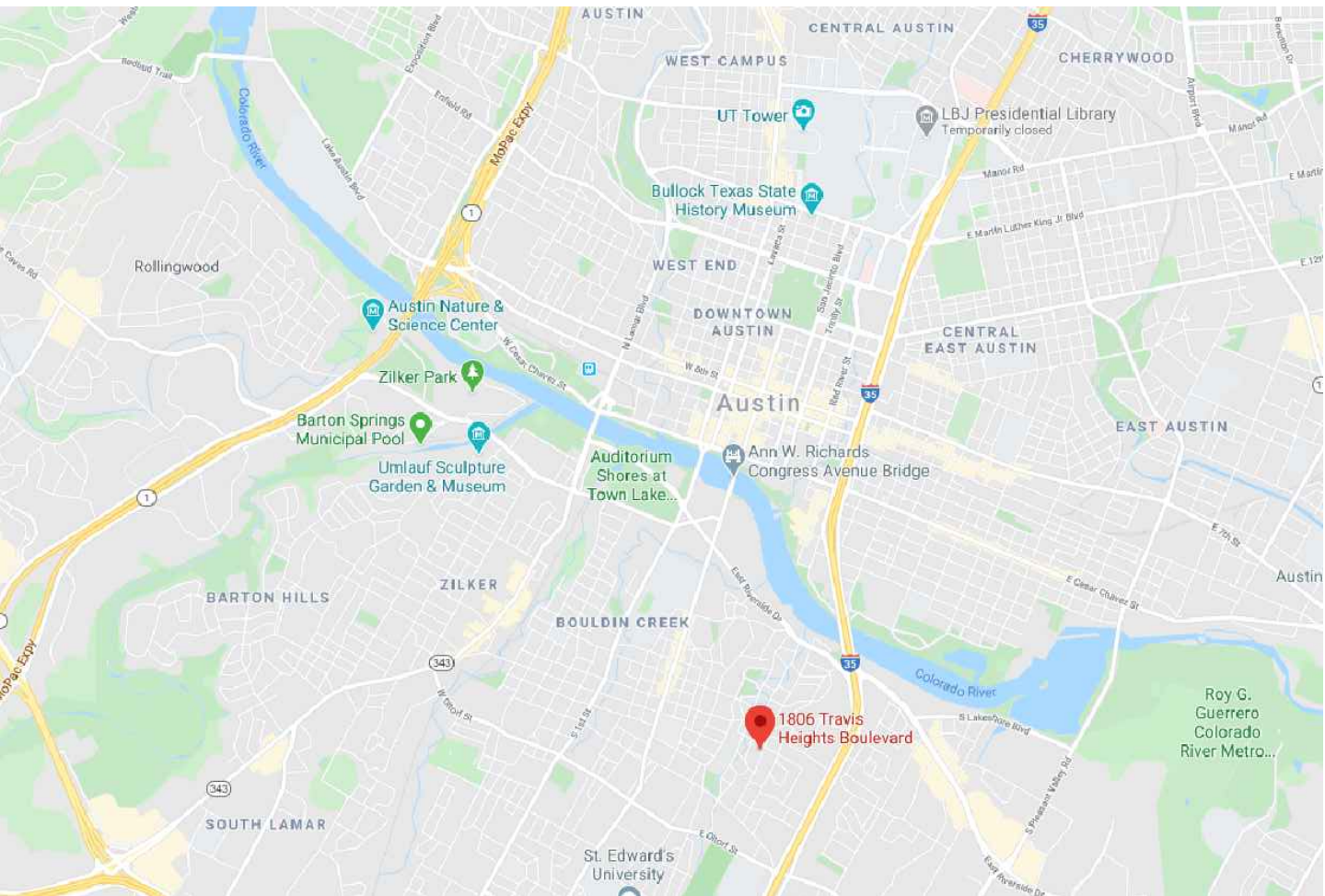


SITE SUMMARY
SCALE: 1" = 10'-0"



LOCATION MAP
SCALE: N/A

1806 TRAVIS HEIGHTS BLVD REMODEL/ADDITION

LEGAL DESCRIPTION:
LOT 11 BLK 21
TRAVIS HEIGHTS

ZONING: SF-3-NP

PROJECT SUMMARY:

TOTAL SITE: 6,847 SF

REMODEL AREA: 1,160 SF
ADDITION AREA: 708 SF
NEW DECK (100%): 721 SF

ZONING: SF-3-NP
WATERSHED: BLUNN CREEK
FLOODPLAIN: NO

BUILDING AREA

BLDG COVERAGE: 1,160 SF
NEW BLDG CVRG: 1,278 SF
18.67%

ALLOWABLE FAR: 2,739 SF

EXISTING FAR: 1,160 SF
EXISTING % FAR: 16.94 %

PROPOSED FAR: 1,868 SF
PROPOSED % FAR: 27.28 %

IMPERVIOUS COVER

ALLOWABLE I.C.: 3,081 SF

EXISTING I.C.: 2,502 SF
36.54%

PROPOSED I.C.: 2,601 SF
37.98 %

EXISTING FOOTPRINT: 1,160 SF
ADTL. FOOTPRINT: 118 SF
CONC. DRIVE/STAIRS: 636 SF
NEW DECK 754SF@50% 377 SF
SET STONE WALL/EDGE 192 SF
EXISTING CONC. WALL 100 SF
2 AC PADS: 18 SF

NEW IMPERVIOUS: 2,601 SF

NOTES:

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SP1 EXIST/NEW SITEPLAN
SP2 SITE AREA TOTALS
SP3 FRONT YARD TOTALS

A.1.0 DEMO PLAN
A1.1 FLOOR PLANS
A1.2 ROOF PLAN
A1.3 FLOORING
A1.4 CEILING MTRLS
A1.5 LIGHTING
A1.6 POWER
A1.7 HVAC
A1.8 WINDOWS
A1.9 DOORS
A2.1 EXTERIOR ELVES
A2.2 EXTERIOR ELVES
A3.1 INTERIOR ELVES
A3.2 INTERIOR ELVES
A3.3 INTERIOR ELVES
A3.4 INTERIOR ELVES
A4.1 INTERIOR ELVES
DETAILS

S0.0 STRUCTURAL NOTES
S1.0 FOUNDATION
S1.1 2ND/ROOF FRAMING
S2 DORMER FRAMING
S3.0 FRAMING DETAILS
S4.0 ROOF DETAILS
S4.1 TRUSS DETAILS
S5.0 BRACING/DECKING
S5.1 HEADER/STUD DTLS

GENERAL CONTRACTOR NOTES:

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SAFETY GLAZING: ALL HAZARDOUS GLASS MUST BE IN ACCORDANCE WITH 2015 IRC SECTION R608.4. (NOTED LOCATIONS: GLASS IN DOORS, WINDOWS 24" OR LESS FROM DOOR JAMB, GLAZING LESS THAN 5'-0" ABOVE THE FLOOR, AND SHOWER OR TUB ENCLOSURES.

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GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PART OF MECHANICAL AIR FLOW.

PER NFPA 72 CHAPTER 11.

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PER NFPA 72 CHAPTER 11.

WATERPROOF ALL WATER/FLASH AREAS TO A MINIMUM OF 60" ABOVE FINISHED FLOOR.

INSULATE MEP LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

ALL LANDSCAPING TO PROMOTE DRAINAGE AWAY FROM THE STRUCTURE & FOUNDATION. PROVIDE 3/4" FENCING AND/OR MULCH SOCKS AT PERIMETER OF SITE.



RB ARCHITECT, PLLC



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PRICING SET

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NEW REMODEL

1806 TRAVIS HEIGHTS BLVD
AUSTIN, TX 78704

DATE 8 / 14 / 20

REV1 10 / 15 / 20

10 / 30 / 20

SCALE

SHEET NAME

00



1806 TRAVIS HEIGHTS BLVD
REMODEL/ADDITION

LEGAL DESCRIPTION:
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ZONING: SF-3-NP

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ENCLOSURES.

SMOKE DETECTOR SYSTEM: GENERAL
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ACCORDANCE WITH 2015 IRC SECTION R314.

GENERAL CONTRACTOR SHALL VERIFY FOR
SMOKE DETECTORS TO BE LOCATED AT LEAST
3' AWAY FROM HORIZONTAL PATH OF
MECHANICAL AIR FLOW
PER NFPA 72 CHAPTER 11.

CARBON MONOXIDE ALARM: THE GENERAL
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APPROVED CARBON MONOXIDE ALARM
AT CORRESPONDING LOCATIONS, IN
ACCORDANCE WITH 2015 IRC SECTION R315.

INSTALL POLYISOCYANURATE (PIR) TYPE
INSULATION - OR EQUIVALENT - AT FLOOR
AND PLATE LINES, OPENINGS IN PLATES,
CORNER STUD CAVITIES AND AROUND
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PROVIDE SUE FENCING AND/OR
MULCH SOCKS AT PERIMETER OF SITE.



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PRICING SET

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NEW REMODEL

1806 TRAVIS HEIGHTS BLVD
AUSTIN, TX 78704

DATE	8 / 14 / 20
REV1	10 / 15 / 20
	10 / 30 / 20

SCALE

SHEET NAME

1806 TRAVIS HEIGHTS BLVD
REMODEL/ADDITION

GENERAL NOTES:

HIGH PERFORMANCE WINDOWS:

New Glazing to achieve Austin Energy Code requirements:
U-Value of 0.35 / SHGC Factor of 0.25.

INSULATION: New Walls: Minimum of R19
New Roof: Minimum of R38
Floor Insulation: Minimum of R13.

SAFETY GLAZING: Safety Glazing to be installed as per IRC section R308.4. (Noted locations: glass in doors, windows 24" or less from a door jamb, glazing less than 5'-0" above tub floor if applicable, and all tub/shower enclosures.)

SMOKE DETECTOR SYSTEM:

General Contractor is responsible that the dwelling unit to be equipped with an APPROVED SMOKE DETECTOR system at corresponding locations, in accordance with 2015 IRC Section R314.

General Contractor to verify Smoke Detectors are located at least 36" away from horizontal path of mechanical air flow. Per 2007 NFPA 72 Chapter 11.

CARBON MONOXIDE ALARM:

General Contractor is responsible that the dwelling unit to be equipped with an Approved CARBON MONOXIDE ALARM at corresponding locations, in accordance with 2015 IRC Section R315.

VISITABILITY NOTES:

EXTERIOR ROUTE:

POINT OF ORIGIN: FRONT SIDEWALK
ELEVATION 590'-0"

VISITABLE ENTRANCE: FRONT ENTRY DOOR
LANDING ELEV: 589'-0"

VISITABLE ROUTE: WALK FROM FRONT SIDEWALK
TO FRONT DOOR: 70'-0" LENGTH
MAX. SLOPE 1:12 / 8.3%

VISITABLE DOORWAY: 1) 36" WIDE x 6'-8" TALL DOOR
(MIN. 32" CLEAR WIDTH)
2) REVELED THRESHOLD
w/ 1/2" MAX RISE
(SEE DETAIL BELOW)

INTERIOR COMPLIANCE:

BATHROOM ROUTE: FRONT ENTRY DOOR TO BATH 1,
KITCHEN, FRONT LIVING/DINING, AND
BEDROOMS.

1) MINIMUM CLEAR WIDTH OF 32".
2) THRESHOLDS AND TRANSITIONS TO BE RAMPED OR
BEVELED.

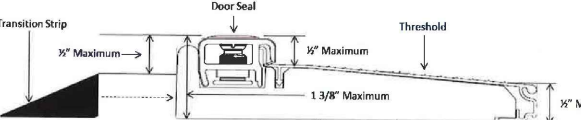
VISITABLE BATHROOM:

1) MINIMUM CLEAR OPENING OF 30" AT DOOR.
2) LATERAL 2"x6" WOOD BLOCKING SHALL BE INSTALLED FLUSH
WITH STUD EDGES OF BATHROOM WALLS. CENTERLINE OF
BLOCK AT 34" A/F/F/ EXCEPT FOR PORTION OF THE WALL
LOCATED DIRECTLY BEHIND THE LAVATORY.

ELECTRICAL:

1) LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS NO
HIGHER THAN 48" ABOVE FINISHED FLOOR LEVEL. (TO TOP OF
DEVICE/SWITCH)

2) OUTLETS AND RECEPTALS MINIMUM OF 15" ABOVE
FIRST FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS.



TYPICAL VISITABLE THRESHOLD
CoA DETAIL: C12013-0002

NOTES:

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CORNER END CAVITIES AND AROUND
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WATERPROOF ALL WATER/SPLASH AREAS TO
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OUTSIDE VIA METAL DUCTS.

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PROVIDE SIX FENCING AND/OR
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NEW REMODEL

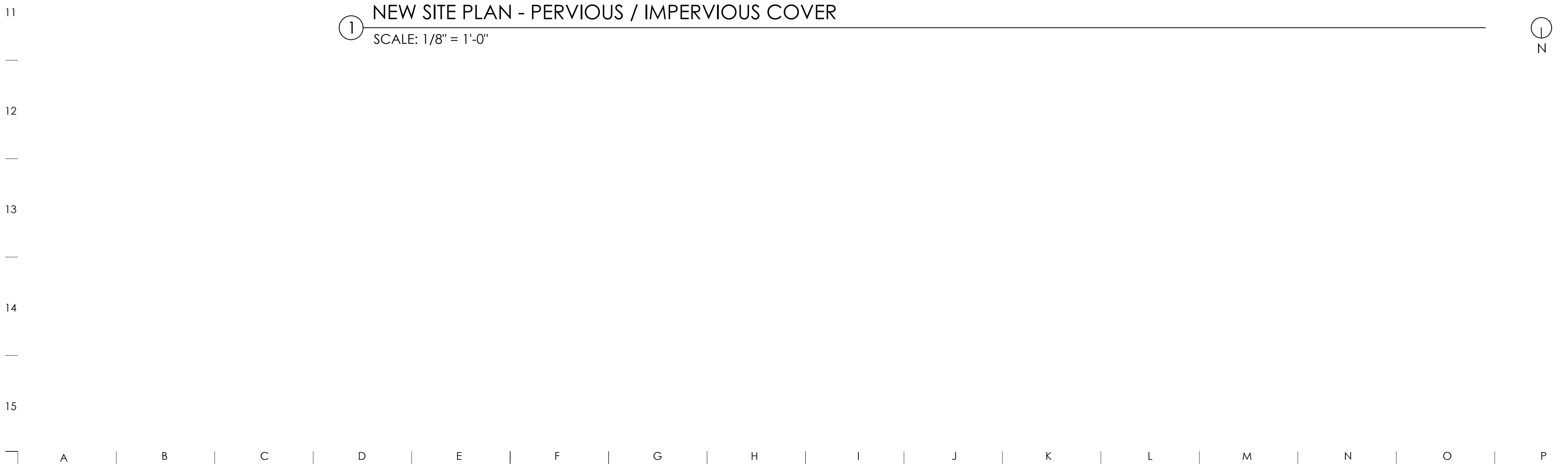
1806 TRAVIS HEIGHTS BLVD
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DATE	8 / 14 / 20
REV1	10 / 15 / 20
	10 / 30 / 20

SCALE

SHEET NAME

SP1



PROJECT SUMMARY:

IMPERVIOUS COVER

THE GENERAL CONTRACTOR (GC) SHALL FOLLOW COMPLY WITH THE LOCAL, STATE AND FEDERAL REQUIREMENTS, INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

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[illegible]

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hollingsworth pack austin

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SCALE

SHEET NAME

SP2

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |

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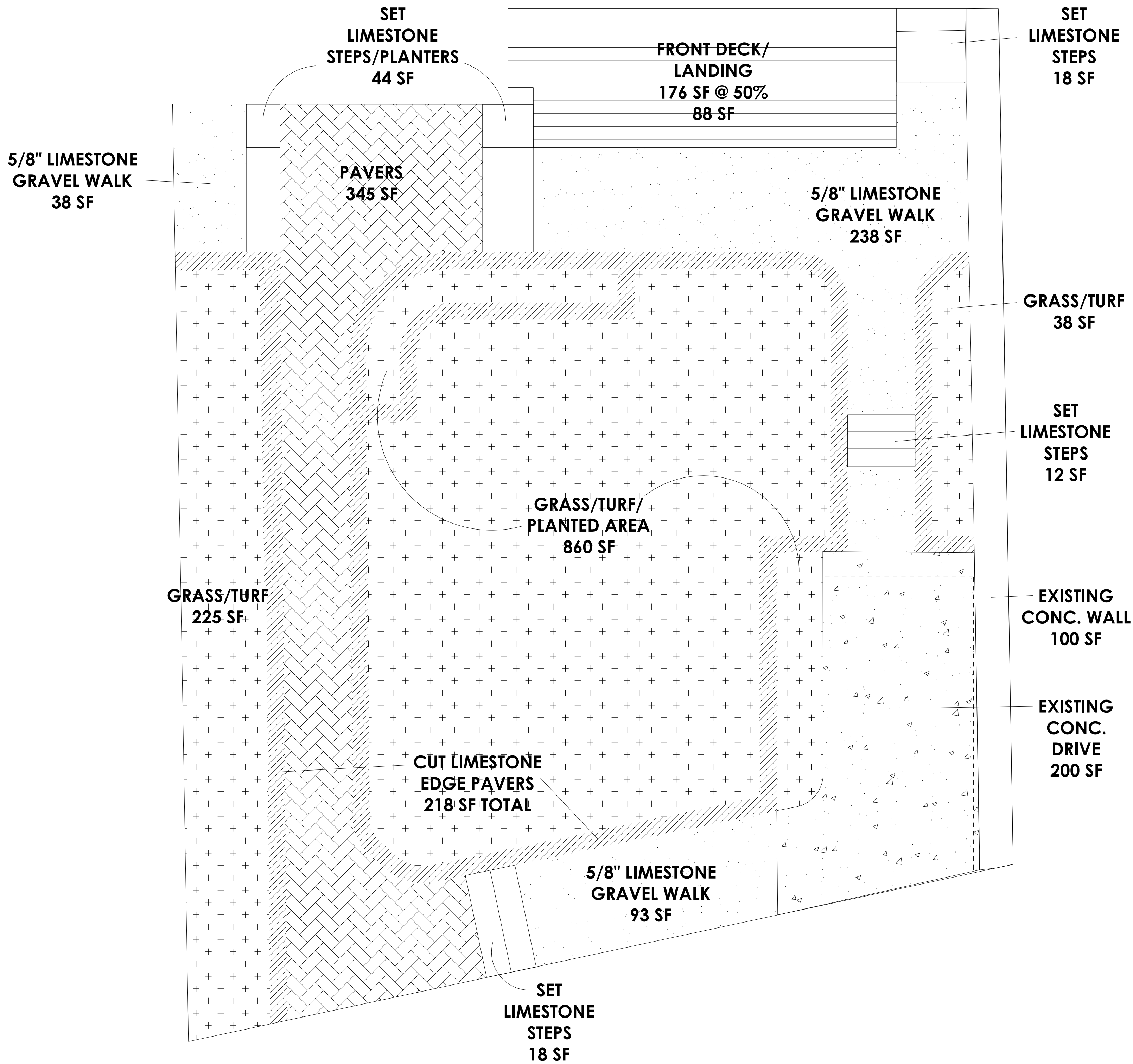
12

13

14

15

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |



1 FRONT YARD LAYOUT
SCALE: 1/4" = 1'-0"



1806 TRAVIS HEIGHTS BLVD
REMODEL/ADDITION

FRONT YARD SUMMARY:

TOTAL FRONT YARD: 2,626 SF

40% ALLOWABLE
IMPERVIOUS COVER: 1,050 SF

PERVIOUS COVER:

GRASS/TURF AREA:	1,126 SF
STONE PAVERS:	345 SF
LIMESTONE EDGE:	218 SF
GRAVEL WALKS:	369 SF
TOTAL PERVIOUS:	2,146 SF

IMPERVIOUS COVER:

EXISTING DRIVE:	200 SF
EXIST. CONC. WALL:	100 SF
SET LIMESTONE STEPS:	92 SF
FRONT DECK: @ 50%	88 SF
TOTAL IMPERVIOUS:	480 SF

TOTAL I.C.% 18%

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WATERPROOF ALL WATER/SPASH AREAS TO A MINIMUM OF 6" ABOVE FINISHED FLOOR.

INSULATE MEP LINES FOR SOUND CONTROL. EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

ALL LANDSCAPING TO PROMOTE DRAINAGE AWAY FROM THE STRUCTURE & FOUNDATION. PROVIDE SET FENCING AND/OR MULCH SOCKS AT PERIMETER OF SITE.



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NEW REMODEL

1806 TRAVIS HEIGHTS BLVD
AUSTIN, TX 78704

DATE	8 / 14 / 20
REV1	10 / 15 / 20
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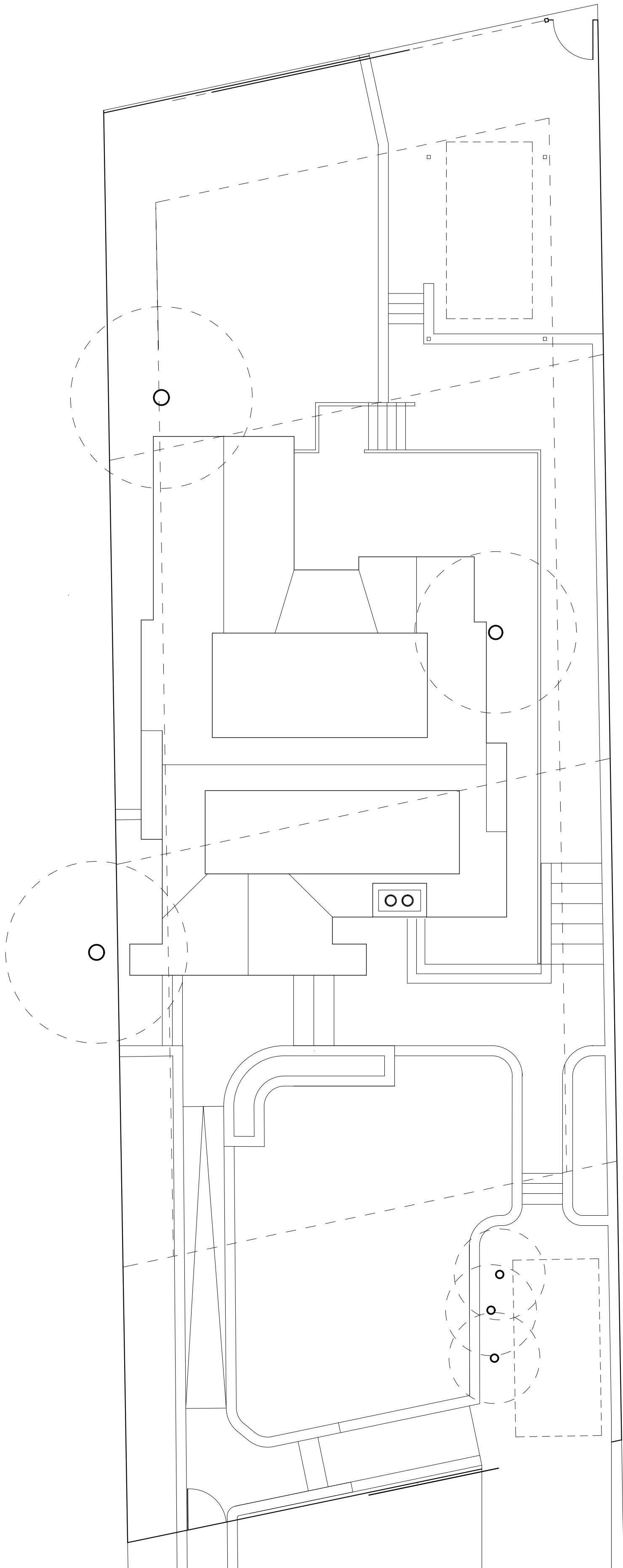
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SHEET NAME

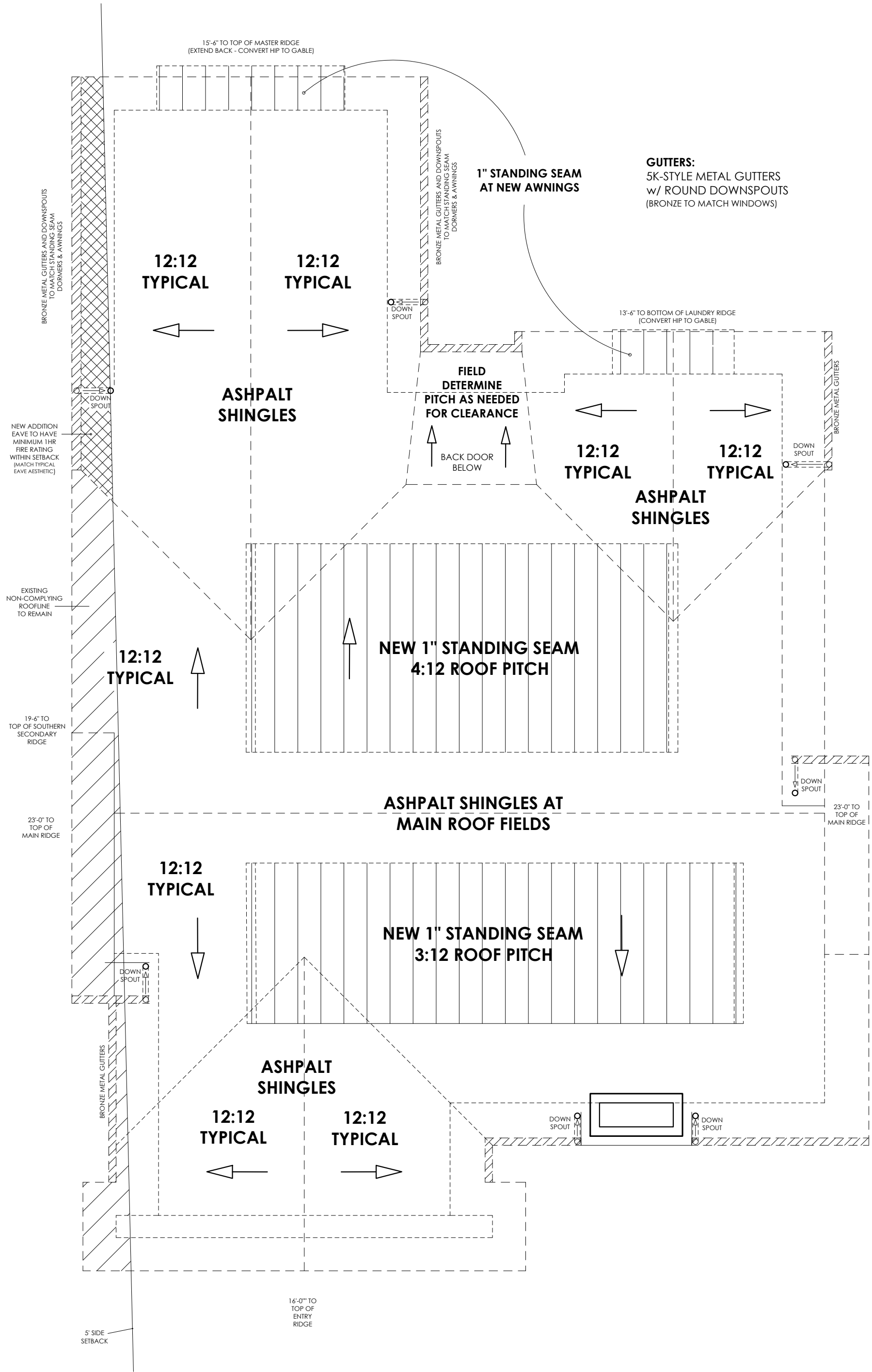
SP3

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |

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2 ROOF SITE
SCALE: 1/8" = 1'-0"



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |

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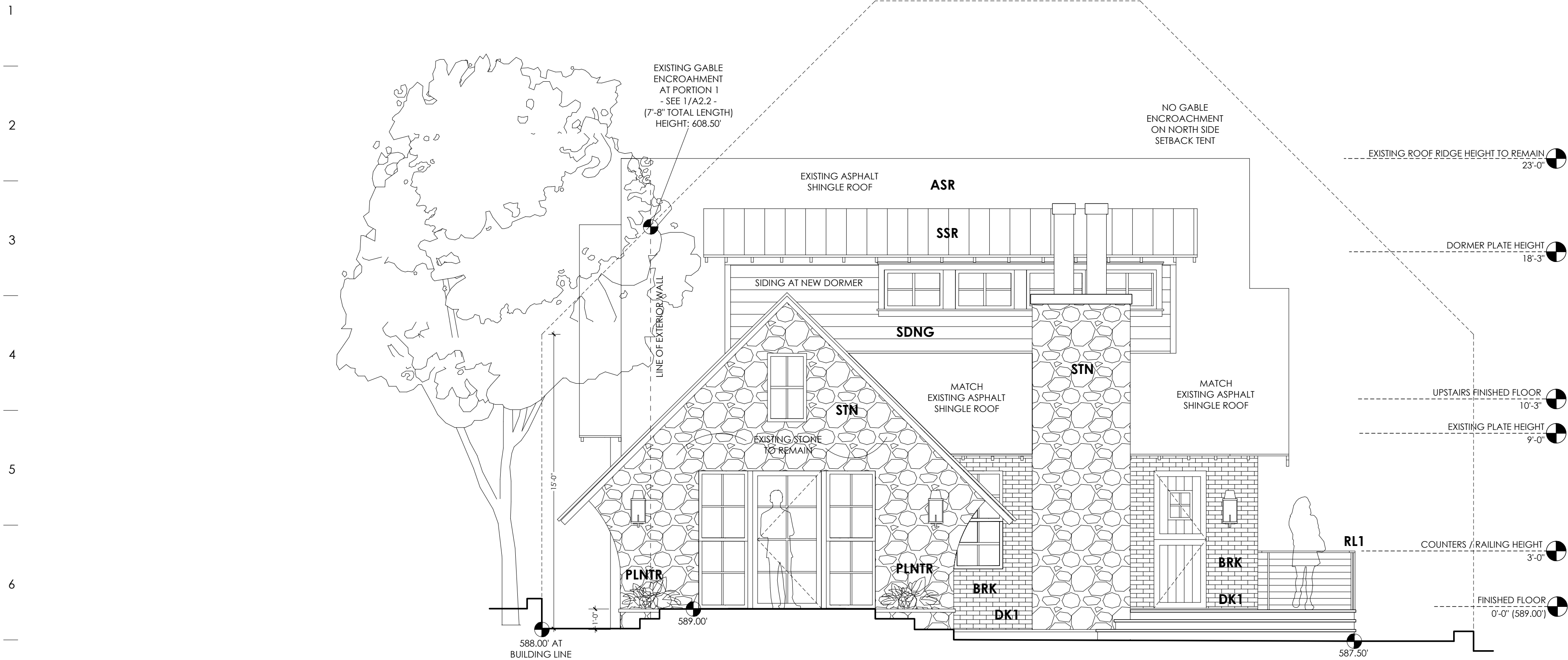
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	10 / 30 / 20

SCALE

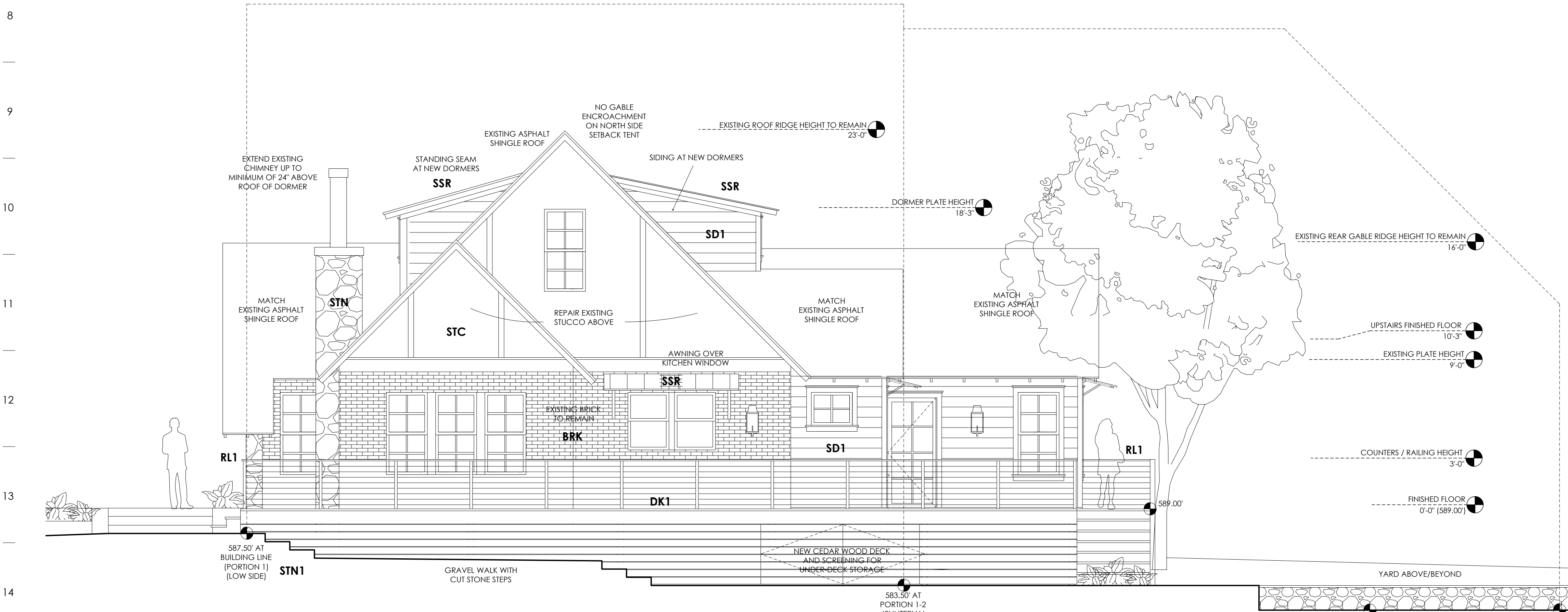
SHEET NAME

A1.2

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |



1 EXISTING/NEW FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 UPDATED SIDE (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |

MATERIAL NOTES

EXTERIOR FINISHES:

** ALL EXPOSED WOOD TO BE
CLEAR HEART NO.2 OR BETTER
(KILN DRIED TO 16-18%)

CNC CONCRETE DRIVE/STAIRS
SALTED NON-SLIP FINISH

DK1 5/4" x 6" WR CEDAR
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ASR ASPHALT SHINGLE ROOF
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SSR STANDING SEAM METAL
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STC NEW STUCCO EXTERIOR
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STN EXISTING EXTERIOR STONE
TO BE WHITE-WASHED/
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SD1 LAP SIDING
MATCH EXISTING AND/OR
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(PAINTED - COLOR TBD)

RL1 1/2" x 3" FLATBAR STEEL
VERTICAL POSTS w/
1/2" x 1/2" SQUARE BAR
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(REPAIR OR REPLACE AS NEEDED)
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WD2 1"x4" HANDRAIL TOPPER
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WESTERN RED CEDAR
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PLNTR LANDSCAPED BEDS
12" CUT LIMESTONE CAPS
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NEW REMODEL

1806 TRAVIS HEIGHTS BLVD
AUSTIN, TX 78704

DATE	8 / 14 / 20
REV1	10 / 15 / 20
	10 / 30 / 20

SCALE

SHEET NAME

A2.1

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |

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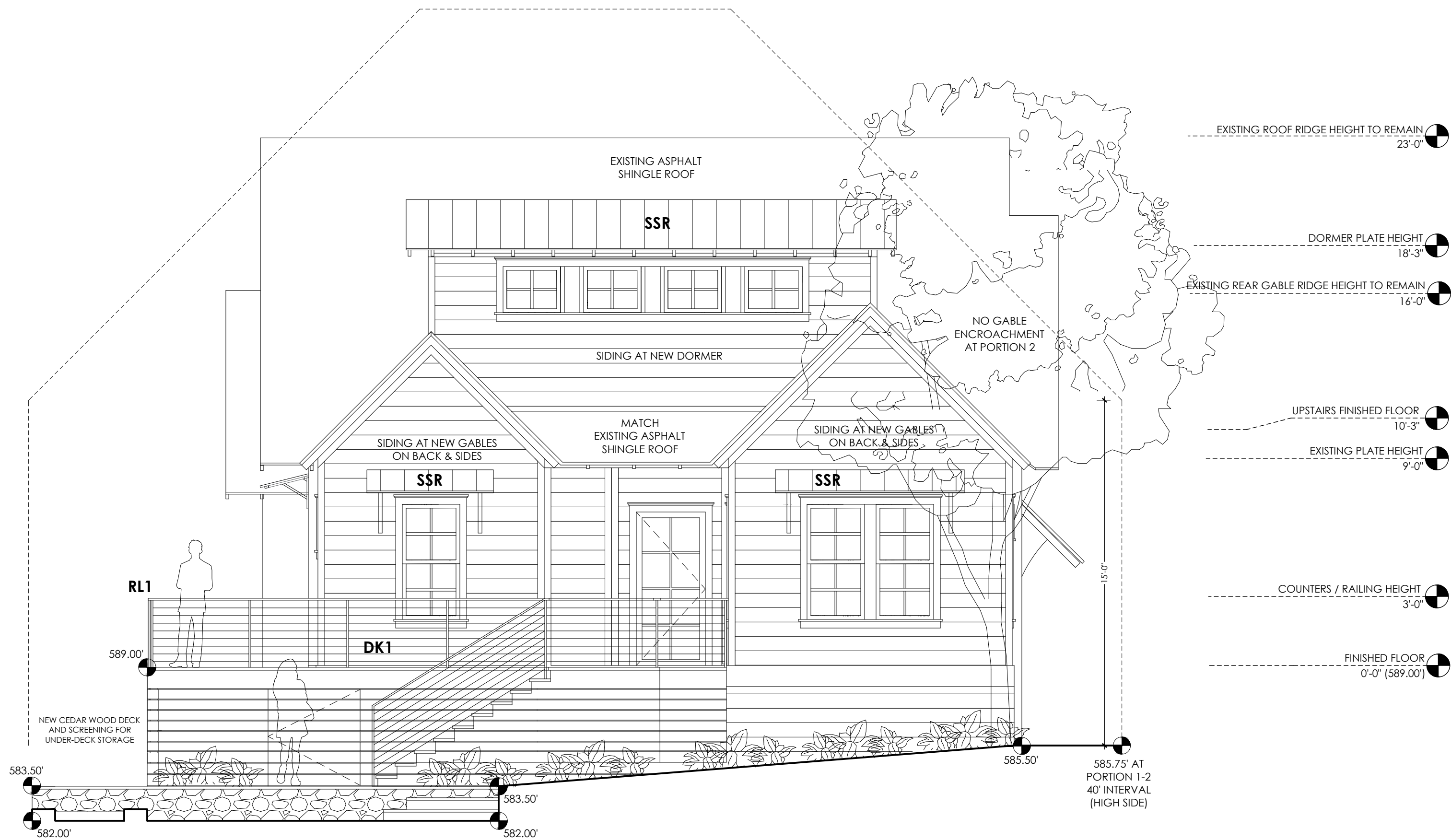
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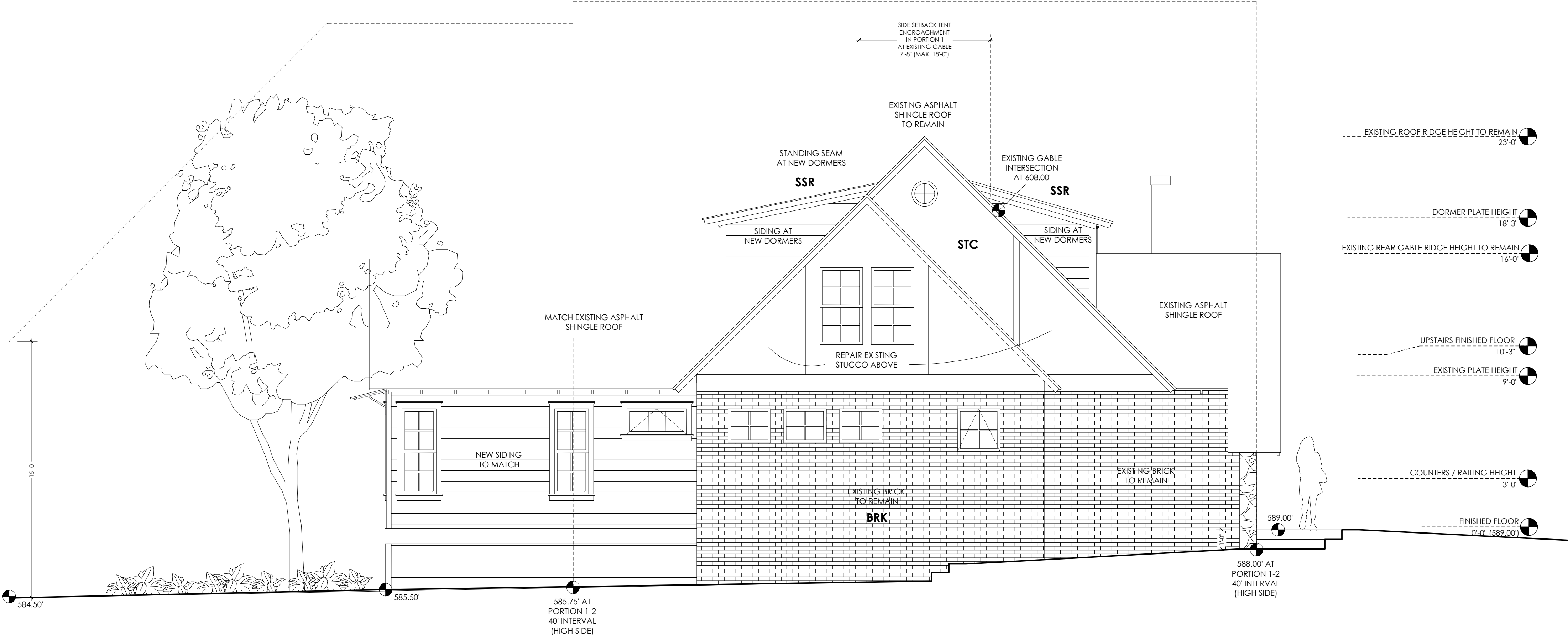
13

14

15



1 UPDATED SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 UPDATED BACK (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R |

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SCALE

SHEET NAME

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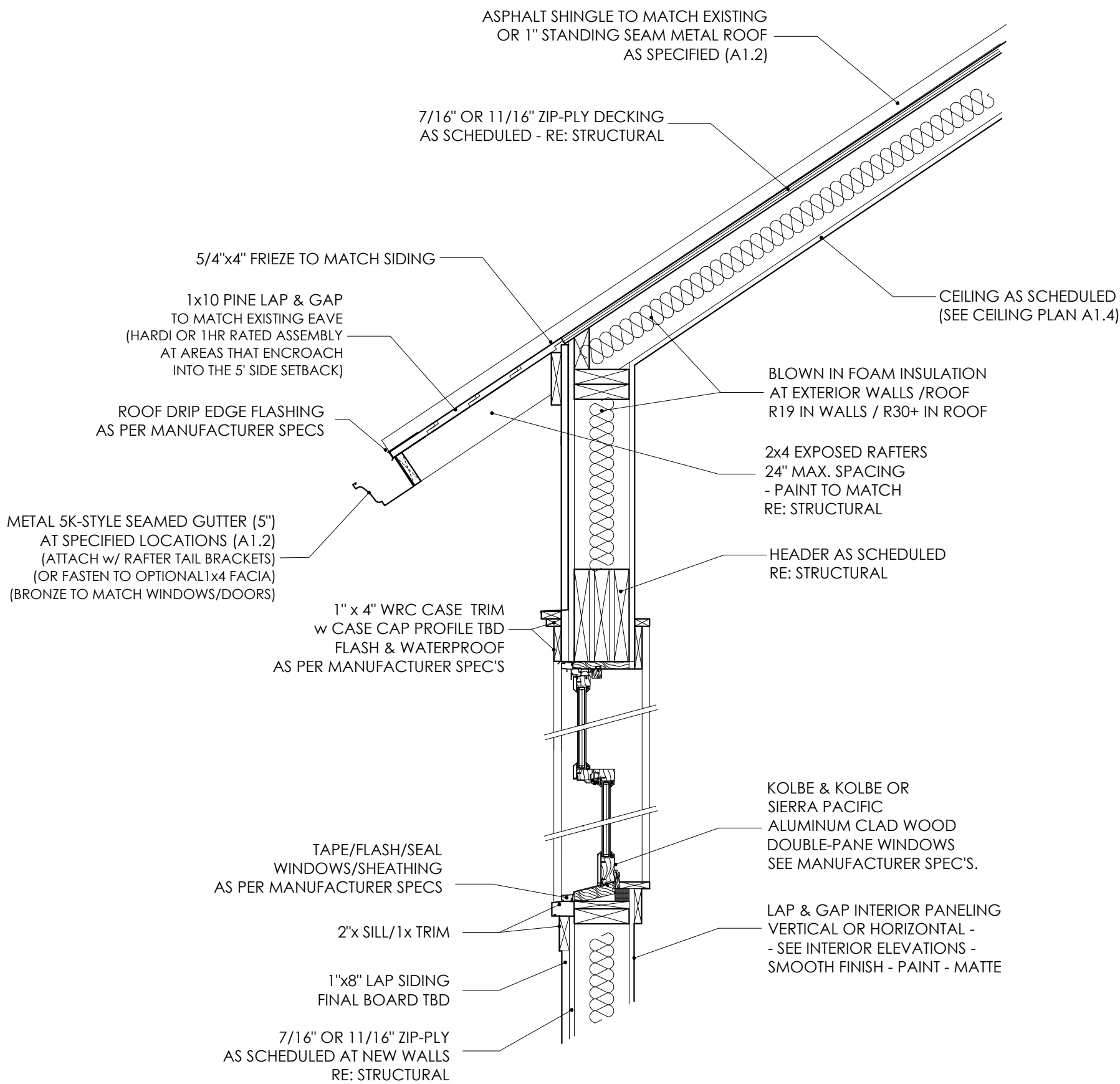
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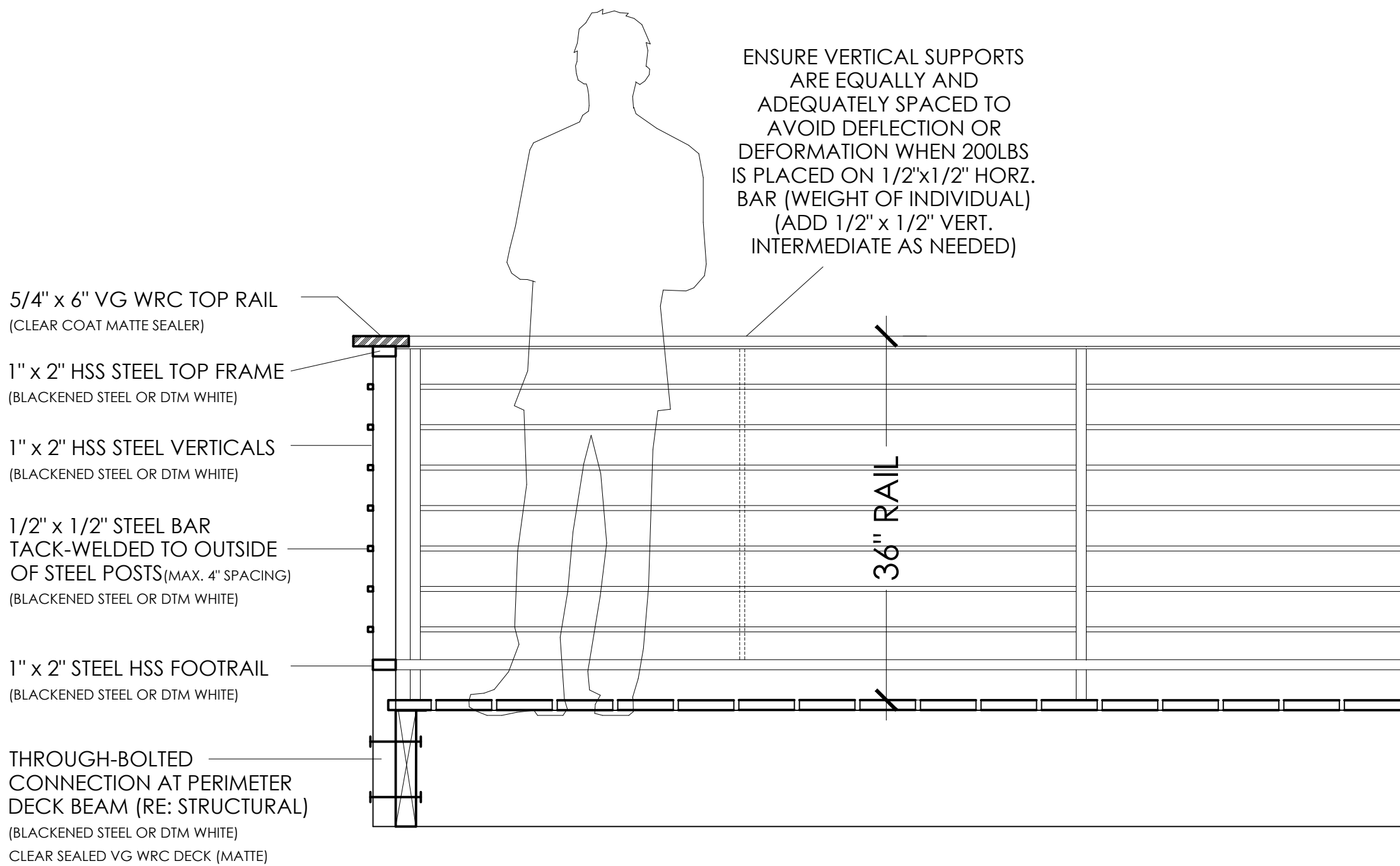
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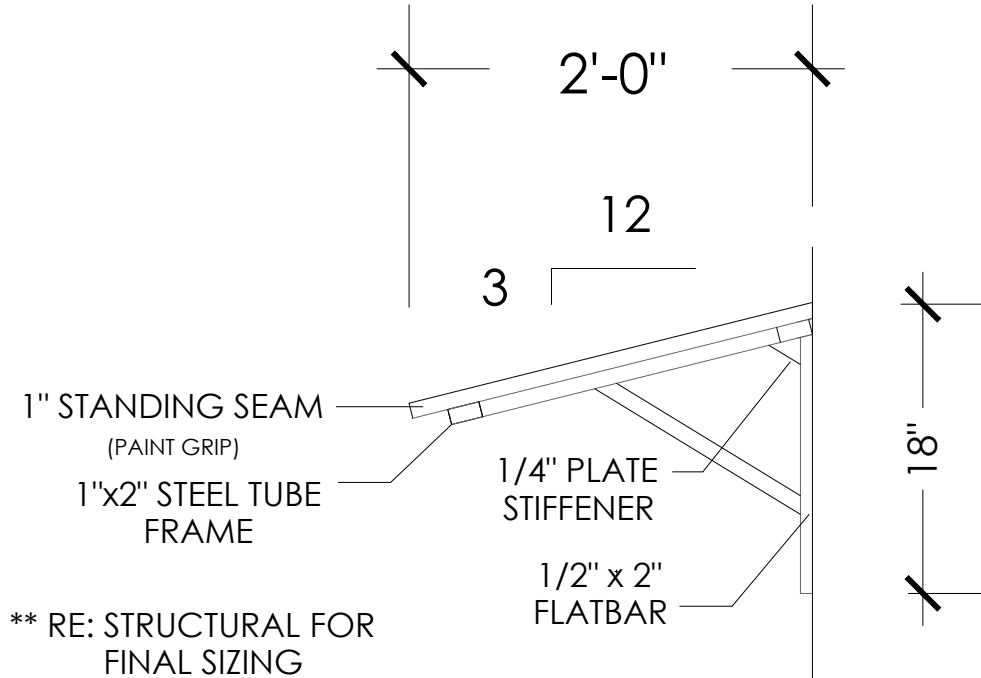
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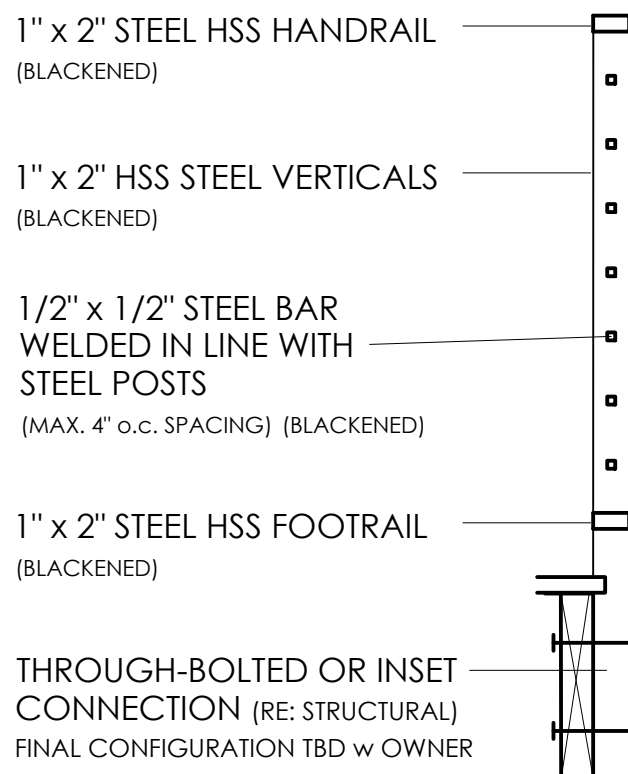
2 TYPICAL EXPOSED EAVE (TO MATCH - OR EQUIV.)
SCALE: 1" = 1'-0"



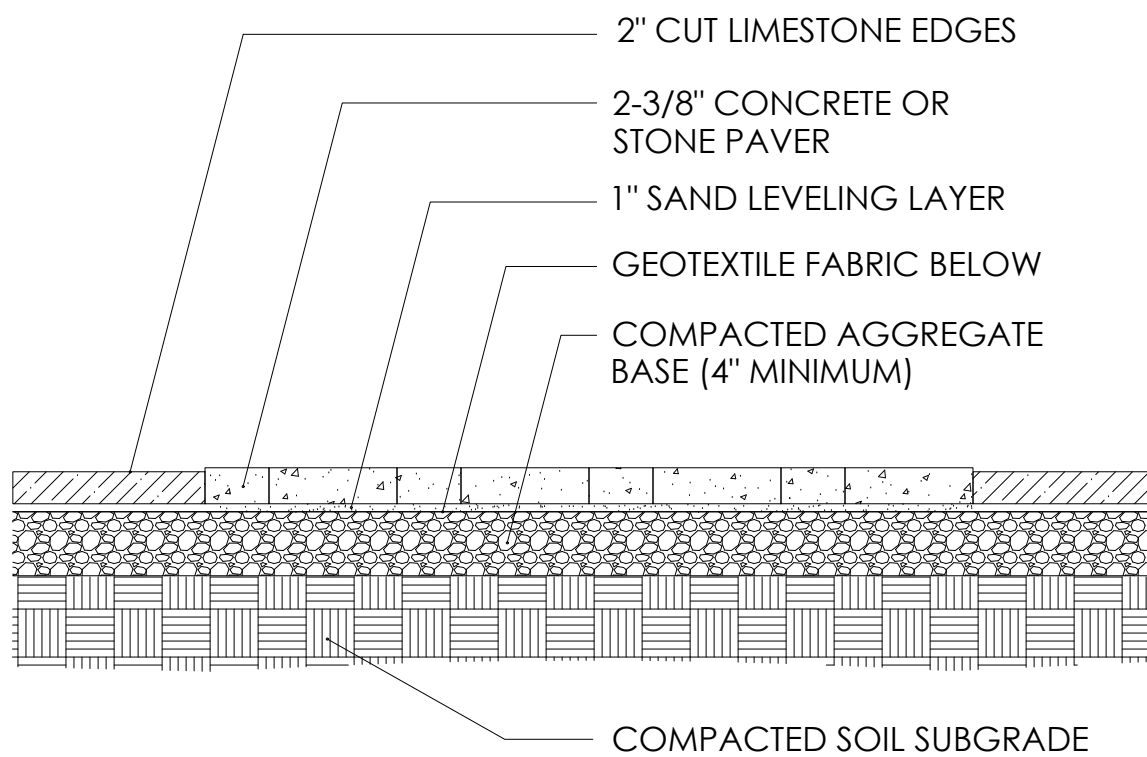
3 TYPICAL DECK RAILING (OR EQUIV.) TBD w OWNER
SCALE: 1" = 1'-0"



1 TYPICAL AWNING
SCALE: 1" = 1'-0"



4 TYPICAL STAIR RAIL (OR EQUIV.) TBD w OWNER
SCALE: 1" = 1'-0"



NOTES:

- THICKNESS OF AGGREGATE BASE WILL VARY WITH EXISTING GRADE
- CUT STONE TO BE PLACED AT FACE OF RISERS AT STEPS
- STACK CUT STONE EDGING AS NEEDED (MAX. 3 COURSES) AT STEPS

5 TYPICAL PAVER WALKWAY
SCALE: 1" = 1'-0"

MATERIAL NOTES

EXTERIOR FINISHES:

** ALL EXPOSED WOOD TO BE CLEAR HEART NO.2 OR BETTER (KILN DRIED TO 16-18%)

CNC CONCRETE DRIVE/STAIRS SALTED NON-SLIP FINISH

DK1 5/4" x 6" WR CEDAR DECKING w GAP (CLEAR SEALER - NATURAL FINISH)

ASR ASPHALT SHINGLE ROOF (MATCH EXISTING)

SSR STANDING SEAM METAL (1" SEAM - CHARCOAL)

STC NEW STUCCO EXTERIOR (TYPICAL 3-COAT - HAND-TRIOLED)

STN EXISTING EXTERIOR STONE TO BE WHITE-WASHED/ SLURRY-COATED

SD1 LAP-SIDING MATCH EXISTING AND/OR REPLACE WITH EQUIVALENT (PAINTED - COLOR TBD)

RL1 1/2" x 3" FLATBAR STEEL VERTICAL POSTS w/ 1/2" x 1/2" SQUARE BAR TACK-WELDED TO OUTSIDE OF FLATBAR POSTS (RE: STRUCTURAL/MAX. 4" OPENING)

WD1 1"x10" WOOD SOFFIT (EXISTING - MATCH) PAINT-GRADE PINE/FR (REPAIR OR REPLACE AS NEEDED) (REPLACEMENT/NEW SOFFIT MATERIAL LOCATED WITHIN THE SETBACK TO BE 1HR FIRE RATED ASSEMBLY/MATERIAL)

WD2 1"x4" HANDRAIL TOPPER VG/CLEAR HEART WESTERN RED CEDAR (CLEAR COAT SEALER - NATURAL FINISH)

STN1 CUT STONE WALKS/STAIRS (FLAGSTONE/ALEUTERS/PAVERS)

PLNTR LANDSCAPED BEDS

12" CUT LIMESTONE CAPS w/ DRYSTACK CUT STONE TO MATCH EXISTING - (MORTAR AT BACK OF COURSE IF NEEDED - PROVIDE ADEQUATE WEEP AND DRAINAGE)

CASE TRIM: 1x4 TO MATCH SIDING (PAINT TO MATCH)

CASE TOP ACCENT TRIM:

DOUBLE STEPPED CROWN CAP (1x2 + RIPPED 1x4 STEPPED CASE CAPS or ALTERNATE CAP PROFILE TBD WITH OWNER)

SILLS/STOOLS: 2x THICKNESS w 1x4 APRON SLOPE AWAY FROM WINDOW (PAINT TO MATCH)

FLASH ALL WINDOWS/DOORS AS PER MANUFACTURER SPECS.

GUTTERS: 5K-STYLE METAL GUTTERS w/ ROUND DOWNSPOUTS AS SHOWN ON ROOF PLAN (A1.2) (BRONZE TO MATCH WINDOWS)

INTERIOR FINISHES:

BASE TRIM 1ST FLOOR:

1x8 PAINT GRADE

BASE TRIM 2ND FLOOR:

1x6 PAINT GRADE

CASE TRIM: 1x4 PAINT GRADE

CASE ACCENT:

STEPPED 1x PROFILES PAINT GRADE (PROFILE TO BE 1x2 + 1x3 STEPPED)

SILLS: 2x PAINT GRADE

TRIM IN WET AREAS TO BE HARDI OR WET RATED MATERIAL

ALL TRIM (PAINTED - SEMI-GLOSS FINISH)

CABINETS/BUILT-INS:

BT1 PAINT-GRADE BUILT-INS

CB1 PAINT-GRADE SHAKER CABS (SATIN FINISH)

COUNTERS: (SEAL AS PER MNFCTR SPECS)

CT1 QUARTZ - WHITE MARBLED
CT2 CARRERA MARBLE TOP

WALLS/CEILING:

W1 1x10 LAP & GAP AT EAVE HORIZONTALLY RUN (PAINT WHITE - MATTE)

W2 1x12 LAP & GAP VERTICALLY RUN (BATTENS OPTIONAL) (PAINT WHITE - MATTE)

W3 1x8 LAP & GAP AT CEILING (PAINT WHITE - MATTE)

WP1 POWDER BATH WALLPAPER

WP2 MASTER WC WALLPAPER

WP3 UPSTAIRS WC WALLPAPER

T1 3"x12" SUBWAY TILE 1/3 OFFSET AT MAIN FIELD WHITE MATTE (NO BEVEL)

T2 MASTER BATH TILE (TBD) - ALIGNED SET - (NEUTRAL - SEMI/MATTE)

T3 4"x12" CEILING TILE IRREGULAR or 1/3 OFFSET (ANTIQUE WHITE - MATTE (NO BEVEL)

GYP LEVEL 4 DRYWALL (PAINTED - SATIN FINISH)

PLSTR PLASTER FINISH

SH1 FRAMELESS GLASS SHOWER

FLOORS:

FLR1 REFINISH / MATCH EXISTING WOOD FLOORS (STAIN / SEAL)

FLR2 MEDIUM PILE CARPET & PAD (FINAL SELECTION APRVD BY OWNER)

FLR3 PAINTED CONCRETE TILE - PATTERN APRVD BY OWNER ** THOROUGHLY SEAL - MATTE ** (RUN FLUSH INTO SHOWER & TOILET, NO THRESHOLD, SLOPE TO DRAIN)

FLR4 8" HEX TILE @LAUNDRY/PANTRY (FINAL SELECTION APRVD BY OWNER)

INSULATION:

CLOSED CELL BLOWN IN FOAM INSULATION AT EXTR WALLS / ROOF R19 IN WALLS / R30+ IN ROOF

SOUND BATT INSULATION TO BE PLACED IN ALL WALLS BETWEEN BATHROOMS/UTILITY ROOMS AND LIVING ROOMS OR BEDROOMS

SOUND BATT INSULATION IN ALL WALL BETWEEN KITCHEN/LIVING AREAS AND BEDROOMS

SOUND BATT INSULATION IN FLOOR/CEILING CAVITY BETWEEN 1ST AND 2ND FLOORS

NOTES:

GENERAL CONTRACTOR NOTES:

THE GENERAL CONTRACTOR (GC) SHALL FULLY COMPLY WITH THE LOCAL GOVERNING CODES, INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

THE GC SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, & REGULATIONS. THE GC SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GC SHALL FAMILIARIZE ITSELF WITH THE CONSTRUCTION DOCUMENTS AND NOTIFY THIS OFFICE OF ANY DISCREPANCY THAT THEY MAY IDENTIFY OR ANY ITEM NEEDING FURTHER ATTENTION.

DIMENSIONS SHOWN ARE TO FACE OF FINISHED MATERIALS.

THE GC SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GC IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS. THE GC SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CDS. ANY DEFECT OR DISCREPANCY FOUND WITH THE CDS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE PRIOR TO PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE GC.

SAFETY GLAZING: ALL HAZARDOUS GLASS MUST BE IN ACCORDANCE WITH 2015 IRC SECTION R808.4. (NOTED LOCATIONS: GLASS IN DOORS, WINDOWS 24" OR LESS FROM DOOR JAMB, GLAZING LESS THAN 5'0" ABOVE TUB FLOOR, AND SHOWER OR TUB ENCLOSURES.

SMOKE DETECTOR SYSTEM: GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT TO BE EQUIPPED WITH AN APPROVED SMOKE DETECTOR SYSTEM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R314.

GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW, PER NFPA 72 CHAPTER 11.

CARBON MONOXIDE ALARM: THE GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT BE EQUIPPED WITH AN APPROVED CARBON MONOXIDE ALARM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R315.

WATERPROOF ALL WATER/SLASH AREAS TO A MINIMUM OF 6" ABOVE FINISHED FLOOR.

INSULATE MEP LINES FOR SOUND CONTROL. EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

ALL LANDSCAPING TO PROMOTE DRAINAGE AWAY FROM THE STRUCTURE & FOUNDATION. PROVIDE SILL FLASHING AND/OR MULCH SOCKS AT PERIMETER OF SITE.



RB ARCHITECT, PLLC



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PRICING SET

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NEW REMODEL

1806 TRAVIS HEIGHTS BLVD
AUSTIN, TX 78704

DATE	8 / 14 / 20
REV1	10 / 15 / 20
	10 / 30 / 20

SCALE

SHEET NAME

A4.1





