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2
3
4
5
6
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8
9
10
11
12
13
14
15

1806 TRAVIS HEIGHTS BLVD REMODEL/ADDITION



LEGAL DESCRIPTION:
LOT 11 BLK 21
TRAVIS HEIGHTS

ZONING: SF-3-NP

PROJECT SUMMARY:

TOTAL SITE: 6,847 SF

REMODEL AREA: 1,160 SF
ADDITION AREA: 708 SF
NEW DECK (100%): 721 SF

ZONING: SF-3-NP
WATERSHED: BLUNN CREEK
FLOODPLAIN: NO

BUILDING AREA

BLDG COVERAGE: 1,160 SF
NEW BLDG CVRG: 1,278 SF
18.67%

ALLOWABLE FAR: 2,739 SF

EXISTING FAR: 1,160 SF
EXISTING % FAR: 16.94 %

PROPOSED FAR: 1,868 SF
PROPOSED % FAR: 27.28 %

IMPERVIOUS COVER

ALLOWABLE I.C.: 3,081 SF

EXISTING I.C.: 2,502 SF
36.54%

PROPOSED I.C.: 2,601 SF
37.98 %

EXISTING FOOTPRINT: 1,140 SF
ADTL. FOOTPRINT: 118 SF
CONC. DRIVE/STAIRS: 636 SF
NEW DECK 754SF@50%: 377 SF
SET STONE WALL/EDGE: 192 SF
EXISTING CONC. WALL: 100 SF
2 AC PADS: 18 SF

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01 RENDERINGS

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SP2 SITE AREA TOTALS
SP3 FRONT YARD TOTALS

A.1.0 DEMO PLAN
A1.1 FLOOR PLANS
A1.2 ROOF PLAN
A1.3 FLOORING
A1.4 CEILING MTRLS
A1.5 LIGHTING
A1.6 POWER
A1.7 HVAC
A1.8 WINDOWS
A1.9 DOORS
A2.1 EXTERIOR ELVES
A2.2 EXTERIOR ELVES
A3.1 INTERIOR ELVES
A3.2 INTERIOR ELVES
A3.3 INTERIOR ELVES
A3.4 INTERIOR ELVES
A3.4 INTERIOR ELVES
A4.1 DETAILS

S0.0 STRUCTURAL NOTES
S1.0 FOUNDATION
S1.1 2ND/ROOF FRAMING
S2 DORMER FRAMING
S3.0 FRAMING DETAILS
S4.0 ROOF DETAILS
S4.1 TRUSS DETAILS
S5.0 BRACING/DECKING
S5.1 HEADER/STUD DTLS

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SMOKE DETECTOR SYSTEM: GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT TO BE EQUIPPED WITH AN APPROVED SMOKE DETECTOR SYSTEM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R314.
GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 3'-0" AWAY FROM HORIZONTAL PARTS OF MECHANICAL AIR FLOW, PER APPA 72 CHAPTER 11.
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ALL LANDSCAPING TO PROMOTE DRAINAGE AWAY FROM THE STRUCTURE & FOUNDATION. PROVIDE 3'-0" FENCING AND/OR MULCH SOCKS AT PERIMETER OF SITE.



RB ARCHITECT, PLLC



hollingsworth
pack
austin

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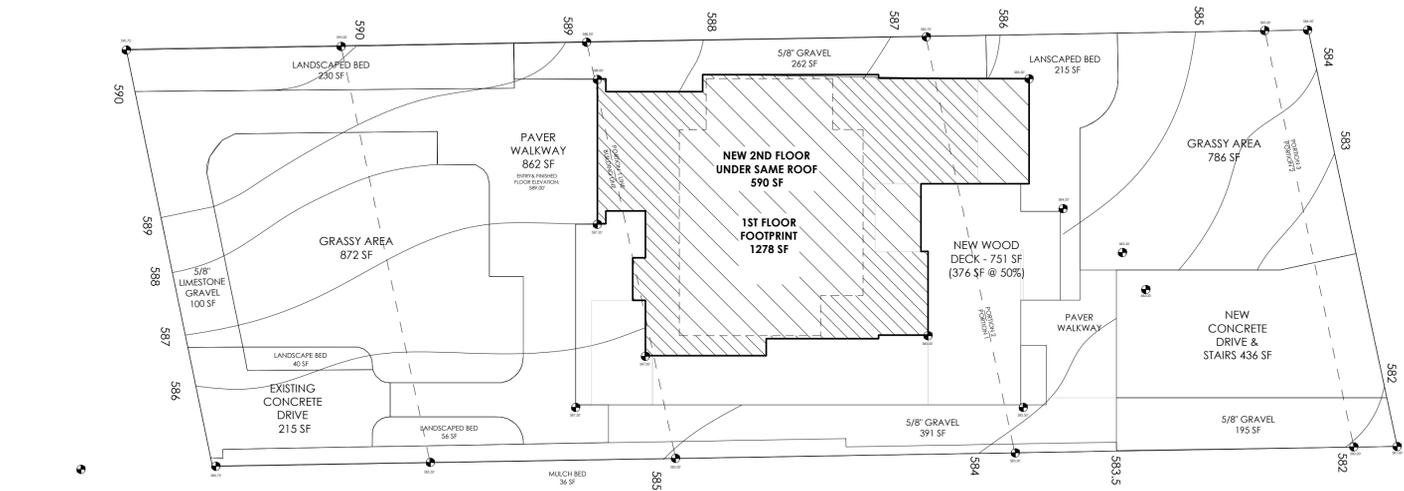
NEW REMODEL
1806 TRAVIS HEIGHTS BLVD
AUSTIN, TX 78704

DATE 8 / 14 / 20
REVI 10 / 15 / 20

SCALE

SHEET NAME

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SITE SUMMARY
SCALE: 1" = 10'-0"



LOCATION MAP
SCALE: N/A

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- A.3.3 INTERIOR ELEVS
- A.3.4 INTERIOR ELEVS
- A.4.1 INTERIOR ELEVS DETAILS

- S0.0 STRUCTURAL NOTES
- S1.0 FOUNDATION
- S1.1 2ND/ROOF FRAMING
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- S3.0 FRAMING DETAILS
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SMOKE DETECTOR SYSTEM: GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT TO BE EQUIPPED WITH AN APPROVED SMOKE DETECTOR SYSTEM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R314.

GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW PER NFPA 72 CHAPTER 11.

CARBON MONOXIDE ALARM: THE GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT BE EQUIPPED WITH AN APPROVED CARBON MONOXIDE ALARM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R315.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION - OR EQUIVALENT - AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

WATERPROOF ALL WATER/SPASH AREAS TO A MINIMUM OF 6" ABOVE FINISHED FLOOR.

INSULATE MEP LINES FOR SOUND CONTROL. EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

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PRICING SET

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NEW REMODEL

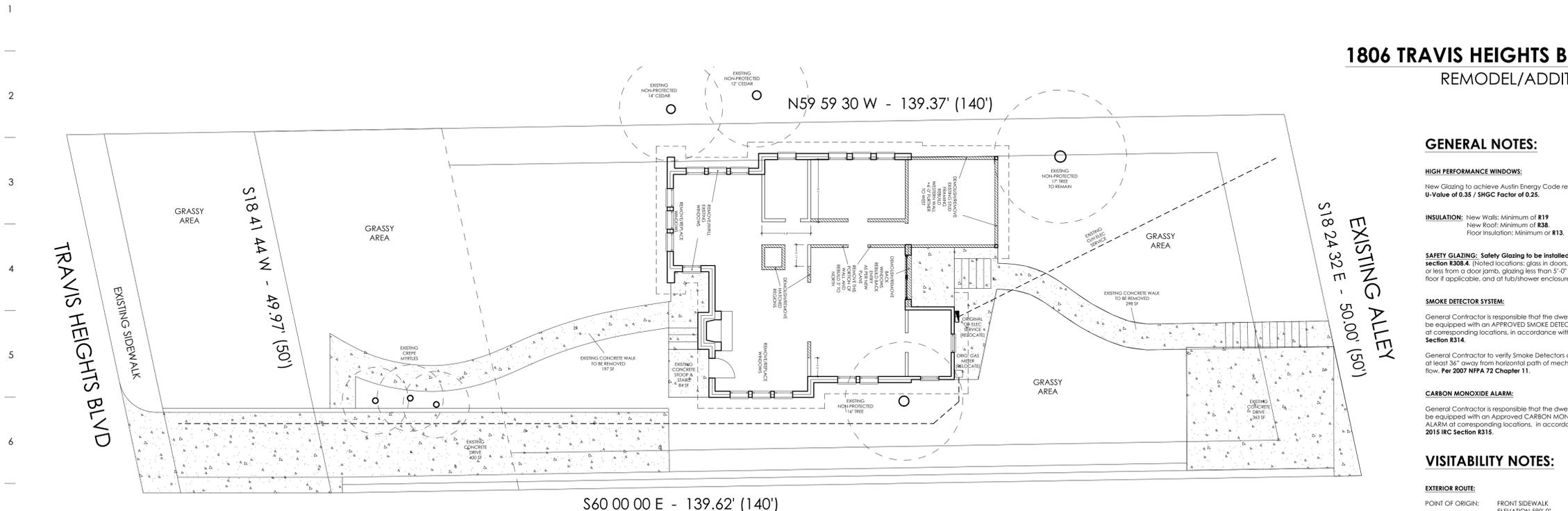
1806 TRAVIS HEIGHTS BLVD
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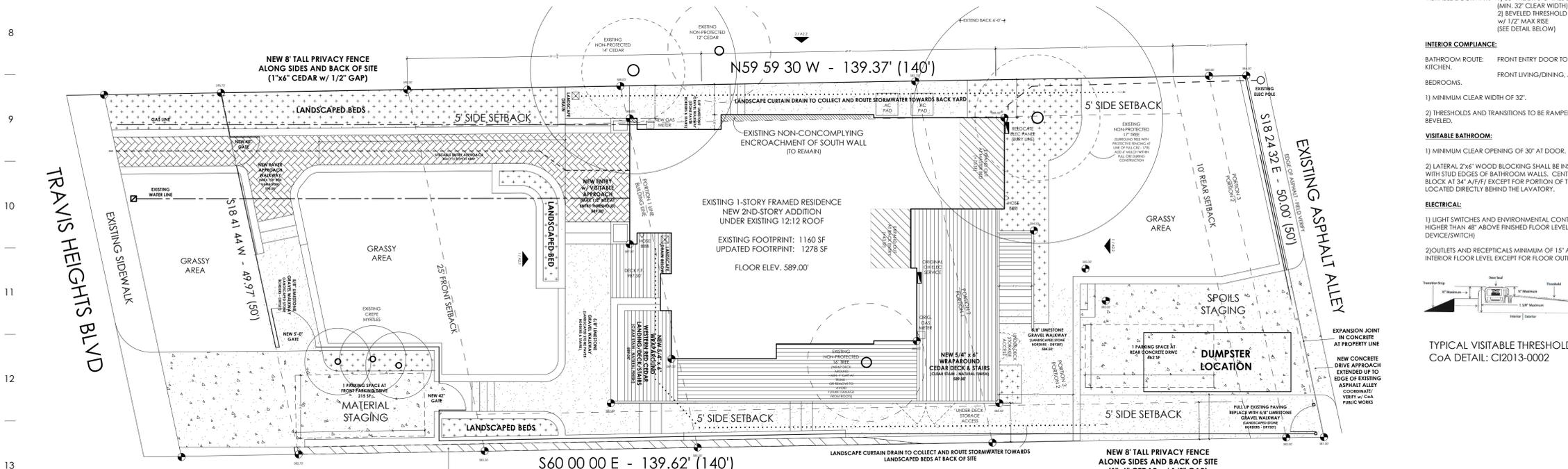
REV1 10 / 15 / 20

SCALE

SHEET NAME



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



2 NEW SITE PLAN
SCALE: 1/8" = 1'-0"

1806 TRAVIS HEIGHTS BLVD REMODEL/ADDITION

GENERAL NOTES:

HIGH PERFORMANCE WINDOWS:
New Glazing to achieve Austin Energy Code requirements:
U-Value of 0.35 / SHGC Factor of 0.25.

INSULATION: New Walls: Minimum of R19
New Roof: Minimum of R38
Floor Insulation: Minimum of R13.

SAFETY GLAZING: Safety Glazing to be installed as per IRC section R308.4. (Noted locations: glass in doors, windows 24" or less from a door jamb, glazing less than 5'-0" above tub floor if applicable, and at tub/shower enclosures.)

SMOKE DETECTOR SYSTEM:
General Contractor is responsible that the dwelling unit to be equipped with an APPROVED SMOKE DETECTOR system at corresponding locations, in accordance with 2015 IRC Section R314.

General Contractor to verify Smoke Detectors are located at least 36" away from horizontal path of mechanical air flow. Per 2007 NFPA 72 Chapter 11.

CARBON MONOXIDE ALARM:
General Contractor is responsible that the dwelling unit to be equipped with an Approved CARBON MONOXIDE ALARM at corresponding locations, in accordance with 2015 IRC Section R315.

VISITABILITY NOTES:

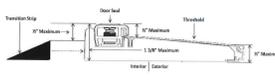
EXTERIOR ROUTE:
POINT OF ORIGIN: FRONT SIDEWALK ELEVATION 590'-0"
VISIBLE ENTRANCE: FRONT ENTRY DOOR LANDING ELEV: 589'-0"
VISIBLE ROUTE: WALK FROM FRONT SIDEWALK TO FRONT DOOR: 73'-0" LENGTH MAX. SLOPE 1:12 / 8.3%

VISIBLE DOORWAY: 1) 36" WIDE x 6'-8" TALL DOOR (MIN. 32" CLEAR WIDTH)
2) BEVELED THRESHOLD w/ 1/2" MAX RISE (SEE DETAIL BELOW)

INTERIOR COMPLIANCE:
BATHROOM ROUTE: FRONT ENTRY DOOR TO BATH 1, KITCHEN, FRONT LIVING/DINING, AND BEDROOMS.
1) MINIMUM CLEAR WIDTH OF 32".
2) THRESHOLDS AND TRANSITIONS TO BE RAMPED OR BEVELED.

VISIBLE BATHROOM:
1) MINIMUM CLEAR OPENING OF 30" AT DOOR.
2) LATERAL 2"x6" WOOD BLOCKING SHALL BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS. CENTERLINE OF BLOCK AT 34" A/F/F/ EXCEPT FOR PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY.
AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

ELECTRICAL:
1) LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE FINISHED FLOOR LEVEL. (TO TOP OF DEVICE/SWITCH)
2) OUTLETS AND RECEPTALS MINIMUM OF 15" ABOVE INTERIOR FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS.



TYPICAL VISITABLE THRESHOLD
CoA DETAIL: C12013-0002

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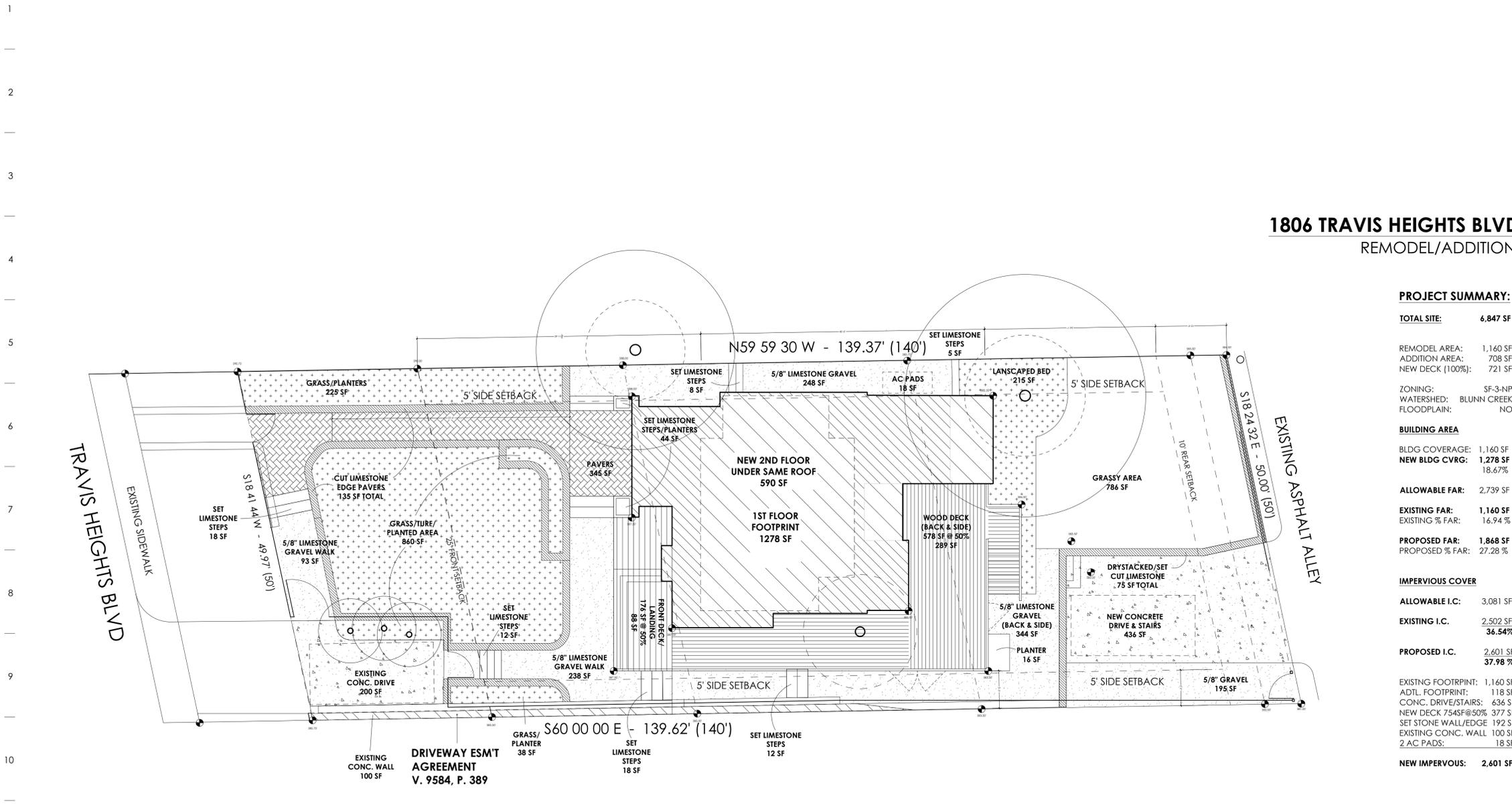
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NEW SITE PLAN - PERVIOUS / IMPERVIOUS COVER

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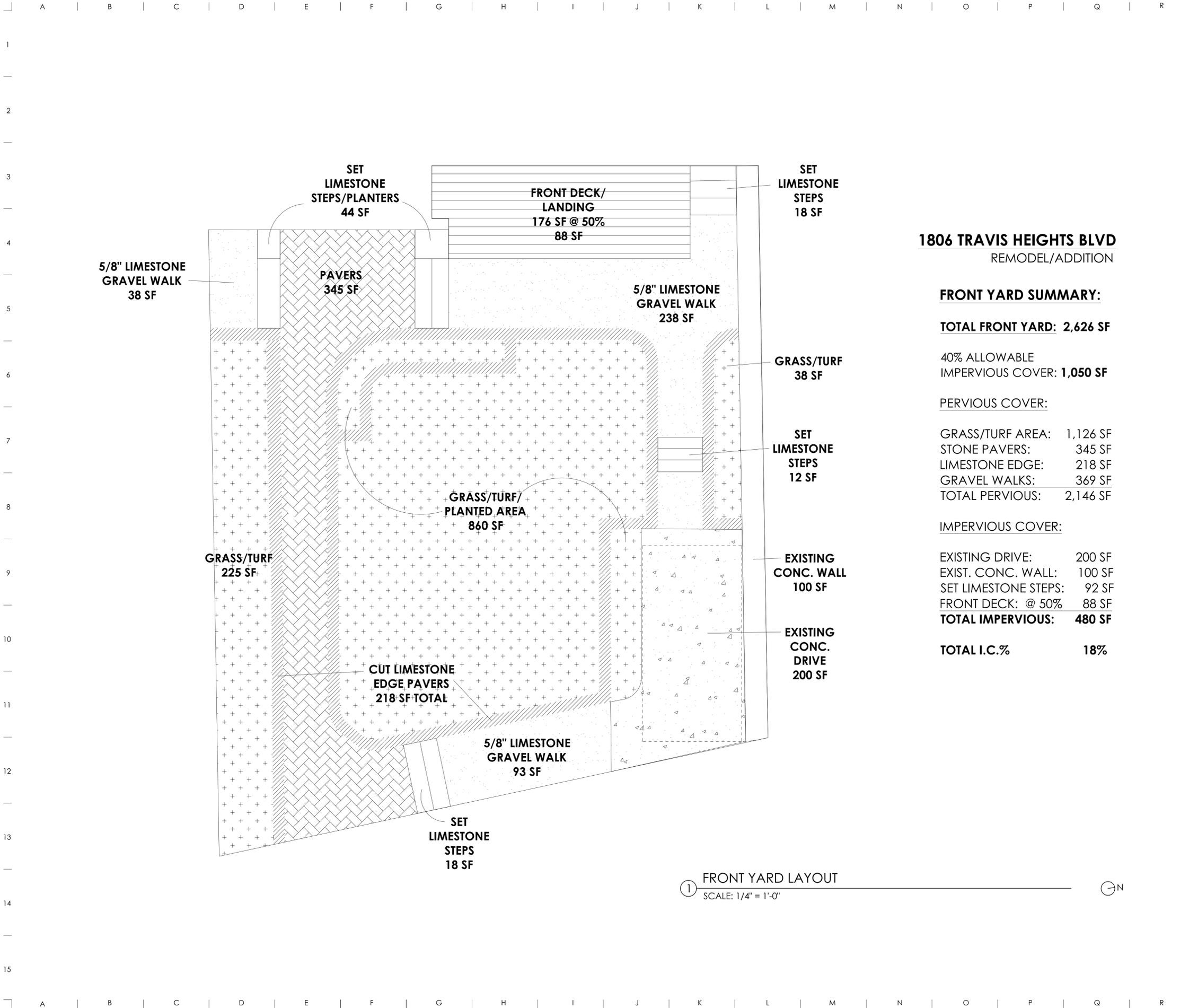
NEW REMODEL
1806 TRAVIS HEIGHTS BLVD
AUSTIN, TX 78704

| | |
|------|--------------|
| DATE | 8 / 14 / 20 |
| REV1 | 10 / 15 / 20 |

SCALE _____
SHEET NAME _____

SP2

A B C D E F G H I J K L M N O P Q R



1 FRONT YARD LAYOUT
SCALE: 1/4" = 1'-0"

1806 TRAVIS HEIGHTS BLVD
REMODEL/ADDITION

FRONT YARD SUMMARY:

TOTAL FRONT YARD: 2,626 SF

40% ALLOWABLE
IMPERVIOUS COVER: **1,050 SF**

PERVIOUS COVER:

| | |
|------------------------|-----------------|
| GRASS/TURF AREA: | 1,126 SF |
| STONE PAVERS: | 345 SF |
| LIMESTONE EDGE: | 218 SF |
| GRAVEL WALKS: | 369 SF |
| TOTAL PERVIOUS: | 2,146 SF |

IMPERVIOUS COVER:

| | |
|--------------------------|---------------|
| EXISTING DRIVE: | 200 SF |
| EXIST. CONC. WALL: | 100 SF |
| SET LIMESTONE STEPS: | 92 SF |
| FRONT DECK: @ 50% | 88 SF |
| TOTAL IMPERVIOUS: | 480 SF |

TOTAL I.C.% 18%

NOTES:

GENERAL CONTRACTOR NOTES:

THE GENERAL CONTRACTOR (GC) SHALL FULLY COMPLY WITH THE LOCAL GOVERNING CODES, INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

THE GC SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, & REGULATIONS. THE GC SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GC SHALL FAMILIARIZE HIMSELF WITH THE CONSTRUCTION DOCUMENTS AND NOTIFY THIS OFFICE OF ANY DISCREPANCY THAT THEY MAY IDENTIFY OR ANY ITEM NEEDING FURTHER ATTENTION. DIMENSIONS SHOWN ARE TO FACE OF FINISHED MATERIALS.

THE GC SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GC IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS. THE GC SHALL NOTIFY THIS OFFICE OF ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THIS TO CARRY OUT WORK IN ACCORDANCE WITH THE CDS. ANY DEFECT OR DISCREPANCY FOUND WITH THE CDS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE PRIOR TO PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE GC.

SAFETY GLAZING: ALL HAZARDOUS GLASS MUST BE IN ACCORDANCE WITH 2015 IRC SECTION R308.4. NOTED LOCATIONS: GLASS IN DOORS, WINDOWS 2' OR LESS FROM DOOR JAMBS, GLAZING LESS THAN 5'0" ABOVE FLOOR, AND SHOWER OR TUB ENCLOSURES.

SMOKE DETECTOR SYSTEM- GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT TO BE EQUIPPED WITH AN APPROVED SMOKE DETECTOR SYSTEM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R314.

GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 3' AWAY FROM HORIZONTAL PAIR OF MECHANICAL AIR FLOW. PER NFPA 72 CHAPTER 11.

CARBON MONOXIDE ALARM: THE GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT BE EQUIPPED WITH AN APPROVED CARBON MONOXIDE ALARM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R315.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION - OR EQUIVALENT - AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER ESD, CAVITIES AND MROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

WATERPROOF ALL WATER/SPASH AREAS TO A MINIMUM OF 6" ABOVE FINISHED FLOOR.

INSULATE MEP LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

ALL LANDSCAPING TO PROMOTE DRAINAGE AWAY FROM THE STRUCTURE & FOUNDATION. PROVIDE Silt Fencing AND/OR MULCH SOCKS AT PERIMETER OF SITE.



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hollingsworth pack austin

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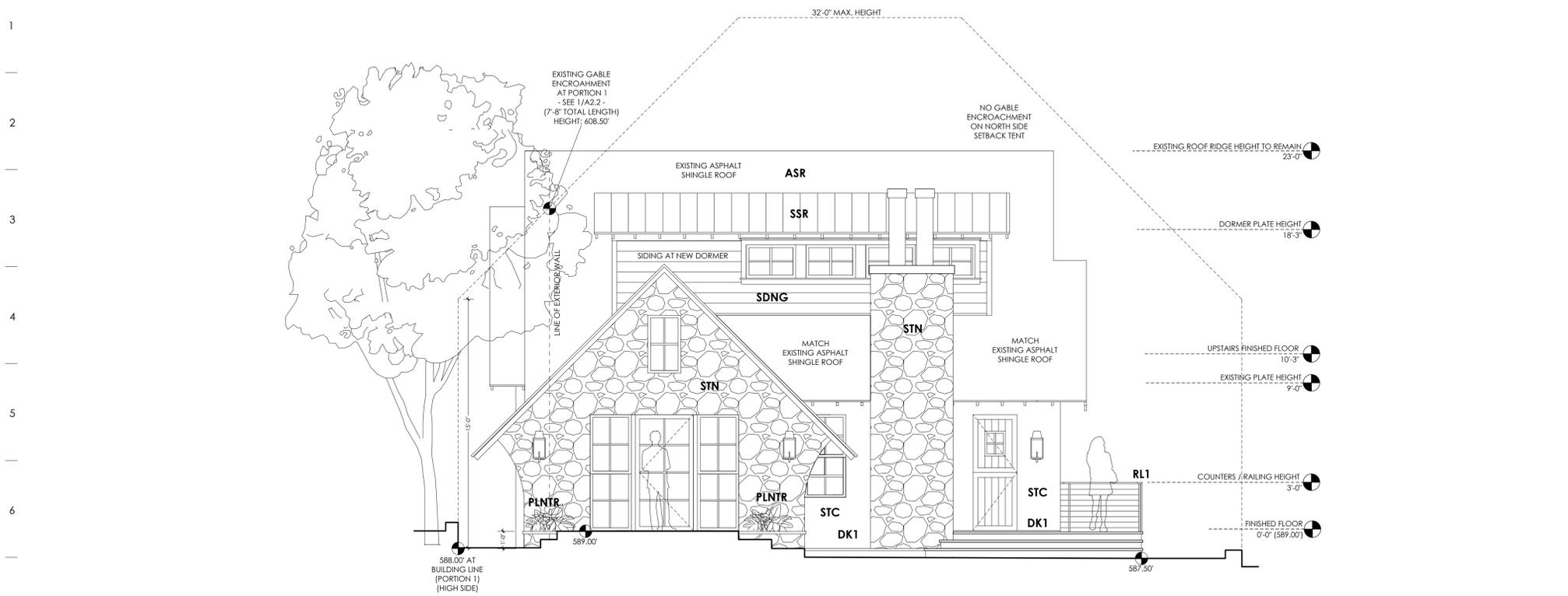
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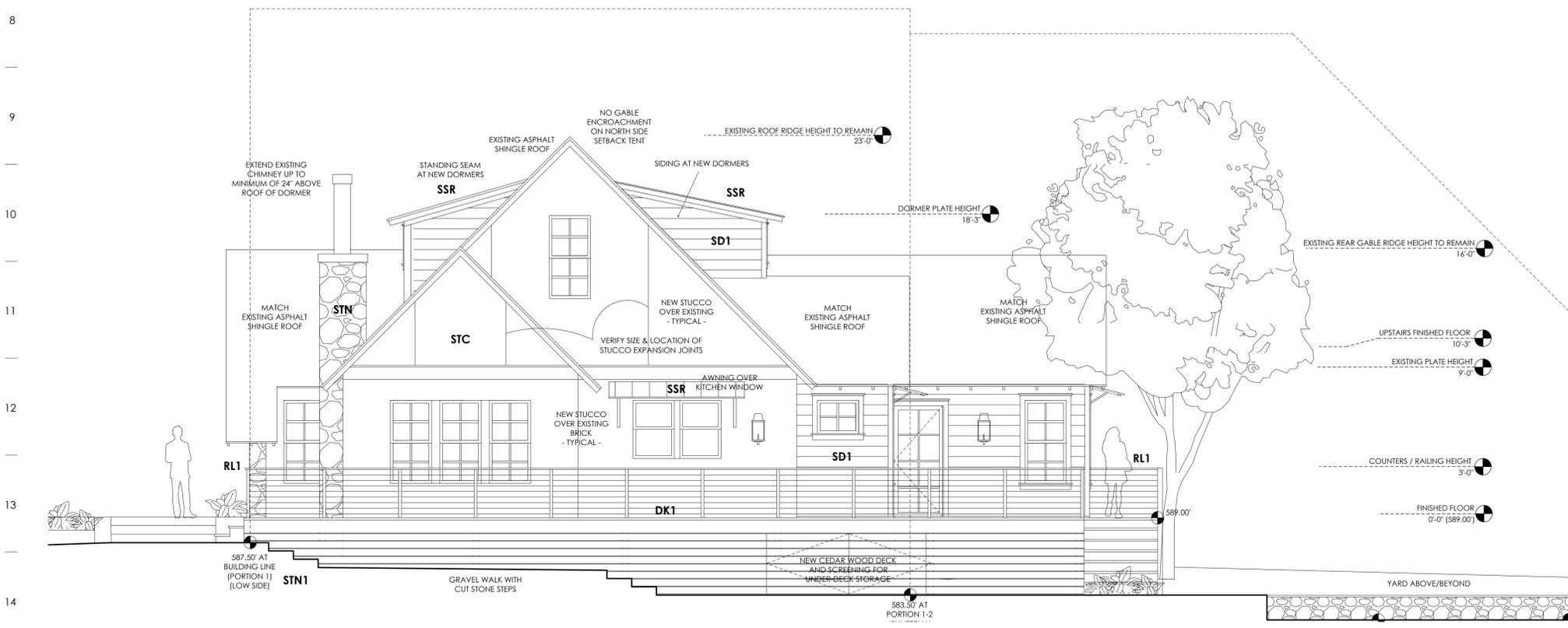
SCALE _____
SHEET NAME _____

SP3

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R



1 EXISTING/NEW FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 UPDATED SIDE (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R

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EMULIST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

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MATERIAL NOTES

EXTERIOR FINISHES:

** ALL EXPOSED WOOD TO BE CLEAR HEART NO.2 OR BETTER (KILN DRIED TO 16-18%)

- CNC CONCRETE DRIVE/STAIRS SALTED NON-SLIP FINISH
- DK1 5/4" x 6" WR CEDAR DECKING w GAP (CLEAR SEALER - NATURAL FINISH)
- ASR ASPHALT SHINGLE ROOF (MATCH EXISTING)
- SSR STANDING SEAM METAL (1" SEAM - CHARCOAL)
- STC NEW STUCCO EXTERIOR (TYPICAL 3-COAT - HAND-TROUDED)
- STN EXISTING EXTERIOR STONE TO BE WHITE-WASHED/ SLURRY-COATED
- SD1 LAP SIDING MATCH EXISTING AND/OR REPLACE WITH EQUIVALENT (PAINTED - COLOR TBD)
- RL1 1/2" x 3" FLATBAR STEEL VERTICAL POSTS w/ 1/2" x 1/2" SQUARE BAR TACK-WELDED TO OUTSIDE OF FLATBAR POSTS (RE: STRUCTURAL/MAX. 4' OPENING)

- WD1 1"x10" WOOD SOFFIT (EXISTING - MATCH) PAINT-GRADE PINE/FIR (REPAIR OR REPLACE AS NEEDED) (REPLACEMENT/NEW SOFFIT MATERIAL LOCATED WITHIN THE SETBACK TO BE 1HR FIRE RATED ASSEMBLY/MATERIAL)
- WD2 1"x4" HANDRAIL TOPPER VG/CLEAR HEART WESTERN RED CEDAR (CLEAR COAT SEALER - NATURAL FINISH)

- STN1 CUT STONE WALKS/STAIRS (FLAGSTONE/LEUTERS/PAVERS)
- PLNTR LANDSCAPED BEDS 12" CUT LIMESTONE CAPS w/ DRYSTACK CUT STONE TO MATCH EXISTING - (MORTAR AT BACK OF COURSE IF NEEDED - PROVIDE ADEQUATE WEEP AND DRAINAGE)

- CASE TRIM: 1x4 TO MATCH SIDING (PAINT TO MATCH)
- CASE TOP ACCENT TRIM:

- DOUBLE STEPPED CROWN CAP (1x2 + RIPPED 1x4 STEPPED CASE CAPS OR ALTERNATE CAP PROFILE TBD WITH OWNER)
- SILLS/STOOLS: 2x THICKNESS w 1x4 APRON SLOPE AWAY FROM WINDOW (PAINT TO MATCH)

- FLASH ALL WINDOWS/DOORS AS PER MANUFACTURER SPECS.
- GUTTERS: 5K-STYLE METAL GUTTERS w/ ROUND DOWNSPOUTS AS SHOWN ON ROOF PLAN (A1.2) (BRONZE TO MATCH WINDOWS)



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