



VICINITY MAP 01
SCALE:1/64"=1'-0"

AREA TABULATIONS

UNIT A A/C:

1st FLOOR	1393.57	SF
2nd FLOOR	1,179.7	SF
BASEMENT	564.81	SF

TOTAL*	3138.08	SF
*STAIRWELL COUNTED DOUBLE		
*DOUBLE HEIGHT SPACE COUNTED DOUBLE		

COVERED PORCH	235.23	SF
COVERED DECK	538.54	SF
BALCONY	55.6	SF
OTHER	62.00	SF

TOTAL GROSS	4029.45	SF
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F.A.R= TOTAL GROSS - PORCH EXEMPTION
= 4029.45 SF - (235.23 SF)
= 3,776.22 SF

COVERAGE CALCULATIONS

EXISTING LOT AREA	6871.77	SF
ALLOWABLE BUILDING COVERAGE @ 40%	2,748.70	SF
ALLOWABLE IMPERVIOUS COVERAGE @ 45%	3,092.30	SF

PARKING: SPACES PROVIDED	2
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BUILDING COVERAGE:

TOTAL COVERAGE ON LOT	
TOTAL BUILDING FOOTPRINT	1,393.57 SF
AC PAD	16 SF
UNCOVERED DECK (226.50SF)	0 SF
CONCRETE DRIVEWAY	240.94 SF
RAIN BARRELS	0 SF

TOTAL IMPERVIOUS COVERAGE ON LOT	2470.28 SF
PERCENTAGE IMPERVIOUS COVERAGE	35.9%

SHEET INDEX

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STRUCTURAL

GENERAL NOTES:

1. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A-201 LATEST EDITION IS HEREBY MADE PART OF THE CONTRACT.
2. THE CONTRACT AND EACH SUBCONTRACT INCLUDES ALL WORK NOTED AND SHOWN INDICATED IMPLIED AND/OR NECESSARY TO COMPLETE THE WORK INCLUDING WORK COVERED FORESEEN OR NOT AT NO EXTRA CHARGE
- 3.INSURANCE THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL EFFECT AND MAINTAIN "WORKMAN'S COMPENSATION INSURANCE," "OWNER'S CONTRACTORS PUBLIC LIABILITY INSURANCE," "OWNER'S AND CONTRACTOR'S PROTECTIVE LIABILITY INSURANCE" AND SUCH OTHER INSURANCES AS WILL PROTECT HIM AND THE OWNER FROM ALL CLAIMS AND DAMAGES BECAUSE OF BODILY INJURY INCLUDING DEATH AND FOR PROPERTY DAMAGE LIABILITY ARISING FROM OR DURING THESE OPERATIONS
4. TEMPORARY PROTECTION DURING CONSTRUCTION SHALL COMPLY WITH BUT NOT BE LIMITED TO: ALL SHOP REGULATIONS & GOVERNING RULES OF CAL OSHA STATE AND LOCAL BUILDING CODES ETC. EACH CONTRACTOR AND THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN PROTECTIVE DEVICES AT ALL TIMES DURING CONSTRUCTION SO AS TO PROTECT THE TENANTS PATRONS EMPLOYEE AND PUBLIC HEALTH SAFETY AND WELFARE
5. LUMBER SHALL BE MINIMUM STANDARD GRADE SOUTHERN YELLOW PINE. ALL EXPOSED WOOD SHALL BE CLEAR & CLEAN. ALL EXPOSED SURFACES TO BE FREE OF SURFACE BLEMISHES .
- 6.CONCRETE FLATWORK MIX SHALL BE NO LESS THAN 2500 PSI 28 DAY CONCRETE
- 7.DRYWALL WORK SHALL UTILIZE 1/2" THICK. METAL BEAD OUTSIDE CORNERS UTILIZE PLATED DRYWALL SCREWS.
- 8.ROOF SHEATHING - ALL NEW ROOF SHEATHING SHALL BE MIN 1/2" THICK 4'X8' PLYWOOD EXTERIOR GRADE STRUCTURAL II LAID TIGHT WITH ENDS STAGGERED AND FACE GRAIN ACROSS SUPPORTS W/ RADIAN BARRIER UNDERSIDE - SOLID BLOCK ALL JOINTS AND NAIL 8d AT 6" O.C. ALL EDGES 12" O.C. AT INTERMEDIATE SUPPORTS AND 4" O.C. AROUND WHOLE ROOF AT WALL LINE
- 9.SHEAR PANELS SHALL BE 1/2" THICK 4' X 8' STRUCTURAL I PLYWOOD LAID TIGHT WITH ALL JOINTS BLOCKED. NAIL 8d AT 3" O.C. ALL EDGES 12" O.C. AT INTERMEDIATE SUPPORTS
- 10.INSULATION SHALL COMPLY WITH STATE LAWS AND LOCAL ORDINANCES BUT IN NO CASE LESS THAN: INSULATE ALL NEW AND EXPOSED EXTERIOR WALLS WATER BASED POLY-ISO SPRAYED INSULATION MIN RU RATED INSULATE ALL CEILINGS WHERE ACCESSIBLE. ALL INSULATION SHALL BE INSTALLED AS RECOMMENDED BY THE MANUFACTURER.
- 11.DRYWALL WORK SHALL BE AS INDICATED REQUIRED AND NECESSARY. TYPICAL 1/2" THICK X 48" WIDE SHEETS APPLIED VERTICALLY FULL HEIGHT AT WALLS WITH TAPERED EDGES AND 8" THICK X 48" WIDE SHEETS FOR CEILINGS.. TYPE X GYPSUM OR EQUAL TAPE ALL JOINTS AND INSIDE CORNERS. METAL TRIM ALL NEW DOOR OPENINGS. ALL OPENINGS SHALL BE FILLED AND FINISHED READY FOR PAINT. USE GREEN MOISTURE RESISTANT GYPSUM IN ALL AREAS PRONE TO MOISTURE INCLUDING BATHROOMS LAUNDRY AND KITCHEN AREAS.
12. ~~NEST PROTECT SMOKE~~/CARBON DETECTORS TO BE HARDWIRED WITH BATTERY BACK-UP
13. PROVIDE TERMITE PROTECTION PER ENERGY CODE REQUIREMENTS PRIOR TO POURING SLAB
14. PROVIDE ELECTRICAL GROUNDING PRIOR TO POURING SLAB.

SCOPE OF WORK:

PERMIT NO.
NEW CONSTRUCTION OF 2 STORY SINGLE+ BASEMENT
FAMILY DWELLING WITH 3 BED 3 BATH WITH 2 PARKING SPOTS

PROJECT DATA

PROJECT ADDRESS:

611 OAKLAND AVE,
AUSTIN, TX 78705

ZONED: SF-3
LEGAL DESCRIPTION:
LOT 1 BROWN M L ADDITION

Project:

Stamp:

REGISTERED ARCHITECT
CRAIG R. HOVERMAN
28109
STATE OF TEXAS

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	Date	Issue
1	Oct. 14th	Certificate of appropriateness
2		
3		

Owner:

XXXXXX
611 OAKLAND ST.
AUSTIN, TX
787XX

Engineer:

LOConsultants
1707B KINNEY AVE.
AUSTIN, TX 78704
512.499.0908

Designer:

DIG:A
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Start Date: XX-XX-2019

Drawn By: CH/CR

Total Sheet Sets:

Drawing: General Notes

G0.0



FRONT SIDE ELEVATION 01



DECK 03



BACK ELEVATION 02



KITCHEN, DINING AND LIVING 04

Project:

611
OAKLAND AVE.
AUSTIN, TX

Stamp:

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CRAIG R. HOVERMAN
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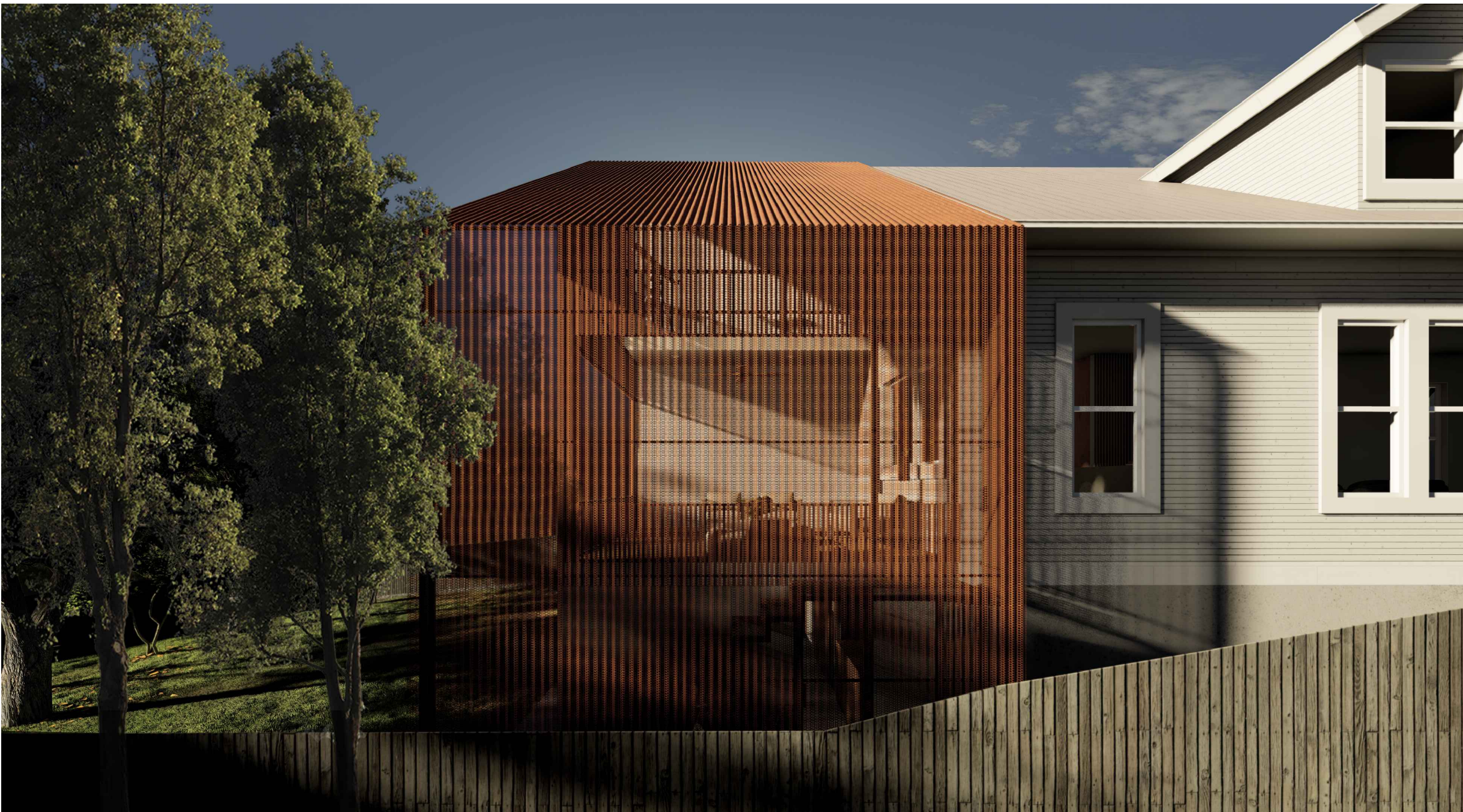
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Total Sheet Sets:

Drawing: General Notes

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DECK SIDE ELEVATION 01



GATE ELEVATION 02



FAMILY ROOM 03



DOUBLE BED BEDROOM 04

Project:

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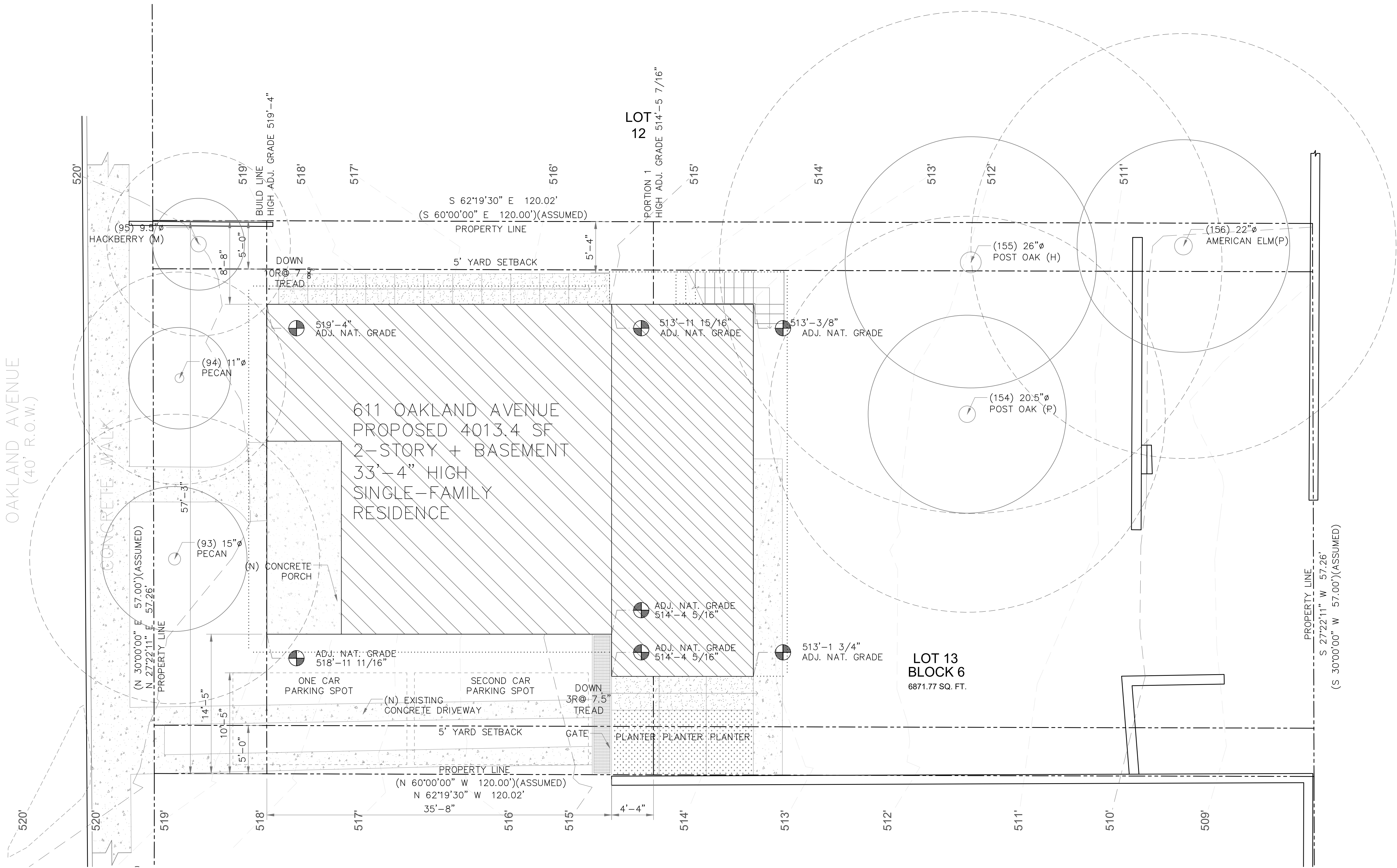
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Drawing: General Notes

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SITE PLAN 01
SCALE: 3/16"=1'-0"
11X17" SCALE: 1/32"=1'-0"

Project:

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AUSTIN, TX

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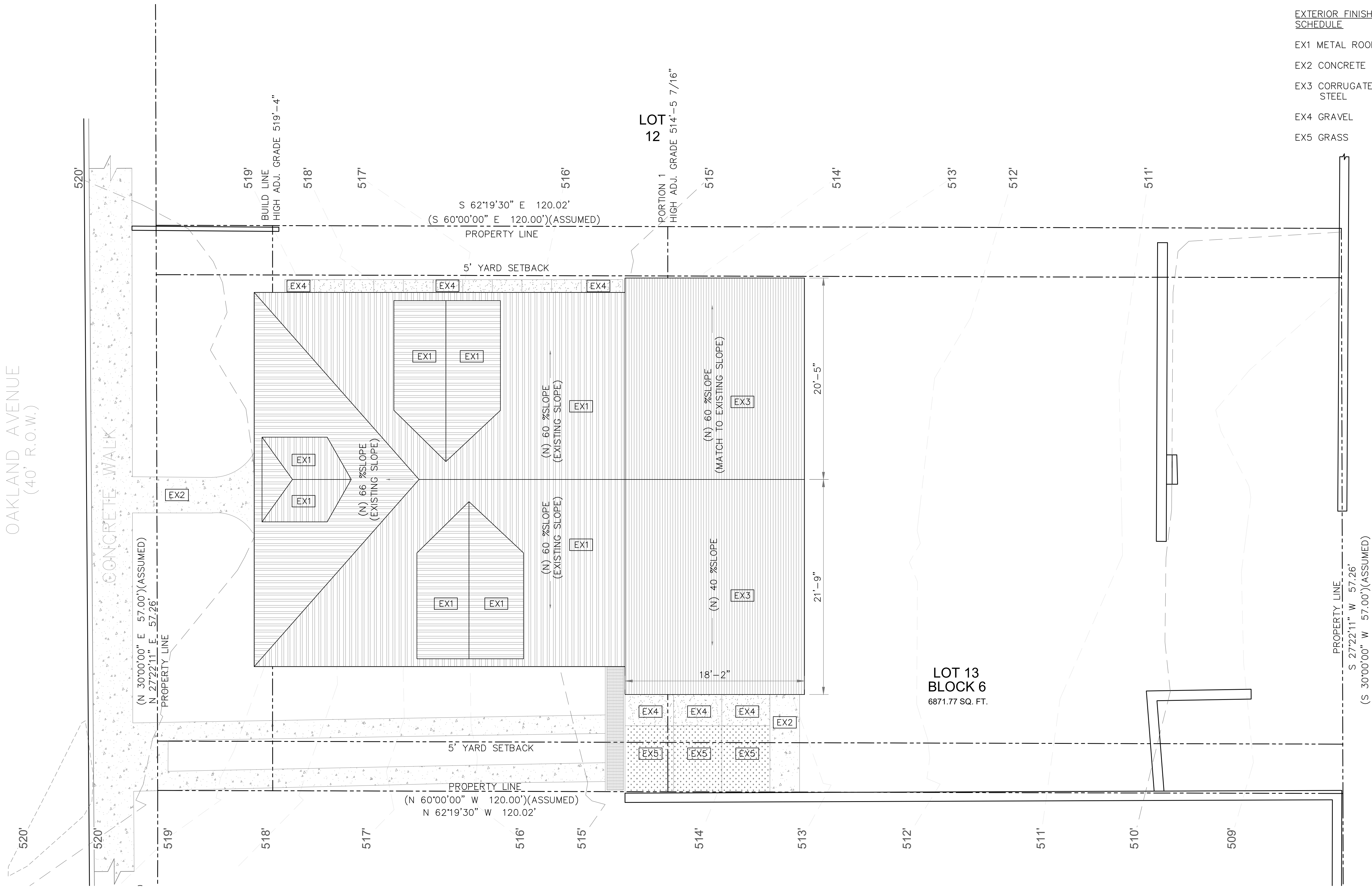
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Total Sheet Sets:

Drawing: SITE PLAN

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EXTERIOR FINISH
SCHEDULE NOTES

OWNER AND ARCHITECT
TO REVIEW COLOR &
MATERIAL SAMPLES PRIOR
TO FINAL INSTALL

EXTERIOR FINISH
SCHEDULE

EX1 METAL ROOF

EX2 CONCRETE

EX3 CORRUGATED CORTEN
STEEL

EX4 GRAVEL

EX5 GRASS

ROOF PLAN 01
SCALE: 3/16"=1'-0"
11X17" SCALE: 1/32"=1'-0"

Project:

611
OAKLAND AVE.
AUSTIN, TX

Stamp:



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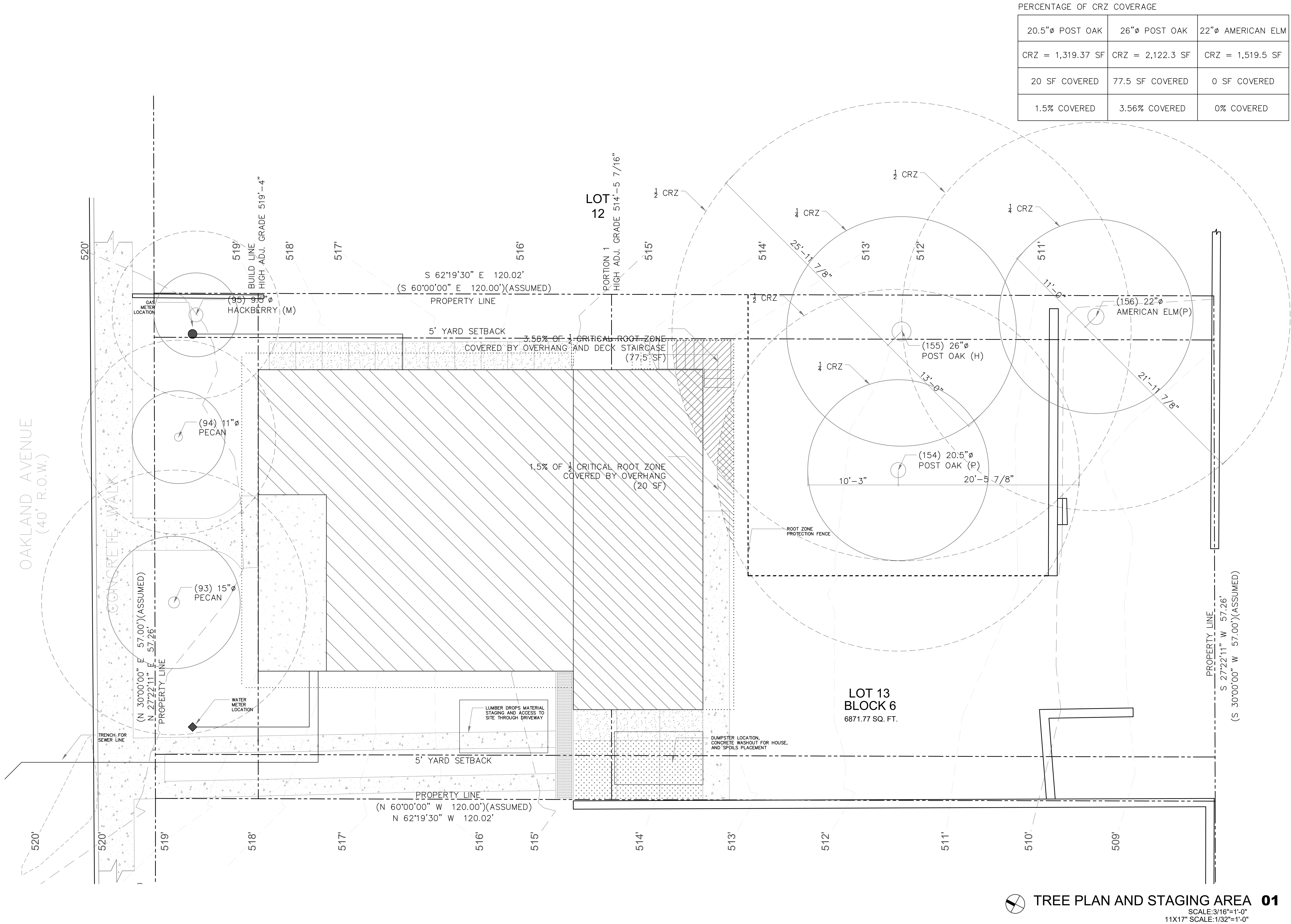
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Drawing: ROOF PLAN

A0.1



PERCENTAGE OF CRZ COVERAGE		
20.5"Ø POST OAK	26"Ø POST OAK	22"Ø AMERICAN ELM
CRZ = 1,319.37 SF	CRZ = 2,122.3 SF	CRZ = 1,519.5 SF
20 SF COVERED	77.5 SF COVERED	0 SF COVERED
1.5% COVERED	3.56% COVERED	0% COVERED

TREE PLAN AND STAGING AREA 01
SCALE: 3/16"=1'-0"
11X17" SCALE: 1/32"=1'-0"

Project:

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AUSTIN, TX

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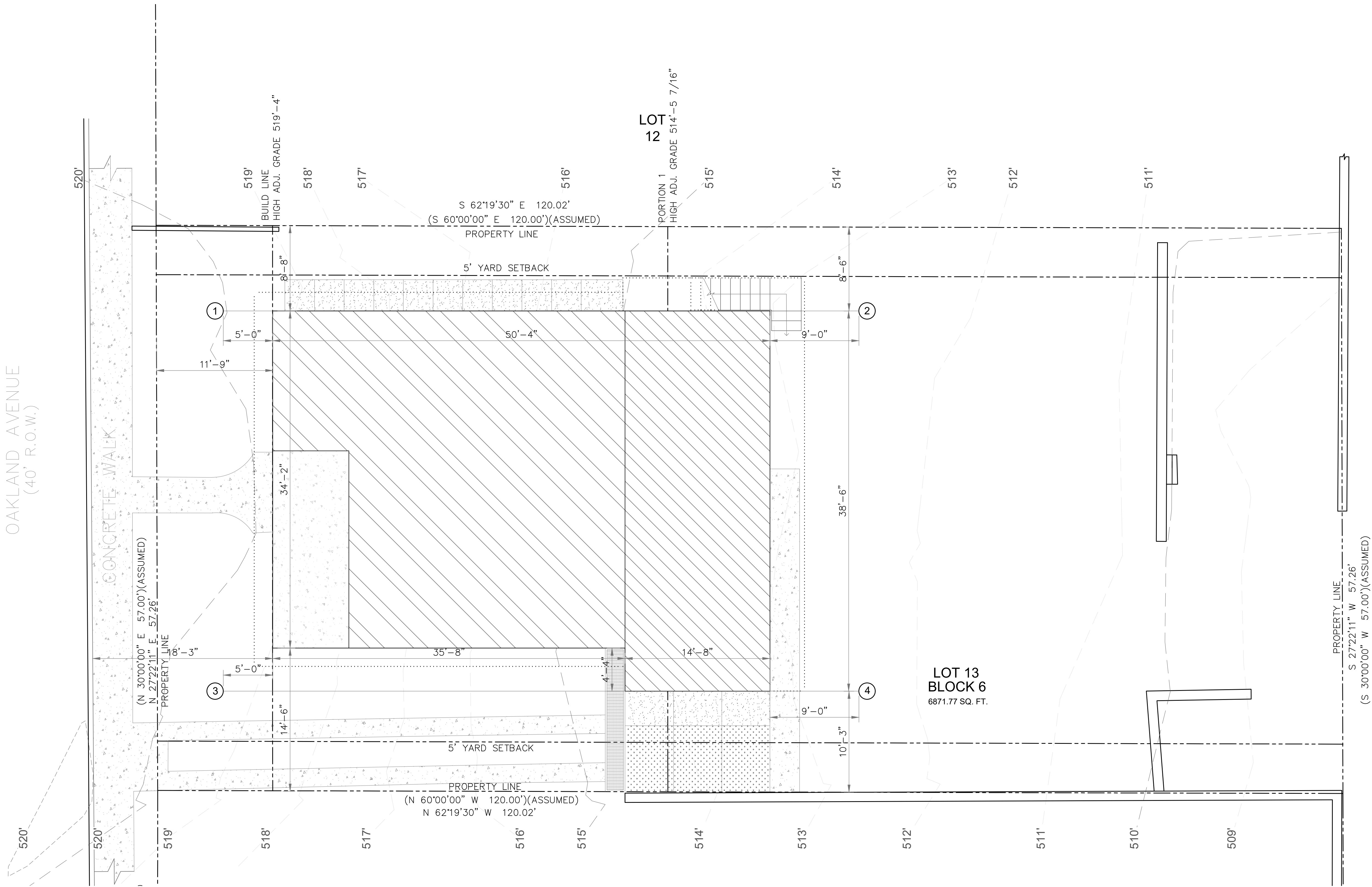
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Drawing: TREE PLAN/ STAGING A.

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SURVEY POINTS 01
SCALE: 3/16"=1'-0"
11X17" SCALE: 1/32"=1'-0"

Project:

611
OAKLAND AVE.
AUSTIN, TX

Stamp:

REGISTERED ARCHITECT
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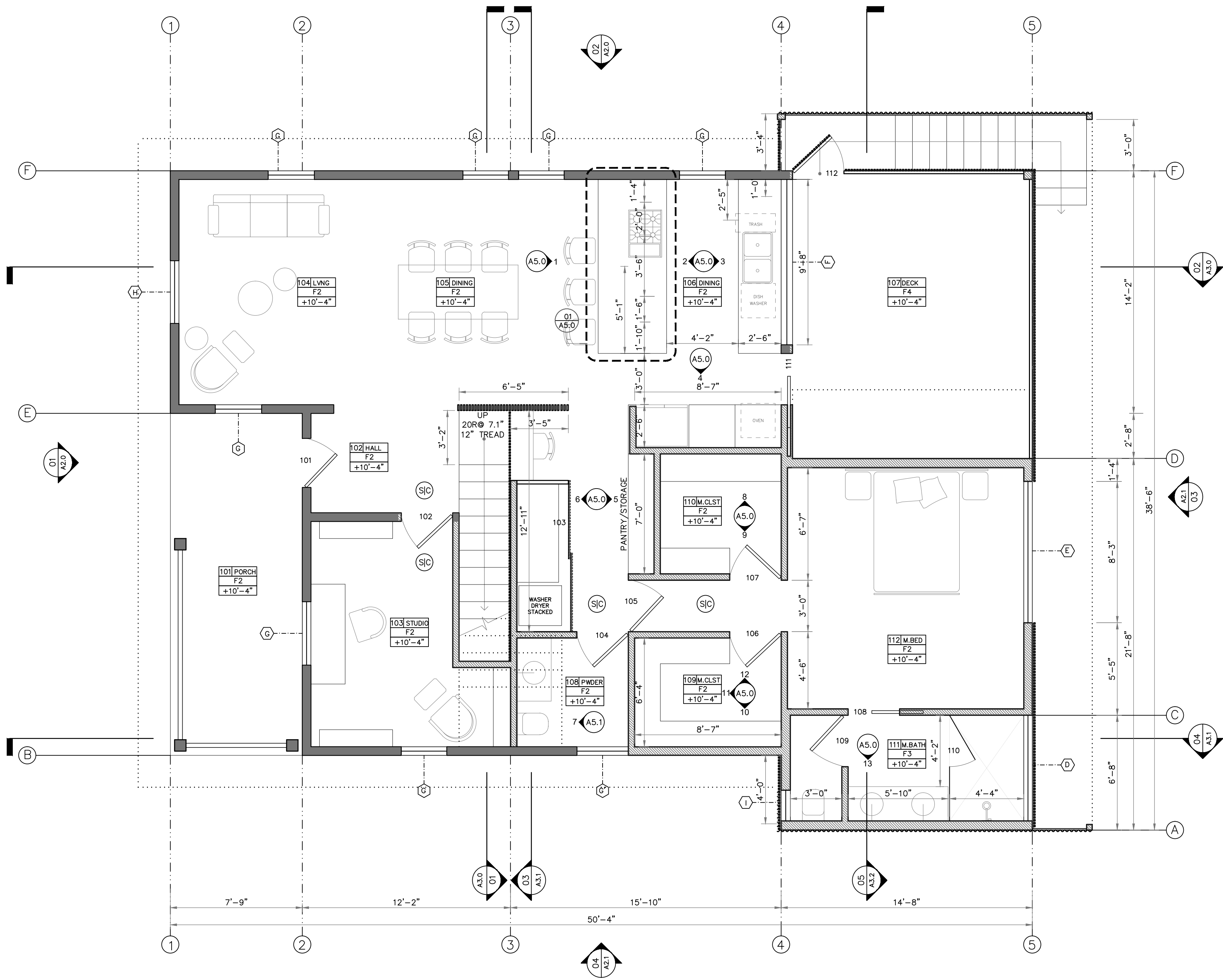
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Drawing: SURVEY POINTS

A0.3



PLAN NOTES
ALL DIMENSIONS RELEVANT TO FRAMING ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
DOORS INDICATED THUS: 100 REFER DOOR SCHEDULE
DOOR SWINGS AS INDICATED ON PLAN
WINDOWS INDICATED THUS: 101 REFER FOR WINDOW SCHEDULE
ROOM FINISH INDICATED THUS: XX SCHEDULE THIS PAGE
SMOKE AND CARBON DETECTORS 102
ALL FLOOR MATERIAL DIFFERENTIALS TO BE 1/8" MAX
FINISH SCHEDULE NOTES
OWNER AND ARCHITECT TO REVIEW COLOR & MATERIAL SAMPLES PRIOR TO FINAL INSTALL
PARTITION TYPES NOTES
F1 POLISHED CONCRETE
F2 LONGLEAF PINE
F3 CERAMIC TILE (INTERIOR)
F4 DECK
F5 GROUND / TERRAZO CONCRETE
PARTITION TYPES
EXISTING WALL
NEW WALL
PARTITION TYPES NOTES
GYPSUM BOARD: AT ALL BATHROOMS, KITCHEN, AND INTERIOR WET AREAS TO BE MOISTURE RESISTANT GYPSUM BOARD - TYP.

FLOOR PLAN 01 01
SCALE: 1/4"=1'-0"

Project:

611
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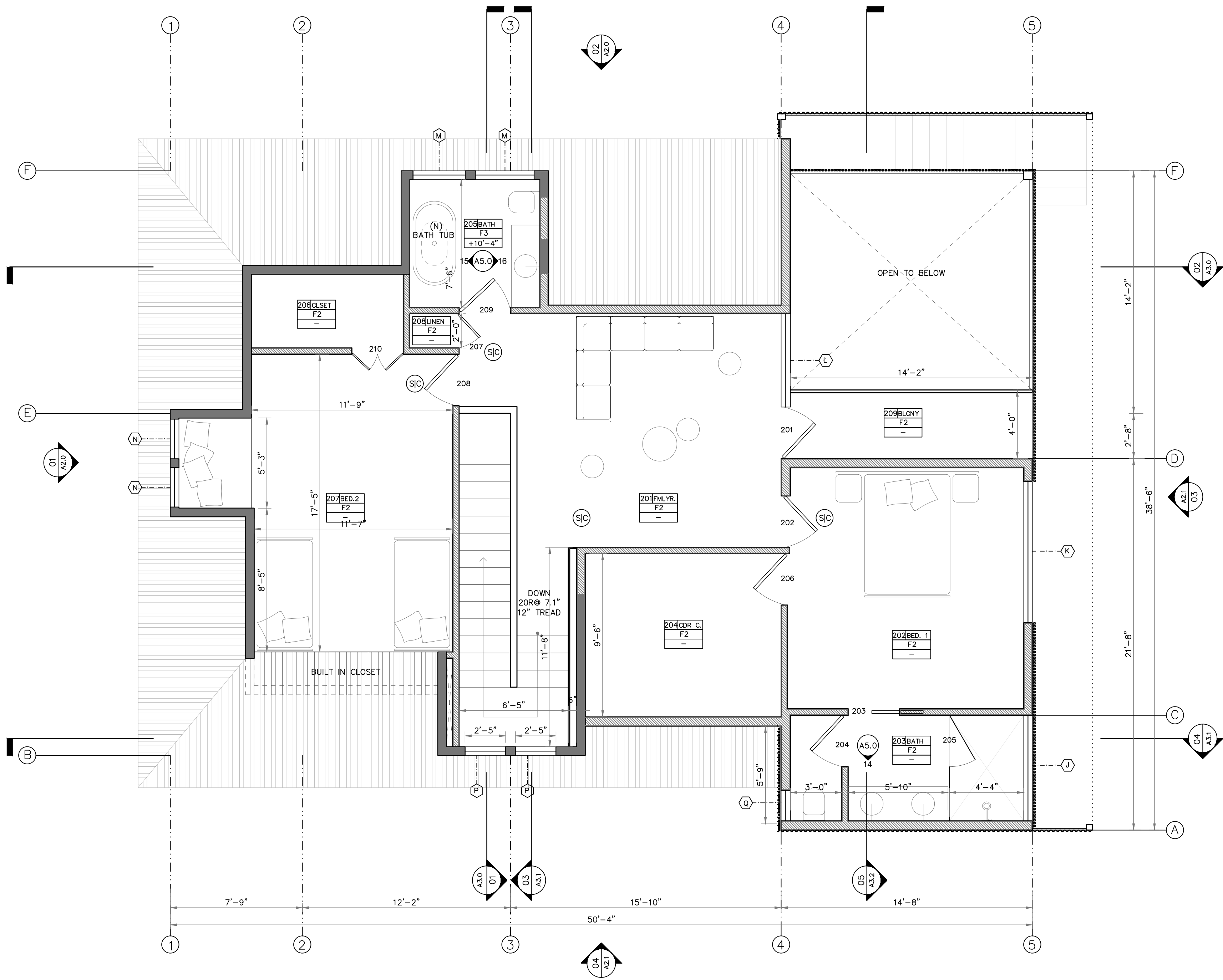
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Drawing: FLOOR PLAN 01

A1.0



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FLOOR PLAN 02 01
SCALE: 1/4"=1'-0"

Project:

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AUSTIN, TX

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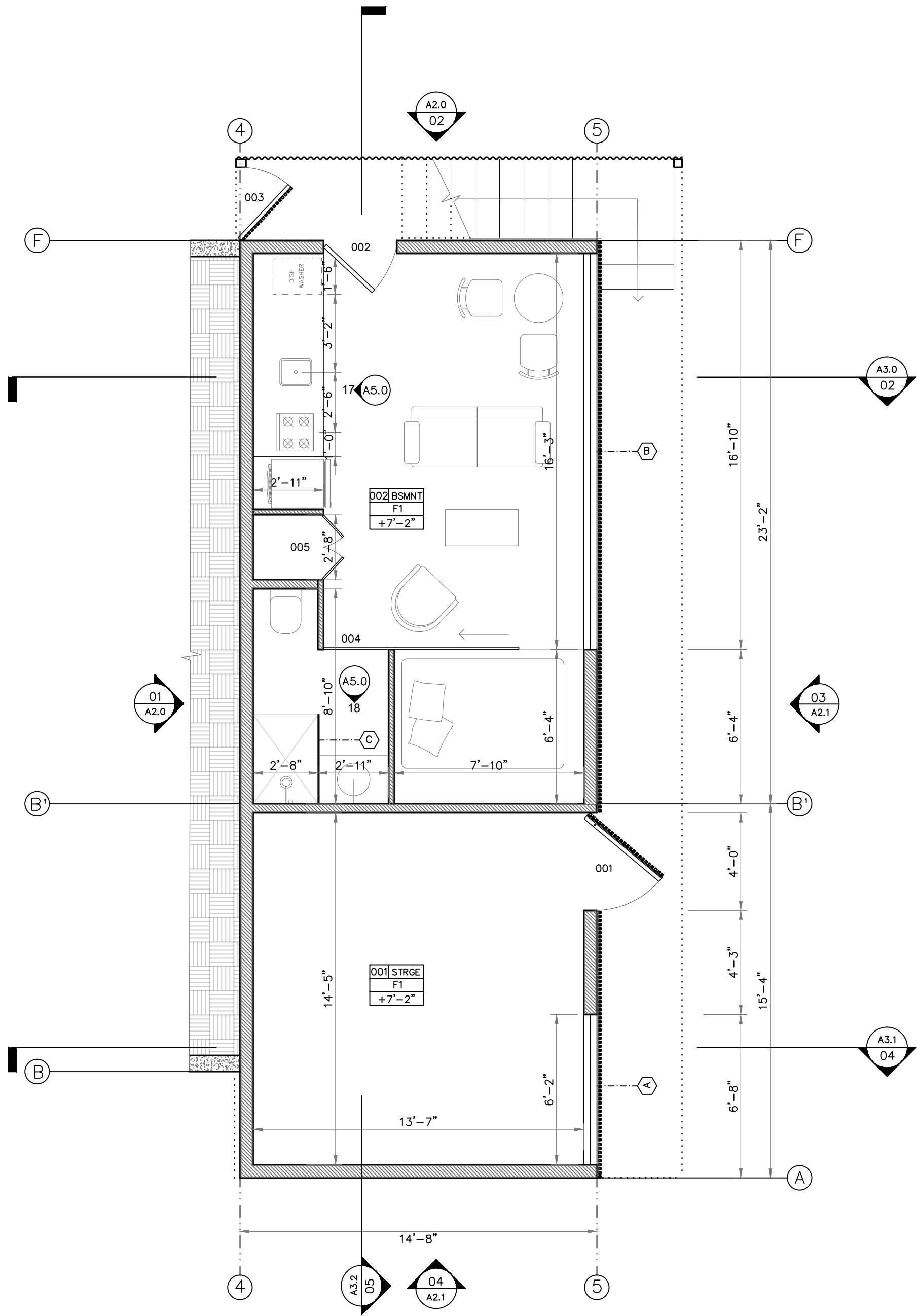
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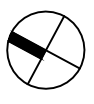
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Drawing: FLOOR PLAN 02

A1.1



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 BASEMENT PLAN 01
SCALE: 1/4"=1'-0"

Project:

611
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AUSTIN , TX

Stamp:



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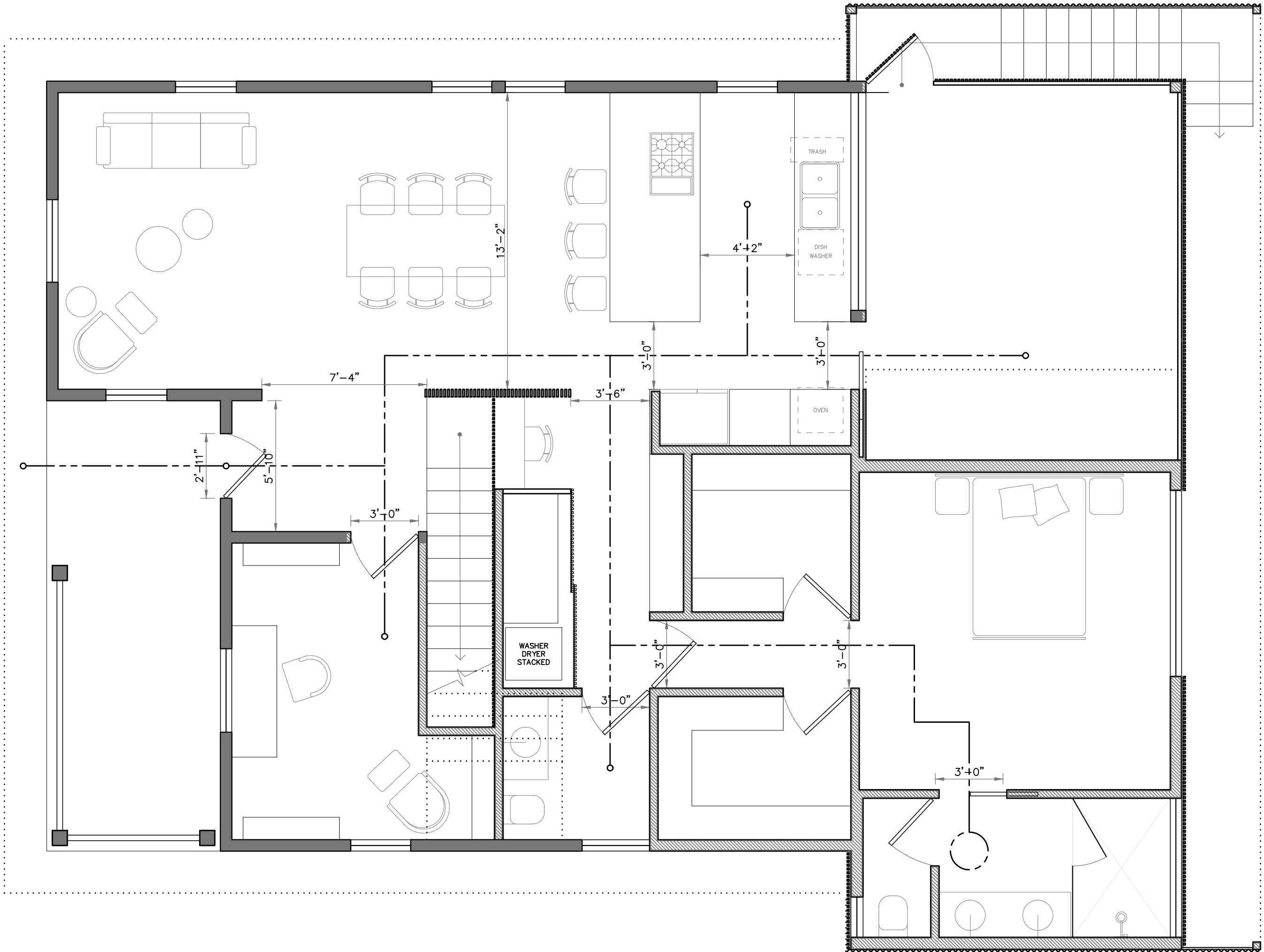
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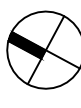
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Total Sheet Sets:

Drawing: BASEMENT FLOOR PLAN

A1.2



 VISITABILITY PLAN **01**
SCALE: 1/4"=1'-0"

Project:

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Drawn By: CH/CR	Total Sheet Sets:

Drawing: VISITABLE PLAN

A1.3



WINDOW SCHEDULE

KEY	WIDTH	HEIGHT	TYPE	GLAZING	FRAME	COLOR	MFR	U-FACTOR	SHGC	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	NOTES
A	6'-2"	3'-8 1/4"	FIXED/SLIDER	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (1) OPERABLE PANEL (THERMALLY BROKEN) TEMPERED PER CODE
B	16'-3 3/4"	3'-8 1/4"	FIXED/SLIDER	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (2) OPERABLE PANEL (THERMALLY BROKEN) TEMPERED PER CODE
C	3'-8"	7'-2 1/4"	FIXED/SLIDER	DUAL GLAZED	-	-	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED TEMPERED PER CODE
D	6'-2"	8'-0"	FIXED/SLIDER	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(2) PANELS FIXED (1) OPERABLE PANEL (THERMALLY BROKEN) TEMPERED PER CODE
E	8'-3"	8'-0"	FIXED/CASEMENT	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(2) PANELS FIXED (1) OPERABLE PANEL (THERMALLY BROKEN) TEMPERED PER CODE
F	9'-8"	4'-4"	FIXED/CASEMENT	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (2) OPERABLE PANEL (THERMALLY BROKEN) TEMPERED PER CODE
G	2'-8"	6'-5 1/2"	AWNING	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (1) OPERABLE PANEL (THERMALLY BROKEN) TEMPERED PER CODE
G'	2'-8"	6'-5 1/2"	AWNING	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (1) OPERABLE PANEL (THERMALLY BROKEN) REEDED GLASS
H	3'-8"	6'-5 1/2"	AWNING	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (1) OPERABLE PANEL (THERMALLY BROKEN) TEMPERED PER CODE
I	1'-4 1/2"	10'-4"	AWNING	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (THERMALLY BROKEN) TEMPERED PER CODE
J	6'-2"	6'-3 3/4"	FIXED	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(3) PANELS FIXED (THERMALLY BROKEN) TEMPERED PER CODE
K	8'-3"	10'-10 3/4"	FIXED/CASEMENT	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(3) PANELS FIXED (1) OPERABLE PANEL (THERMALLY BROKEN) TEMPERED PER CODE
L	5'-5 1/2"	8'-8 1/2"	FIXED/CASEMENT	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(2) PANELS FIXED (THERMALLY BROKEN) TEMPERED PER CODE
M	2'-9"	4'-6"	FIXED	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (THERMALLY BROKEN) TEMPERED PER CODE
N	2'-3 3/4"	2'-4 1/2"	FIXED	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (THERMALLY BROKEN) TEMPERED PER CODE
P	2'-2 1/2"	5'-1 1/4"	FIXED	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (THERMALLY BROKEN) TEMPERED PER CODE
Q	1'-4 1/2"	7'-0 1/2"	AWNING	DUAL GLAZED	ALUMINUM	ANODIZED BLACK	FLEETWOOD & MILGARD	.5	.25	XX/XX	XX/XX	XX/XX	(1) PANEL FIXED (THERMALLY BROKEN) TEMPERED PER CODE

NOTES

FIELD VERIFY ALL WINDOW DIMENSIONS

ALL ALUMINUM FRAMES TO BE CLEAR ANODIZED

ALL OPERABLE WINDOWS TO HAVE SCREENS

ALL INSULATED GLASS TO BE LOW-E

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
2. BOTTOM EDGE LESS THAN 18" ABOVE FLOOR.
3. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
4. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILS

E. GLAZING IN ENCLOSURES FOR OR FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE TO BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

F. GLAZING IN FENCES AND WALLS ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY MEASURED IN A STRAIGHT LINE OF THE WATERS EDGE.

G. GLAZING ADJACENT TO STAIRWAYS LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE.

H. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

Project:

611
OAKLAND AVE.
AUSTIN , TX

Stamp:

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	Date	Issue
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Owner:

XXXXXX
611 OAKLAND ST.
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Engineer:

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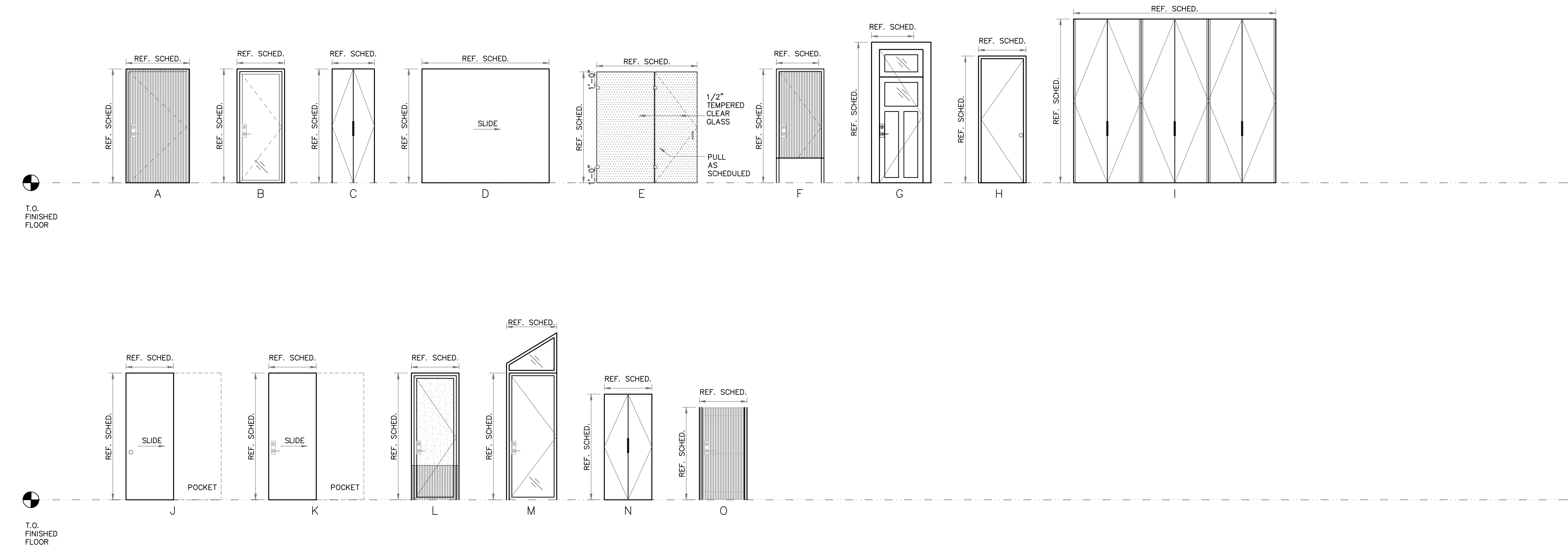
Start Date: XX-XX-2019

Drawn By: CH/CR

Total Sheet Sets:

Drawing: WINDOW SCHEDULE

A1.4



DOOR SCHEDULE

NUMBER	TYPE	WIDTH	HEIGHT	THICKNESS	DOOR MATERIAL	FRAME MATERIAL	HARDWARE SET	HINGES	DOOR STOP	HEAD DETAIL	DOOR HANDED	SILL DETAIL	NOTES
001	A	4'-0"	7'-2"	1-3/8"	ANODIZED BLACK	ANODIZED BLACK	BY OWNER	NA	NA	NA	RH	NA	EXTERIOR PIVOT DOOR AND FRAME
001	A	4'-0"	7'-2"	1-3/8"	ANODIZED BLACK	ANODIZED BLACK	BY OWNER	NA	NA	NA	RH	NA	EXTERIOR PIVOT DOOR AND FRAME
002	B	3'-0"	7'-2"	1-1/2"	GLASS	ANODIZED BLACK	BY OWNER	NA	NA	NA	RH	NA	EXTERIOR PRE-HUNG DOOR AND FRAME
003	F	3'-0"	7'-2"	1-3/8"	ANODIZED BLACK	ANODIZED BLACK	BY OWNER	NA	NA	NA	RH	NA	EXTERIOR PRE-HUNG DOOR AND FRAME
004	C	8'-1/4"	7'-2"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	NA	NA	INTERIOR SLIDER
005	D	2'-8"	7'-2"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	DD	NA	PRE-HUNG DOOR AND FRAME
101	G	2'-9"	8'-5"	-	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	RH	NA	PRE-HUNG DOOR AND FRAME
102	H	3'-0"	8'-0"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	LH	NA	PRE-HUNG DOOR AND FRAME
103	I	12'-9"	10'-4"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	DD	NA	PRE-HUNG DOOR AND FRAME
104	H	3'-0"	8'-0"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	LH	NA	PRE-HUNG DOOR AND FRAME
105	H	3'-0"	8'-0"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	RH	NA	PRE-HUNG DOOR AND FRAME
106	H	3'-0"	8'-0"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	LH	NA	PRE-HUNG DOOR AND FRAME
107	H	3'-0"	8'-0"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	RH	NA	PRE-HUNG DOOR AND FRAME
108	J	3'-0"	8'-0"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	NA	NA	PRE-HUNG DOOR AND FRAME
109	H	3'-0"	8'-0"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	RH	NA	PRE-HUNG DOOR AND FRAME
110	E	2'-8"	7'-2"	1/2"	TEMPERED SHOWER GLASS	ANODIZED BLACK	BY OWNER	NA	NA	NA	LH	NA	TEMPERED GLASS SHOWER DOOR - SITE MEASURE
111	K	3'-0"	8'-0"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	NA	NA	PRE-HUNG DOOR AND FRAME
112	L	3'-0"	8'-0"	1-3/8"	ANODIZED BLACK	ANODIZED BLACK	BY OWNER	NA	NA	NA	LH	NA	EXTERIOR PRE-HUNG DOOR AND FRAME
201	M	3'-0"	8'-0"	1-1/2"	GLASS	ANODIZED BLACK	BY OWNER	NA	NA	NA	RH	NA	EXTERIOR PRE-HUNG DOOR AND FRAME
202	H	3'-0"	6'-8"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	LH	NA	PRE-HUNG DOOR AND FRAME
203	J	3'-0"	6'-8"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	NA	NA	PRE-HUNG DOOR AND FRAME
204	H	3'-0"	6'-8"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	RH	NA	PRE-HUNG DOOR AND FRAME
205	E	2'-8"	7'-2"	1/2"	TEMPERED SHOWER GLASS	ANODIZED BLACK	BY OWNER	NA	NA	NA	LH	NA	TEMPERED GLASS SHOWER DOOR - SITE MEASURE
206	H	3'-0"	6'-8"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	RH	NA	PRE-HUNG DOOR AND FRAME
207	H	3'-0"	6'-8"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	LH	NA	PRE-HUNG DOOR AND FRAME
208	J	2'-0"	6'-8"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	RH	NA	PRE-HUNG DOOR AND FRAME
209	H	3'-0"	6'-8"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	RH	NA	PRE-HUNG DOOR AND FRAME
210	N	3'-0"	6'-8"	1-3/8"	SOLD CORE WOOD	WOOD	BY OWNER	NA	NA	NA	DD	NA	PRE-HUNG DOOR AND FRAME
000	Q	3'-6"	5'-10"	1-3/8"	ANODIZED BLACK	ANODIZED BLACK	BY OWNER	NA	NA	NA	LH	NA	EXTERIOR GATE DOOR

DOOR NOTES:

REFER TO FLOOR PLANS FOR DIRECTION OF DOOR SWING- TYPICAL

ALL ACCESSIBLE DOORS TO BE 32" MIN WIDTH

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

- A. FIXED AND OPERABLE PANELS OF SWINGING SLIDING AND BIFOLD DOOR ASSEMBLIES.
- B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
- C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 2. BOTTOM EDGE LESS THAN 18" ABOVE FLOOR.
 3. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
 4. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
- D. GLAZING IN RAILS.
- E. GLAZING IN ENCLOSURES FOR OR FACING HOT TUBS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE TO BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- F. GLAZING IN FENCES AND WALLS ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY MEASURED IN A STRAIGHT LINE OF THE WATERS EDGE.
- G. GLAZING ADJACENT TO STAIRWAYS LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE.
- H. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

DOORS BETWEEN GARAGE AND DWELLING UNIT SHALL BE SELF CLOSING AND SELF LATCHING, SOLID WOOD OR SOLID HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8" THICK OR HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES.

Project:

611
OAKLAND AVE.
AUSTIN , TX

Stamp:

REGISTERED ARCHITECT
CRAIG R. HOVERMAN
28109
STATE OF TEXAS

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	Date	Issue
1	Oct. 14th	Certificate of appropriateness
2		
3		

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787XX

Engineer:

LOConsultants
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AUSTIN, TX 78704
512.499.0908

Designer:

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Job No.: 1065

Start Date: XX-XX-2019

Drawn By: CH/CR

Total Sheet Sets:

Drawing: DOOR SCHEDULE

A1.5



NORTHWEST ELEVATION 01
SCALE:1/4"=1'-0"

EXTERIOR FINISH SCHEDULE
NOTES

OWNER AND ARCHITECT TO
REVIEW COLOR & MATERIAL
SAMPLES PRIOR TO FINAL
INSTALL

EXTERIOR FINISH SCHEDULE

EX1 METAL ROOF

EX2 WOOD SIDING (EXISTING)

EX3 CORRUGATED CORTEN
STEEL

EX4 PERFORATED CORRUGATED
CORTEN STEEL

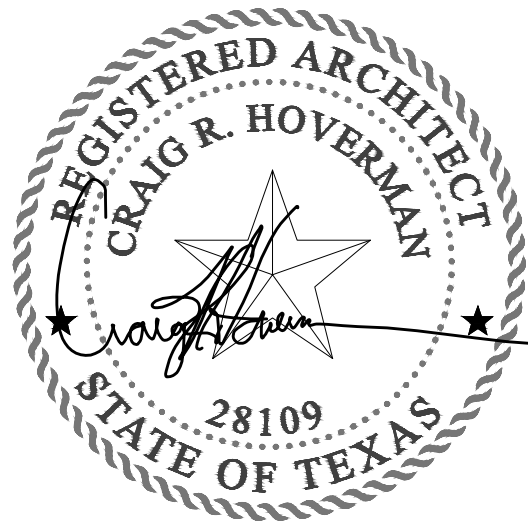
EX5 CORTEN STEEL RODS
(1"x1")

EX6 CONCRETE

Project:

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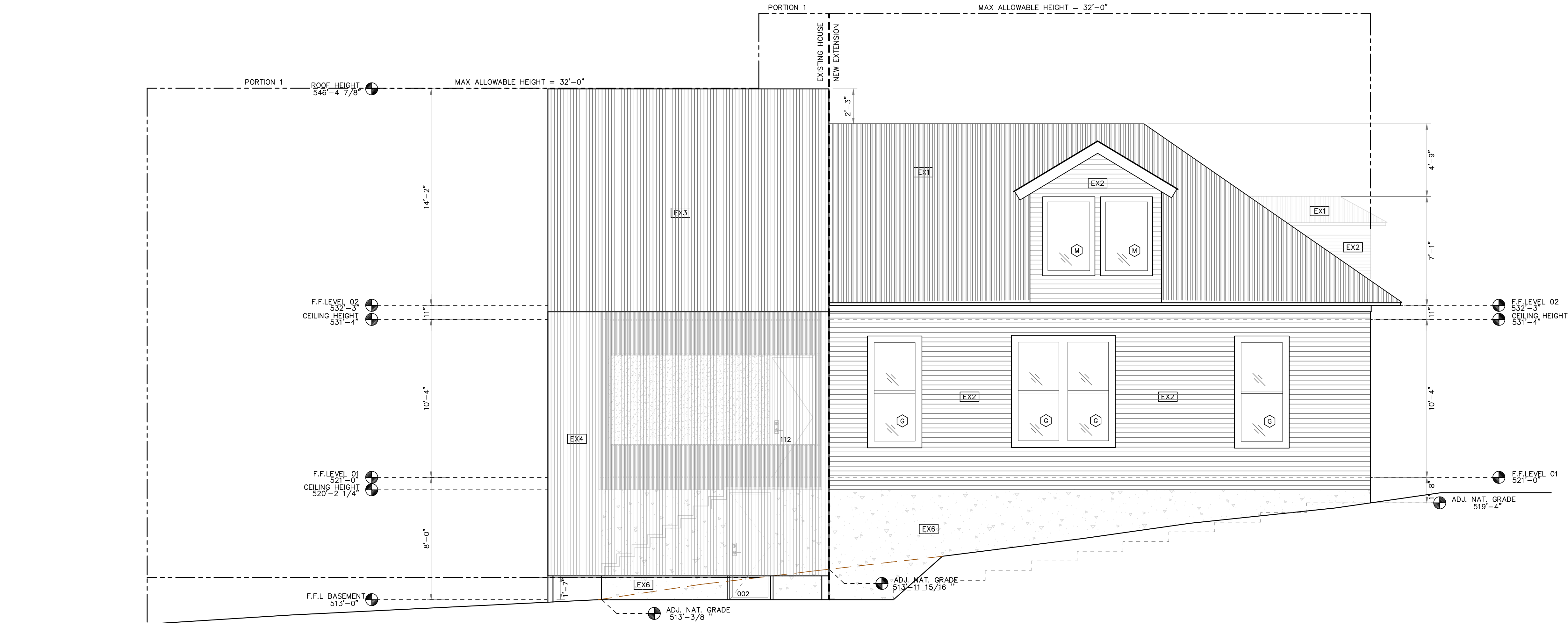
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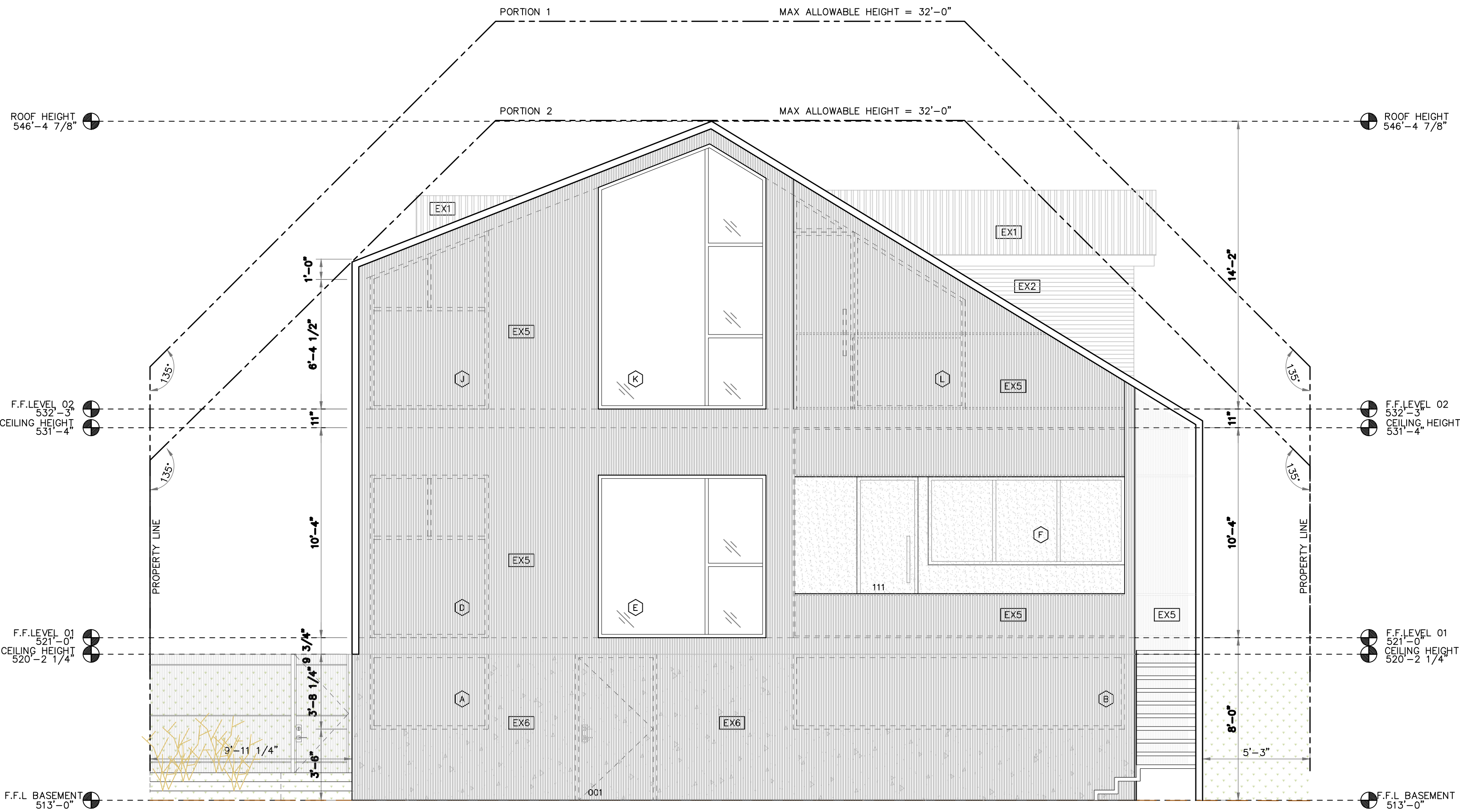
Job No.: 1065 Start Date: XX-XX-2019
Drawn By: CH/CR Total Sheet Sets:

Drawing: Elevations

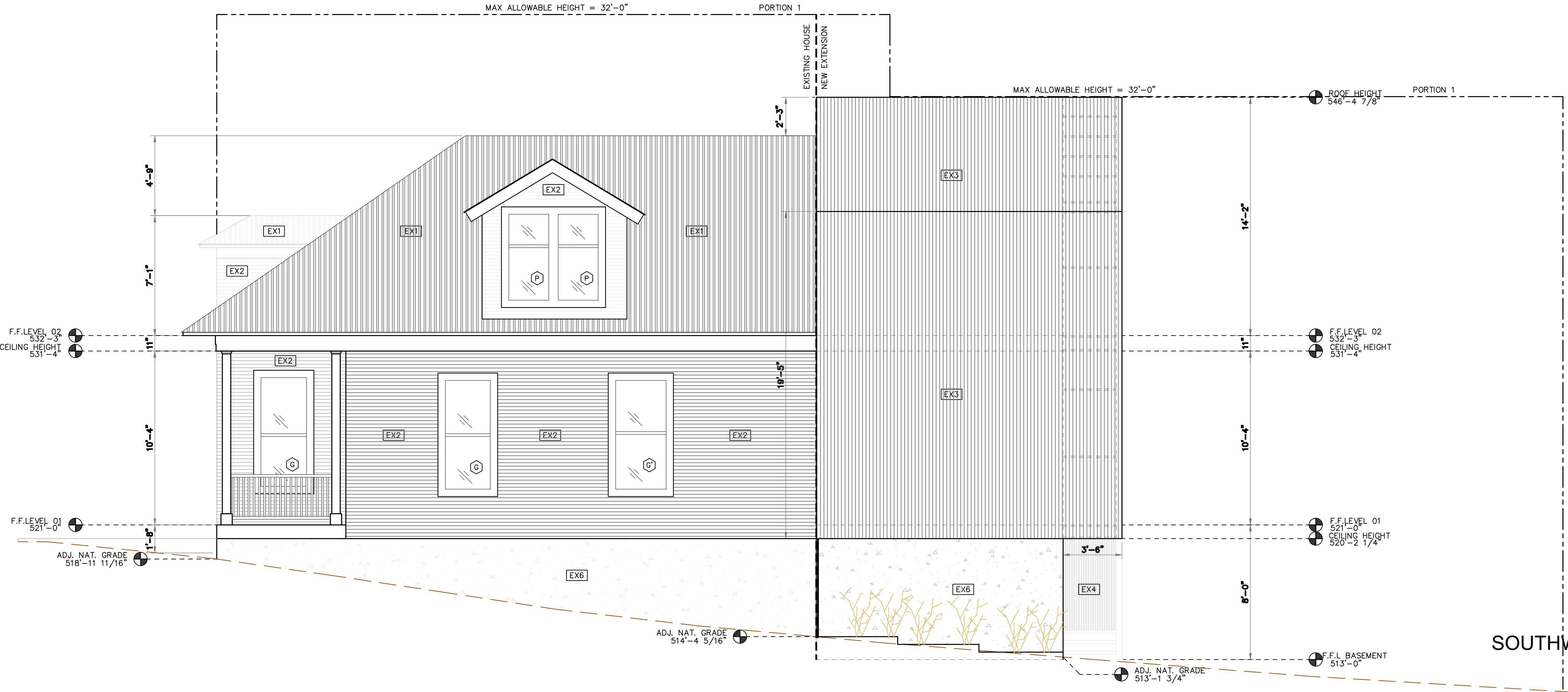
A2.0



NORTHEAST ELEVATION 02
SCALE:1/4"=1'-0"



SOUTHEAST ELEVATION 01
SCALE: 1/4"=1'-0"



SOUTHWEST ELEVATION 02
SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE
NOTES

OWNER AND ARCHITECT TO
REVIEW COLOR & MATERIAL
SAMPLES PRIOR TO FINAL
INSTALL

EXTERIOR FINISH SCHEDULE

- EX1 METAL ROOF
- EX2 WOOD SIDING (EXISTING)
- EX3 CORRUGATED CORTEN
STEEL
- EX4 PERFORATED CORRUGATED
CORTEN STEEL
- EX5 CORTEN STEEL RODS
(1"x1")
- EX6 CONCRETE

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A2.1