



CITY OF AUSTIN  
**Development**  
 SERVICES DEPARTMENT

Residential Review – One Texas Center  
 505 Barton Springs Road, Austin, TX 78704; Phone 3-1-1

## Residential New Construction and Addition Permit Application

### Property Information

Project Address: 4509 BALCONES DR.	Tax Parcel ID: <b>124633</b>
Legal Description: LOT 5, BLOCK M, BALCONES PART ADDITION SUBDIVISION, SECTION FIVE	
Zoning District: SF-3	Lot Area (sq ft): 29,185.00
Neighborhood Plan Area (if applicable):	Historic District (if applicable):

### Required Reviews

Is project participating in <b>S.M.A.R.T. Housing</b> ? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a <b>Green Building</b> requirement? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an <b>Airport Overlay Zone</b> ? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (If yes, approval through Aviation is required)	Does this site have a <b>septic system</b> ? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (If yes, submit a copy of approved septic permit. <b>OSSF review</b> required)
Does the structure exceed <b>3,600 square feet</b> total under roof? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (If yes, Fire review is required)	Is this property within 200 feet of a <b>hazardous pipeline</b> ? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (If yes, Fire review is required)
Is this site located within an <b>Erosion Hazard Zone</b> ? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (If yes, EHZ review is required)	Is this property within 100 feet of the <b>100-year floodplain</b> ? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (Proximity to floodplain may require additional review time.)
Are there trees <b>19" or greater in diameter on/adjacent</b> to the property? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N If yes, how many? <u>2</u> (Provide plans with a tree survey, <b>tree review</b> required.)	
Was there a pre-development consultation for the Tree Review? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	Proposed impacts to trees: (Check all that apply) <input checked="" type="checkbox"/> Root zone <input type="checkbox"/> Canopy <input type="checkbox"/> Removal <input checked="" type="checkbox"/> None/Uncertain
Is this site in the <b>Capital View Corridor</b> ? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (If yes, a preliminary review through land use is needed to determine if full view corridor review is required.)	Is this site within the <b>Residential Design and Compatibility Standards Ordinance Boundary Area</b> ? (LDC 25-2 Subchapter F) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Does this site currently have: water availability? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N wastewater availability? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)
Does this site have or will it have an auxiliary water source? (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N (If yes, submit approved auxiliary and potable plumbing plans.)
Does this site require a <b>cut or fill</b> in excess of four (4) feet? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	(If yes, contact the Development Assistance Center for a Site Plan Exemption)
Is this site within the Waterfront Overlay? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (Public Works approval required to take access from a public alley.)
Does this site have a <b>Board of Adjustment (BOA) variance</b> ? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Case # _____ (if applicable) (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

### Description of Work

Is Total New/Added Building Area > 5,000 sq. Ft.? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	(If yes, construction material recycling is required per LDC 25-11-39)
Existing Use: vacant <input checked="" type="checkbox"/> single-family residential duplex residential two-family residential other: _____	
Proposed Use: vacant <input checked="" type="checkbox"/> single-family residential duplex residential two-family residential other: _____	
Project Type: new construction addition <input checked="" type="checkbox"/> addition/remodel other: _____	
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N (Notes: Removal of all or part of a structure requires a Demolition Permit Application per LDC 25-11-37. A demo permit is not required for the removal of all or part of an interior wall, floor or ceiling)	
# existing bedrooms: 3	# bedrooms upon completion: 3
# baths existing: 2.0	# baths upon completion: 2.0

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

**Studio addition with bathroom and laundry.**

Trades Permits Required (Check as applicable):  electric  plumbing  mechanical (HVAC)  concrete (R.O.W.)

**Total Remodeled Floor Area (if applicable)**

165 sq ft. (work within existing habitable square footage)

**Job Valuation – For Properties in a Floodplain Only**

Total Job Valuation: \$ <u>300,000.00</u>  Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.	Amount for Primary Structure: \$ <u>300,000.-</u> Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N
	Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N

**Site Development Information**

Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing sq. ft. to Remain		New/Added sq. ft.		Total sq. ft.	
	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2
a) 1 <sup>st</sup> Floor conditioned area	1,492		806		2,298	0
b) 2 <sup>nd</sup> Floor conditioned area					0	0
c) 3 <sup>rd</sup> Floor conditioned area					0	0
d) Basement					0	0
e) Covered parking (garage or carport)	398				398	0
f) Covered patio, deck, porch, and/or balcony area(s)	242				242	0
g) Other covered or roofed area	250				250	0
h) Uncovered wood decks	437				437	0
<b>Total Building Area (total a through h)</b>	<b>2,819</b>	<b>0</b>	<b>806</b>	<b>0</b>	<b>3,625</b>	<b>0</b>
i) Pool	111				111	0
j) Spa	24				24	0
k) Remodeled Floor Area, excluding Addition / New Construction	327				327	0

**The Calculation Aid on page 7 is to be used to complete the following calculations and to provide additional information.**

**Building Coverage Information**

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Total Building Coverage (sq ft): 3,515.00 % of lot size: 12

**Impervious Cover Information**

Note: Impervious cover is the total horizontal area of covered spaces including building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)

Total Impervious Cover (sq ft): 11,621.00 % of lot size: 40

**Setbacks**

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y  N

Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y  N

Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y  N

**Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)**      **Parking (LDC 25-6 Appendix A & 25-6-478)**

Building Height: 15 ft 1 in      Number of Floors: 1      # of spaces required: 2      # of spaces provided: 2

**Right-of-Way Information**

Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y  N

\*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y  N

Width of approach (measured at property line): \_\_\_\_\_ ft      Distance from intersection (for corner lots only): \_\_\_\_\_ ft

Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y  N  
 (If driveway is located within 10 feet of driveway, Drainage review is required)

Subchapter F					
Gross Floor Area					
This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.					
	Existing sq. ft. to remain	New/Added sq. ft.	Proposed Exemption (check article utilized)	Applied Exemption sq. ft.	Total sq. ft.
1 <sup>st</sup> Floor	1,819	806			2,625
2 <sup>nd</sup> Floor					0
3 <sup>rd</sup> Floor					0
Area w/ ceilings > 15'			Must follow article 3.3.5		0
Ground Floor Porch <sup>1</sup> (check article utilized)			<input type="checkbox"/> Full Porch sq. ft. (3.3.3.A) <input type="checkbox"/> 200 sq. ft. (3.3.3 A 2)		0
Basement <sup>4</sup>			Must follow article 3.3.3B, see note below		0
Attic <sup>5</sup>			Must follow article 3.3.3C, see note below		0
Garage <sup>2</sup> (check article utilized)	Attached	398	<input checked="" type="checkbox"/> 200 sq. ft. (3.3.2 B 1)	200	198
	Detached		<input type="checkbox"/> 450 sq. ft. (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq. ft. (3.3.2 B 2a / 2b)		0
Carport <sup>2</sup> : (check article utilized)	Attached		<input type="checkbox"/> 450 sq. ft. (3.3.2 A 3) <input type="checkbox"/> 200 sq. ft. (3.3.2 B 1) <sup>3</sup>		0
	Detached		<input type="checkbox"/> 450 sq. ft. (3.3.2 A 1)		0
Accessory Building(s) (detached)					0
Totals	2,217	806	TOTAL GROSS FLOOR AREA		2,823
(Total Gross Floor Area ÷ Lot Area) x 100 = <u>10</u> Floor-To-Area Ratio (FAR)					
Is a sidewall articulation required for this project?      Y <input checked="" type="checkbox"/> N (Yes, if a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)					
Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")?      Y <input checked="" type="checkbox"/> N (If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)					
<p>1 <b>Ground Floor Porch exemption:</b> A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.</p> <p>2 <b>Garage and carport exemptions (in relation to primary structure):</b> Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."</p> <p>3 Ordinance article 3.3.2 B 1 is 200 sq. ft. exemption may be combined with a 450 sq. ft. exemption. Otherwise only one 450 exemption or one 200 sq. ft. exemption may be taken.</p> <p>4 <b>Basement exemption:</b> A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.</p> <p>5 <b>Habitable Attic exemption:</b> A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area over 5 feet has a ceiling height of seven feet or less.</p>					

Contact Information			
Owner	Carla Tremblay	Applicant/Agent	Ken Burger - Wilmington-Gordon
Mailing Address	4509 Balcones Dr	Mailing Address	1209 W. 49th St 78756
Phone		Phone	512-454-7070
Email		Email	accounting@wilmingtongordon.com
General Contractor	Wilmington-Gordon Inc	Design Professional	Nick Deaver
Mailing Address	1209 W. 49th St 78756	Mailing Address	606 Highland Ave 78703
Phone	512-454-7070	Phone	512-494-9808
Email	accounting@wilmingtongordon.com	Email	

**Authorization**

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.

I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction. Water services, meters, and wastewater cleanouts are not permitted within or beneath driveways or sidewalks. Private plumbing appurtenances will not be located in public right-of-way or public easements. Private plumbing lines will not cross lot lines.

I agree that this application is good for twelve (12) months after the date it is filed, and will expire if not approved for compliance within that time frame. If the application expires, a new submittal will be required and compliance with current code may be required.

I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate. I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.

As owner or authorized agent, my signature authorizes staff to visit and inspect the property for which this application is being submitted. I understand that without consent the review process may be delayed.

I also understand that if there is a septic system located on the property, I am required to complete an On-site Sewage Facility (a.k.a. an OSSF or septic system) application by contacting Austin Water at (512) 972-0050 or [ossf@austintexas.gov](mailto:ossf@austintexas.gov). This initiates the septic system permitting requirement needed to proceed with the development review process.

Erosion and Sedimentation Controls are required per Section 25-8-181 of the LDC. **Failure to comply with this requirement may result in a Stop Work Order and/or legal action by the City of Austin including criminal charges and fines of up to \$2,000.00 per day.**

I am the record owner of this property and authorize the agent/applicant listed above to apply for and acquire a permit on my behalf.

I have checked for any property-specific information that may affect the review and/or construction of this project, including but not limited to: any subdivision notes, deed restrictions, restrictive covenants, zoning conditional overlays, and/or other requirements specific to proposed development on this property (collectively, the "Property Information"), located at:

\_\_\_\_\_

I understand that the review of this project by the City of Austin will not include a review of any private restrictive covenants or deed restrictions that may apply to this property.

I am responsible for any conflicts between the Property Information and the request submitted to the City of Austin. I further acknowledge that I understand the implications of use and/or development restrictions that are a result of the Property Information. Additionally, I understand that the issuance of a City permit for this project does not affect the enforceability of any private restrictive covenants applicable to the property.

I understand that if requested I must provide copies of any and all of the Property Information that may apply to this property.

Owner's signature: \_\_\_\_\_ Date: 8-18-20

Applicant's signature: Ken Burger Date: 7/28/2020

Design Professional's signature: Nick Deaver Date: 07/28/2020

General Contractor's signature: Ken Burger Date: 8/28/2020

**Owner's Authorization Letter**  
**Valid for Planning and Development Review Department Applications**

**Address: 4509 Balcones Dr  
Austin, TX 78731**

To Whom It May Concern:

We hereby certify that we are the owners of the above described property. We hereby authorize Wilmington-Gordon, Inc. (applicant) to act on our behalf to apply for all permits related to the above address.

*Carla Tremblay*  
Carla Tremblay

8/18/2020  
Date

Sworn and subscribed before me this 18 day of August 2020

*[Signature]*  
Notary Public in and for the State of Texas

My Commission expires on 02-12-2023





CITY OF AUSTIN  
**Development**  
 SERVICES DEPARTMENT

Residential Review – One Texas Center  
 505 Barton Springs Road, Austin, TX 78704; Phone 3-1-1

# Residential New Construction and Addition Permit Application

## Additional Information

### Application Process

Please submit all documents single-sided.

Submission requirements:

- Completed application
- 2 large-format sets of permit exhibits (11"x17", 12"x18", 18"x24", or 24"x36")
- 1 small-format set of permit exhibits (11"x17", 8.5"x14", or 8.5"x11")
- Austin Energy Building Service Plan Application (BSPA)  
 Note: The BSPA and the small-format plot plan must be stamped by AE in the Development Assistance Center on the first (1st) floor of the One Texas Center prior to submittal
- Austin Water Utility W&WW Service Plan Verification, if water demand is to increase or a dwelling is added. (e.g. addition of a bath)  
 Note: The AWU form and the small-format plot plan must be stamped by AWU in the Development Assistance Center on the first (1st) floor of the One Texas Center prior to submittal
- Completed Demolition application with all required documentation, if any portion of an exterior wall is to be removed or modified. If submitting for a total demolition for new construction, demolition application must be submitted separately.

All drawings must be to a City of Austin verifiable scale, see [Building Criteria Manual](#) for additional details and a list of acceptable scales.

Check for expired permits: <https://abc.austintexas.gov/web/permit/public-search-other?reset=true> If there are expired permits associated with this property, they must be resolved. This can be done in the following ways:

Submit an Acknowledgement of Expired Permits form with this application if the work is not related to the work being permitted. OR Include it in the description of work on this application and reference expired permits to be resolved

If the Acknowledgement of Expired Permits form is used for this project, information about what will be required to resolve the expired permit(s) can be obtained during Residential Review General Information Walk-in hours.

All new construction must comply with the [Visitability Ordinance](#).

Submit application package during Intake hours. For hours and additional information go to our website at <http://www.austintexas.gov/department/residential-building-review>

### About the Review Disciplines

**Technical Review** – Any permit exhibits not sealed and signed by a Texas-registered architect or certified building designer will be subject to a limited technical review. The technical review is not intended to be exhaustive of all possible building code requirements.

**Erosion Hazard** – There is a review of structural design if a property is located in the Erosion Hazard Zone, as defined by the boundaries located on the City of Austin GIS map. These zones align with locations where water flow and watershed could lead to erosion damage of the surrounding land features (e.g creeks, stream beds, ...).

**Fire Review** – There is additional review of a project if the square footage of a structure exceeds 3,600 square feet in area. The 3,600 sq. ft. includes the total gross building area: all first, second, and additional floor areas; attached covered porches, patios, decks, and balconys; attached garages; and any other attached roofed areas. The review ensures adequate proximity to fire hydrants and sufficient water supply to the hydrants based on the total gross area of the structure. Properties within 200 feet of a hazardous pipeline may also require additional review.

**Floodplain Review** – Any work requiring a permit on property located within 100 feet of the 100-Year floodplain will require additional review. If review is anticipated, include supporting information such as FEMA elevation certificate form 086-0-033 and/or topographic surveys referencing NAVD88. To check your property for proximity to a flood plain visit [www.ATXFloodPro.com](http://www.ATXFloodPro.com) or the City's [Floodplain Development Information](#) website.

**Historic Review** – There is additional review of exterior changes if property is a City Landmark or located in a Local Historic District, National Register Historic District, H or HD zoned district, or partial demolition of exterior features on property over 45 years old.

**Tree Review** – All design proposals must abide by the Tree Preservation Criteria set forth in [Section 3.5.2 of the City of Austin's Environmental Criteria Manual](#). Cut and fill is limited to 4" within ½ Critical Root Zones (foundations cannot adhere to this), canopy removal is limited to 25% or less per tree, and 50% or more of the full Critical Root Zone must be kept at natural grade with natural ground cover. If proposing to remove a tree that is dead, diseased or an imminent hazard, please provide a Tree Risk Assessment from a Certified Arborist and/ or photographic evidence

## Additional Information, Continued

### Documentation Explanations and Definitions

#### Permit Exhibits:

**Plot Plan** – Plot Plans must be drawn to a standard scale and are to include but are not limited to the following items: property address and legal description, north arrow, drawing scale, trees within the ROW or trees equal to or greater than 19 inches in diameter located on the property and immediately adjacent to the property, property lines, building lines for both existing and proposed improvements, easements, required zoning setbacks and roof overhangs, water meter and wastewater cleanout locations, underground and overhead utility lines and appurtenances, and water and/or wastewater line size and material.

**Floorplan(s)** – Floorplans must be drawn to a standard scale and are to include (but are not limited to) the following items: drawing scale, room labels, new wall measurements, new ceiling heights, new door and window schedule, smoke detector\* and carbon monoxide detector\*\* specifications and locations, dimensioned locations of new plumbing fixtures, handrail/guardrail locations and room square footages. Please provide Existing and Proposed Floor plan if part of the improvements includes removing or adding any wall, window, door, plumbing fixtures, etc. Clearly differentiate between existing, demolished, and new items.

\*provide smoke detector system (hardwired, interconnected, battery back-up) at each sleeping room and vicinity in accordance with IRC R314

\*\*provide carbon monoxide detector in immediate vicinity of sleeping rooms in accordance with IRC R315.

**Exterior Elevations** – Elevation plans must be drawn to a standard scale and are to include front, rear, and sides of the structure. For additions, elevations are required of all sides of the new portion of the structure. Height dimensions are required on all elevations. If building height exceeds 20' or building is multi-story include dimensions of high, low, and average elevations at grade.

**Setback Plane Compliance Plan** – If subject to Subchapter F – A separate exhibit must be submitted showing topographic elevations on 1-foot intervals on the property, including the top of foundation spot elevation and intersections of the property boundary with the building line segments per Subchapter F, Section 2.6. All topographic information must be prepared and sealed by a Texas-registered professional land surveyor.

#### **Structural Drawing(s)** –

*Foundation plan* of sufficient detail to show conformance to the provisions of the currently adopted IRC including but not limited to:

1) size, spacing and strength of reinforcing steel 2) foundation requirements for braced wall panels required in braced wall plan.

*Wall and floor/ceiling/roof sections* and details, framing plans and/or framing design information as follows:

General – lumber size, grade, species and spacing of all wood elements.

Wood framed floors – spans and intermediate girders

Wood framed walls – wall type (e.g. 2x4's @ 16 in. o.c.), wall height, headers.

Wood framed roofs – roof framing plan to include rafters and girders as a minimum.

*Brace wall plan* showing compliance with the currently adopted IRC. The plan shall clearly indicate the braced wall lines and the braced wall method use for compliance to expedite review.

#### **Additional Requirements:**

##### **Non-complying Structures** (applicable to all work types) –

A separate exhibit must be submitted showing the existing building footprint location in relation to the property boundaries and required setbacks. Exterior walls and supporting structural elements must be clearly labeled and dimensioned showing walls to be removed per Land Development Code Section 25-2-963.

##### **Setback Averaging** –

If using setback averaging, one copy of the Contextual Site Plan showing four adjacent properties with location of existing buildings and existing front yard setbacks identified for front yard setback averaging per the provisions of Subchapter F, Residential Design and Compatibility Standards, Section 2.3.

Surveys must be provided by a Texas-registered professional land surveyor showing existing buildings and their distance from the front lot line.

##### **Design Professionals** –

For any project exceeding 20 feet in height or more than one-story within the Subchapter F boundaries, all permit exhibits must be sealed and signed by a Texas-registered architect or certified building designer (National Council of Building Designers or Texas Institute of Building Design)

##### **Localized flooding** –

If there is a storm drain inlet or pipe, drainage ditch, or drainage easement on or near the property or the property is at the low point of a roadway, there may be a chance of flooding from the local drainage system. The proposed development cannot cause additional flooding on other property nor have an adverse impact on the existing local drainage system. Contact the Development Assistance Center for more information

##### **Tree Survey** –

Provide a tree survey per [ECM 3.3.2](#) that labels the ¼, ½ and full Critical Root Zones and provides the diameter and species of each protected tree (a Tree Legend is recommended). Depict proposed access routes and material staging. Show all proposed and existing utilities. Show specific locations of tree protection fencing and mulching per requirements of [ECM 3.5.2](#).

## Calculation Aid

Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 <sup>st</sup> floor conditioned area	1,813	806	2,619
b) 2 <sup>nd</sup> floor conditioned area			0
c) 3 <sup>rd</sup> floor conditioned area			0
d) Basement			0
e) Attached Covered Parking (garage or carport)	398		398
f) Detached Covered Parking (garage or carport)			0
g) Covered Wood Decks (counted at 100%)			0
h) Covered Patio			0
i) Covered Porch			0
j) Balcony			0
k) Other – Specify: WOOD SHED AND OVERHANG BEYOND 2FT	492		492
<b>Total Building Area (TBA)</b> (add: a through k)	<b>2,703</b>	<b>806</b>	<b>3,509</b>
<b>Total Building Coverage (TBC)</b> (from TBA subtract, if applicable: b, c, d, and j)	<b>(A) 2,703</b>	<b>806</b>	<b>(B) 3,509</b>
l) Driveway	6,286		6,286
m) Sidewalks			0
n) Uncovered Patio			0
o) Uncovered Wood Decks (counted at 50%)	219		219
p) AC pads and other concrete flatwork	18		18
q) Other (Pool Coping, Retaining Walls)	1,583		1,583
<b>Total Site Impervious Coverage</b> (add: TBC and l through q)	<b>(C) 10,809</b>	<b>806</b>	<b>(D) 11,615</b>
r) Pool	111		111
s) Spa	24		24

### Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Lot Area (sq. ft.): 29,185.00

Existing Building Coverage (see above **A**, sq. ft.): 2,703.00

Existing Coverage % of lot (**A** ÷ Lot Area) x 100 : 9 %

Final Building Coverage (see above **B**, sq. ft.): 3,509.00

Final Coverage % of lot (**B** ÷ Lot Area) x 100 : 12 %

### Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces including all building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Coverage (see above **C**, sq. ft.): 10,809.00

Existing coverage % of lot (**C** ÷ Lot Area) x 100 : 37 %

Final Impervious Coverage (see above **D**, sq. ft.): 11,615.00

Final coverage % of lot (**D** ÷ Lot Area) x 100 : 40 %



CITY OF AUSTIN  
**Development**  
 SERVICES DEPARTMENT

One Texas Center  
 505 Barton Springs Road, Austin, TX 78704 | Phone: 3-1-1

# Demolition Permit Application

Application Type:  Commercial  Residential  
 Fee Paid: \$ \_\_\_\_\_ Submission Date: \_\_\_\_\_

### For Office Use Only – Permit Information

BP- \_\_\_\_\_ PR- \_\_\_\_\_ LHD\_NRD\_HDP- \_\_\_\_\_ Ca. \_\_\_\_\_  
 Referred By: \_\_\_\_\_ NRHD/LHD: \_\_\_\_\_  
 Release Permit  Do Not Release Permit  HLC Review- \_\_\_\_\_

Historic Preservation Office

Date

**IMPORTANT:** Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after twelve (12) months from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.

**DO NOT LET YOUR PERMIT EXPIRE!!!!**

**HISTORIC LANDMARKS AND DISTRICTS:** If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office (see [www.austintexas.gov/department/historic-preservation](http://www.austintexas.gov/department/historic-preservation)).

### Submittal Requirements

- 1. Owner authorization/signature, **NOTARIZED** at the bottom of the next page, **OR a NOTARIZED** letter of authorization from the owner giving the applicant permission to apply
- 2. Dimensioned Site Plan or Survey that shows all existing structures and what is being demolished
- 3. Certified tax certificate(s) from the Travis County Tax Assessor's Office (5501 Airport Boulevard, 512-854-9473)
- 4. Photos of each side of structure; the front photo needs to show the entire front of the structure that is visible from the street
- 5. Review Fee (see [fee schedule](#) for applicable fees)

**Additional requirements for Commercial Demolitions:**

- 6. Approved/Red-stamped Site Plan OR an approved Site Plan Exemption Form
- 7. Completed Texas Department of Health Asbestos Notification Form; must be filled out by a licensed inspector or contractor

### Property Information

Address: 4509 Balcones Dr  
 City: Austin Zip: 78731  
 Current Use: Single family residence

### Demolition Type

Total  Partial – identify the exterior wall(s), roof, or portion of wall(s) and roof to be demolished:

Partial exterior wall

### Demolition Contractor Information

Company: Wilmington-Gordon, INC  
 Address: 1209 W 49th St  
 City: Austin TX Zip: 78756  
 Phone: 512-517-1351

### Structural Information

Square Feet: 897  
 Building Materials: Wood framing, wood siding  
 Foundation Type: Pier & beam  
 Estimated Cost of Demolition: \$5,000.

Applicant	Owner
Name: <u>Ken Burger / Wilmington-Gordon, Inc.</u>	Name: <u>Carla &amp; David Tremblay</u>
Address: <u>1209 W 49th St</u>	Address: <u>4509 Balcones Dr</u>
City: <u>Austin</u> Zip: <u>78756</u>	City: <u>Austin</u> Zip: <u>78731</u>
Phone: <u>512-454-7070</u>	Phone: _____
Email: <u>accounting@wilmingtongordon.com</u>	Email: _____

**Additional Questions**

Are there trees 19 inches or greater in diameter on the site or along neighboring properties?  Yes  No

Was the structure inhabited within the last 12 months?  Yes  No

What is the total number of housing units that will be demolished? 0

What is the total number of bedrooms in the units that will be demolished? 0

How many currently occupied residential units will be demolished? 0

If 5 or more, tenant notification may be required and a certified form may be required with your application (LDC 25-1-712).

**Consent, Authorizations, and Signatures**

I understand and will adhere to the following rules or regulations:

- No work may begin prior to issuance of this permit.**
- It is important to verify with the Development Assistance Center (DAC) that new construction will be permitted on the property at this location PRIOR to filing this application.
- If the structure to be demolished is currently tied into water and/or sewer services provided by the City of Austin, you must contact Austin Water Utility at 512-494-9400 to obtain specific water and sewer service information.
- Erosion and Sedimentation Controls are required per Section 25-8-181 of the City of Austin Land Development Code.** Failure to comply with this requirement may result in a Stop Work Order and/or legal action by the City of Austin including criminal charges and fines of up to \$2,000.00 per day.
  - Inspection of erosion, sedimentation controls, and tree protection shall be requested by the owner** before construction begins (25-1-288.A & 25-1-288.F): (512) 974-2278 or [environmental.inspections@austintexas.gov](mailto:environmental.inspections@austintexas.gov).
- If the proposed work will require use of City right-of-way, a Right of Way Application must be approved prior to any such activity. Applications may be obtained from the City of Austin Transportation Department (512-974-7180) or on the website at [austintexas.gov/rowman](http://austintexas.gov/rowman).
- The Historic Preservation Office will review this application to determine if the structure that is subject of this application is potentially historic as defined by Section 25-11-214 of the City of Austin Land Development Code. Additional review by the Historic Landmark Commission may be required and additional fees may be assessed.**
- All demolition permitted commercial and multifamily projects are required to divert construction debris from the landfill (LDC 25-11-39)."
- Once this review is complete and approved, the permit may be obtained from the Permit Center and additional fees will be assessed at that time.

I, the undersigned, hereby swear or affirm that the information provided in this application is true and correct to the best of my knowledge and is an accurate reflection of my intentions for the above structure and/or property. I understand that any omission or incorrect information herein will render this application and any permit obtained invalid.

As owner(s) of the property described in this application, I/we hereby authorize the Applicant listed on this application to act on my/our behalf during the processing and presentation of this request. They shall be the principal contact with the City in processing this application.

Signature of Applicant (if different than owner): Ken Burger Date: 7/28/2020

Signature of Owner: Letter of Authorization Attached Date: \_\_\_\_\_

Sworn and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Signature of Public Notary: \_\_\_\_\_ My commission expires: \_\_\_\_\_

Notary Public in and for the State of Texas

TAX CERTIFICATE  
Bruce Elfant  
Travis County Tax Assessor-Collector  
P.O. Box 1748  
Austin, Texas 78767  
(512) 854-9473

NO 2280240

ACCOUNT NUMBER: 01-2804-0422-0000

PROPERTY OWNER:

BALCONES TRUST DECLARATION  
4509 BALCONES DR  
AUSTIN, TX 78731

PROPERTY DESCRIPTION:

LOT 5 BLK M BALCONES PARK ADDN SEC  
5

ACRES

.6940 MIN%

.000000000000 TYPE

SITUS INFORMATION: 4509 BALCONES DR

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR	ENTITY	TOTAL
2019	AUSTIN ISD	*ALL PAID*
	CITY OF AUSTIN (TRAV)	*ALL PAID*
	TRAVIS COUNTY	*ALL PAID*
	TRAVIS CENTRAL HEALTH ACC (TRAVIS)	*ALL PAID*
TOTAL SEQUENCE	0	*ALL PAID*
	TOTAL TAX:	*ALL PAID*
	UNPAID FEES:	* NONE *
	INTEREST ON FEES:	* NONE *
	COMMISSION:	* NONE *
	TOTAL DUE ==>	*ALL PAID*

TAXES PAID FOR YEAR 2019 \$14,978.75

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2019 EXCEPT FOR UNPAID YEARS LISTED ABOVE.  
The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).  
Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 08/13/2020

Fee Paid: \$10.00

Bruce Elfant  
Tax Assessor-Collector

By: 



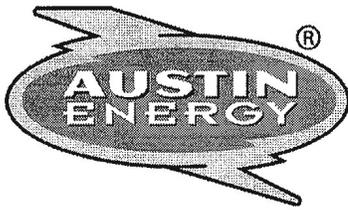












# AUSTIN ENERGY

One Texas Center | 505 Barton Springs Road  
Phone: (512) 974-2632, (512) 974-9112  
Email: [aebspaespa@austinenery.com](mailto:aebspaespa@austinenery.com)

This project will require a Temporary Loop       Design Required

## Building Service Planning Application (BSPA)

**This form to be used for review of Residential Building Permits only**  
*For use in DAC only*

Person Responsible for Request: Marty McCracken

Email: accounting@wilmingtongordon.com

Project Address: 4509 Balcones Dr, Austin TX 78731      **-OR-**

Legal Description: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_

Who is your electrical provider?     AE     Other: \_\_\_\_\_

Overhead Service     Underground Service     Single-Phase (1Ø)     Three-Phase (3Ø)

Location of meter: North side of house

Scope of work: Room addition

Marty McCracken      512-517-1351

BSPA Completed by (print name)      Phone

Marty McCracken      8/28/20

BSPA Completed by (signature)      Date

*(Any change to the above information requires review and re-approval)*

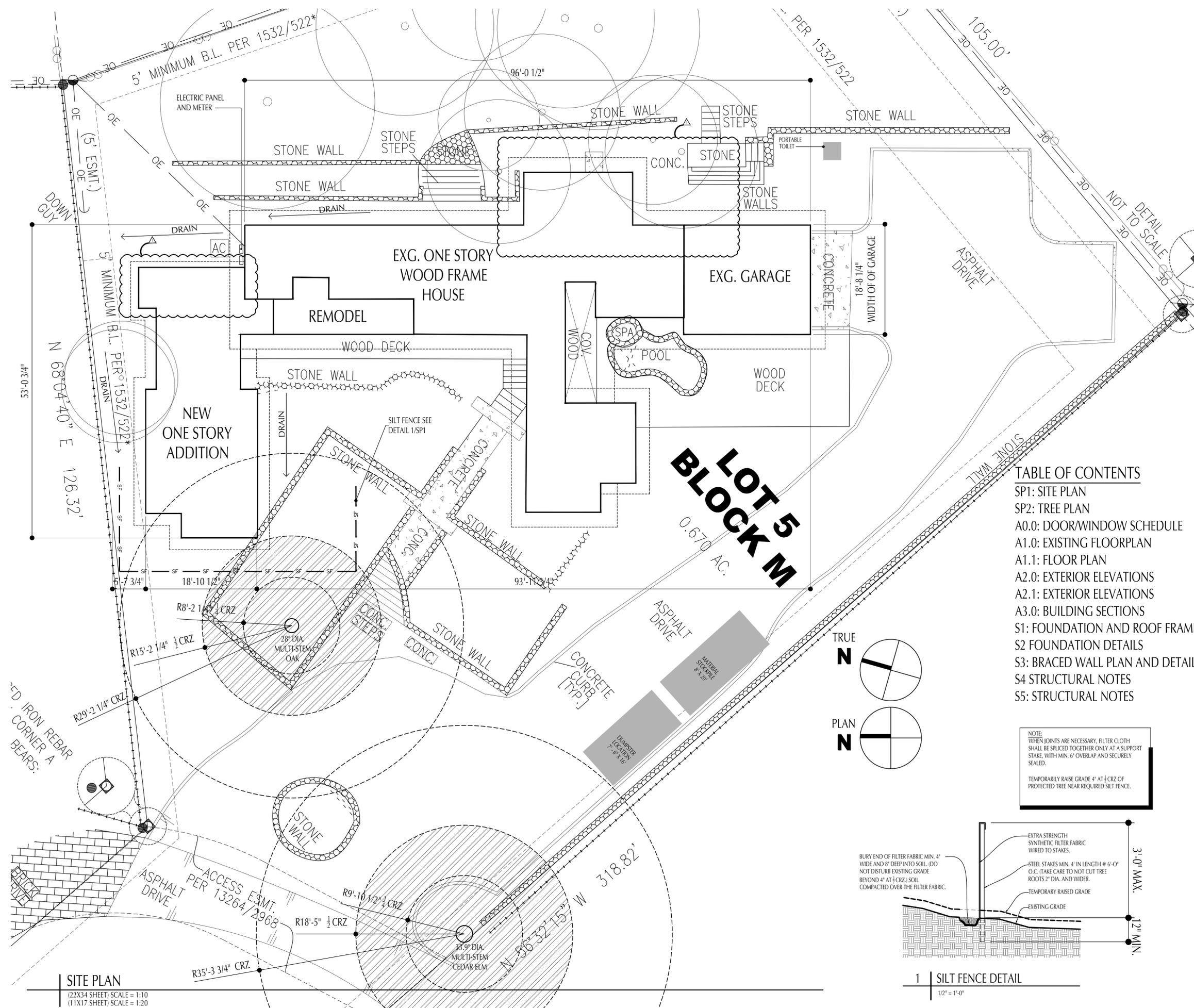
### AE Representative Use Only

**APPROVED**

**By PaceM at 11:33 am, Aug 28, 2020**

ALL structures MUST maintain 7' 6" clearance from AE energized Distribution power lines (this includes eaves and overhangs).  
Enforced by AE and NESC codes.  
This review DOES NOT include Transmission lines.





LOT ZONING	SF-3
TOTAL LOT SIZE	29185 SF

BUILDING COVER CALCULATIONS	
EXISTING/REMODEL STRUCTURE CONDITIONED 1ST FL	1819 SF
ADDITION CONDITIONED 1ST FLOOR (STUDIO)	806 SF
PRINCIPLE STRUCTURE 12" OVERHANG (BEYOND 2')	242 SF
GARAGE	398 SF
WOOD SHED	250 SF
TOTAL BUILDING COVERAGE 12%	3515 SF
TOTAL BUILDING COVERAGE ALLOWED @ 40%	11674 SF

IMPERVIOUS COVER CALCULATIONS	
TOTAL BUILDING COVERAGE	3515 SF
CONCRETE DRIVEWAY	6286 SF
LANDSCAPE STEPS / SITE WALLS	1583 SF
EXISTING WOOD DECK (437SF @ 50%)	219 SF
AC CONCRETE PAD	18 SF
TOTAL IMPERVIOUS COVER @ 40%	11621 SF
IMPERVIOUS COVER ALLOWED @ 45%	13133 SF

FLOOR AREA RATIO CALCULATIONS	
(FAR) 1ST FLOOR (EXCLUDING PORCHES)	1819 SF
ADDITION CONDITIONED 1ST FLOOR	806 SF
GARAGE (200SF EXEMPTION)	198 SF
(FAR) TOTAL (PROPOSED) @ 10%	2823 SF
(FAR) TOTAL ALLOWED @ 40%	11674 SF

**TABLE OF CONTENTS**

- SP1: SITE PLAN
- SP2: TREE PLAN
- A0.0: DOOR/WINDOW SCHEDULE
- A1.0: EXISTING FLOORPLAN
- A1.1: FLOOR PLAN
- A2.0: EXTERIOR ELEVATIONS
- A2.1: EXTERIOR ELEVATIONS
- A3.0: BUILDING SECTIONS
- S1: FOUNDATION AND ROOF FRAMING
- S2 FOUNDATION DETAILS
- S3: BRACED WALL PLAN AND DETAILS
- S4 STRUCTURAL NOTES
- S5: STRUCTURAL NOTES

**SITE NOTES**

- 1.) SITE PLAN BASED ON SURVEY OF 4509 BALCONES DRIVE LOT 5, BLOCK M, BALCONES PARK ADDITION SUBDIVISION, SECTION FIVE, ACCORDING TO THE MAP OR PLAT THEREOF, DATED OCT. 15, 2019, BY 'B & G SURVEYING. JOB NO. B1007319\_TA
- 2.) P6.) LIMIT AREAS OF STOCKPILED MATERIAL TO AREAS APPROVED BY ARCHITECT.DETERMINE EXACT LOCATION OF NEW STRUCTURES IN FIELD WITH ARCHITECT
- 3.) PROVIDE UNDERGROUND ELECTRICAL SERVICE FROM NEW ELECTRICAL UTILITY POLE. COORDINATE DESIGN & DETAILS WITH UTILITY COMPANY. COORDINATE LOCATION OF UTILITY LINES & PANEL LOCATIONS WITH ARCHITECT
- 4.) PROTECT TREES, ROCK OUT, CROPPINGS, AND NATURAL SITE FEATURES DURING CONSTRUCTION. MINIMIZE SITE DISTURBANCE TO PROJECT LIMIT LINE.
- 5.) LIMIT AREAS OF STOCKPILED MATERIAL TO AREAS APPROVED BY ARCHITECT.

1. NO MATERIAL OR DUMPSTER STORAGE OVER THE 1/4 CRZ.
2. PEDESTRIAN TRAFFIC AND STORAGE ONLY IN THE 1/2 CRZ WITH 2 LAYERS OF 1" PLYWOOD SEPARATED BY 2X4 WILL BE USED IN ALL PEDESTRIAN TRAFFIC AND STORAGE AREAS INSIDE THE CRZ.
3. LIMITED SIZE EQUIPMENT AND TRAFFIC INSIDE THE 1/2 CRZ.

CONTRACTOR TO PROPOSE DUMPSTER LOCATION, MATERIAL DROP OFF AND STORAGE AREAS, FENCING, AND GATE LOCATIONS TO ARCHITECT PRIOR TO BEGINNING OF CONSTRUCTION

CONTRACTOR TO SEE TREE PLAN FOR PROTECTION OF CRITICAL ROOT ZONE DURING CONSTRUCTION AND TRAFFIC. ALL TREES ON SITE TO BE GIVEN MEASURES TO AVOID DAMAGE BEFORE, DURING CONSTRUCTION

**NICK DEAVER**  
Architect  
606 Highland Avenue  
Austin, Texas 78703  
www.nickdeaver.com



*Nick Deaver*  
07.27.20

PHASE:  
CONSTRUCTION DOCUMENTS

PROJECT:  
TREMBLAY  
Residence  
4509 BALCONES DR.  
AUSTIN, TX 78731

PROJECT MANAGER:

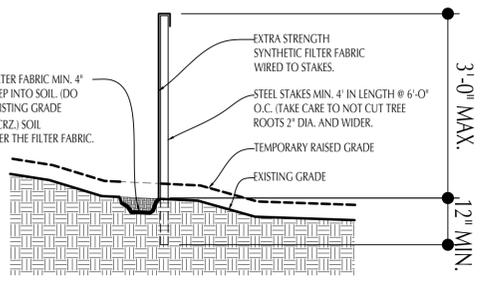
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SITE PLAN

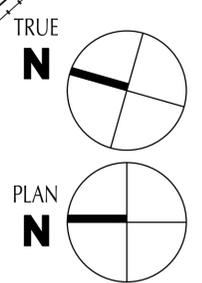
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CHECKED BY: ND  
JOB #: 278  
FILE: 278 TREMBLAY  
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DATE: 07.27.20  
SCALE:  
SHEET:

**SP1**

NOTE:  
WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT STAKE, WITH MIN. 6" OVERLAP AND SECURELY SEALED.  
TEMPORARILY RAISE GRADE 4" AT 1/4 CRZ OF PROTECTED TREE NEAR REQUIRED SILT FENCE.



1 | SILT FENCE DETAIL  
1/2" = 1'-0"



**SITE PLAN**  
(22X34 SHEET) SCALE = 1:10  
(11X17 SHEET) SCALE = 1:20

NICK DEAVER  
Architect

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Austin, Texas 78703  
www.nickdeaver.com



*Nick Deaver*

07.27.20

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PROJECT:

TREMBLAY  
Residence

4509 BALCONES DR.  
AUSTIN, TX 78731

PROJECT MANAGER:

DRAWING NAME:

TREE PLAN

DRAWN BY: JD

CHECKED BY: ND

JOB #: 278

FILE: 278 TREMBLAY

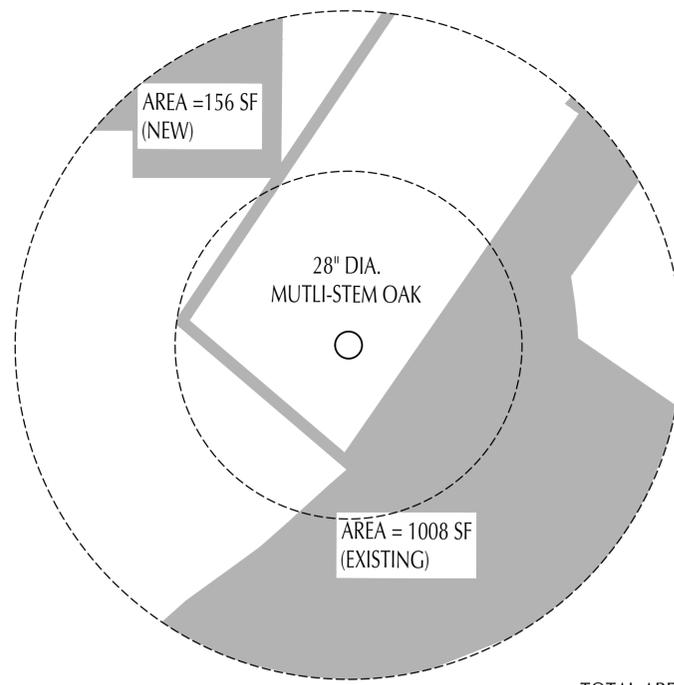
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DATE: 07.27.20

SCALE:

SHEET:

SP2



TOTAL AREA = 2674 SF

COVERED AREA = 1164 SF

% COVERED AREA = 43.5%

TREE CRZ COVERAGE DIAGRAM

$\frac{1}{16}'' = 1'-0''$

ALL IMPACTS TO TREE CRITICAL ROOT ZONES

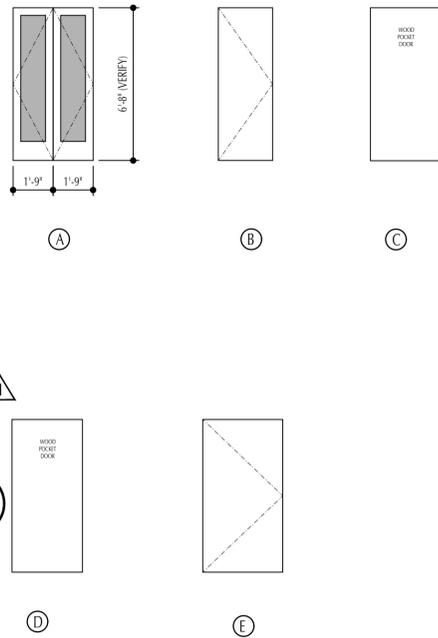
PER ECM 3.5.2

**DOOR SCHEDULE**

I.D.	TYP.	NOMINAL R.O. W x H	DESCRIPTION	REMARKS
1	A	3'-6" X 6'-8"	CUSTOM FRENCH DOORS	
2	B	2'-6" X 6'-8"	GUEST BATHROOM DOOR	PAINTED, FLUSH SOLID CORE RIGHT SWING DOOR
3	C	2'-6" X 6'-8"	GUEST LAV POCKET DOOR	FLUSH SOLID CORE POCKET DOOR, 3/4" PLYWOOD POCKET DOOR SIDES
4	D	2'-8" X 6'-8"	LAUNDRY POCKET DOOR	FLUSH SOLID CORE POCKET DOOR, 3/4" PLYWOOD POCKET DOOR SIDES
5	E	3'-6" X 6'-8"	VESTIBULE DOOR	
6	E	3'-6" X 6'-8"	STUDIO DOOR	
7		2'-4 1/2" X 6'-8"	HALL CLOSET DOOR	PAINTED, FLUSH SOLID CORE RIGHT SWING DOOR

**DOOR GENERAL NOTES**

1. ALL DOORS TO BE HINGED AS SHOWN ON PLAN AND ELEVATIONS.
2. CONTRACTOR TO SUBMIT SHOP DWGS. TO ARCHITECT AND VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING ANY DOORS.
3. ALL DOORS TO BE SOLID CORE UNLESS OTHERWISE NOTED.
4. ALL DOORS ARE 6'-8" HIGH UNLESS OTHERWISE NOTED.



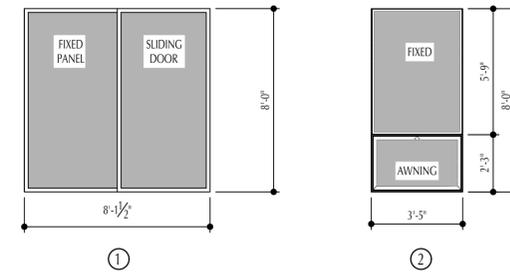
**WINDOW SCHEDULE**

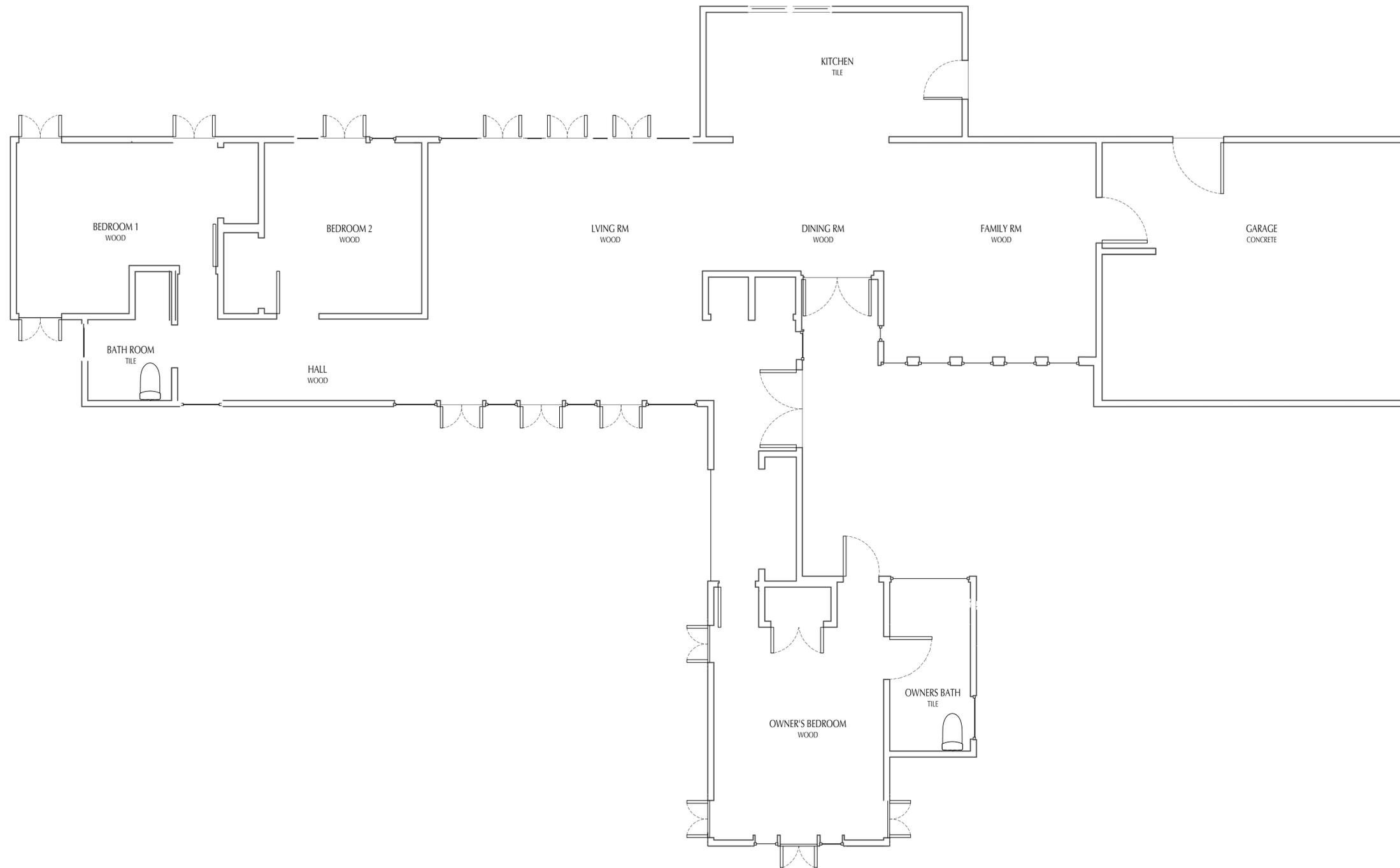
NO.	TYP.	NOMINAL R.O. W x H	DESCRIPTION	REMARKS (UNIQUE PROPERTIES)
A	1	8'-1 1/2" X 8'-0"	FLEETWOOD 3000 SERIES SLIDING DOOR WITH NARROW 1-1/4" THRESHOLD	
B	FIXED	2'-11" X 6'-0"	MARVIN ELEVATE DIRECT GLAZE PROFILE	
C	CASEMENT	3'-6 1/2" X 6'-6"	MARVIN ELEVATE	
D	FIXED	3'-7" X 6'-0"	MARVIN ELEVATE DIRECT GLAZE PROFILE	
E	FIXED	6'-7 1/2" X 6'-0"	MARVIN ELEVATE OR FULL LINE	
F	FIXED	3'-5" X 6'-6"	MARVIN ELEVATE DIRECT GLAZE PROFILE	
G	CASEMENT	3'-8" X 6'-0"	MARVIN ELEVATE	
H	FIXED	3'-5" X 6'-6"	MARVIN ELEVATE DIRECT GLAZE PROFILE	
J	FIXED	1'-3 1/2" X 6'-0"	MARVIN ELEVATE DIRECT GLAZE PROFILE	
K	CASEMENT	2'-0" X 6'-0"	MARVIN ELEVATE	
L	FIXED	4'-0" X 3'-0"	MARVIN ELEVATE	
M	AWNING	2'-4 1/4" X 3'-0"	MARVIN ELEVATE DIRECT GLAZE PROFILE	
N	FIXED	2'-4 1/4" X 3'-0"	MARVIN ELEVATE DIRECT GLAZE PROFILE	
P	2	3'-5" X 8'-0"	MARVIN ELEVATE	FIXED / ELAWN4127
Q	FIXED	5'-6 1/2" X 2'-6"	MARVIN ELEVATE DIRECT GLAZE PROFILE	
R	AWNING	3'-2" X 2'-6"	MARVIN ELEVATE	
S	AWNING	3'-0" X 2'-6"	MARVIN ELEVATE	
T	CASEMENT	3'-1" X 4'-11 3/8"	MARVIN ELEVATE ELCA3759 E	

**WINDOW GENERAL NOTES**

1. ALL WINDOWS ARE MARVIN ELEVATE.
2. ALL FIXED WINDOWS ARE MARVIN ELEVATE "DIRECT GLAZE"
3. ALL WINDOW SIZES ARE NOMINAL. CONTRACTOR TO COORDINATE ACTUAL WINDOW FRAME SIZES & ROUGH OPENINGS.
4. TEMPERED GLASS FOR ALL UNITS WITHIN 18" AFF.
5. CONTRACTOR TO SUBMIT SHOP DWGS. TO ARCHITECT AND VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING ANY WINDOWS.
6. WINDOW HARDWARE "MATCH EXISTING".

**WINDOW TYPES**



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 Architect  
 606 Highland Avenue  
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 www.nickdeaver.com



*Nick Deaver*  
 07.27.20

PHASE:  
**CONSTRUCTION DOCUMENTS**

PROJECT:  
**TREMBLAY**  
 Residence  
 4509 BALCONES DR.  
 AUSTIN, TX 78731

PROJECT MANAGER:

DRAWING NAME:

EXISTING  
 FLOOR PLANS

DRAWN BY: JD  
 CHECKED BY: ND  
 JOB #: 278  
 FILE: 278 TREMBLAY  
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 DATE: 07.27.20  
 SCALE:  
 SHEET:

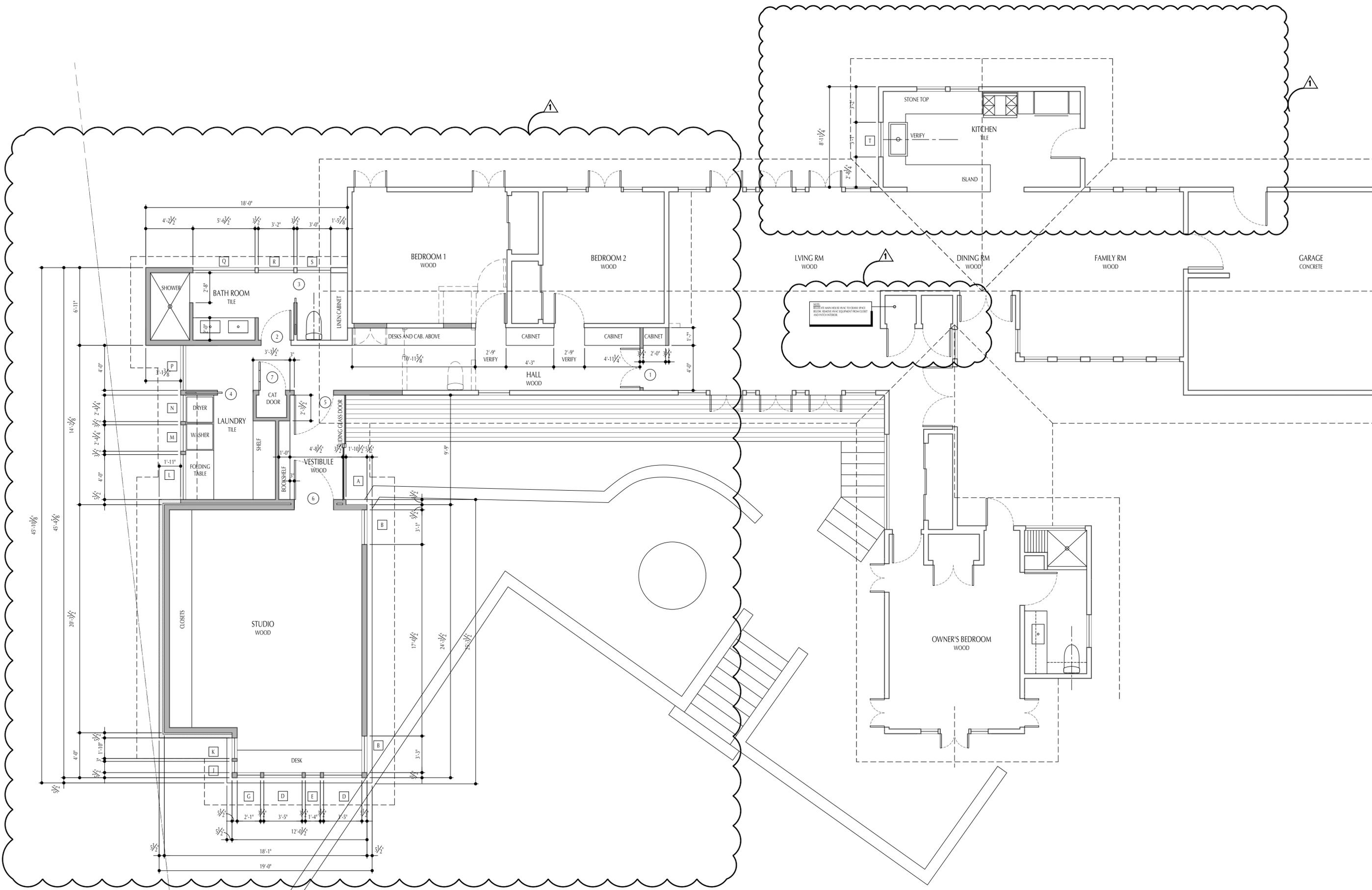
**EXISTING FLOOR PLAN**

1/8" = 1'-0" (11X17)  
 1/4" = 1'-0" (22X34)



**A1.0**

REVISIONS
1. 08.20.20



**FIRST FLOOR PLAN**

1/8" = 1'-0" (11X17)  
 1/4" = 1'-0" (22X34)

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 Architect  
 606 Highland Avenue  
 Austin, Texas 78703  
 www.nickdeaver.com



*Nick Deaver*  
 07.27.20

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**CONSTRUCTION DOCUMENTS**

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**TREMBLAY**  
 Residence  
 4509 BALCONES DR.  
 AUSTIN, TX 78731  
 PROJECT MANAGER:

DRAWING NAME:

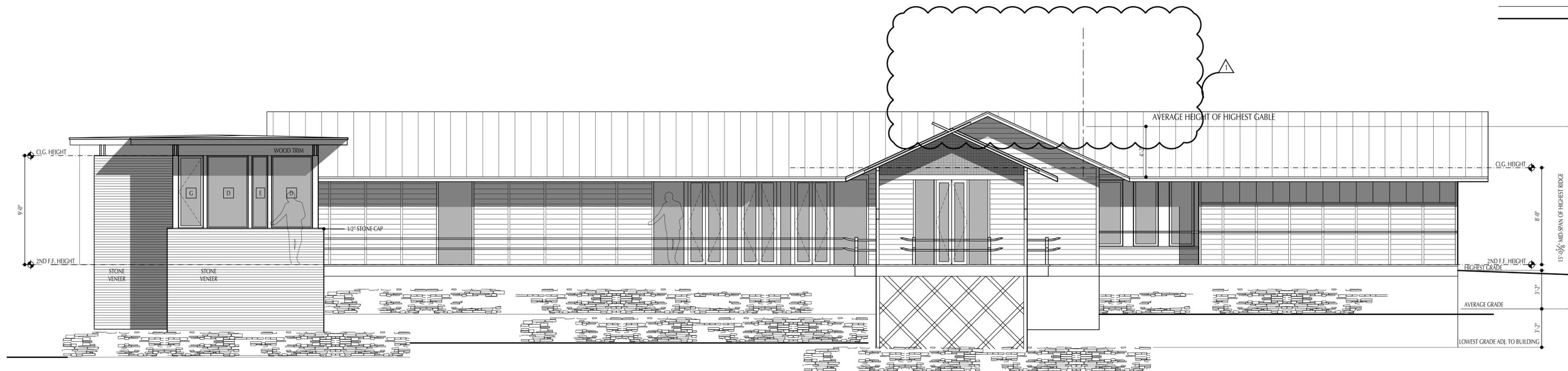
FLOOR PLANS

DRAWN BY: JD  
 CHECKED BY: ND  
 JOB #: 278  
 FILE: 278 TREMBLAY  
 ©2020 nickdeaverarchitect  
 DATE: 07.27.20  
 SCALE:

SHEET:

**A1.1**





1 | WEST EXTERIOR ELEVATION

1/4" = 1'-0" (22X34)  
1/8" = 1'-0" (11X17)

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Austin, Texas 78703  
www.nickdeaver.com



*Nick Deaver*  
07.27.20

PHASE:  
CONSTRUCTION  
DOCUMENTS

PROJECT:  
TREMBLAY  
Residence  
4509 BALCONES DR.  
AUSTIN, TX 78731

PROJECT MANAGER:

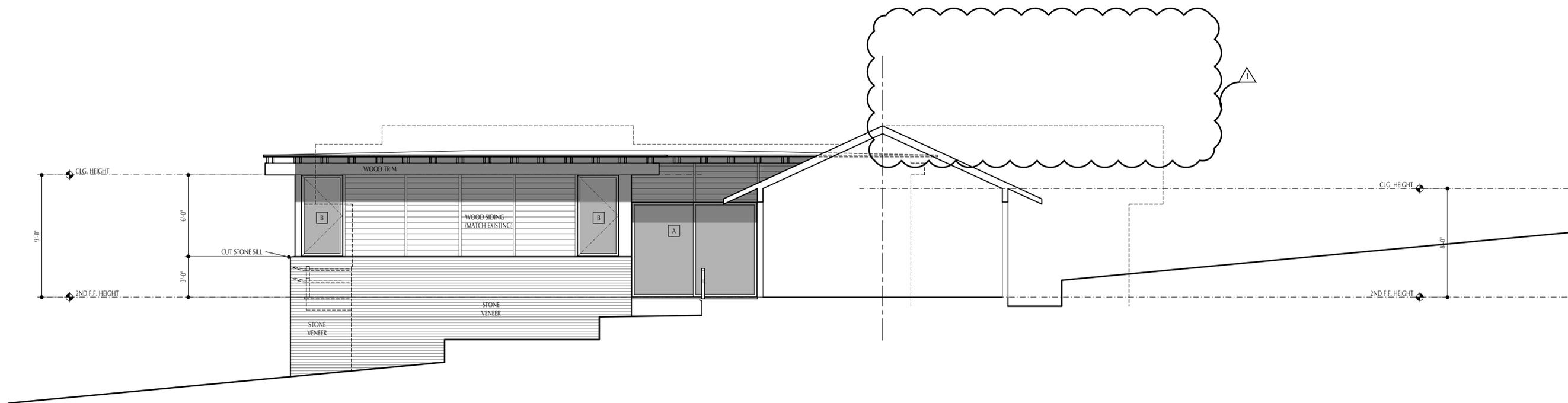
DRAWING NAME:

EXTERIOR  
ELEVATIONS

DRAWN BY: JD  
CHECKED BY: ND  
JOB #: 278  
FILE: 278 TREMBLAY  
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DATE: 07.27.20  
SCALE:  
SHEET:

2 | SOUTH EXTERIOR ELEVATION NEW ADDITION

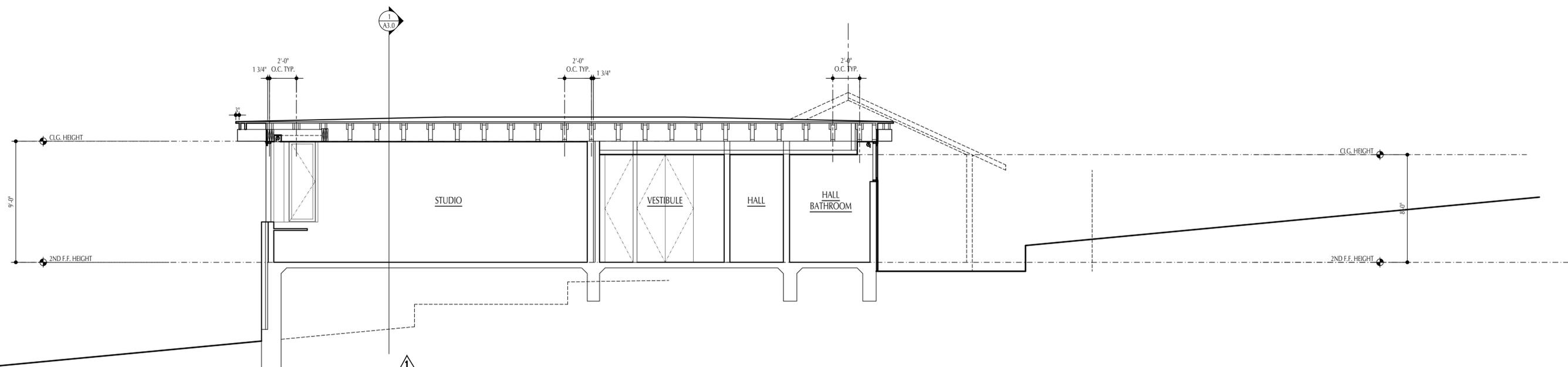
1/4" = 1'-0" (22X34)  
1/8" = 1'-0" (11X17)



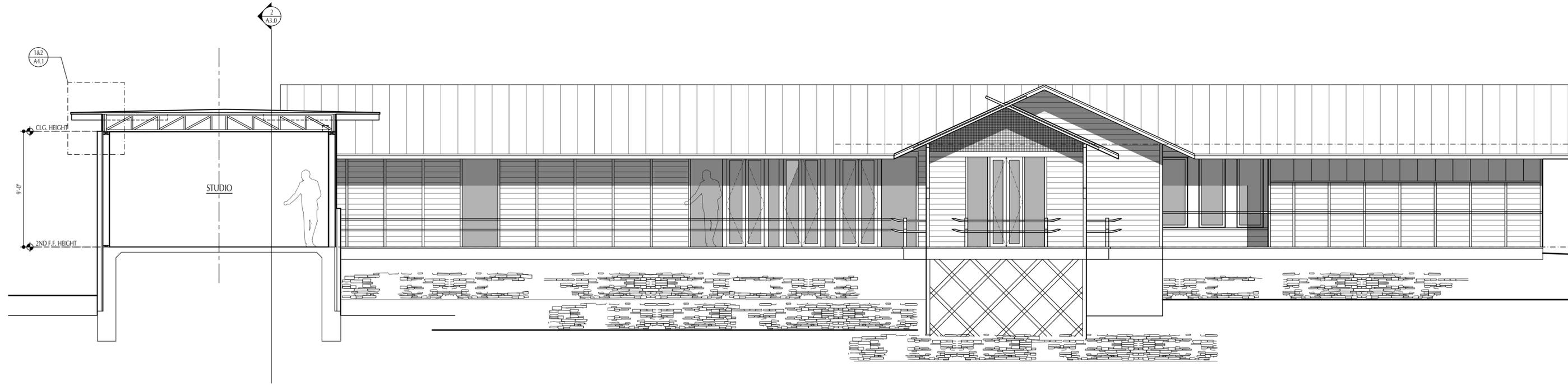
A2.0



REVISIONS
1. 08.20.20



1 | BUILDING SECTION LOOKING NORTH  
 1/4" = 1'-0" (22X34)  
 1/8" = 1'-0" (11X17)



2 | BUILDING SECTION AT STUDIO LOOKING EAST  
 1/4" = 1'-0" (22X34)  
 1/8" = 1'-0" (11X17)

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 Architect  
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 Austin, Texas 78703  
 www.nickdeaver.com



*Nick Deaver*  
 07.27.20

PHASE:  
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 PROJECT:  
 TREMBLAY  
 Residence  
 4509 BALCONES DR.  
 AUSTIN, TX 78731  
 PROJECT MANAGER:

DRAWING NAME:

BUILDING SECTIONS

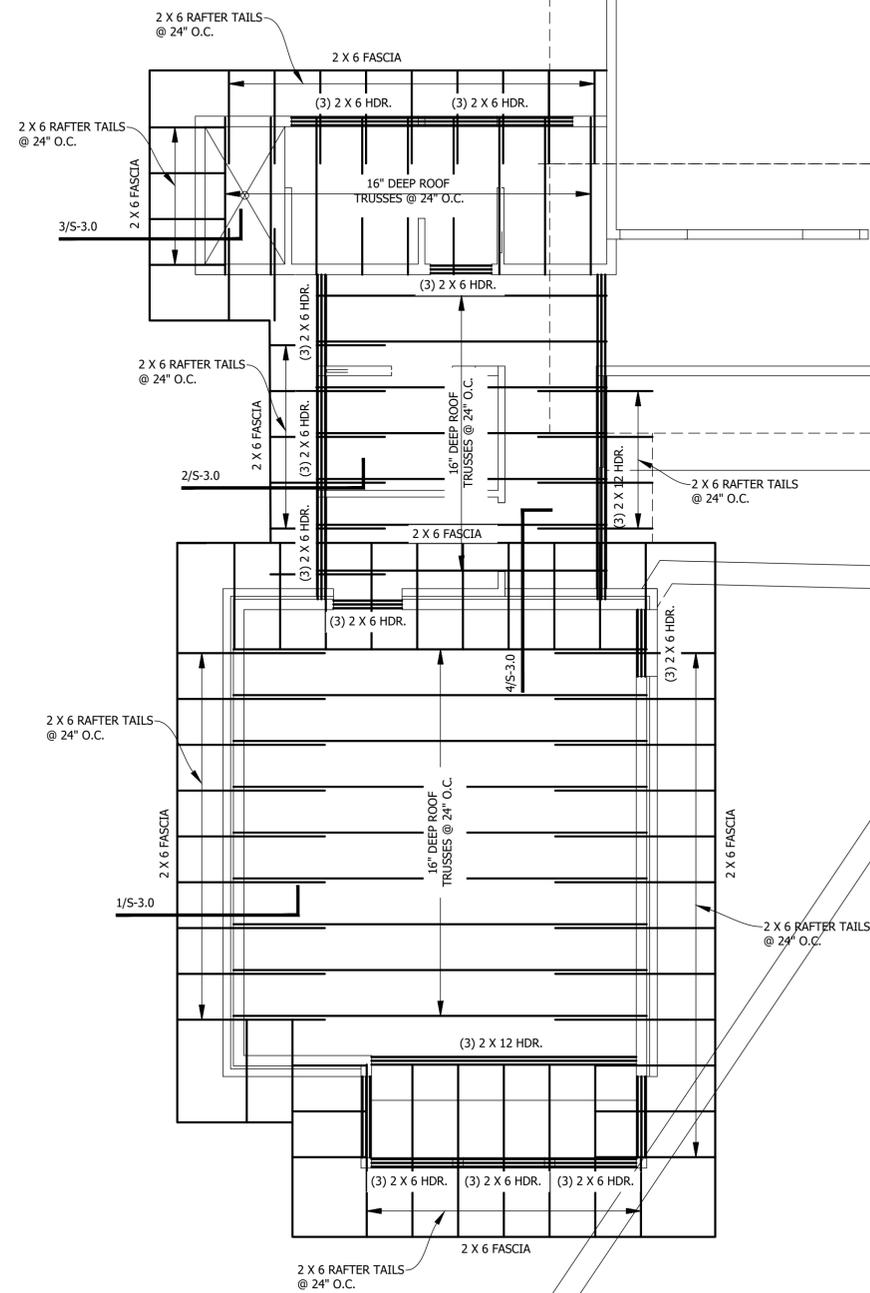
DRAWN BY: JD  
 CHECKED BY: ND  
 JOB #: 278  
 FILE: 278 TREMBLAY  
 © 2020 nickdeaverarchitect  
 DATE: 07.27.20  
 SCALE:

SHEET:  
 A3.0



08-12-2020

**Tremblay Residence**  
4509 Balcones Drive Austin, TX 78731



**ROOF FRAMING PLAN**

1/4" = 1'-0" (FULL SIZE: 22"X34")  
1/8" = 1'-0" (HALF SIZE: 11"X17")

Date: 08/12/20

Project Number:

Revisions:

Framing Plan

**S1.1**