



Historic Review Application

For Office Use Only
Date of Submission: _____

Case #: _____

Historic Preservation Office approval

Date of Approval: _____

Property Address: _____

Historic Landmark

Historic District (Local)

National Register Historic District

Historic Landmark or

Historic District Name: _____

Applicant Name: _____ Phone #: _____ Email: _____

Applicant Address: _____ City: _____ State: _____ Zip: _____

Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____
2) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____
3) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____

Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing *and* proposed conditions for alterations and additions.

Site Plan

Elevations

Floor Plan

Roof Plan

2. Color photographs of building and site:

Elevation(s) proposed to be modified

Detailed view of each area proposed to be modified

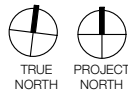
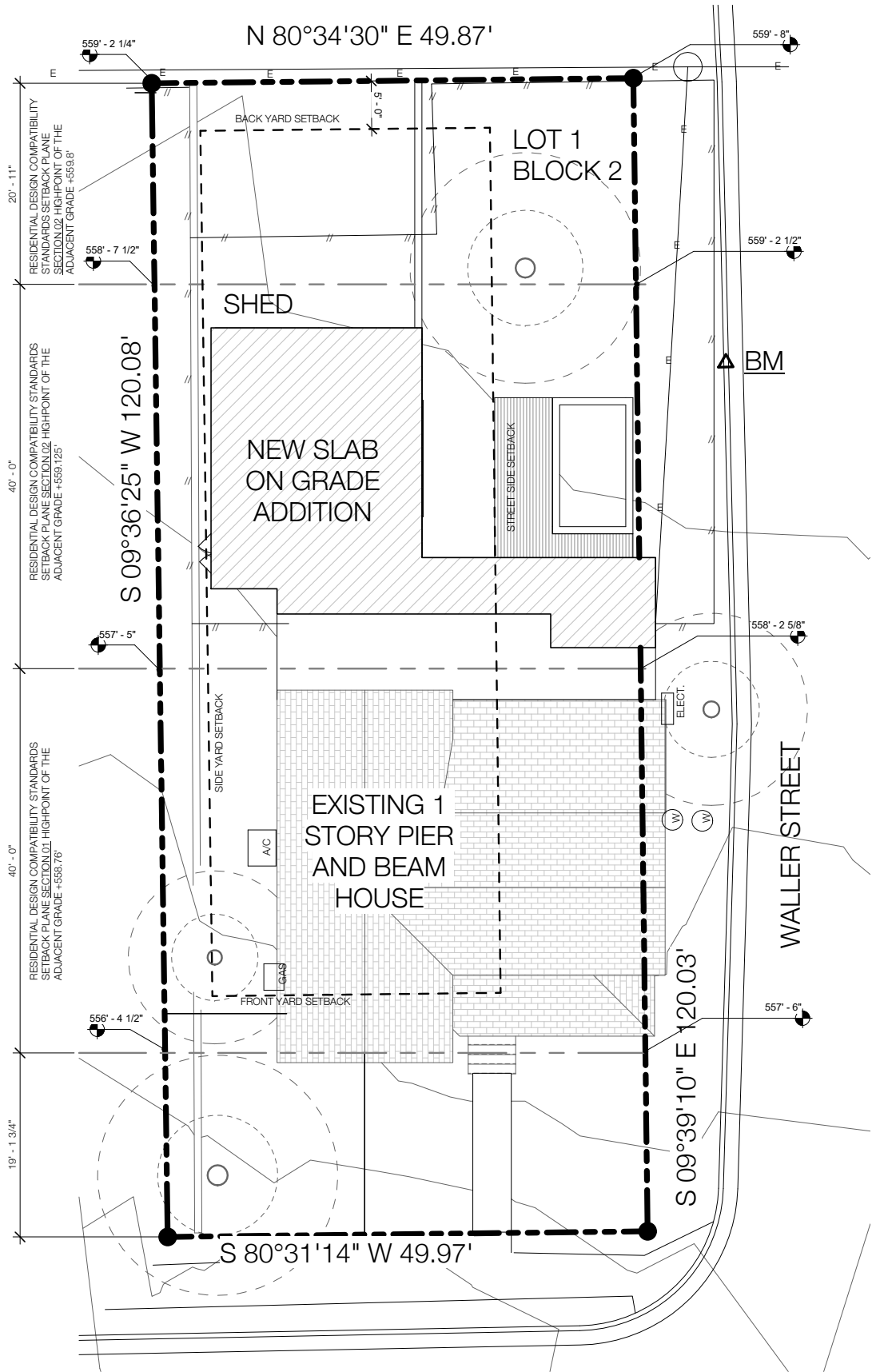
*Any changes to these plans must be reviewed and approved by the
Historic Preservation Office and/or Historic Landmark Commission.*

Applicant Signature: _____

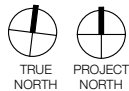
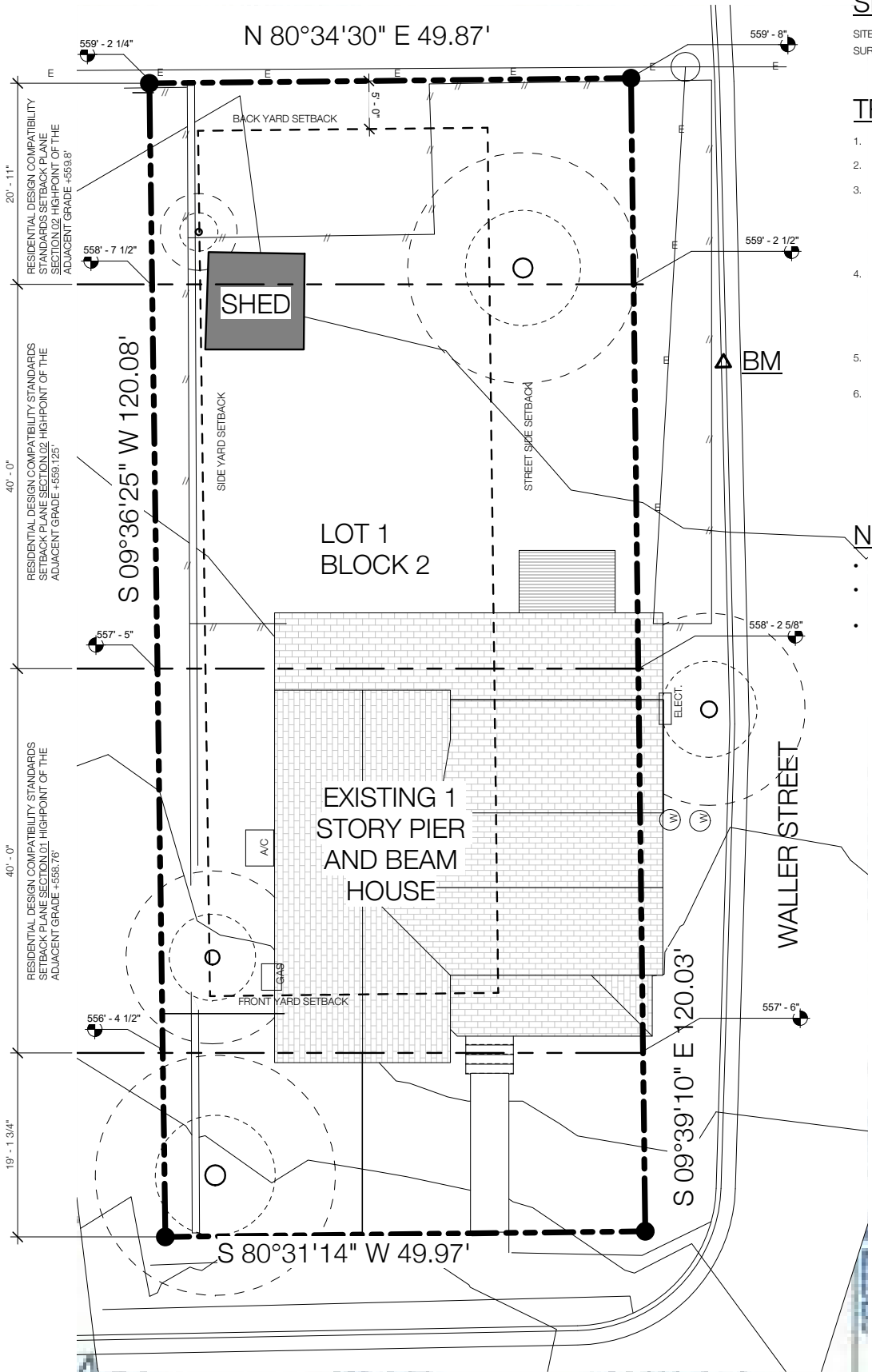
Date: _____

Submit complete application, drawings, and photos to preservation@austintexas.gov. Call (512) 974-3393 with questions.

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2 SITE - PROPOSED
1/8" = 1'-0"



1 SITE - EXISTING
1/8" = 1'-0"

SITE INFORMATION

SITE INFORMATION TAKEN FROM WATERLOO SURVEYING
SURVEY DATE: 09.01.20

TREE PROTECTION NOTES:

- MULCH TRAFFIC AREA AND SET PROTECTIVE FENCING AROUND TREES IN CRITICAL ROOT ZONES.
- NO CONSTRUCTION STAGING WITHIN CRITICAL ROOT ZONES.
- FOOTINGS WITHIN CRITICAL ROOT ZONES TO BE EXCAVATED USING AN AIR SPADE BY A CERTIFIED ARBORIST ON SITE AND USING PRESCRIBED SOIL TREATMENT. IF ANY ROOTS 1.5" OR GREATER ARE ENCOUNTERED DURING EXCAVATION, FOOTING MUST BE MOVED TO AVOID ROOT. CONTACT ENGINEER FOR DIRECTION OF SHIFT.
- MATERIAL STAGING, DUMPSTER AND SPOILS PLACEMENT CANNOT BE WITHIN THE 1/2 CRZ OF ANY PROTECTED TREES. PORTABLE TOILET AND CONCRETE WASHOUT CANNOT BE WITHIN THE FULL CRZ OF ANY PROTECTED TREES. COORDINATE EXACT LOCATIONS WITH TREE INSPECTOR DURING PRE-CONSTRUCTION MEETING.
- WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES. IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.
-

NOTES:

- AVERAGE GRADE @ NEW STRUCTURE = 98'-8.25"
- AVOID THE 1/2 CRITICAL ROOT ZONE OF ANY PROTECTED TREE WITH ANY NEWLY PROPOSED UTILITY ROUTES AND METER LOCATIONS.
- ONLY PROTECTED TREES ARE SHOWN

SIDE
ANGLE
SIDE
1505 Travis Heights Blvd.
Austin, TX 78704

not for
construction

09.24.20

FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

ASHMORE HOUSE

910 East 14th Street, Austin, TX 78702

ISSUE SETS

DATE	DESCRIPTION
09.24.20	PROGRESS SET

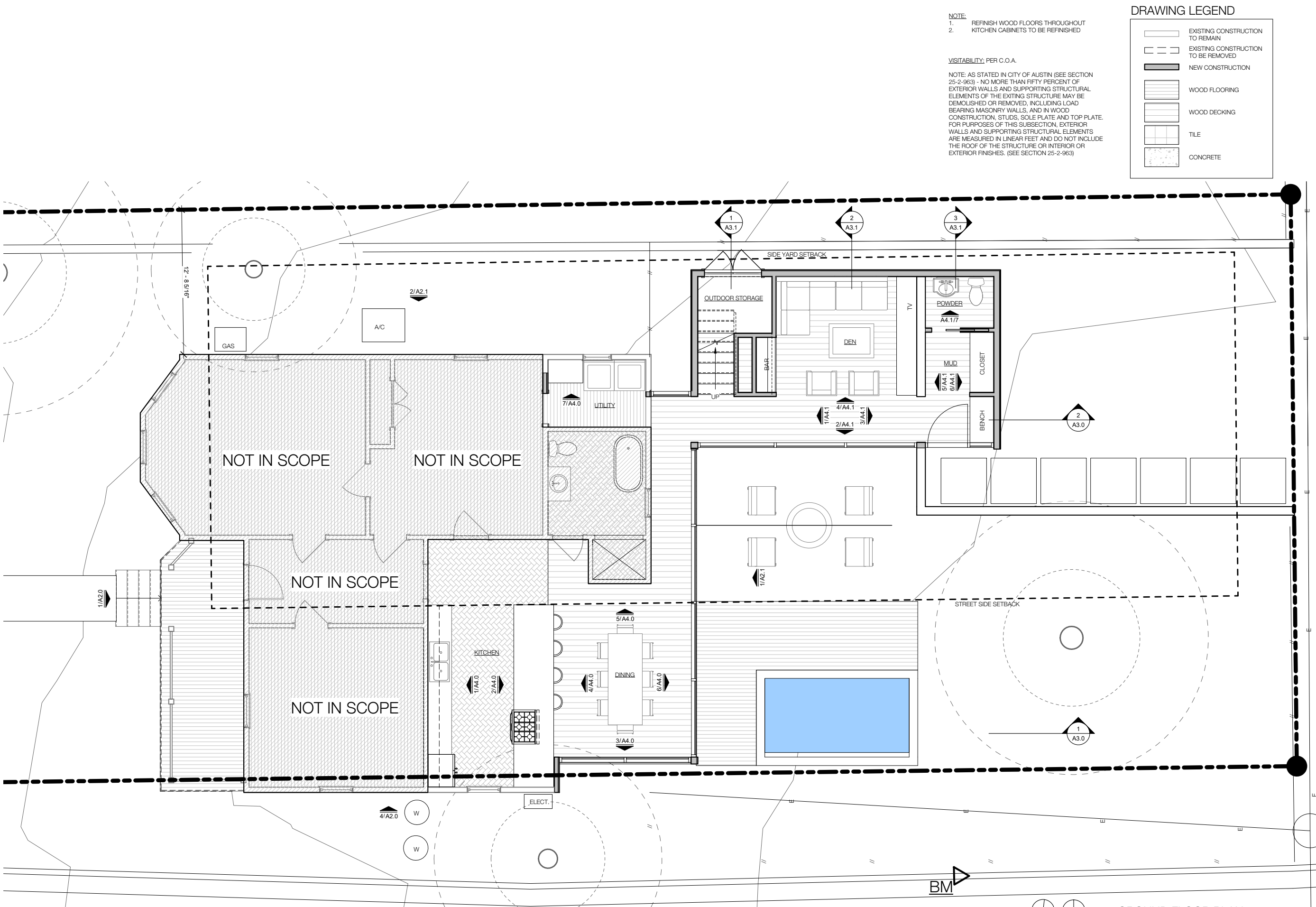
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SITE PLAN

A1.0

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NOTE:
1. REFINISH WOOD FLOORS THROUGHOUT
2. KITCHEN CABINETS TO BE REFINISHED

VISIBILITY: PER C.O.A.

NOTE: AS STATED IN CITY OF AUSTIN (SEE SECTION 25-2-963) - NO MORE THAN FIFTY PERCENT OF EXTERIOR WALLS AND SUPPORTING STRUCTURAL ELEMENTS OF THE EXISTING STRUCTURE MAY BE DEMOLISHED OR REMOVED, INCLUDING LOAD BEARING MASONRY WALLS, AND IN WOOD CONSTRUCTION, STUDS, SOLE PLATE AND TOP PLATE. FOR PURPOSES OF THIS SUBSECTION, EXTERIOR WALLS AND SUPPORTING STRUCTURAL ELEMENTS ARE MEASURED IN LINEAR FEET AND DO NOT INCLUDE THE ROOF OF THE STRUCTURE OR INTERIOR OR EXTERIOR FINISHES. (SEE SECTION 25-2-963)

DRAWING LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	WOOD FLOORING
	WOOD DECKING
	TILE
	CONCRETE

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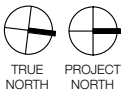
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GROUND FLOOR PLAN

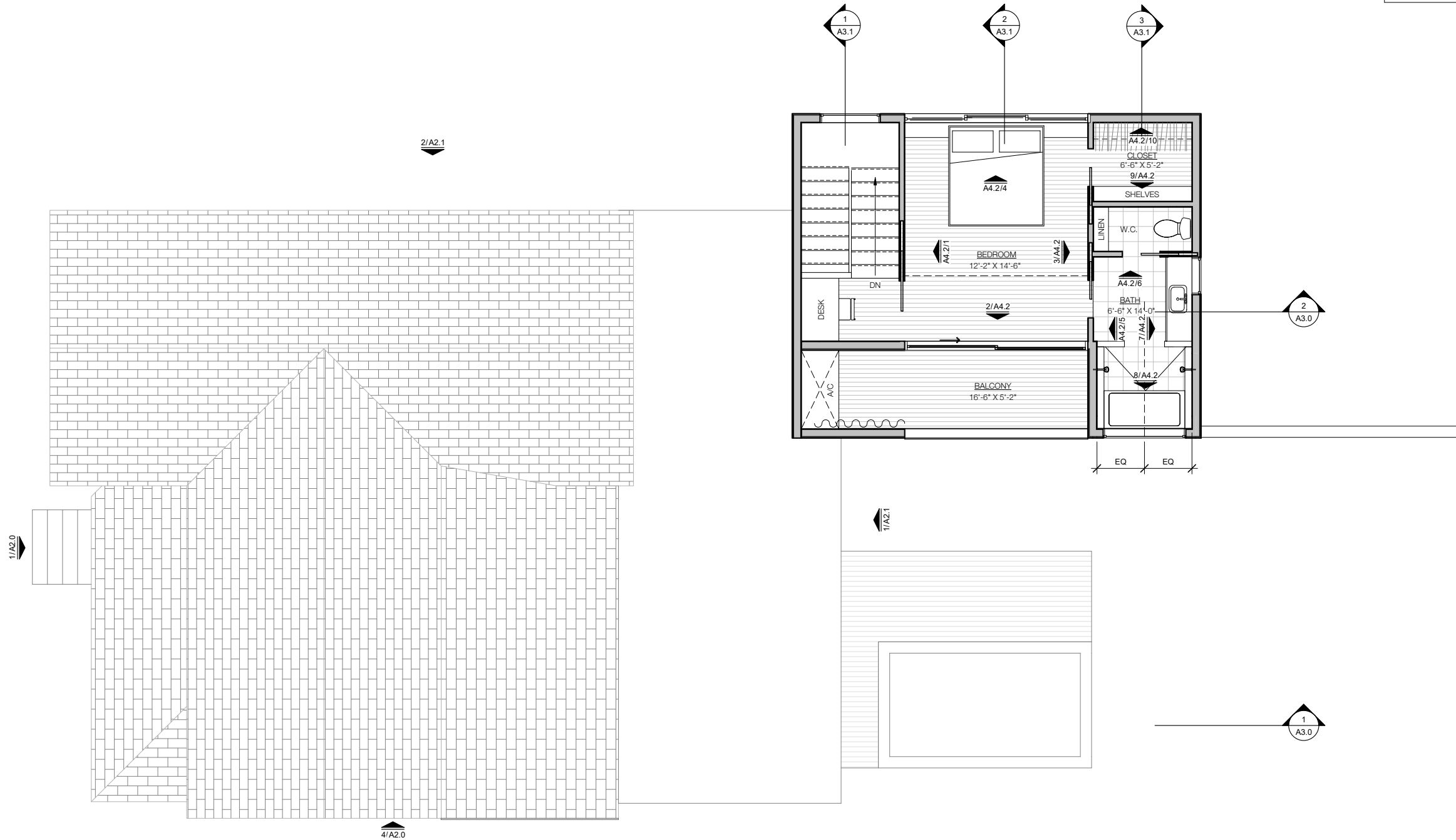
A1.1



1 GROUND FLOOR PLAN
1/4" = 1'-0"

IF PRINTED AT 11X17, SCALE IS 1/2 OF WHAT IS NOTED

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DRAWING LEGEND

EXISTING CONSTRUCTION
TO REMAIN

EXISTING CONSTRUCTION
TO BE REMOVED

NEW CONSTRUCTION

WOOD FLOORING

WOOD DECKING

TILE

CONCRETE

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910 East 14th Street, Austin, TX 78702

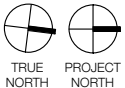
ISSUE SETS

DATE	DESCRIPTION
09.24.20	PROGRESS SET

09.24.20

SECOND FLOOR PLAN

A1.2



1 SECOND FLOOR PLAN
1/4" = 1'-0"

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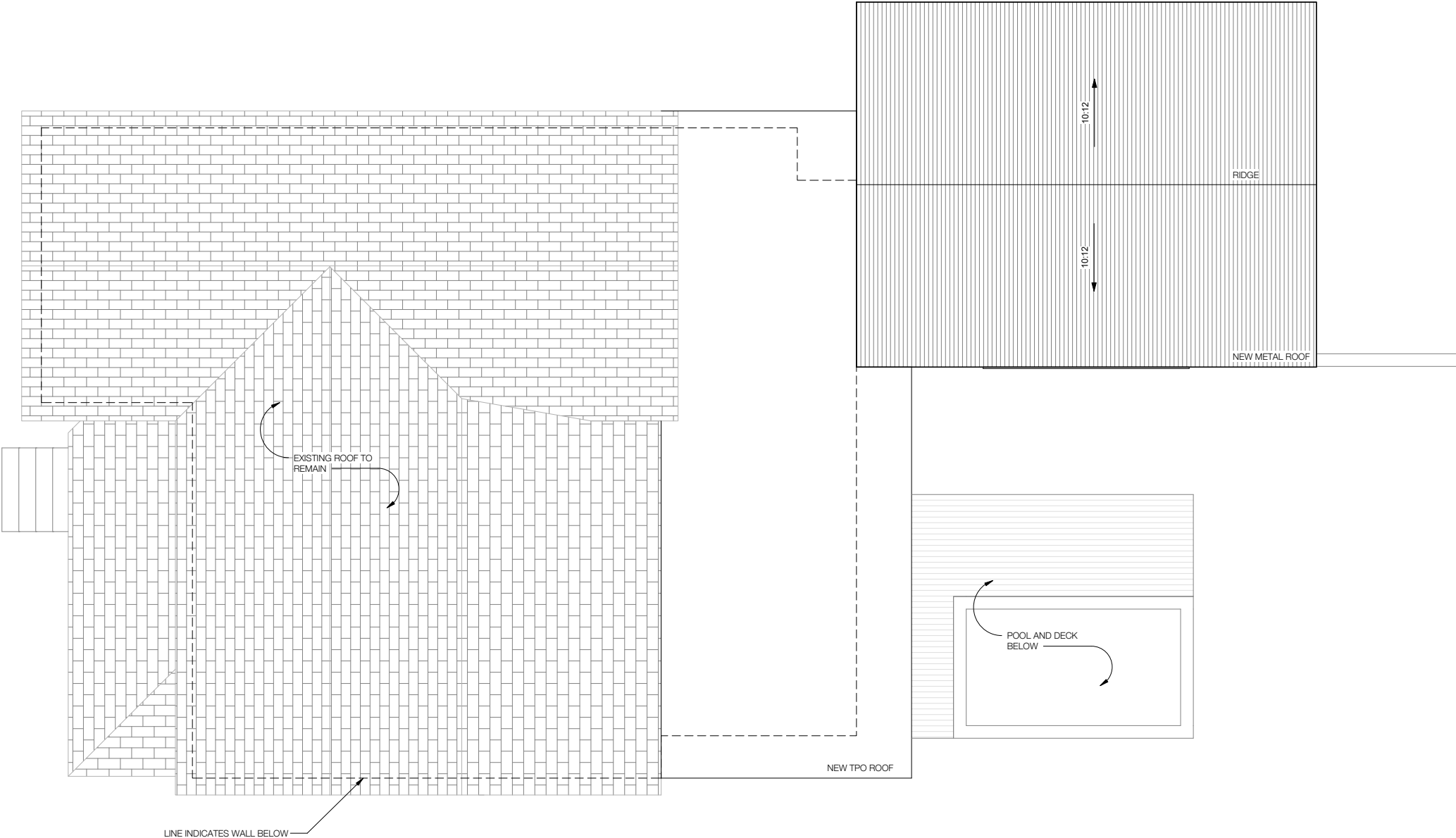
DATE	DESCRIPTION
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09.24.20

ROOF PLAN

A1.3

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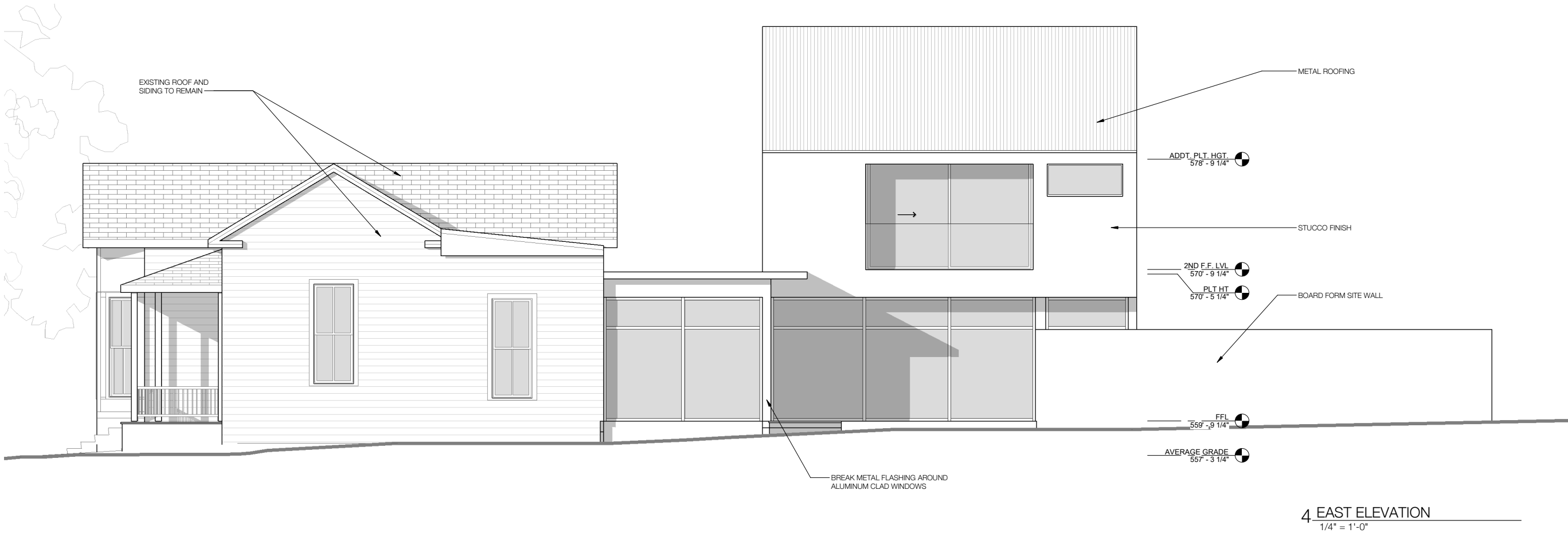
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09.24.20

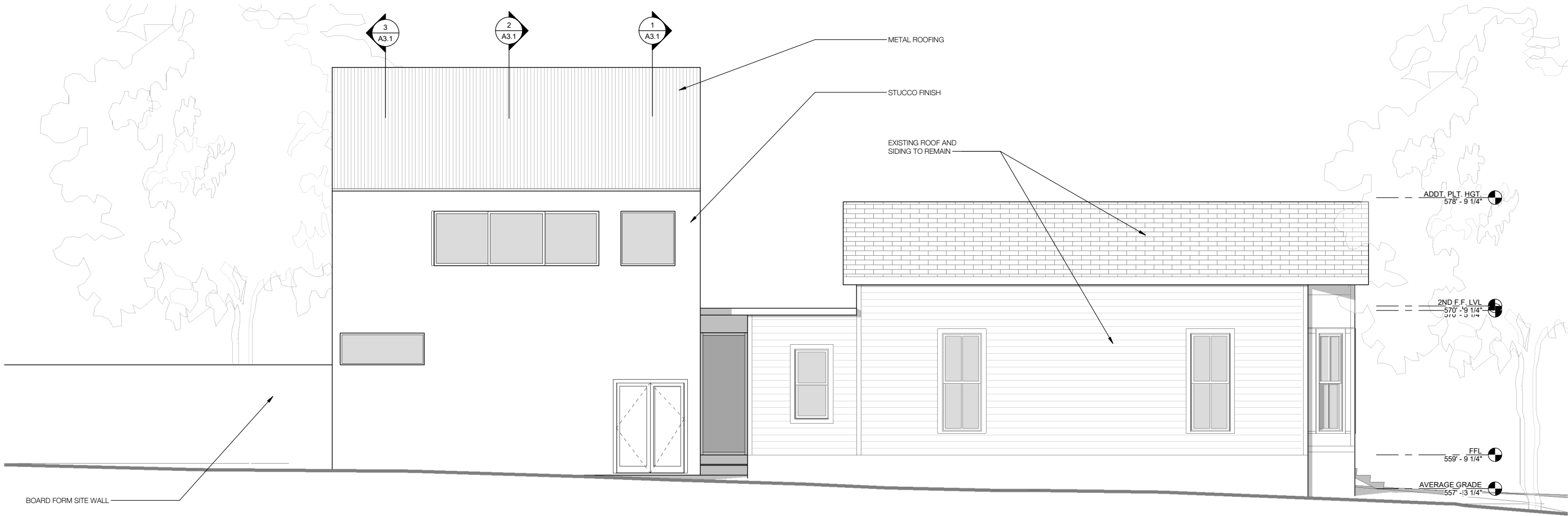
EXTERIOR ELEVATIONS

A2.0

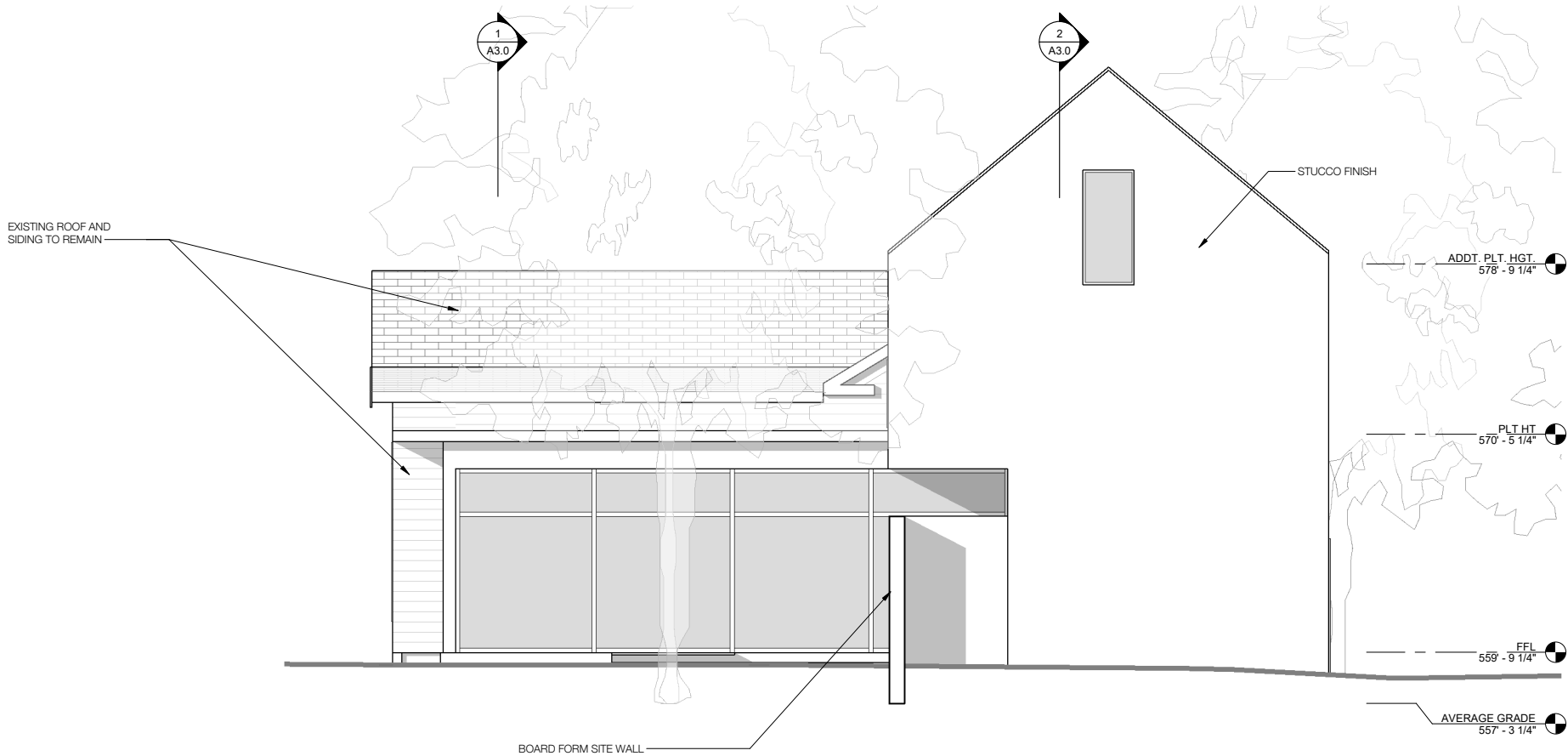


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2 WEST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

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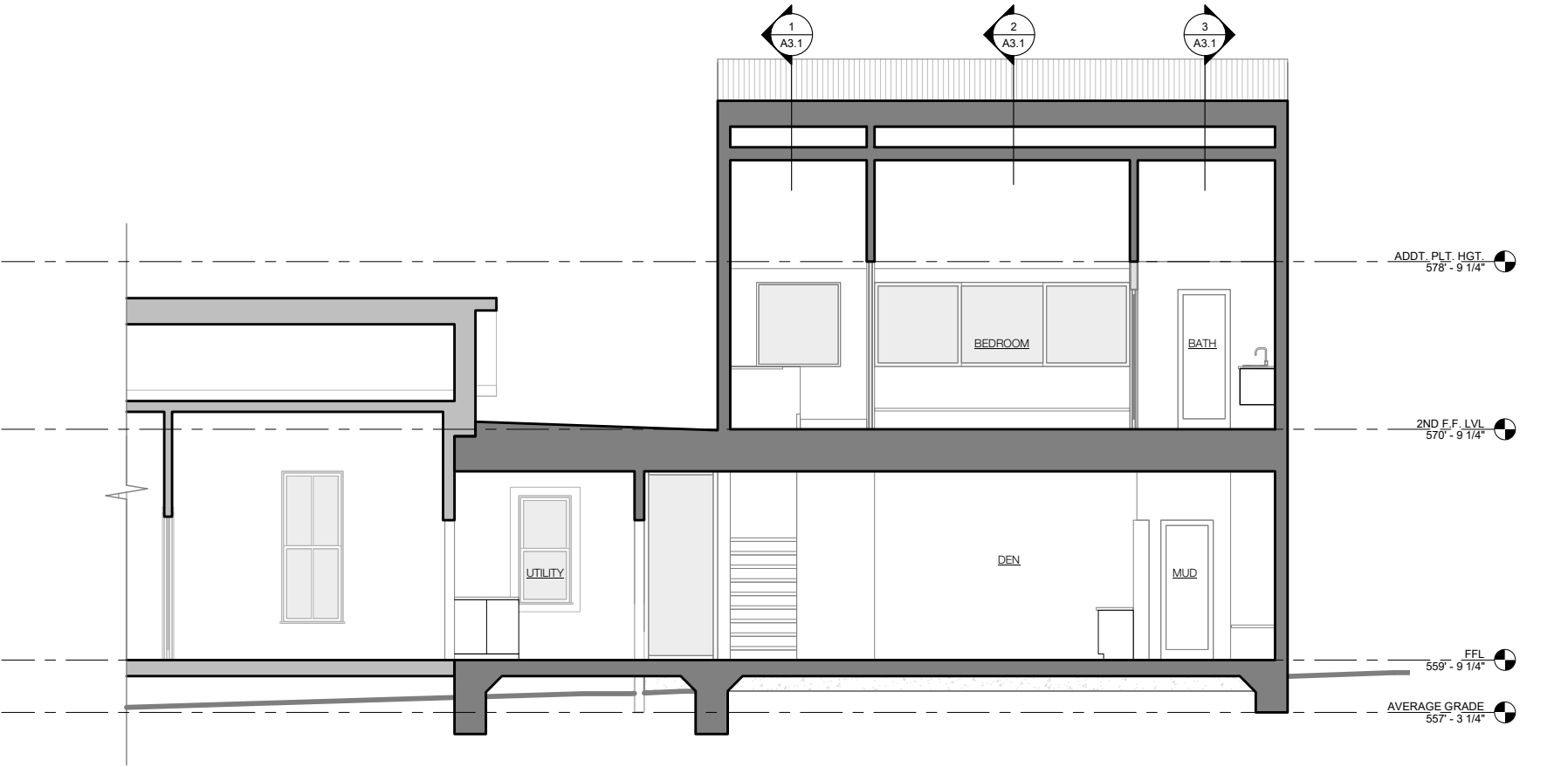
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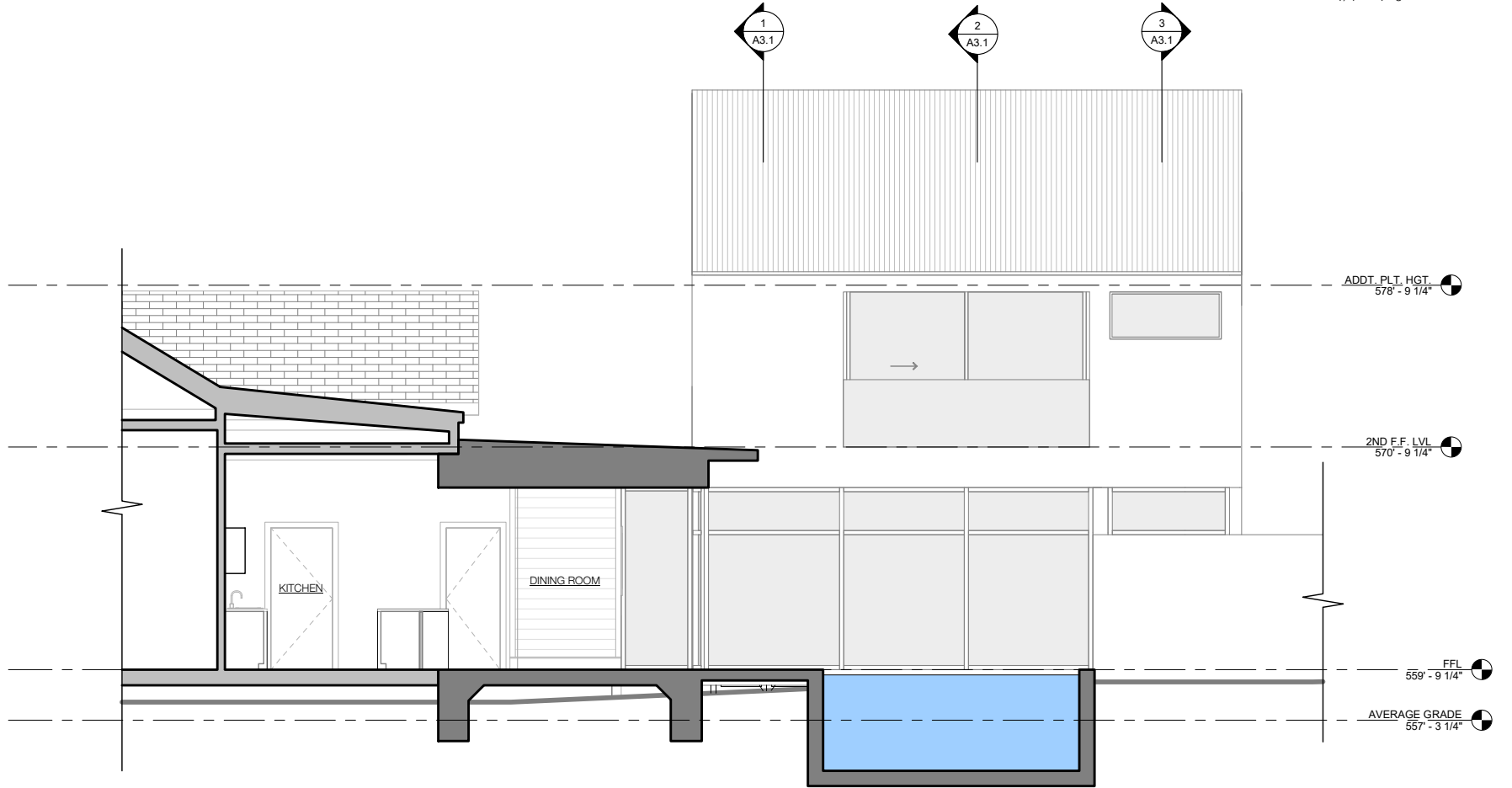
09.24.20

EXTERIOR ELEVATIONS

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2 SECTION 02
1/4" = 1'-0"



1 SECTION 01
1/4" = 1'-0"

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910 East 14th Street, Austin, TX 78702

ISSUE SETS

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BUILDING SECTIONS

A3.0

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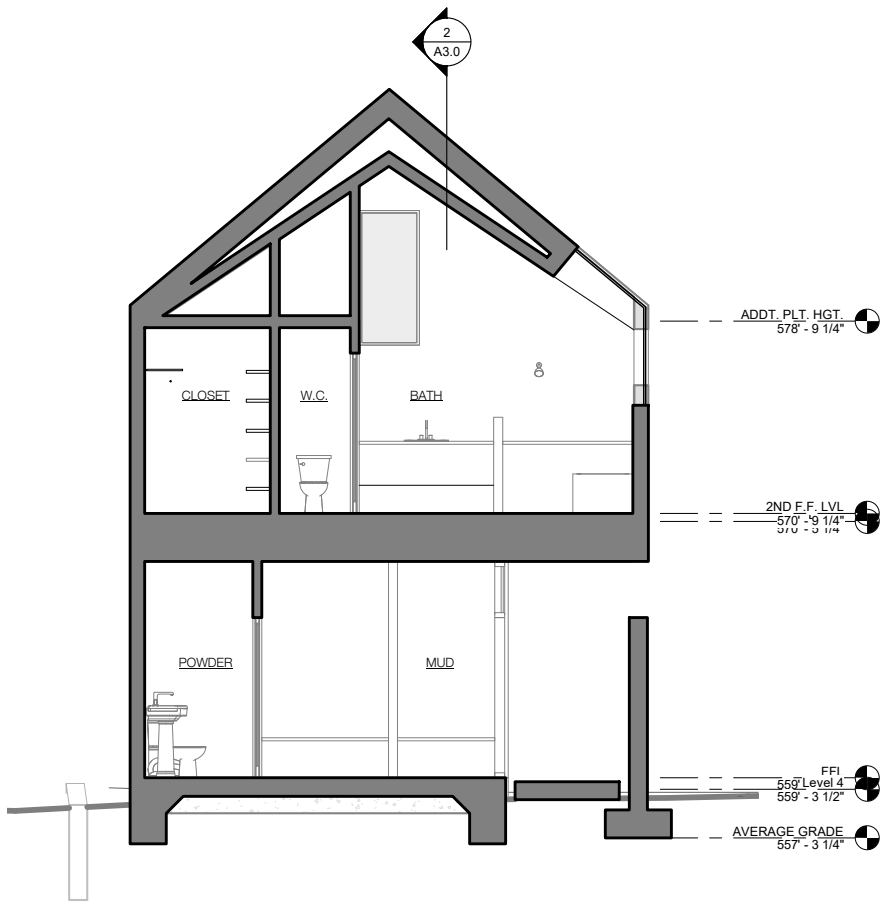
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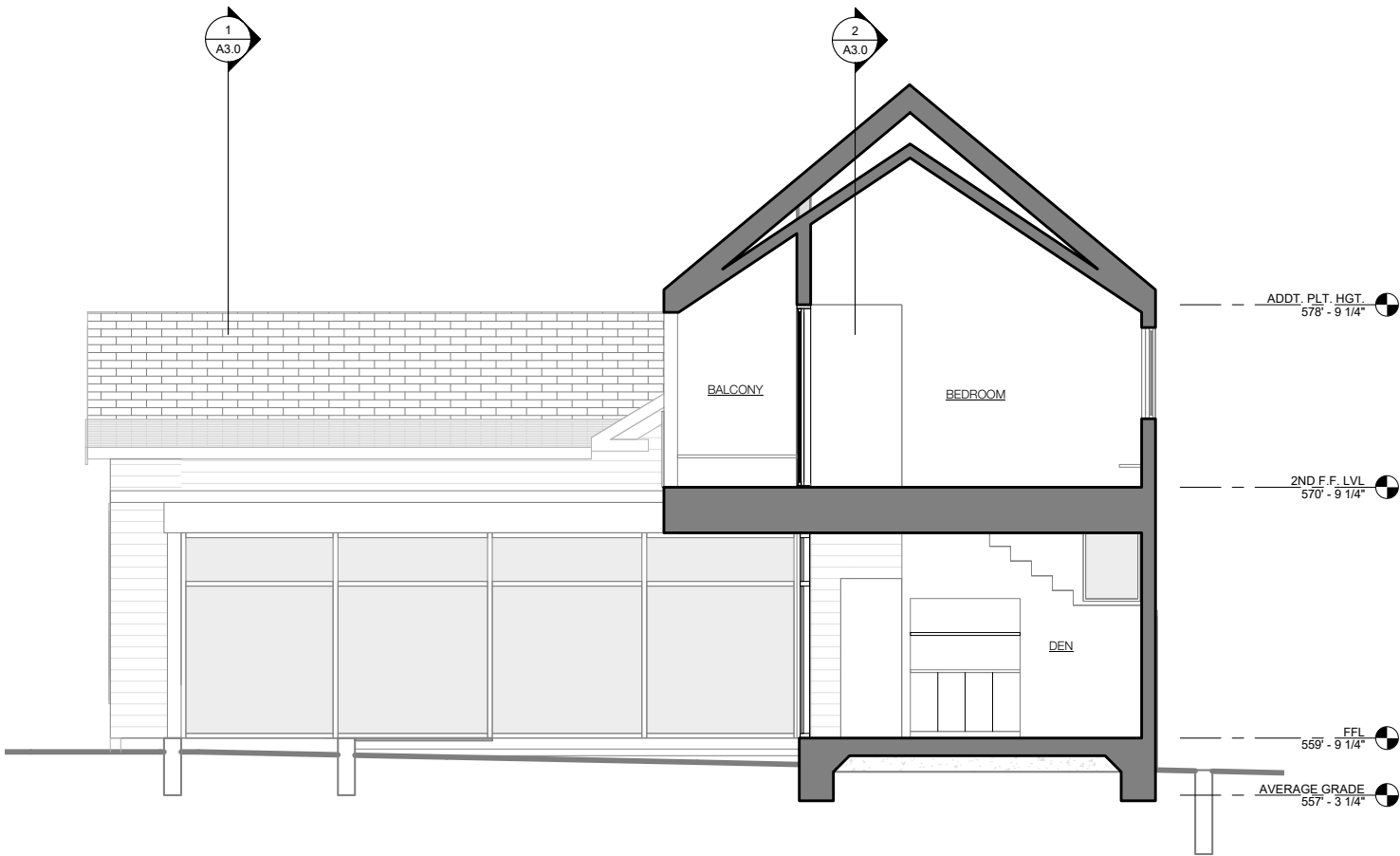
09.24.20

BUILDING SECTIONS

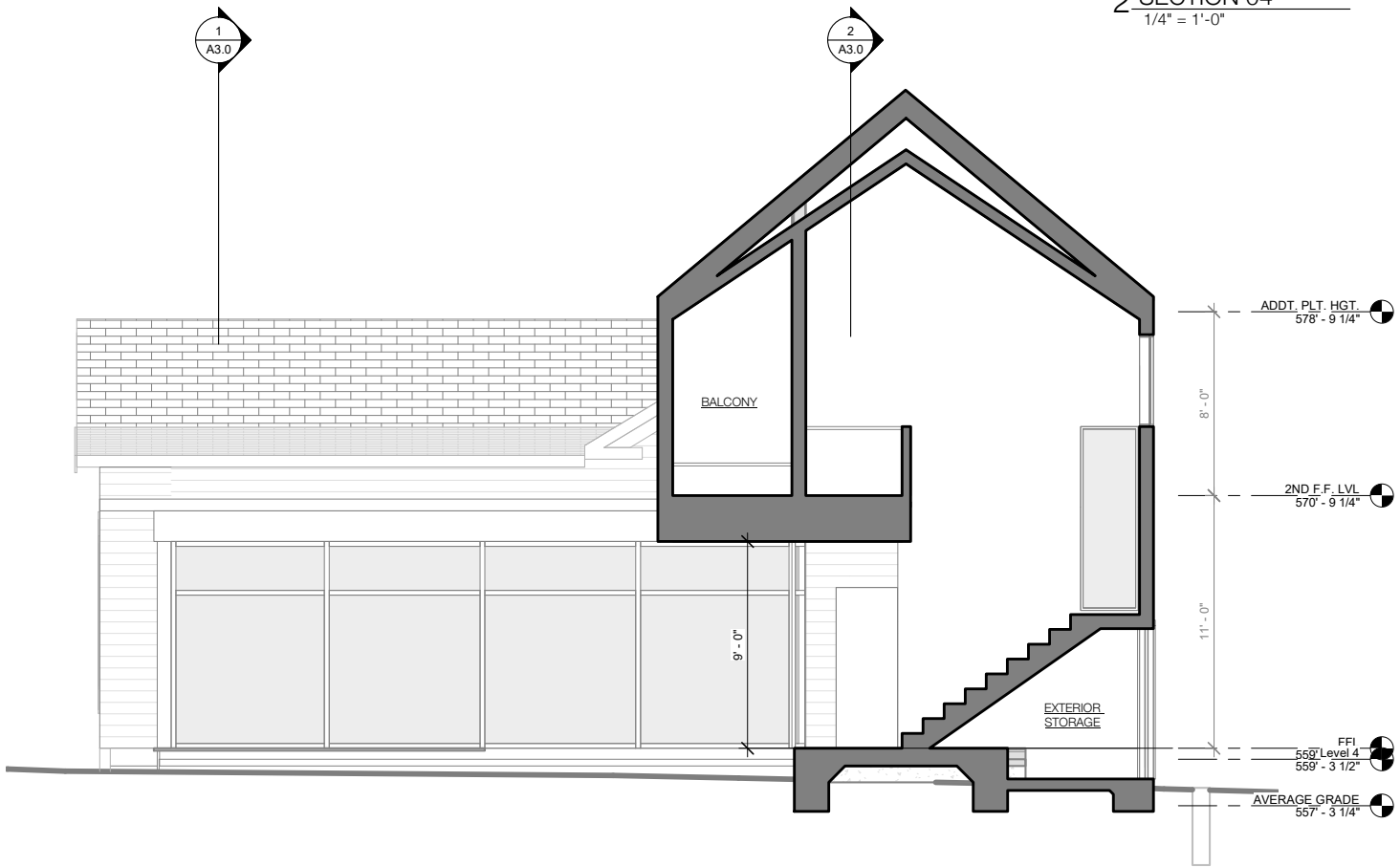
A3.1



3 SECTION 05
1/4" = 1'-0"



2 SECTION 04
1/4" = 1'-0"



1 SECTION 03
1/4" = 1'-0"

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SIDE
ANGLE
SIDE

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ISSUE SETS

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3D VIEWS

A7.0

««« IF PRINTED AT 11X17, SCALE IS 1/2 OF WHAT IS NOTED »»»

910 E 14th Street - EXISTING CONTIONS

910 E 14th Street, Austin, TX, 78702



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ZONING INFORMATION

Zoning:	SF-3-NP
Previous Land Use:	SF-3
Future Land Use:	SF-3
Property ID:	198317
Geographic ID:	0209060506
Legal Description:	LOT 1 BLK 2 OLT 42 DIVISION B
Date built:	1900 (PER TCAD)
Historic:	YES, older than 50 years
Neighborhood:	N/A
Neighborhood Plan:	
TOD:	No
Overlay District:	Residential Design Standards
Floodplain:	No
Watershed:	Waller Creek
Easements:	No
Minimum Setbacks:	Front: 25' Street Side: 15' Interior Side: 5' Rear /Alley: 5'
Max. Bldg. Height:	35'
Lot Size:	6,000 sf (per TCAD)
Max Bldg. Coverage:	40% sf (2,400 SF) - existing 1,481 SF = 964 SF
Max Impervious Cover:	45% sf (2,700 SF) - existing 1,830 SF = 915 SF

OWNER INFORMATION

ANDREW ASHMORE
910 E 14TH STREET, AUSTIN TEXAS, 78702

CONTACTS

ARCHITECT:	SIDE ANGLE SIDE 1105 MISSION RIDGE AUSTIN, TEXAS 78704
CONTACT:	ANNIE LAURIE-GABRIELL (305) 904.9318 or (305) 450.0806
PHONE:	
ENGINEER:	T.B.D.
CONTACT:	T.B.D.
PHONE:T.B.D.	
FAX:	T.B.D.
CONTRACTOR:	T.B.D.
CONTACT:	T.B.D.
PHONE:T.B.D.	
FAX:	T.B.D.

INDEX OF DRAWINGS

G1.0	COVER SHEET
A1.0	SITE PLAN
A1.1	GROUND FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS
A3.1	BUILDING SECTIONS
A4.0	INTERIOR ELEVATIONS
A4.1	INTERIOR ELEVATIONS
A4.2	INTERIOR ELEVATIONS
A7.0	3D VIEWS

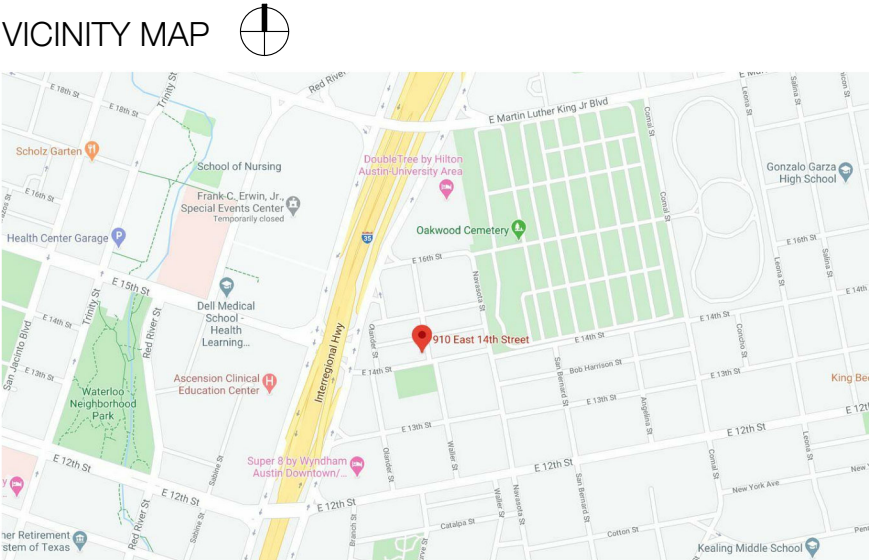
LEGAL DESCRIPTION

LOT 1 BLK 2 OLT 42 DIVISION B

SITE INFORMATION

SITE INFORMATION TAKEN FROM WATERLOO SURVEYING
SURVEY DATE: 09.01.20

VICINITY MAP



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COVER SHEET

G1.0