOUSE RENDERS

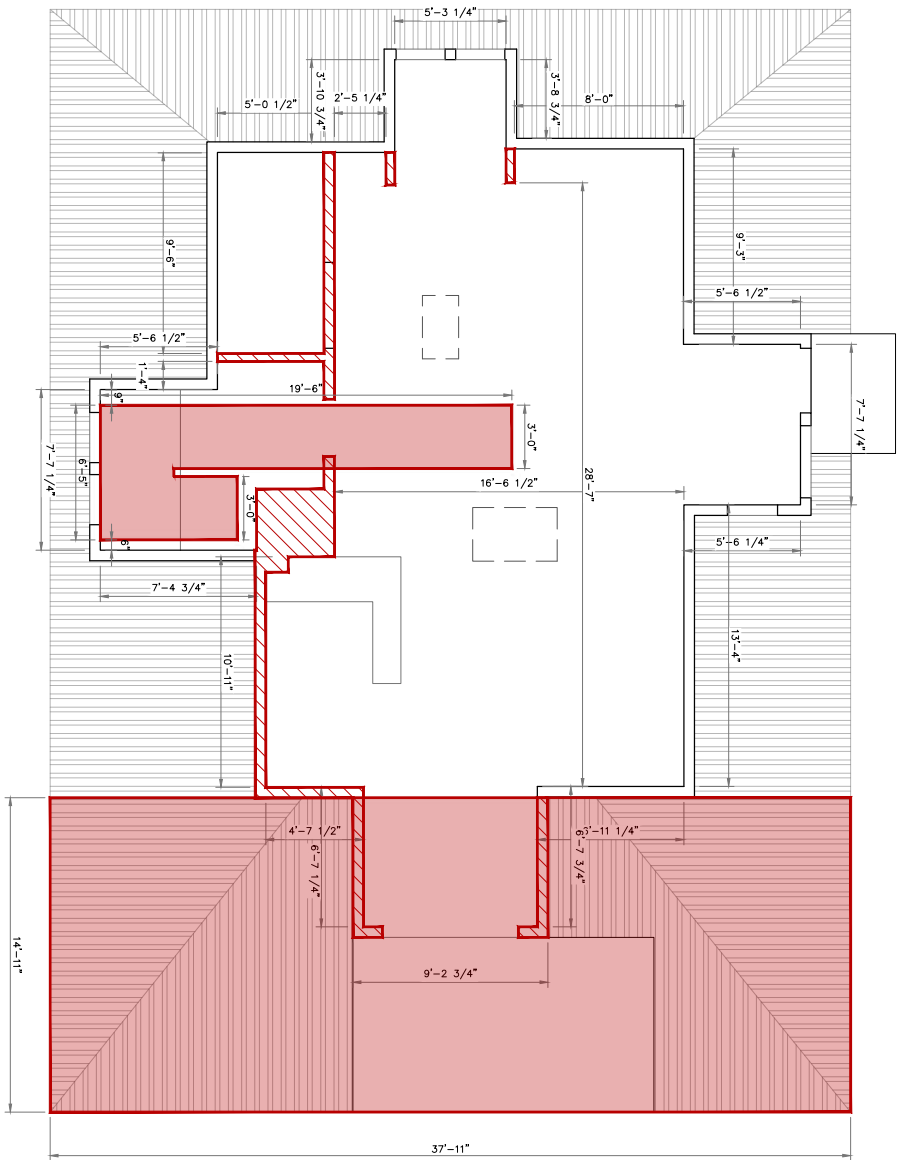


DEMOLITION PLANS

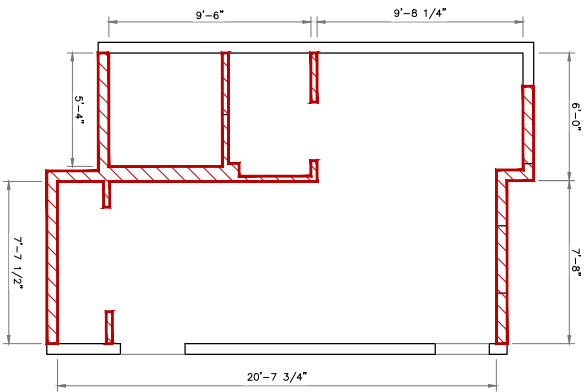
_Floor Plans



FLOOR PLAN 01 01
SCALE: 1/4"=1'-0"



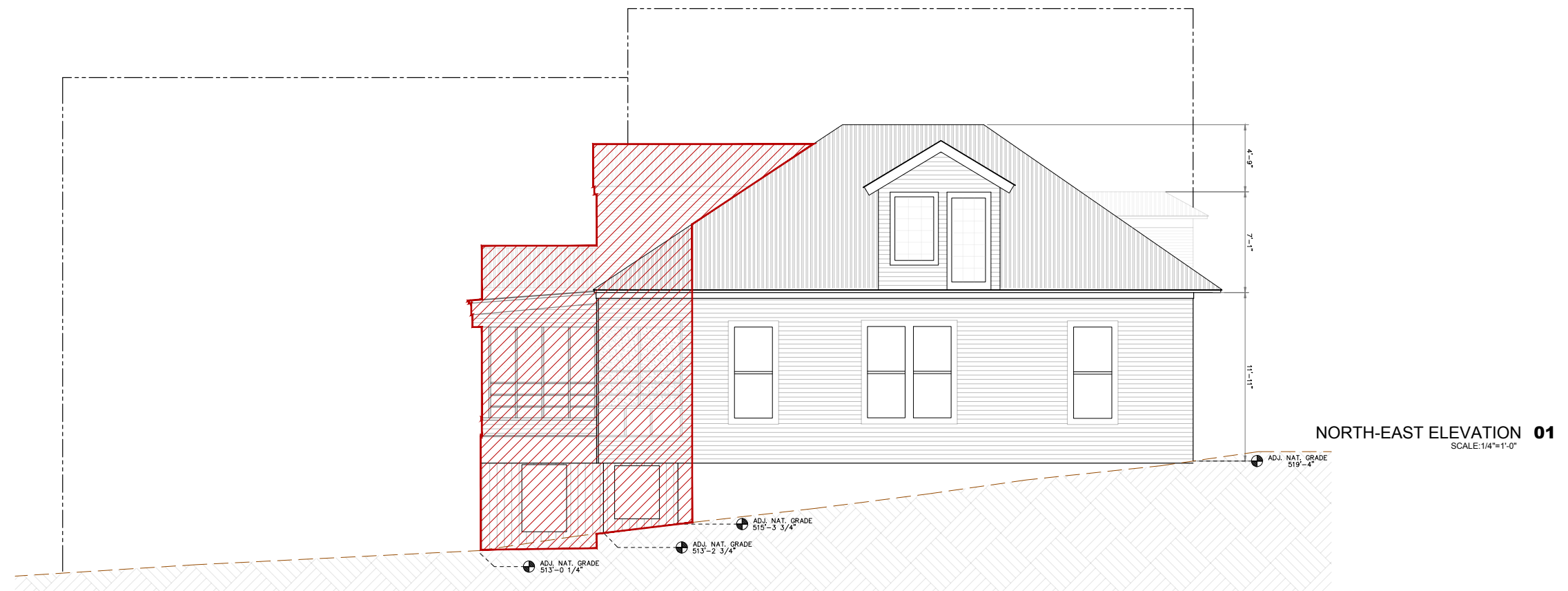
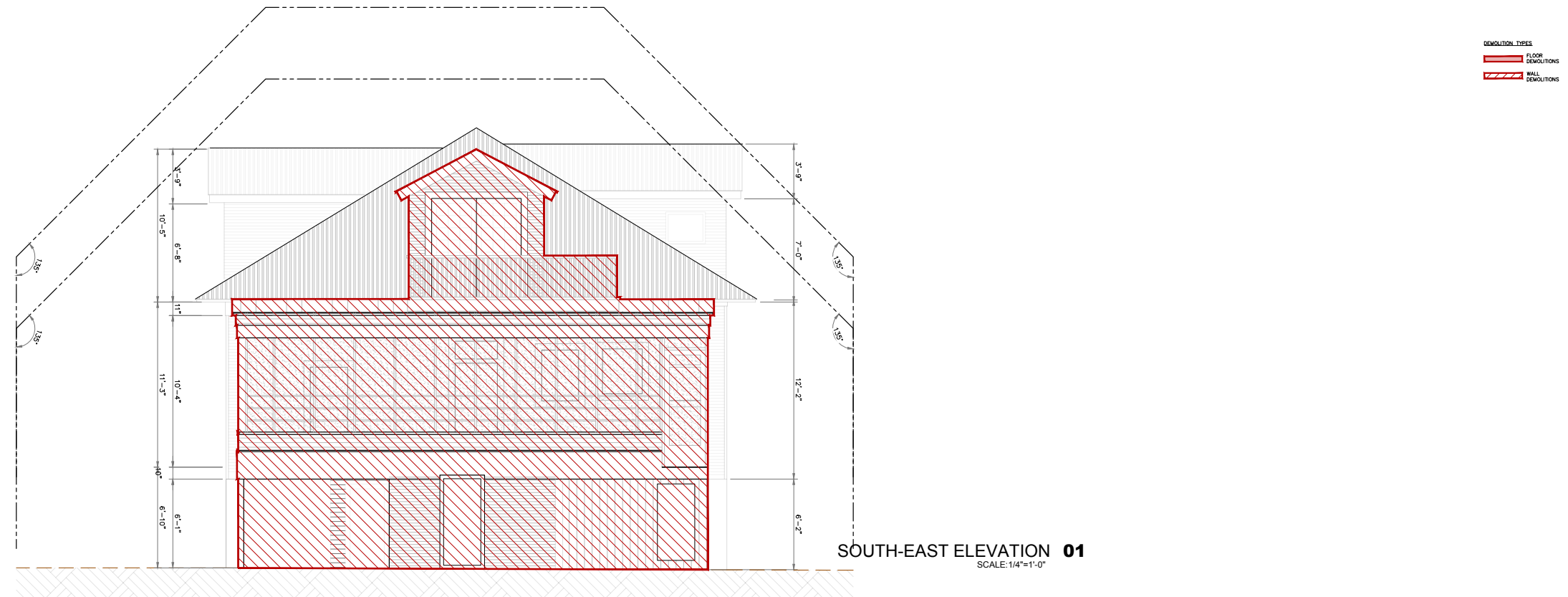
FLOOR PLAN 02 03
SCALE: 1/4"=1'-0"



BASEMENT FLOOR 02
SCALE: 1/4"=1'-0"

DEMOLITION TYPES
FLOOR
DEMOLITIONS
WALL
DEMOLITIONS

_Elevations



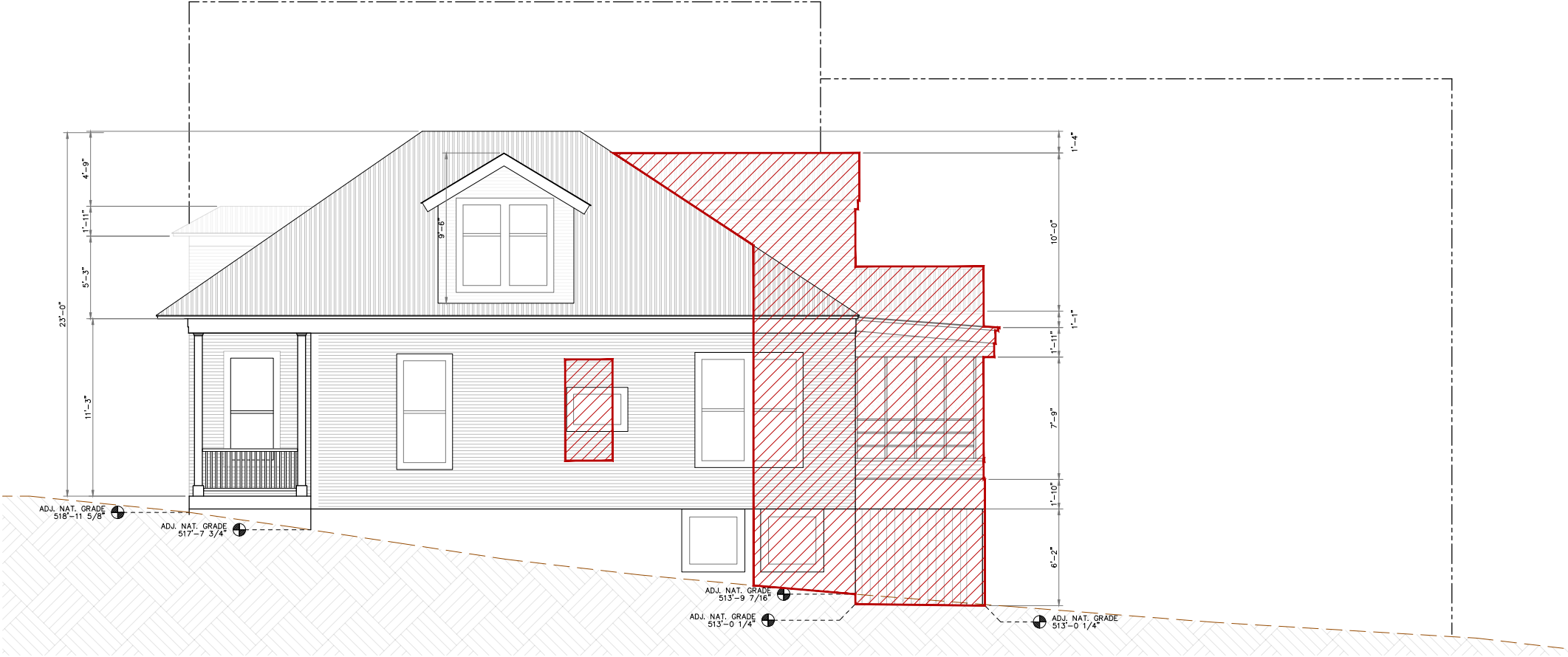
DEMOLITION PLANS

_Elevations

DEMOLITION TYPES

FLOOR
DEMOLITIONS

WALL
DEMOLITIONS



SOUTH-WEST ELEVATION 01

SCALE: 1/4"=1'-0"

EXISTING HOUSE



EXISTING HOUSE





VICINITY MAP 01
SCALE:1/64"=1'-0"

AREA TABULATIONS

UNIT A A/C:

1st FLOOR	1393.57	SF
2nd FLOOR	1,179.7	SF
BASEMENT	564.81	SF

TOTAL*	3138.08	SF
*STAIRWELL COUNTED DOUBLE		
*DOUBLE HEIGHT SPACE COUNTED DOUBLE		

COVERED PORCH	235.23	SF
COVERED DECK	538.54	SF
BALCONY	55.6	SF
OTHER	62.00	SF

TOTAL GROSS	4029.45	SF
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F.A.R= TOTAL GROSS - PORCH EXEMPTION
= 4029.45 SF - (235.23 SF)
= 3,776.22 SF

COVERAGE CALCULATIONS

EXISTING LOT AREA	6871.77	SF
ALLOWABLE BUILDING COVERAGE @ 40%	2,748.70	SF
ALLOWABLE IMPERVIOUS COVERAGE @ 45%	3,092.30	SF

PARKING: SPACES PROVIDED	2
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BUILDING COVERAGE:

TOTAL COVERAGE ON LOT	
TOTAL BUILDING FOOTPRINT	1,393.57 SF
AC PAD	16 SF
UNCOVERED DECK (226.50SF)	0 SF
CONCRETE DRIVEWAY	240.94 SF
RAIN BARRELS	0 SF

TOTAL IMPERVIOUS COVERAGE ON LOT	2470.28 SF
PERCENTAGE IMPERVIOUS COVERAGE	35.9%

SHEET INDEX

ARCHITECTURAL
G1.0 GENERAL NOTES
A0.0 SITE PLAN
A0.1 ROOF
A0.2 TREE PLAN
A0.3 CRZ + STAGING AREA
A0.4 SURVEY POINTS
A1.0 FLOOR 1
A1.1 FLOOR 2
A1.2 BASEMENT
A1.3 VISABILITY FLOOR PLAN
A1.4 WINDOW SCHEDULE
A1.5 DOOR SCHEDULE
A2.0 EXTERIOR ELEVATIONS
A3.0 SECTIONS

STRUCTURAL

GENERAL NOTES:

1. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A-201 LATEST EDITION IS HEREBY MADE PART OF THE CONTRACT.
2. THE CONTRACT AND EACH SUBCONTRACT INCLUDES ALL WORK NOTED AND SHOWN INDICATED IMPLIED AND/OR NECESSARY TO COMPLETE THE WORK INCLUDING WORK COVERED FORESEEN OR NOT AT NO EXTRA CHARGE
- 3.INSURANCE THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL EFFECT AND MAINTAIN "WORKMAN'S COMPENSATION INSURANCE," "OWNER'S CONTRACTORS PUBLIC LIABILITY INSURANCE," "OWNER'S AND CONTRACTOR'S PROTECTIVE LIABILITY INSURANCE" AND SUCH OTHER INSURANCES AS WILL PROTECT HIM AND THE OWNER FROM ALL CLAIMS AND DAMAGES BECAUSE OF BODILY INJURY INCLUDING DEATH AND FOR PROPERTY DAMAGE LIABILITY ARISING FROM OR DURING THESE OPERATIONS
4. TEMPORARY PROTECTION DURING CONSTRUCTION SHALL COMPLY WITH BUT NOT BE LIMITED TO: ALL SHOP REGULATIONS & GOVERNING RULES OF CAL OSHA STATE AND LOCAL BUILDING CODES ETC. EACH CONTRACTOR AND THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN PROTECTIVE DEVICES AT ALL TIMES DURING CONSTRUCTION SO AS TO PROTECT THE TENANTS PATRONS EMPLOYEE AND PUBLIC HEALTH SAFETY AND WELFARE
5. LUMBER SHALL BE MINIMUM STANDARD GRADE SOUTHERN YELLOW PINE. ALL EXPOSED WOOD SHALL BE CLEAR & CLEAN. ALL EXPOSED SURFACES TO BE FREE OF SURFACE BLEMISHES .
- 6.CONCRETE FLATWORK MIX SHALL BE NO LESS THAN 2500 PSI 28 DAY CONCRETE
- 7.DRYWALL WORK SHALL UTILIZE 1/2" THICK. METAL BEAD OUTSIDE CORNERS UTILIZE PLATED DRYWALL SCREWS.
- 8.ROOF SHEATHING - ALL NEW ROOF SHEATHING SHALL BE MIN 1/2" THICK 4'X8' PLYWOOD EXTERIOR GRADE STRUCTURAL II LAID TIGHT WITH ENDS STAGGERED AND FACE GRAIN ACROSS SUPPORTS W/ RADIAN BARRIER UNDERSIDE - SOLID BLOCK ALL JOINTS AND NAIL 8d AT 6" O.C. ALL EDGES 12" O.C. AT INTERMEDIATE SUPPORTS AND 4" O.C. AROUND WHOLE ROOF AT WALL LINE
- 9.SHEAR PANELS SHALL BE 1/2" THICK 4' X 8' STRUCTURAL I PLYWOOD LAID TIGHT WITH ALL JOINTS BLOCKED. NAIL 8d AT 3" O.C. ALL EDGES 12" O.C. AT INTERMEDIATE SUPPORTS
- 10.INSULATION SHALL COMPLY WITH STATE LAWS AND LOCAL ORDINANCES BUT IN NO CASE LESS THAN: INSULATE ALL NEW AND EXPOSED EXTERIOR WALLS WATER BASED POLY-ISO SPRAYED INSULATION MIN RU RATED INSULATE ALL CEILINGS WHERE ACCESSIBLE. ALL INSULATION SHALL BE INSTALLED AS RECOMMENDED BY THE MANUFACTURER.
- 11.DRYWALL WORK SHALL BE AS INDICATED REQUIRED AND NECESSARY. TYPICAL 1/2" THICK X 48" WIDE SHEETS APPLIED VERTICALLY FULL HEIGHT AT WALLS WITH TAPERED EDGES AND 8" THICK X 48" WIDE SHEETS FOR CEILINGS.. TYPE X GYPSUM OR EQUAL TAPE ALL JOINTS AND INSIDE CORNERS. METAL TRIM ALL NEW DOOR OPENINGS. ALL OPENINGS SHALL BE FILLED AND FINISHED READY FOR PAINT. USE GREEN MOISTURE RESISTANT GYPSUM IN ALL AREAS PRONE TO MOISTURE INCLUDING BATHROOMS LAUNDRY AND KITCHEN AREAS.
12. ~~NEST PROTECT SMOKE~~/CARBON DETECTORS TO BE HARDWIRED WITH BATTERY BACK-UP
13. PROVIDE TERMITE PROTECTION PER ENERGY CODE REQUIREMENTS PRIOR TO POURING SLAB
14. PROVIDE ELECTRICAL GROUNDING PRIOR TO POURING SLAB.

SCOPE OF WORK:

PERMIT NO.
NEW CONSTRUCTION OF 2 STORY SINGLE+ BASEMENT FAMILY DWELLING WITH 3 BED 3 BATH WITH 2 PARKING SPOTS

PROJECT DATA

PROJECT ADDRESS:

611 OAKLAND AVE,
AUSTIN, TX 78705

ZONED: SF-3
LEGAL DESCRIPTION:
LOT 1 BROWN M L ADDITION

Project:

611
OAKLAND AVE.
AUSTIN , TX

Stamp:

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	Date	Issue
1		
2		
3		

Owner:

XXXXXX
611 OAKLAND ST.
AUSTIN, TX
787XX

Engineer:

LOConsultants
1707B KINNEY AVE.
AUSTIN, TX 78704
512.499.0908

Designer:

DIG:A
Craig Hoverman
414 West Annie Street
AUSTIN, TEXAS 78704
(512) 586-8652

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Job No.: 1065 Start Date: XX-XX-2019

Drawn By: CH/CR Total Sheet Sets:

Drawing: General Notes

G0.0



FRONT SIDE ELEVATION 01



DECK 03



BACK ELEVATION 02



KITCHEN, DINING AND LIVING 04

Project:

611
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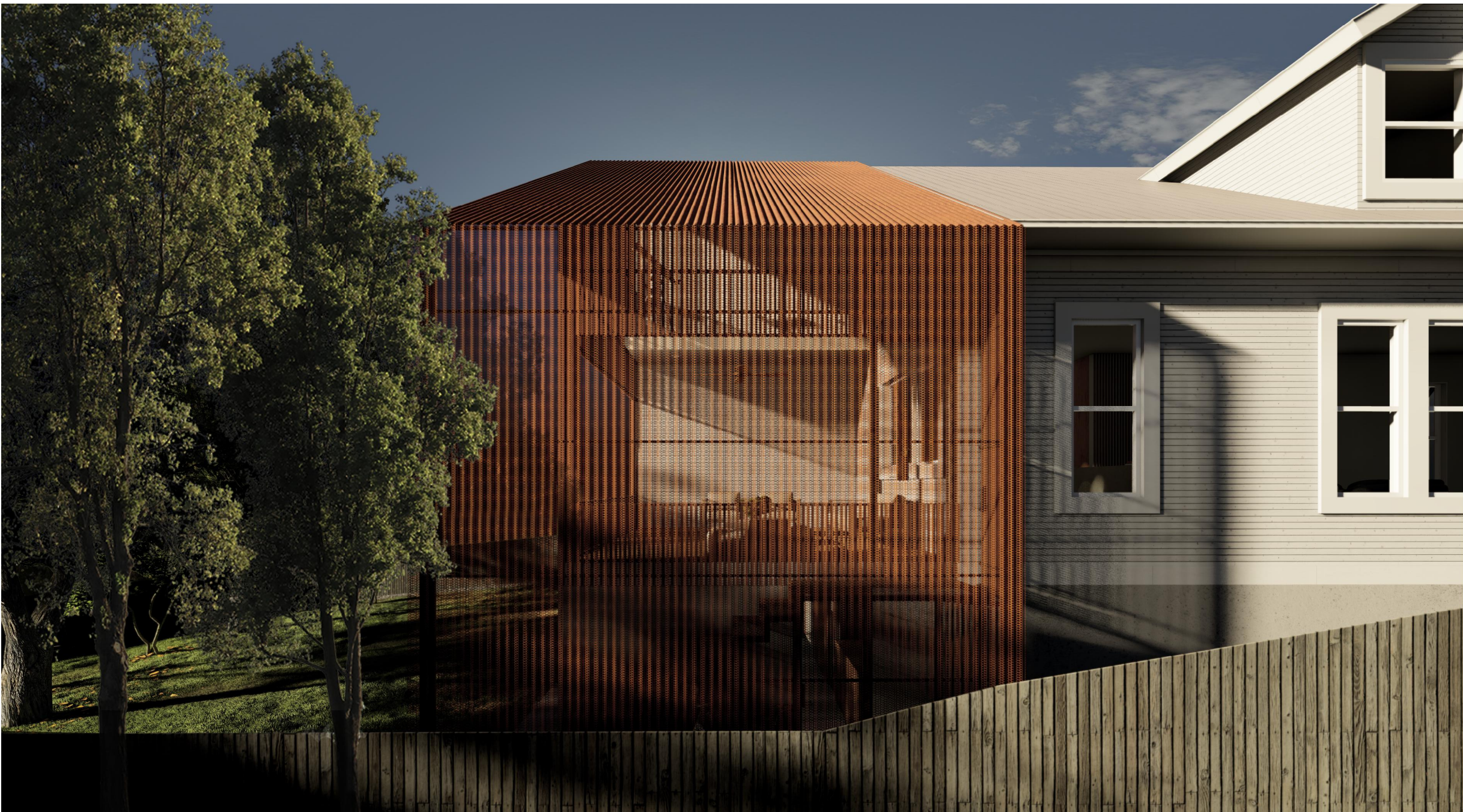
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DECK SIDE ELEVATION 01



GATE ELEVATION 02



FAMILY ROOM 03



DOUBLE BED BEDROOM 04

Project:

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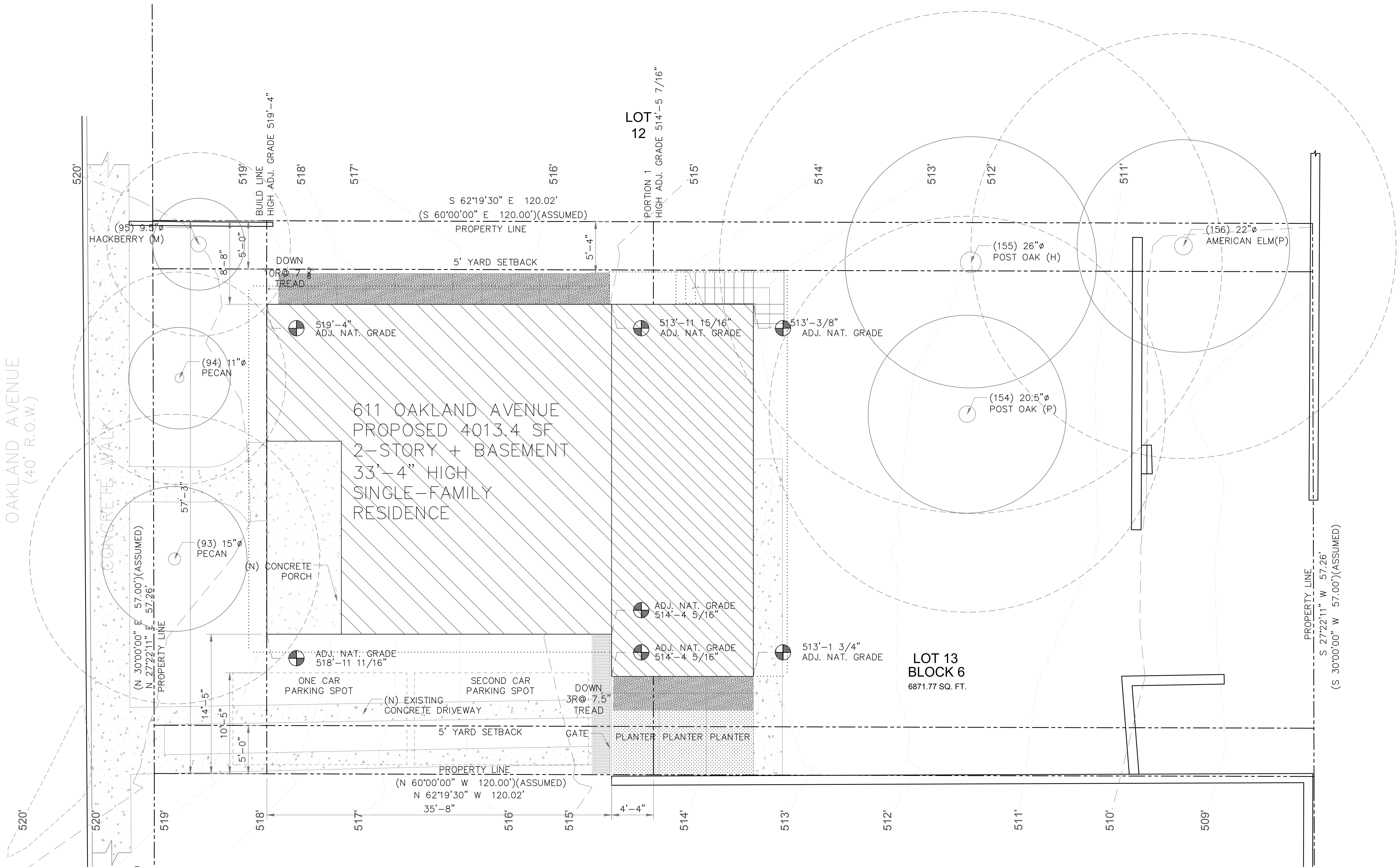
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Project:

Stamp:

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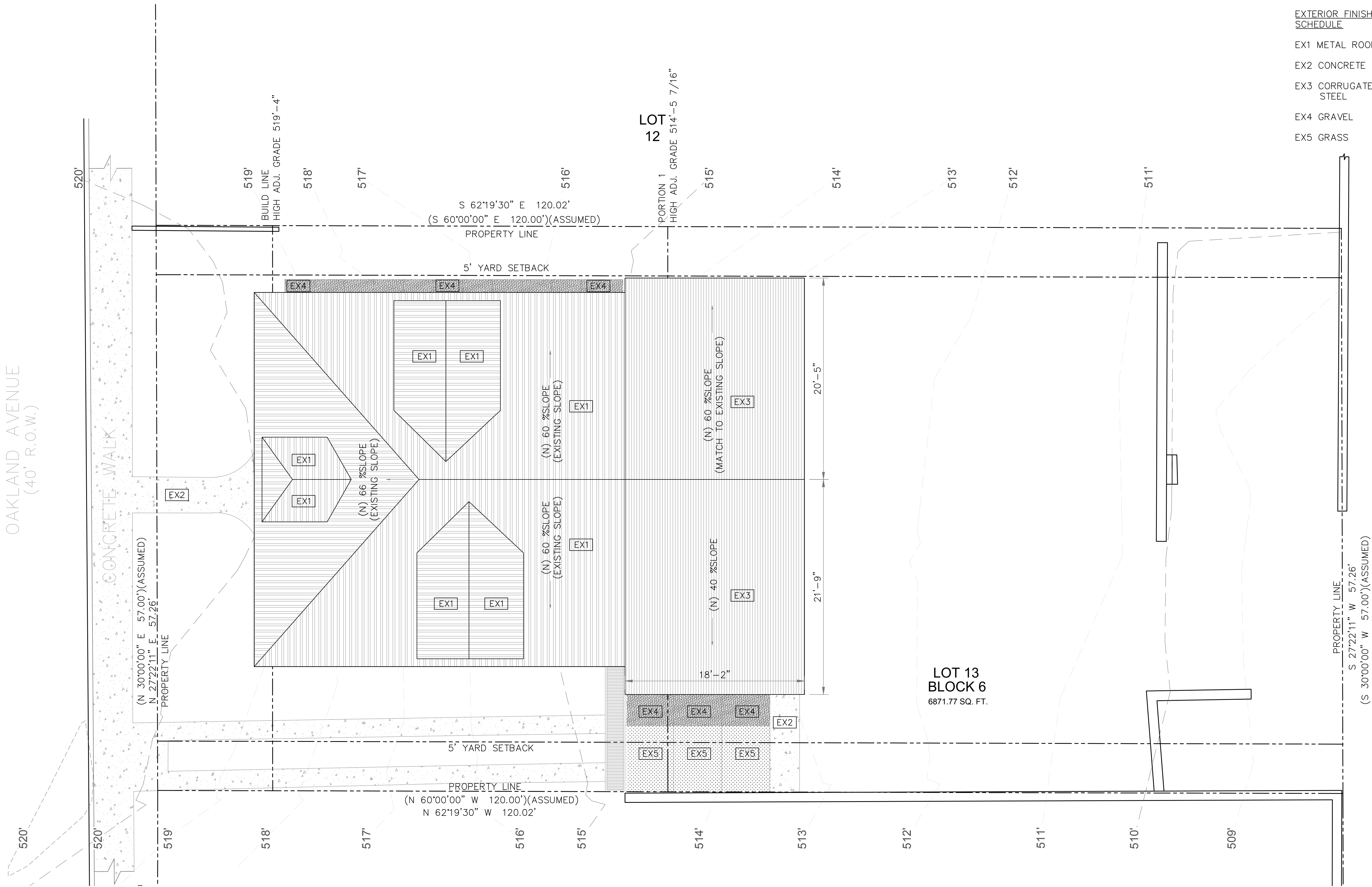
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Drawn By: CH/CR

Total Sheet Sets:

Drawing: SITE PLAN

A0.0



EXTERIOR FINISH
SCHEDULE NOTES

OWNER AND ARCHITECT
TO REVIEW COLOR &
MATERIAL SAMPLES PRIOR
TO FINAL INSTALL

EXTERIOR FINISH
SCHEDULE

EX1 METAL ROOF

EX2 CONCRETE

EX3 CORRUGATED CORTEN
STEEL

EX4 GRAVEL

EX5 GRASS

Project:

611
OAKLAND AVE.
AUSTIN, TX

Stamp:

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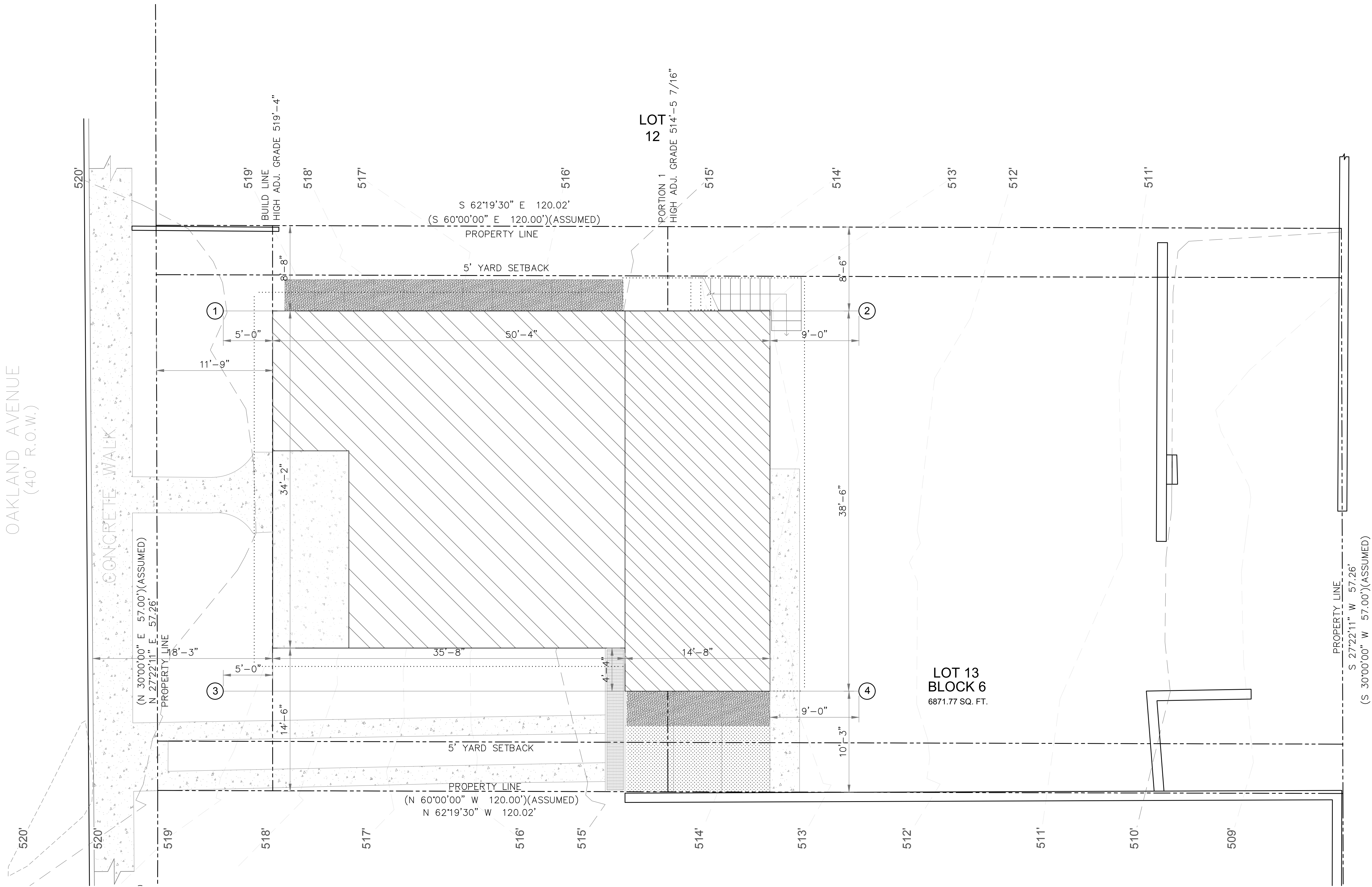
Job No.: 1065 Start Date: XX-XX-2019

Drawn By: CH/CR Total Sheet Sets:

Drawing: ROOF PLAN

A0.1

ROOF PLAN 01
SCALE: 3/16"=1'-0"
11X17" SCALE: 1/32"=1'-0"



SURVEY POINTS 01
SCALE: 3/16"=1'-0"
11X17" SCALE: 1/32"=1'-0"

Project:

Stamp:

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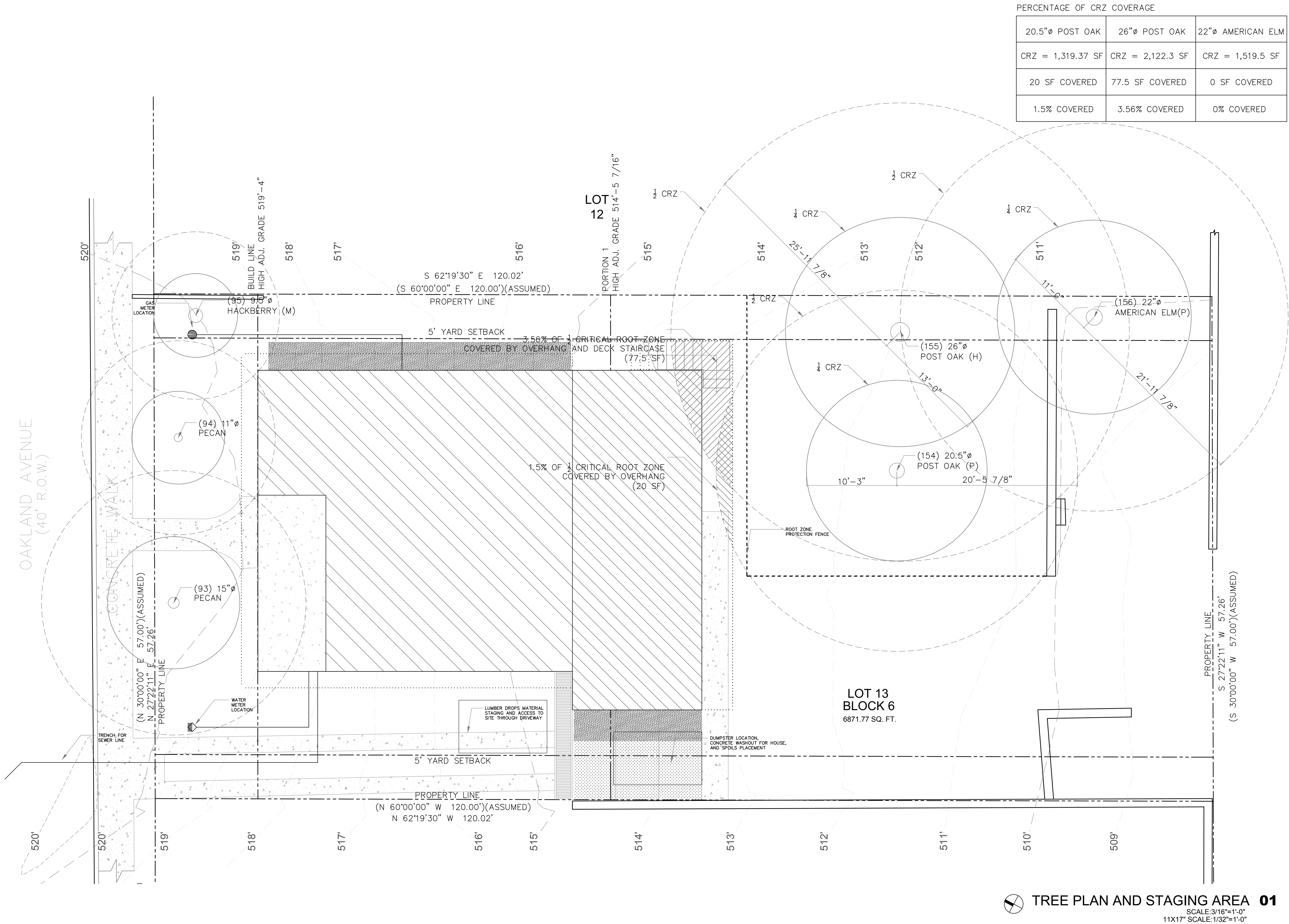
Start Date: XX-XX-2019

Drawn By: CH/CR

Total Sheet Sets:

Drawing: SURVEY POINTS

A0.3



PERCENTAGE OF CRZ COVERAGE		
20.5"Ø POST OAK	26"Ø POST OAK	22"Ø AMERICAN ELM
CRZ = 1,319.37 SF	CRZ = 2,122.3 SF	CRZ = 1,519.5 SF
20 SF COVERED	77.5 SF COVERED	0 SF COVERED
1.5% COVERED	3.56% COVERED	0% COVERED

TREE PLAN AND STAGING AREA 01
SCALE: 3/16"=1'-0"
11X17" SCALE: 1/32"=1'-0"

Project:

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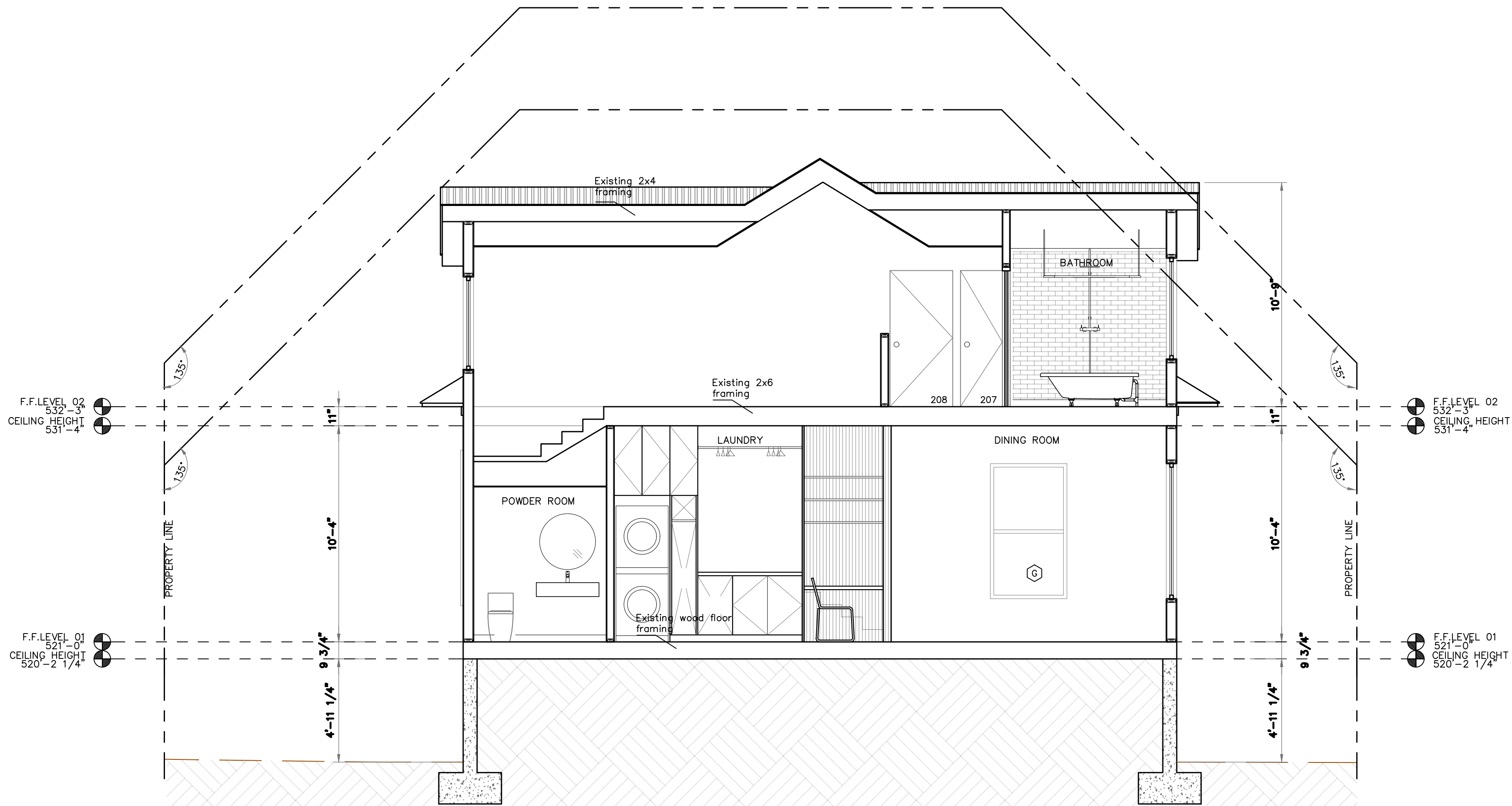
Start Date: XX-XX-2019

Drawn By: CH/CR

Total Sheet Sets:

Drawing: TREE PLAN/ STAGING A.

A0.2



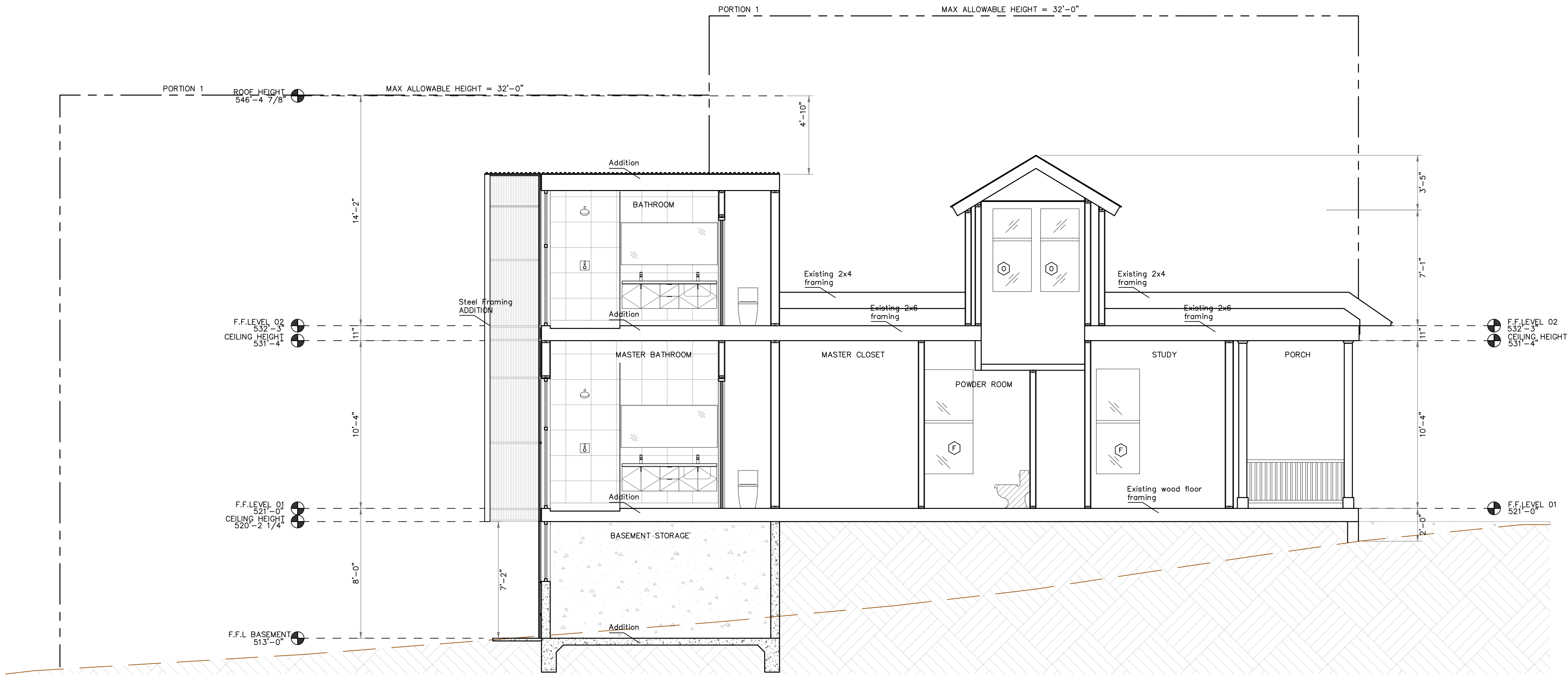
SECTION 03
SCALE:1/4"=1'-0"

EXTERIOR FINISH SCHEDULE
NOTES

OWNER AND ARCHITECT TO
REVIEW COLOR & MATERIAL
SAMPLES PRIOR TO FINAL
INSTALL

EXTERIOR AND INTERIOR FINISH
SCHEDULE

- EX1 METAL ROOF
- EX2 WOOD SIDING (EXISTING)
- EX3 CORRUGATED CORTEN
STEEL
- EX4 PERFORATED CORRUGATED
CORTEN STEEL
- EX5 CORTEN STEEL RODS
(1"x1")
- EX6 CONCRETE
- EX7 CERAMIC TILE (INTERIOR)



SECTION 04 02
SCALE:1/4"=1'-0"

Project:

611
OAKLAND AVE.
AUSTIN, TX

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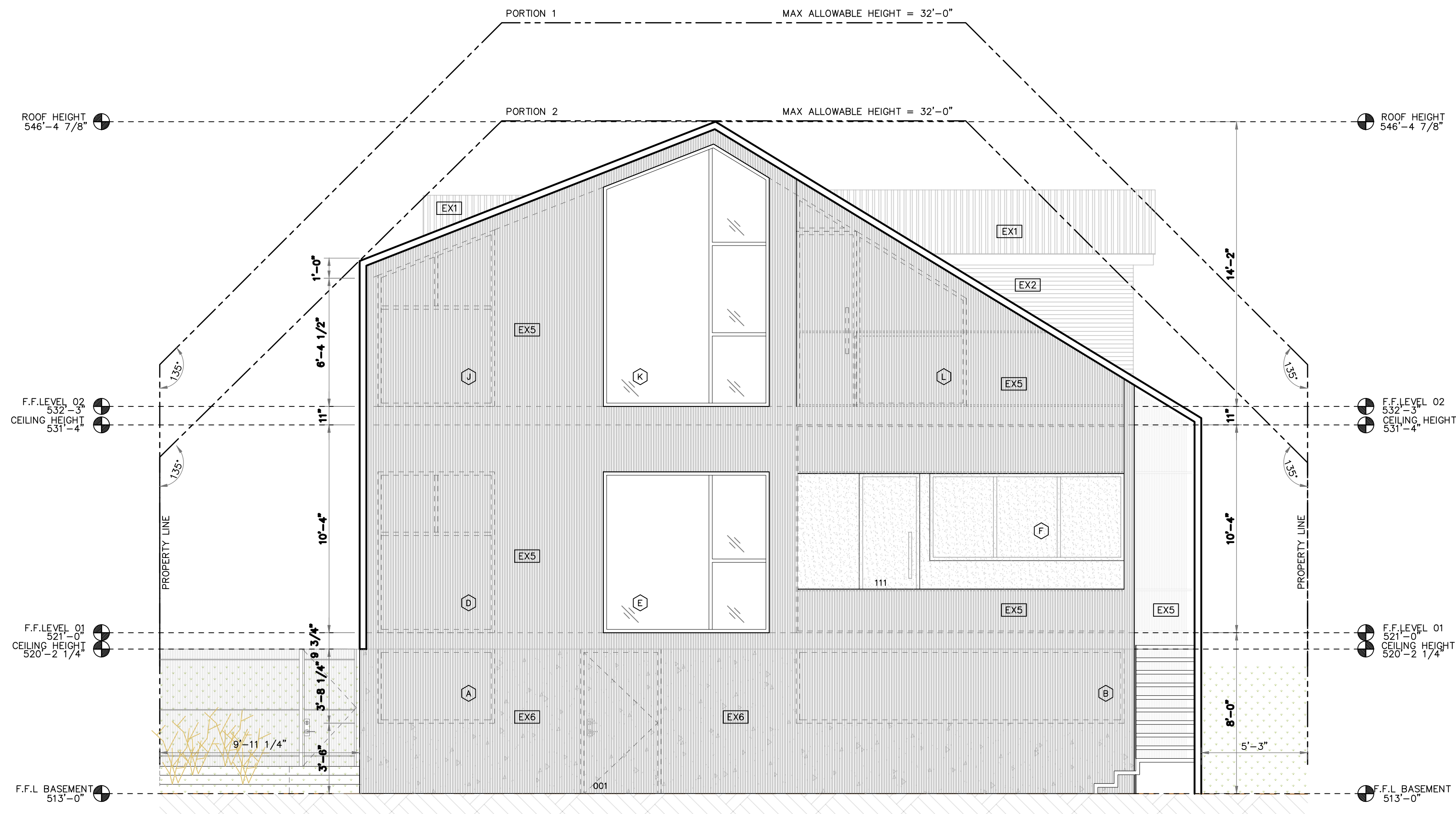
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Job No.: 1065 Start Date: XX-XX-2019
Drawn By: CH/CR Total Sheet Sets:

Drawing: Sections

A3.1



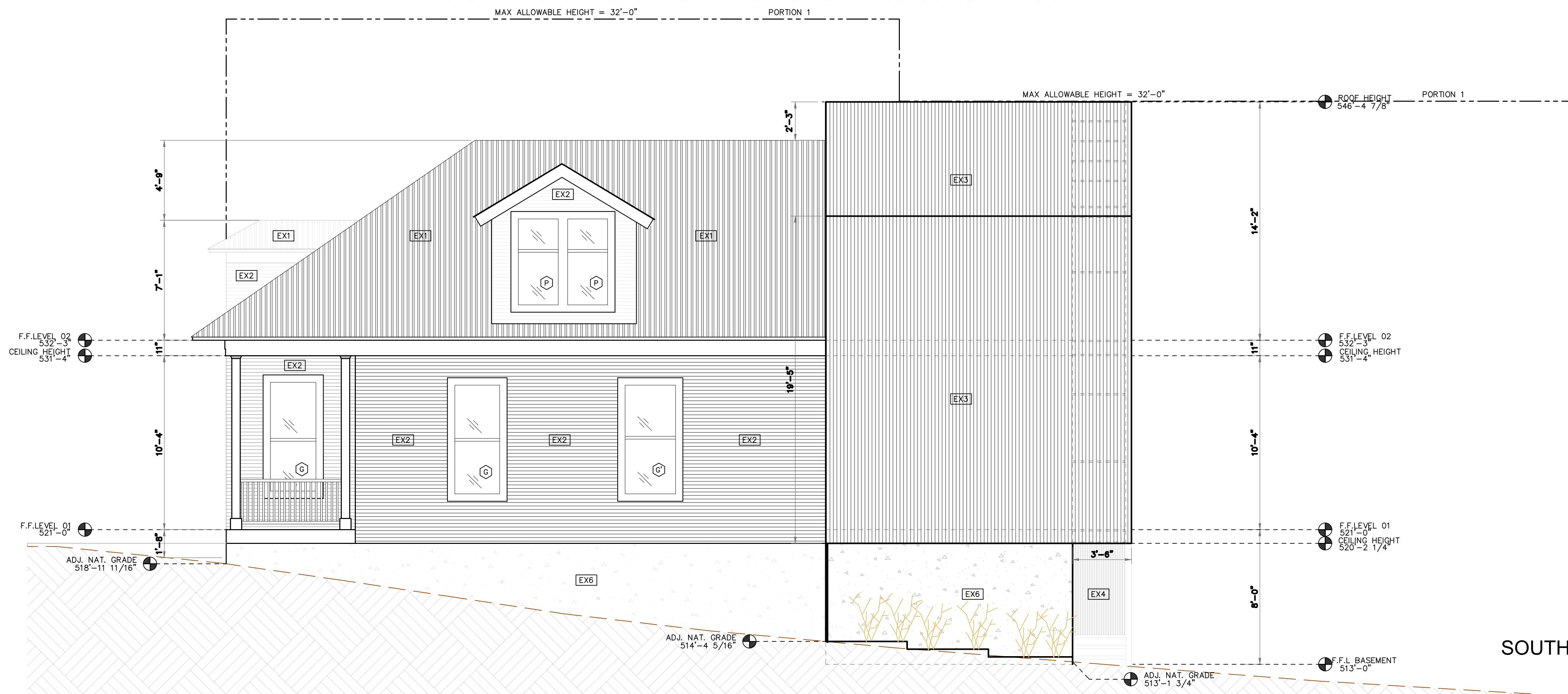
SOUTHEAST ELEVATION 01
SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE
NOTES

OWNER AND ARCHITECT TO
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EXTERIOR FINISH SCHEDULE

- EX1 METAL ROOF
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- EX3 CORRUGATED CORTEN
STEEL
- EX4 PERFORATED CORRUGATED
CORTEN STEEL
- EX5 CORTEN STEEL RODS
(1"x1")
- EX6 CONCRETE



SOUTHWEST ELEVATION 02
SCALE: 1/4"=1'-0"

Project:

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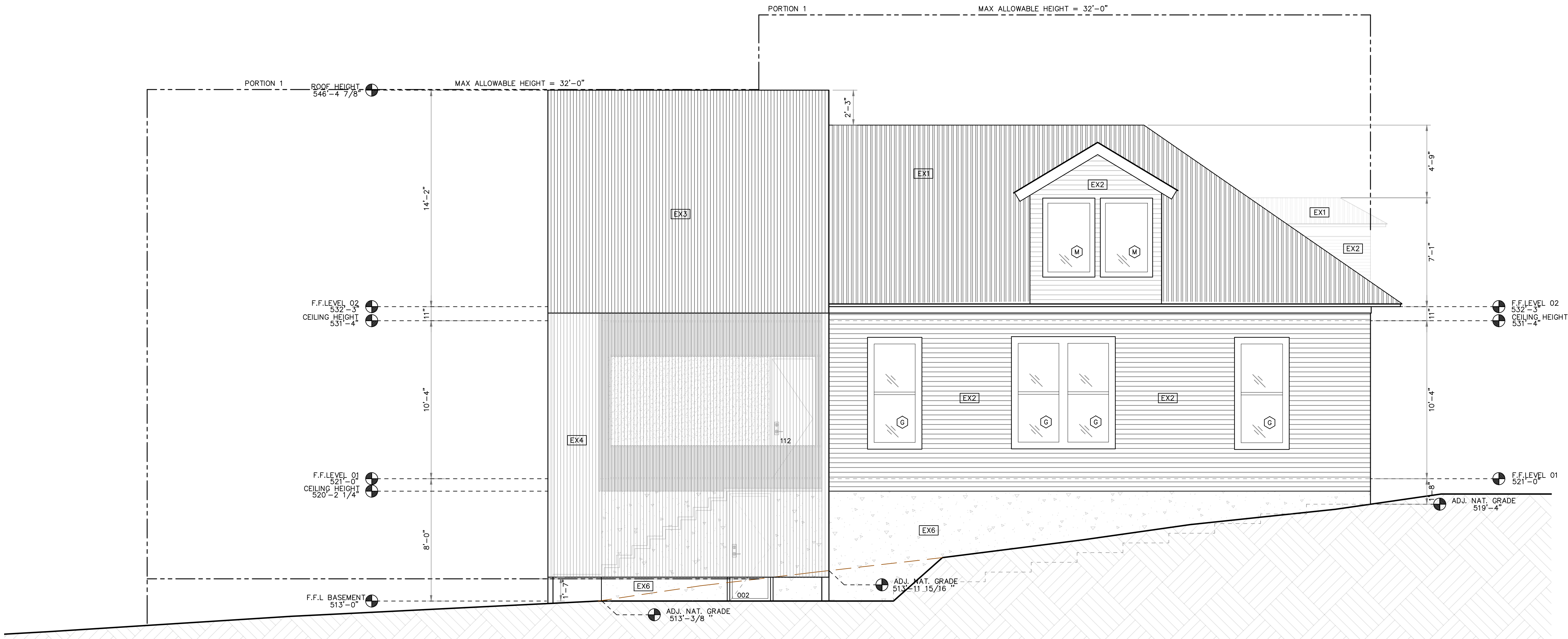
Drawn By: CH/CR Total Sheet Sets:

Drawing: Elevations

A2.1



NORTHWEST ELEVATION 01
SCALE:1/4"=1'-0"



NORTHEAST ELEVATION 02
SCALE:1/4"=1'-0"

EXTERIOR FINISH SCHEDULE
NOTES

OWNER AND ARCHITECT TO
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SAMPLES PRIOR TO FINAL
INSTALL

EXTERIOR FINISH SCHEDULE

EX1 METAL ROOF

EX2 WOOD SIDING (EXISTING)

EX3 CORRUGATED CORTEN
STEEL

EX4 PERFORATED CORRUGATED
CORTEN STEEL

EX5 CORTEN STEEL RODS
(1"x1")

EX6 CONCRETE

Project:

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project for which they have been prepared and
developed without the written consent of DIG:A.
Visual contact with these drawings or
specifications shall constitute conclusive
evidence of acceptance of these restrictions.

	Date	Issue
1		
2		
3		

Owner:

XXXXXX
611 OAKLAND ST.
AUSTIN, TX
787XX

Engineer:

LOConsultants
1707B KINNEY AVE.
AUSTIN, TX 78704
512.499.0908

Designer:

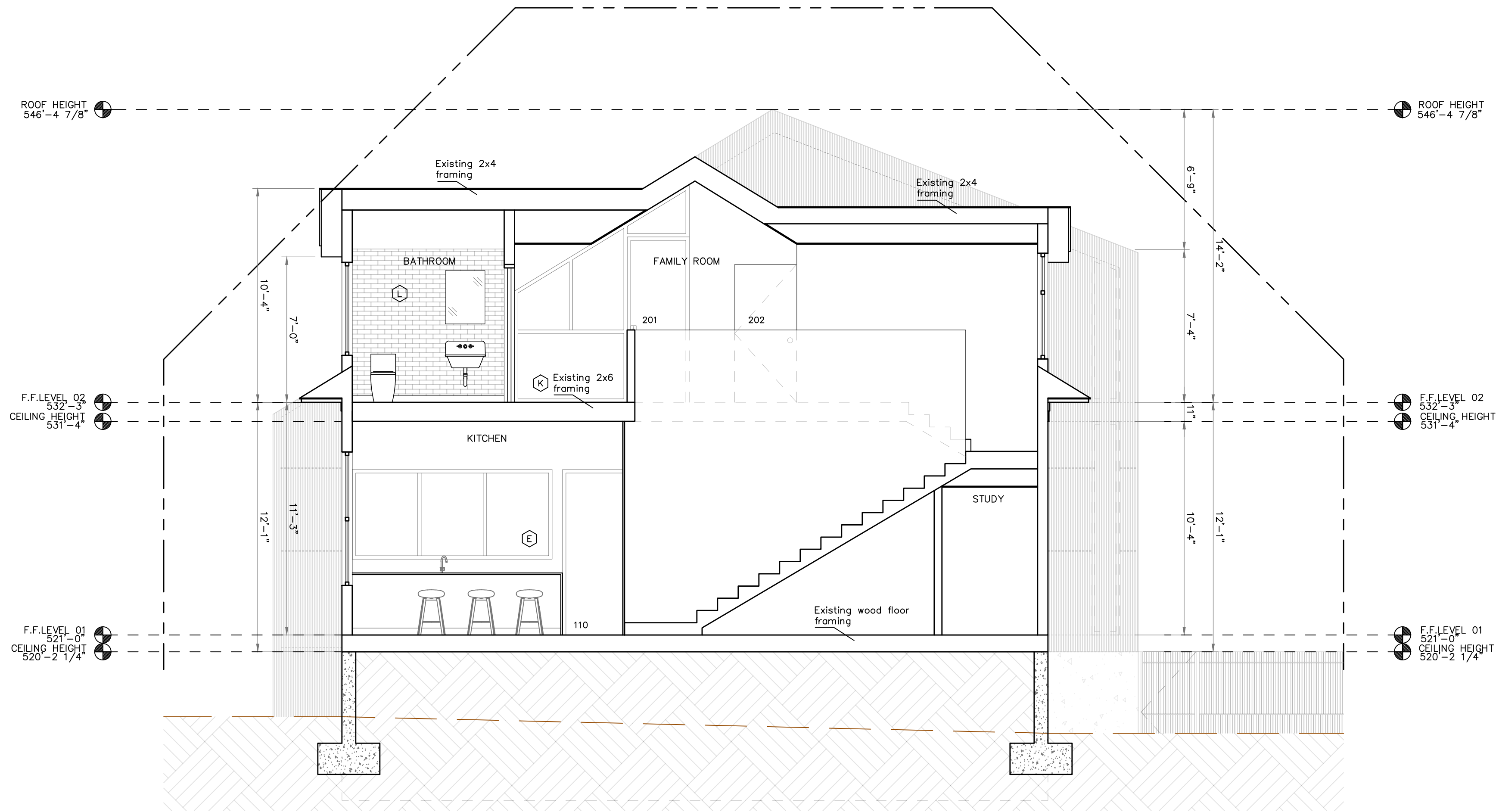
DIG:A
Craig Hoverman
414 West Annie Street
AUSTIN, TEXAS 78704
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Job No.: 1065 Start Date: XX-XX-2019
Drawn By: CH/CR Total Sheet Sets:

Drawing: Elevations

A2.0



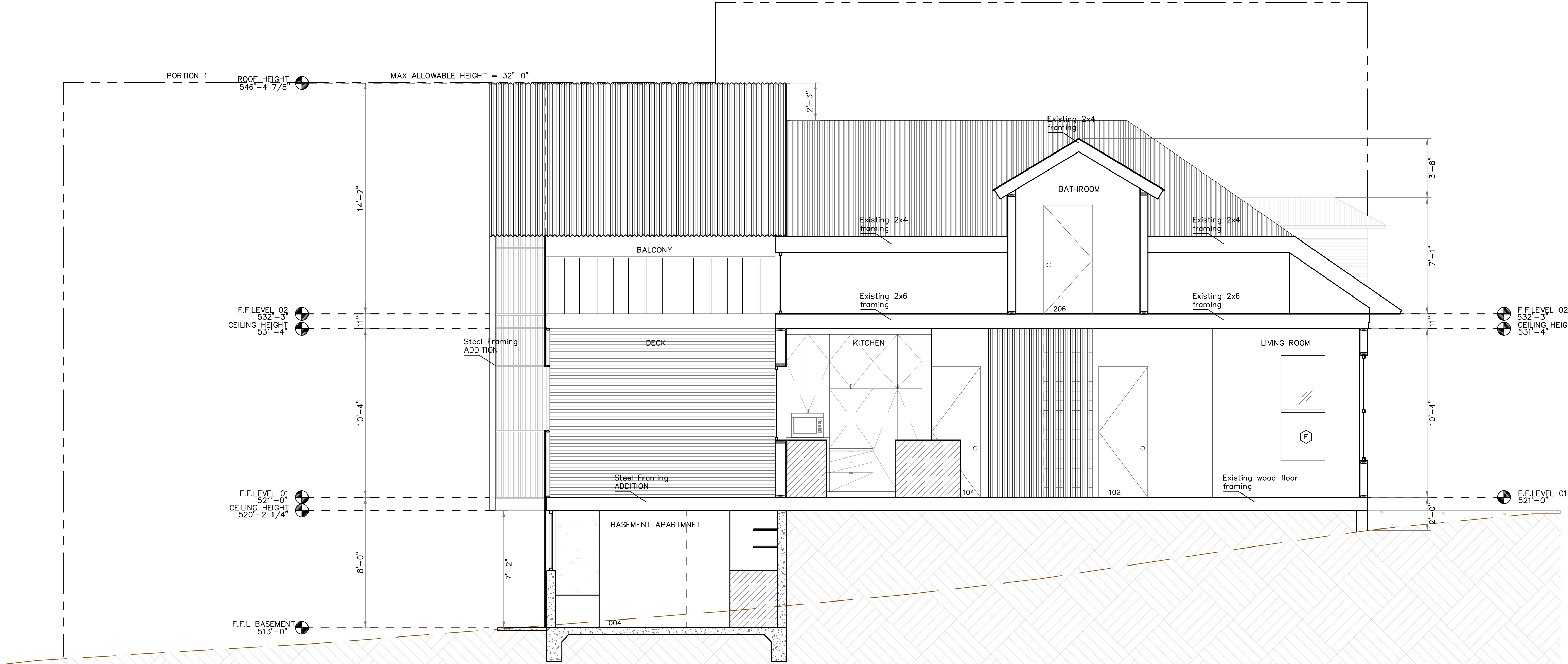
SECTION 01
SCALE:1/4"=1'-0"

EXTERIOR FINISH SCHEDULE
NOTES

OWNER AND ARCHITECT TO
REVIEW COLOR & MATERIAL
SAMPLES PRIOR TO FINAL
INSTALL

EXTERIOR AND INTERIOR FINISH
SCHEDULE

- EX1 METAL ROOF
- EX2 WOOD SIDING (EXISTING)
- EX3 CORRUGATED CORTEN
STEEL
- EX4 PERFORATED CORRUGATED
CORTEN STEEL
- EX5 CORTEN STEEL RODS
(1"x1")
- EX6 CONCRETE
- EX7 CERAMIC TILE (INTERIOR)



SECTION 02
SCALE:1/4"=1'-0"

Project:

611
OAKLAND AVE.
AUSTIN, TX

Stamp:



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	Date	Issue
1		
2		
3		

Owner:

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AUSTIN, TX
787XX

Engineer:

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Designer:

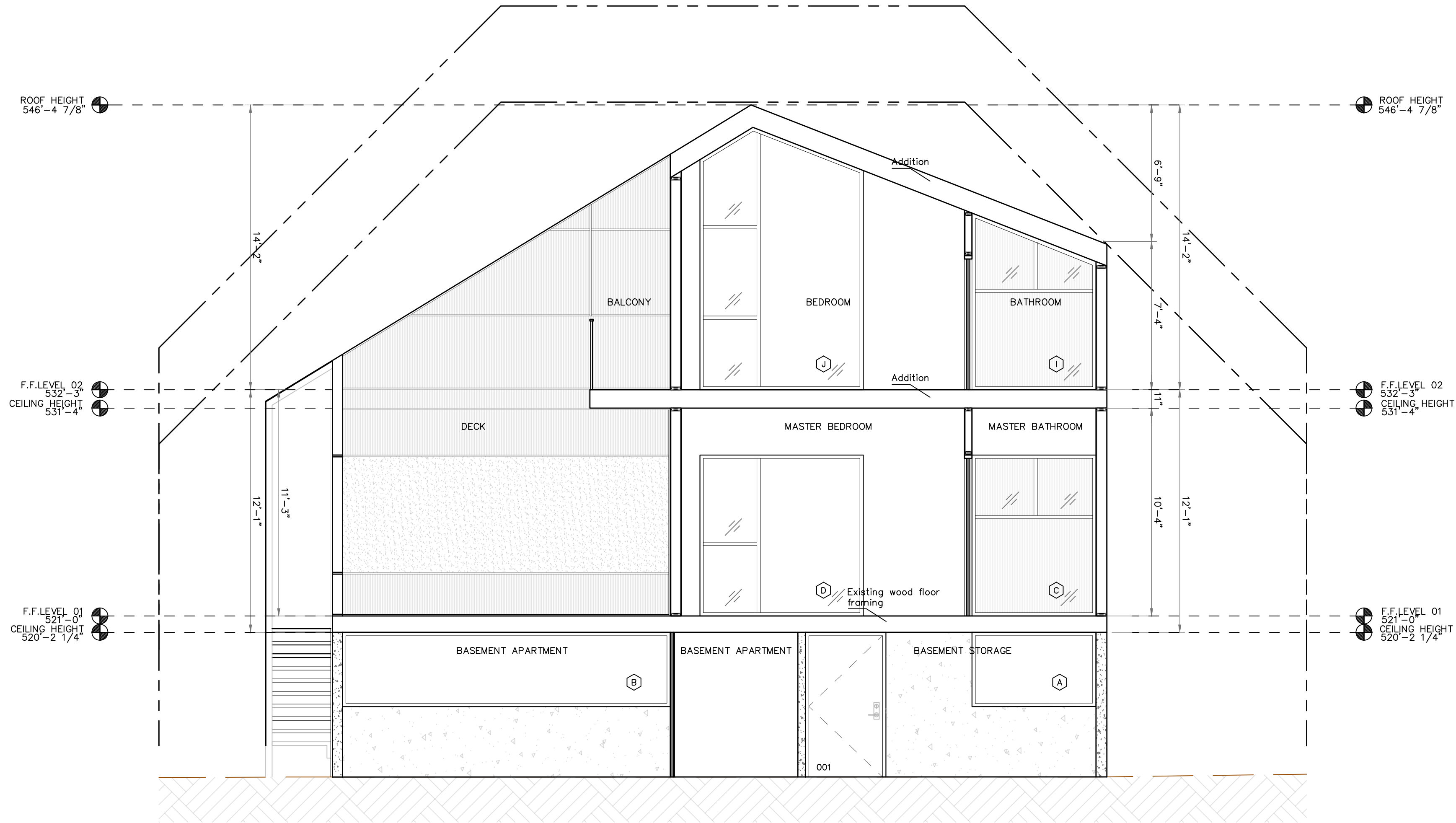
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Job No.: 1065 Start Date: XX-XX-2019
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Drawing: Sections

A3.0



SECTION 05
SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE
NOTES

OWNER AND ARCHITECT TO
REVIEW COLOR & MATERIAL
SAMPLES PRIOR TO FINAL
INSTALL

EXTERIOR AND INTERIOR FINISH
SCHEDULE

- EX1 METAL ROOF
- EX2 WOOD SIDING (EXISTING)
- EX3 CORRUGATED CORTEN
STEEL
- EX4 PERFORATED CORRUGATED
CORTEN STEEL
- EX5 CORTEN STEEL RODS
(1"x1")
- EX6 CONCRETE
- EX7 CERAMIC TILE (INTERIOR)

Project:

611
OAKLAND AVE.
AUSTIN, TX

Stamp:



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	Date	Issue
1		
2		
3		

Owner:

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Drawing: Sections

A3.2