

Windows to be replaced with larger casements

New steeper roof framing at porch

Windows to be replaced with larger casements  
Opening to be centered on gable.

New, steeper roof  
framing/ brick. New  
attic-level rooms.  
New roof framing sits  
on existing top plate.

Existing framing/  
brick to remain.

Arch to be raised



11/02/2020

## Baker Residence

3207 Glenview Ave.  
Austin, TX 78703

## View from street

Not to scale  
Permit Update: November 2, 2020

# E1



Wall to remain. To be patched with matching brick.  
Window to be removed.

Roof framing to be removed and made steeper

Existing to be made wider, longer.  
New attic rooms.



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**View from south**

Not to scale  
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**E2**



Becomes 1 1/2 story addition



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**View of back**  
Not to scale  
Permit Update: November 2, 2020

**E3**





Becomes 1 1/2 story addition

View from back yard



Becomes 1 1/2 story addition

Existing windows to be replaced and centered in room.

View from front yard



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View of north wall

Not to scale  
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View from backyard



View from driveway



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# Views of Garage

Not to scale  
Permit Update: November 2, 2020

E3



Legal Description

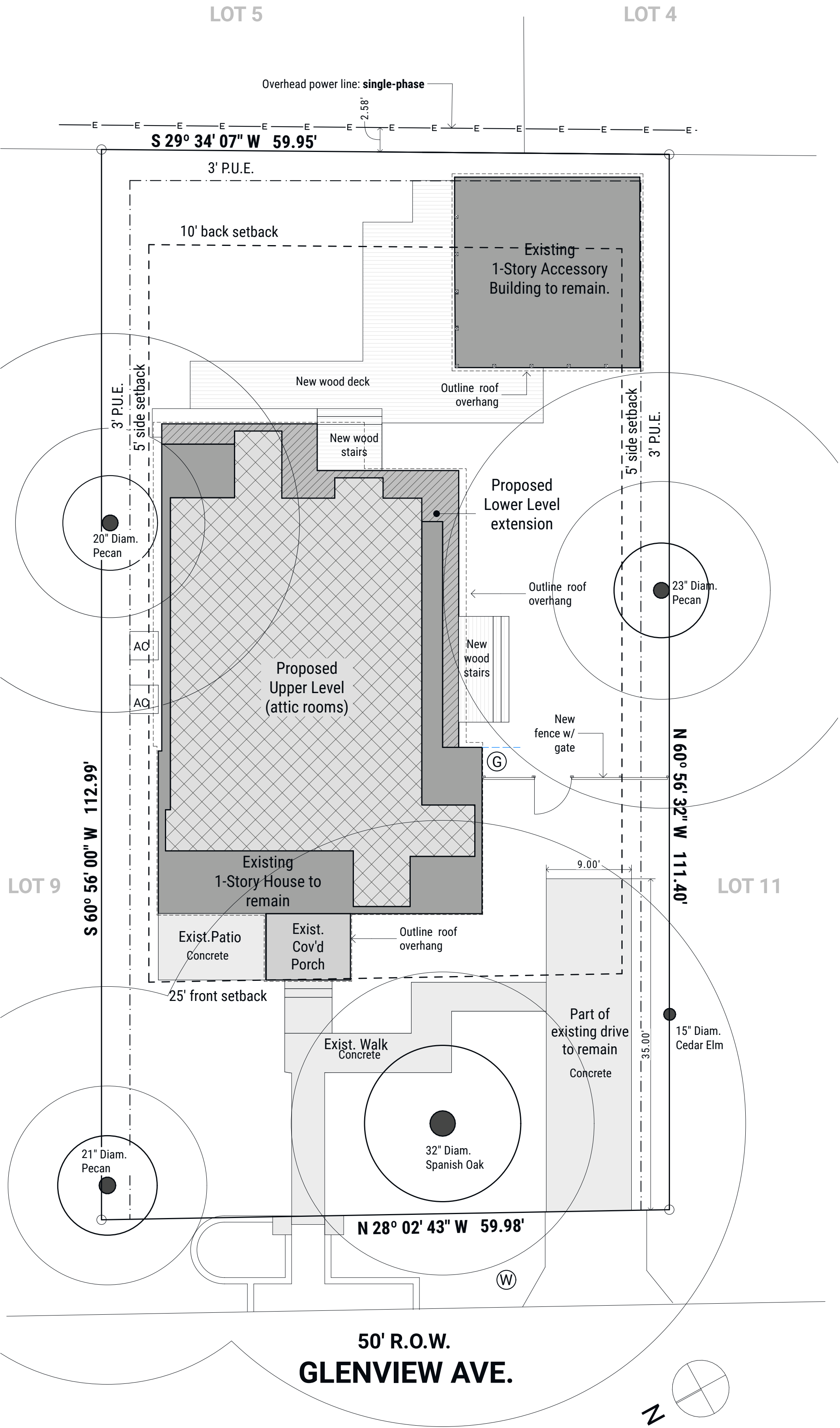
LOT 10 BLK 1 BRYKERWOODS D

Zoning

SF-3-NP  
West Austin Neighborhood Group  
Old West Austin Nat'l Historic Distric

Site Plan Notes:

- 1. All access, material staging, dumpster and spoils placement, portable toilet and concrete washout to be located on existing concrete driveway and/or sidewalks.
- 2. Provide tree protection as required by City of Austin.
- 3. Any necessary canopy pruning to be reviewed by certified Arborist prior to work being done.



Note:  
Topographic and Tree information based on survey by  
All Points dated 05/05/20. Property lines and setbacks  
based on survey by Arpenteurs dated 05/27/03.

Site Plan 1  
SCALE: 1/8" = 1'-0"

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Site Plan

A1.0

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Demo Notes:

1. All building and landscape elements are to be protected from damage prior to demolition and are to remain protected throughout construction.

2. Contractor is to provide necessary temporary bracing before demo of load bearing elements. IN CASE OF UNCERTAINTY, CONTACT STRUCTURAL ENGINEER, CEASE OPERATIONS AND NOTIFY ARCHITECT & ENGINEER IMMEDIATELY IF SAFETY APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERTY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.

3. Demolish in an orderly and careful manner as required to accommodate new work, including where new work connects to existing building. Protect existing walls and supporting structural members which are to remain.

4. Perform demo in accordance with applicable regulations and authorities having jurisdiction.

5. Any demolition performed in excess of that required to be repaired at no cost to Owner.

6. Remove demolished materials, tools, and equipment from site upon completion of work. Leave site in a condition acceptable to Owner.

7. Locate, identify, stub off and disconnect any utility services that are not to remain.

8. Protect any existing finish work that is to remain in place.

9. Remove electrical fixtures, switches, outlets and wiring unless otherwise noted. Review RCP for new work.

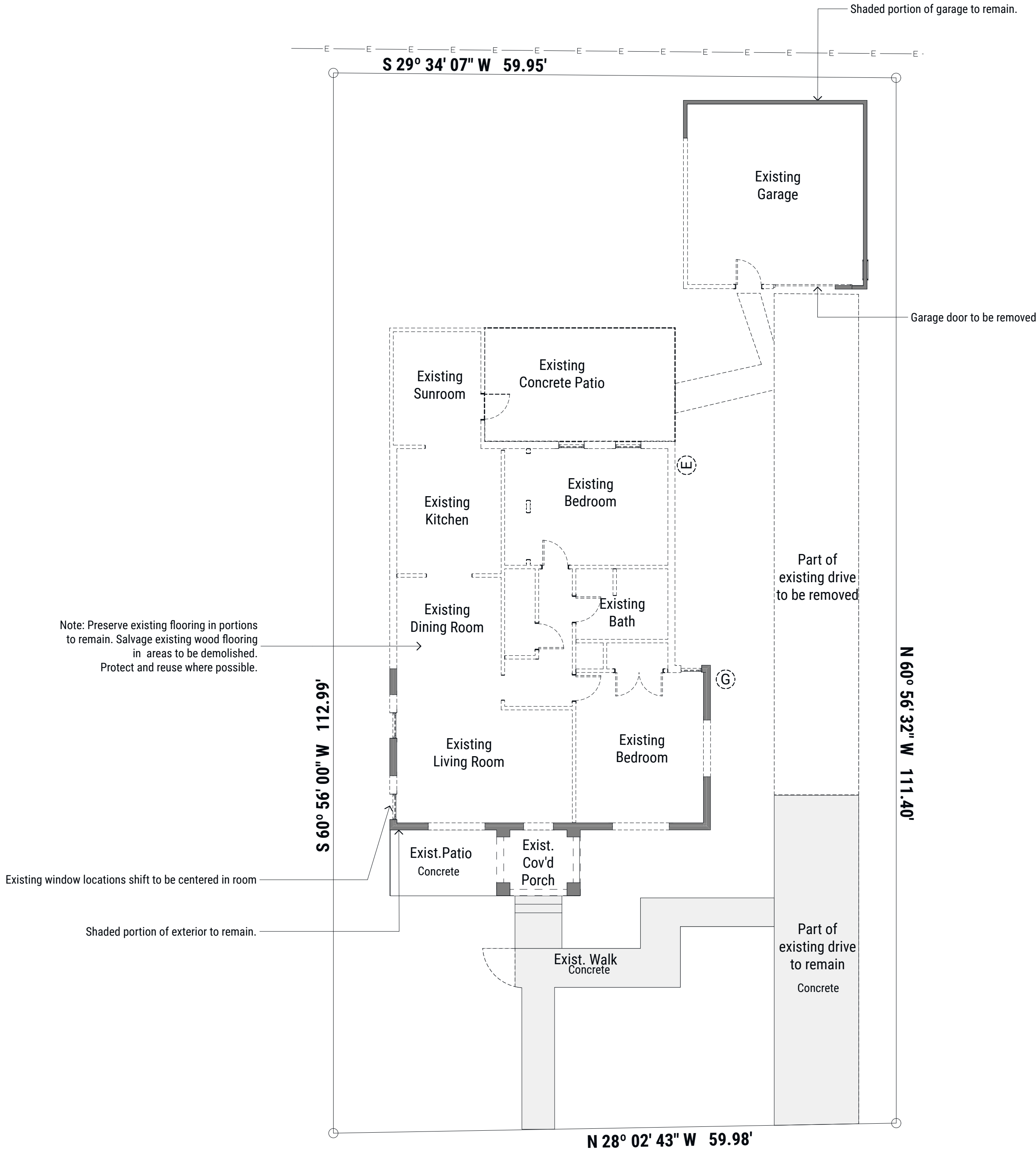
10. Where indicated, remove plumbing fixtures, pipes and vents.

11. In case of unexpected discovery upon demolition, contact Architect and Owner.

Demo Plan Key

Existing to remain.

Element to be removed



Demo Plan

SCALE: 1/8" = 1'-0"

1

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Demo Plan

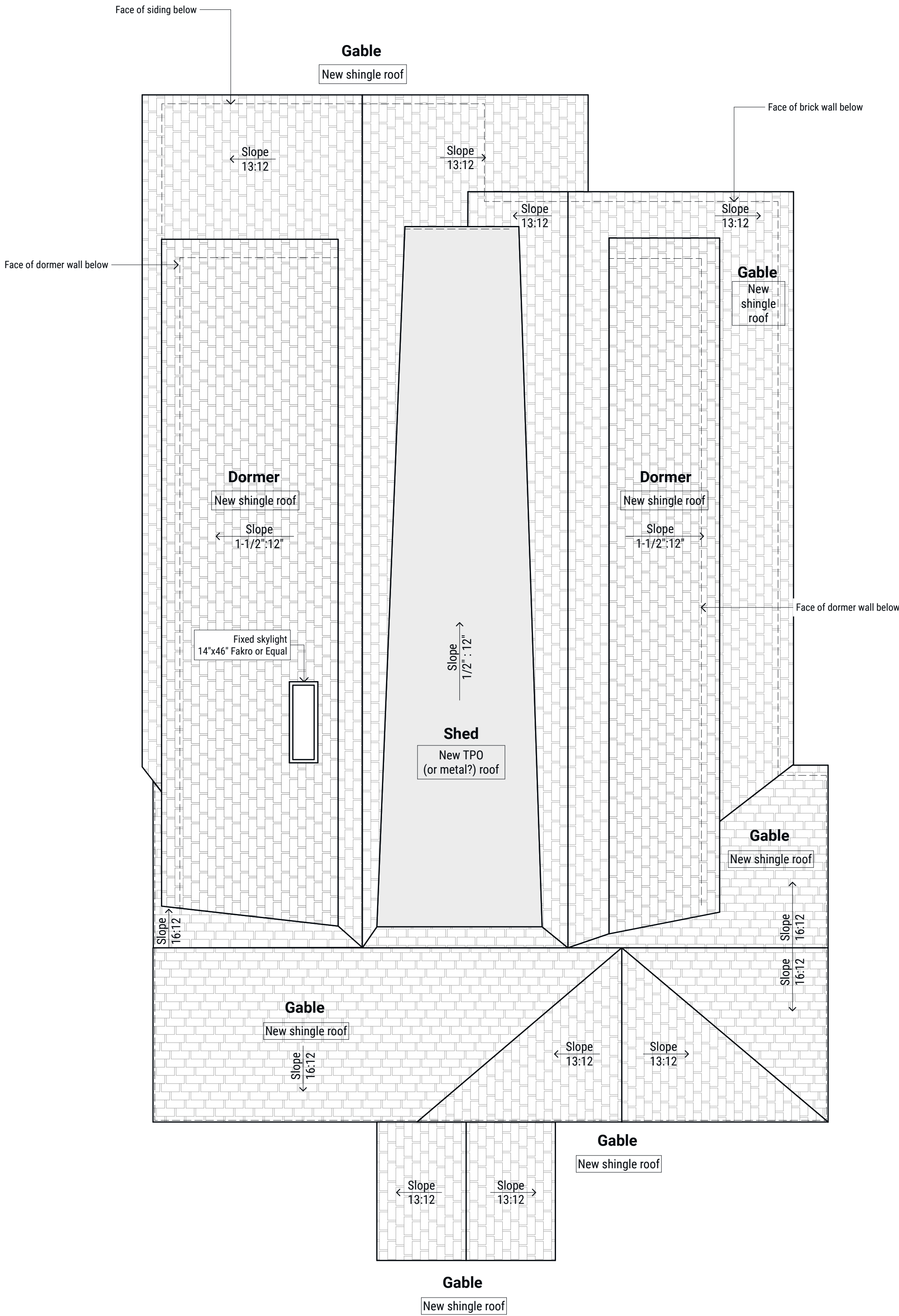
A1.2

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Main House Roof Plan

SCALE: 1/4" = 1'-0"

1

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Roof Plan

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Exterior Specifications:

• Existing brick: to be repointed where needed, primed and painted.

• New Brick: to match existing

• New siding

Main House: Hardie Artisan Lap Siding, 7" Exposure, smooth, painted. Corners to be mitered

Screened Porch: Hardie Lap Siding, 7" Exposure, smooth, painted. Corners to be trimmed w/ 2x6 fiber cement

Main House dormers: Hardie Artisan Lap Siding, 4" Exposure, smooth, painted. Corners to be mitered

• Trim boards be fiber cement where available (Hardie or equal).

• Water table trim to be PVC, painted. Profile to be confirmed.

• Soffits to the painted 1x\_ pine.

• Fascias to be fiber cement, primed & painted.

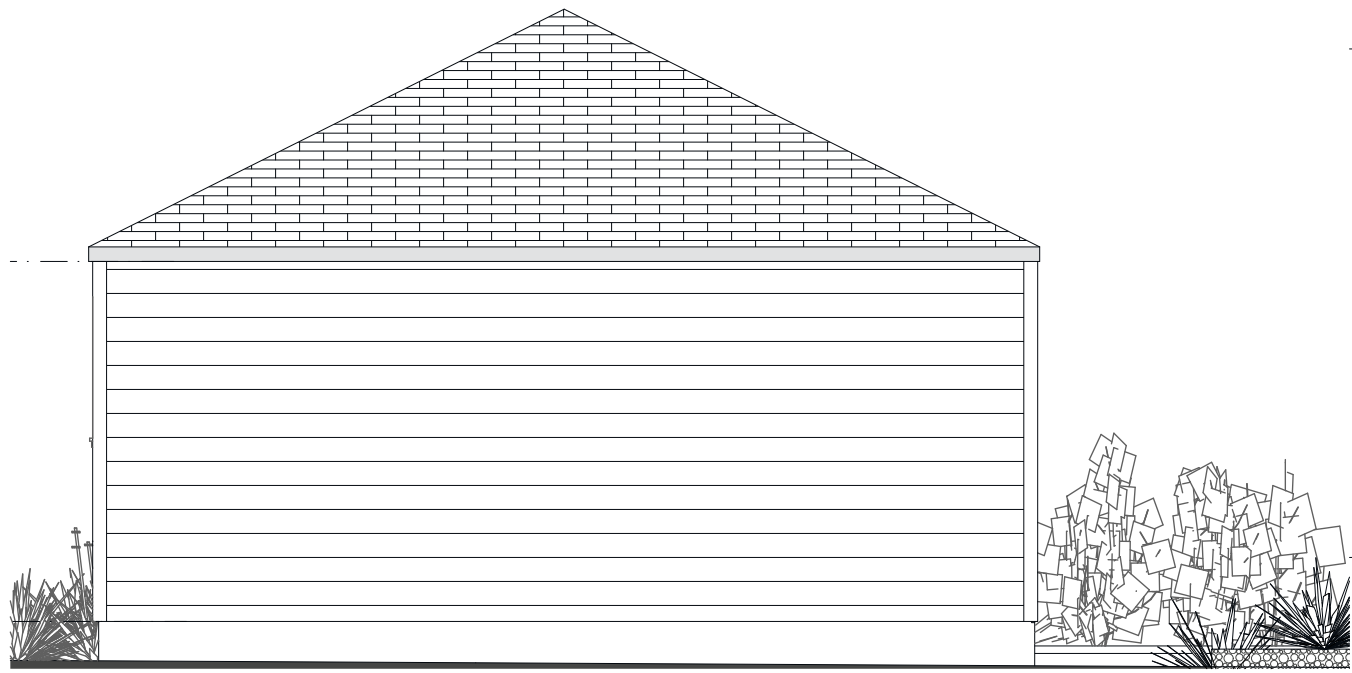
• Exterior window casing and sill to be fiber cement where available (Hardie or equal)

• Stucco to be 3-coat stucco with integral color.

• All gutters to be galvalume, 6' half round

• All downspouts to be galvalume, round

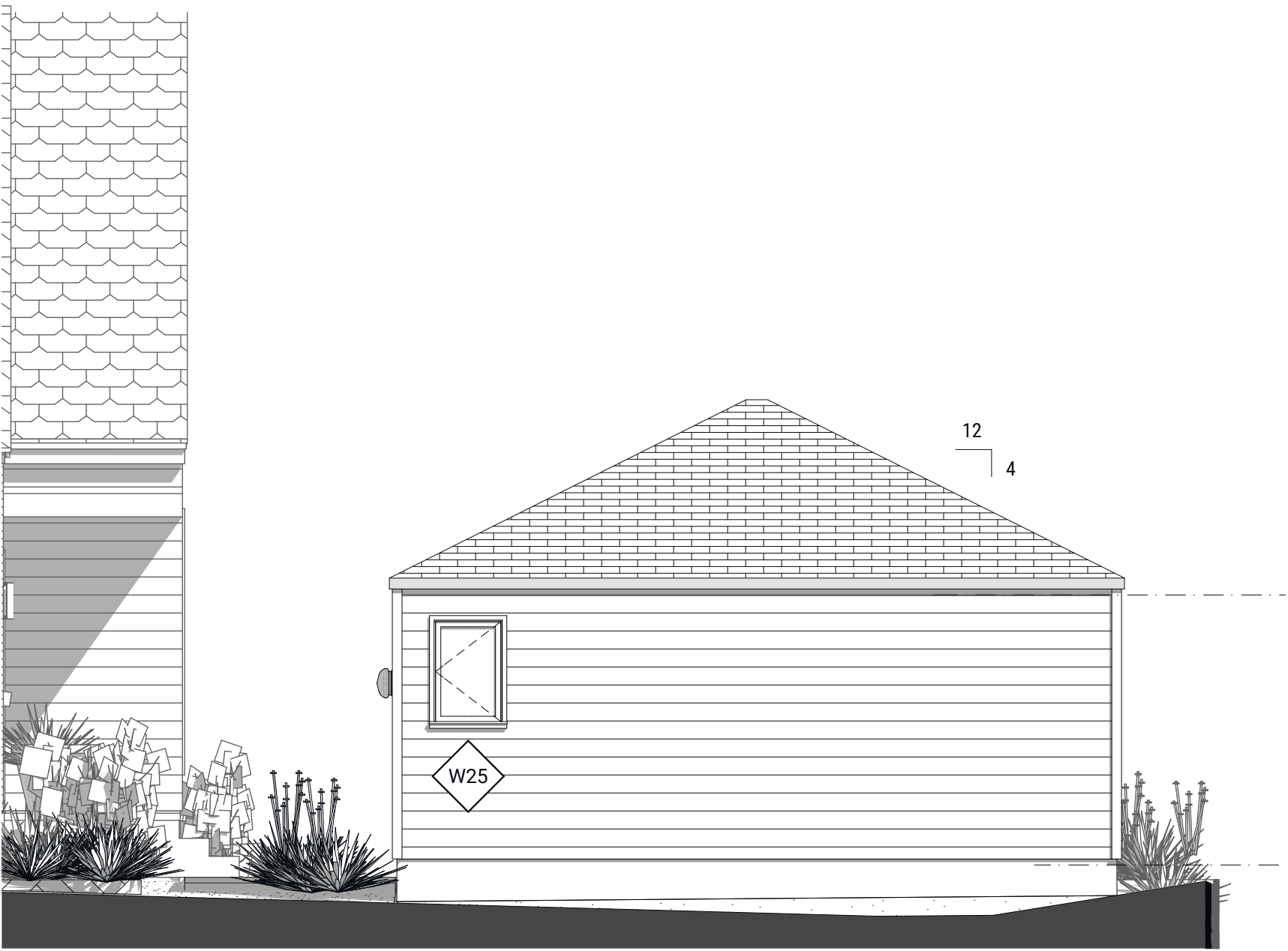
• New back patio to be composite wood decking. 5 1/2" planks, concealed fasteners.  
Timber Tech, Legacy Collection or equal.



Exterior Elevation: Screened Porch East

SCALE: 1/4" = 1'-0"

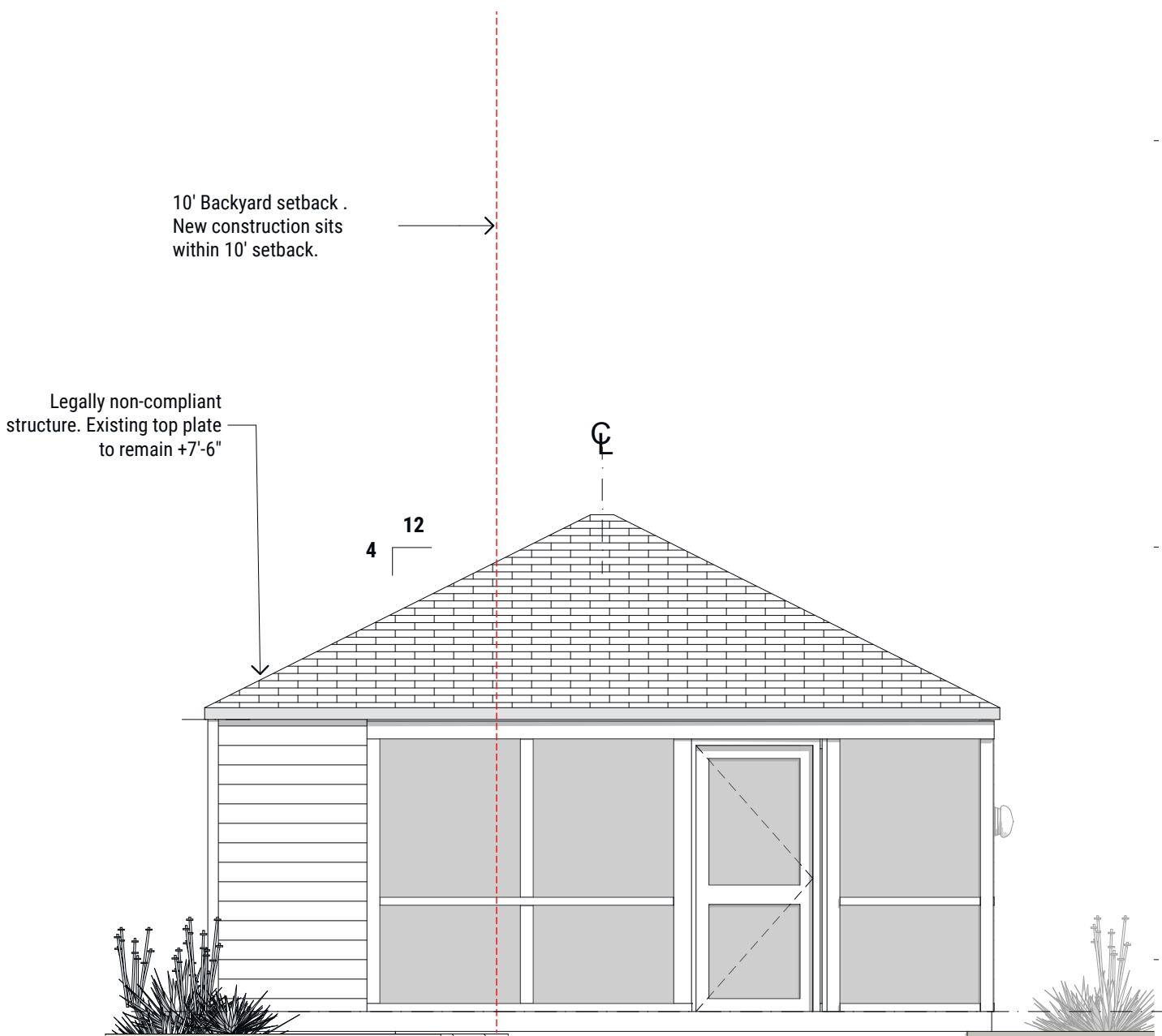
4



Exterior Elevation: Screened Porch South

SCALE: 1/4" = 1'-0"

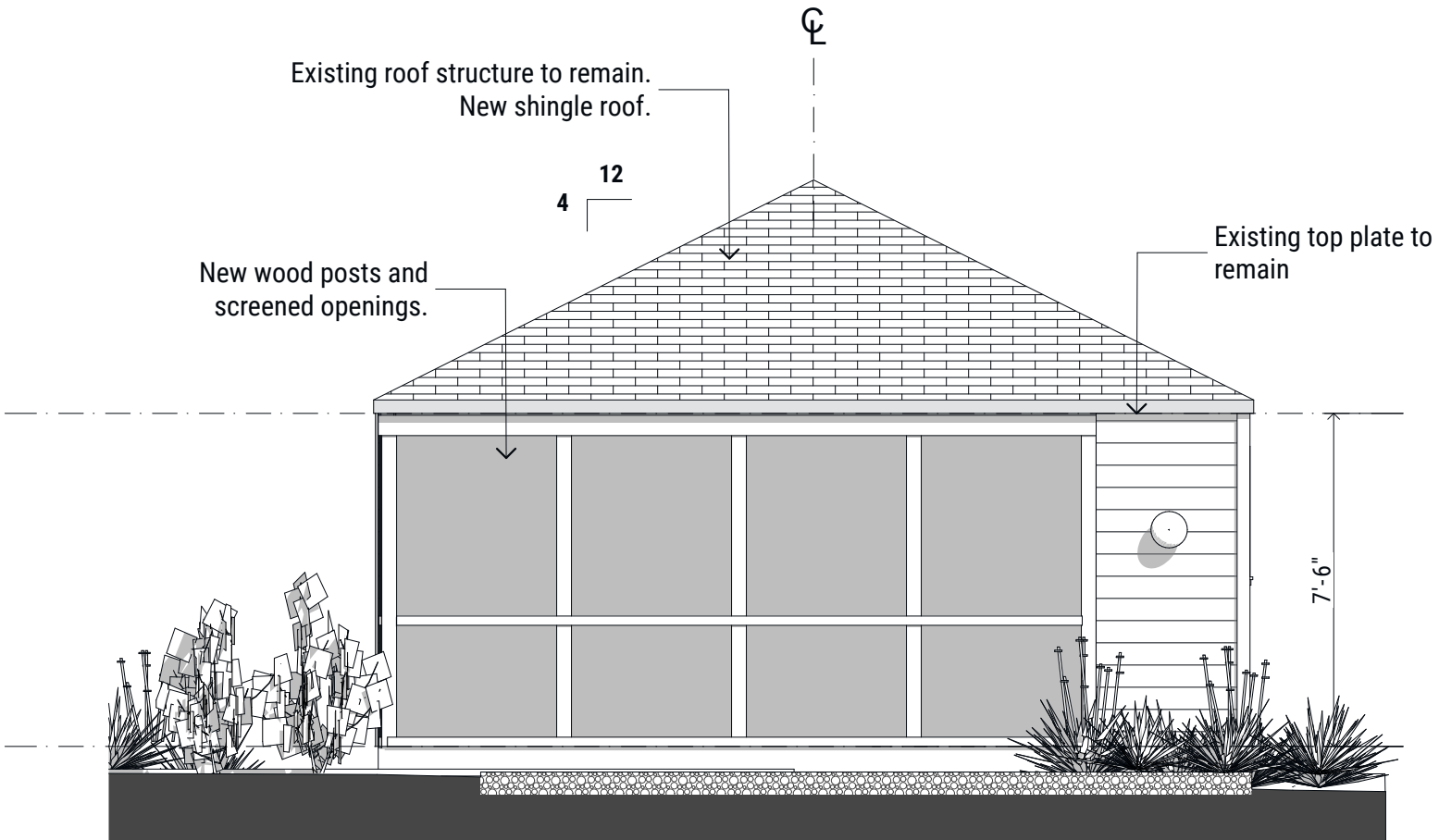
3



Exterior Elevation: Screened Porch North

SCALE: 1/4" = 1'-0"

2



Exterior Elevation: Screened Porch West

SCALE: 1/4" = 1'-0"

1

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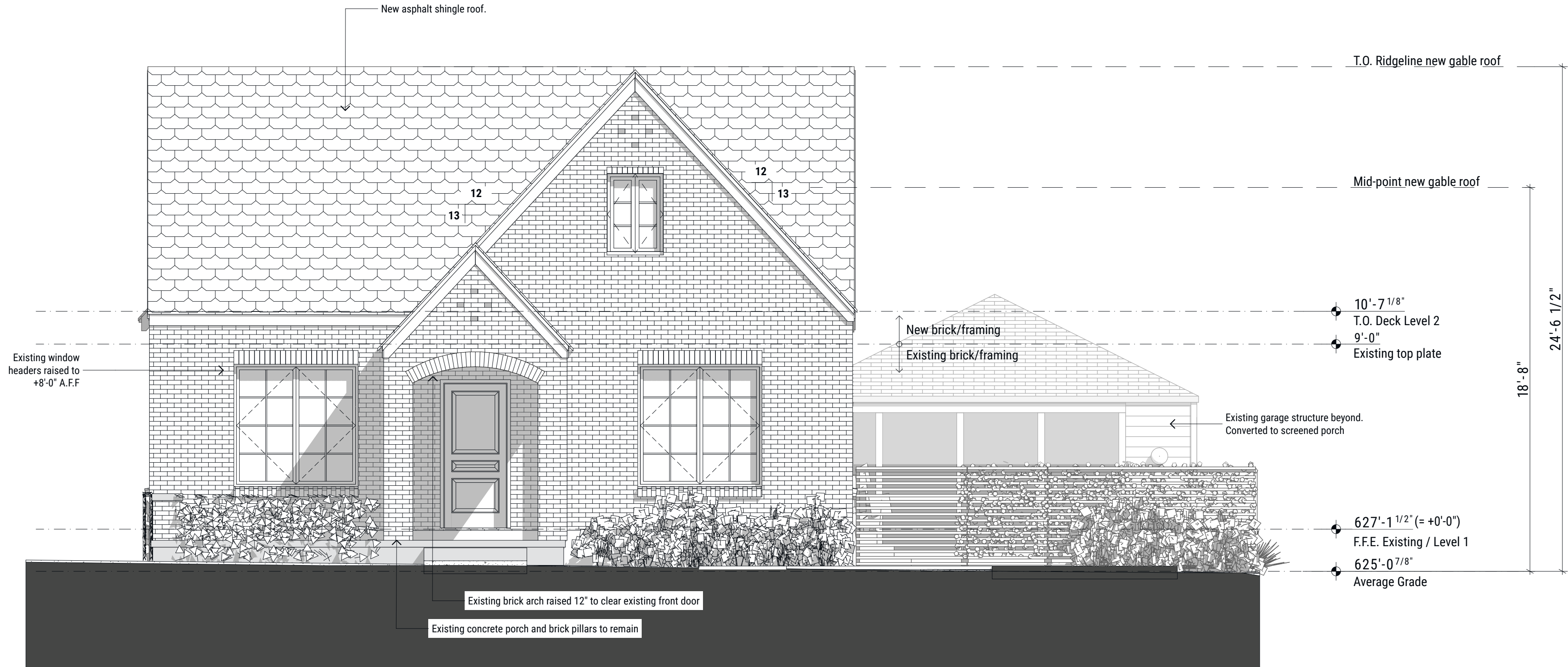
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Screened Porch:  
Exterior Elevations

A2.0

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Exterior Elevation: West

SCALE: 1/4" = 1'-0"

2

Exterior Specifications:

• Existing brick: to be repointed where needed, primed and painted.

• New Brick: to match existing

• New siding

Main House: Hardie Artisan Lap Siding, **7" Exposure**, smooth, painted. Corners to be mitered

Screened Porch: Hardie Lap Siding, **7" Exposure**, smooth, painted. Corners to be trimmed w/ 2x6 fiber cement

Main House dormers: Hardie Artisan Lap Siding, **4" Exposure**, smooth, painted. Corners to be mitered

• Trim boards be fiber cement where available (Hardie or equal).

• Water table trim to be PVC, painted. Profile to be confirmed.

• Soffits to the painted 1x\_ pine.

• Fascias to be fiber cement, primed & painted.

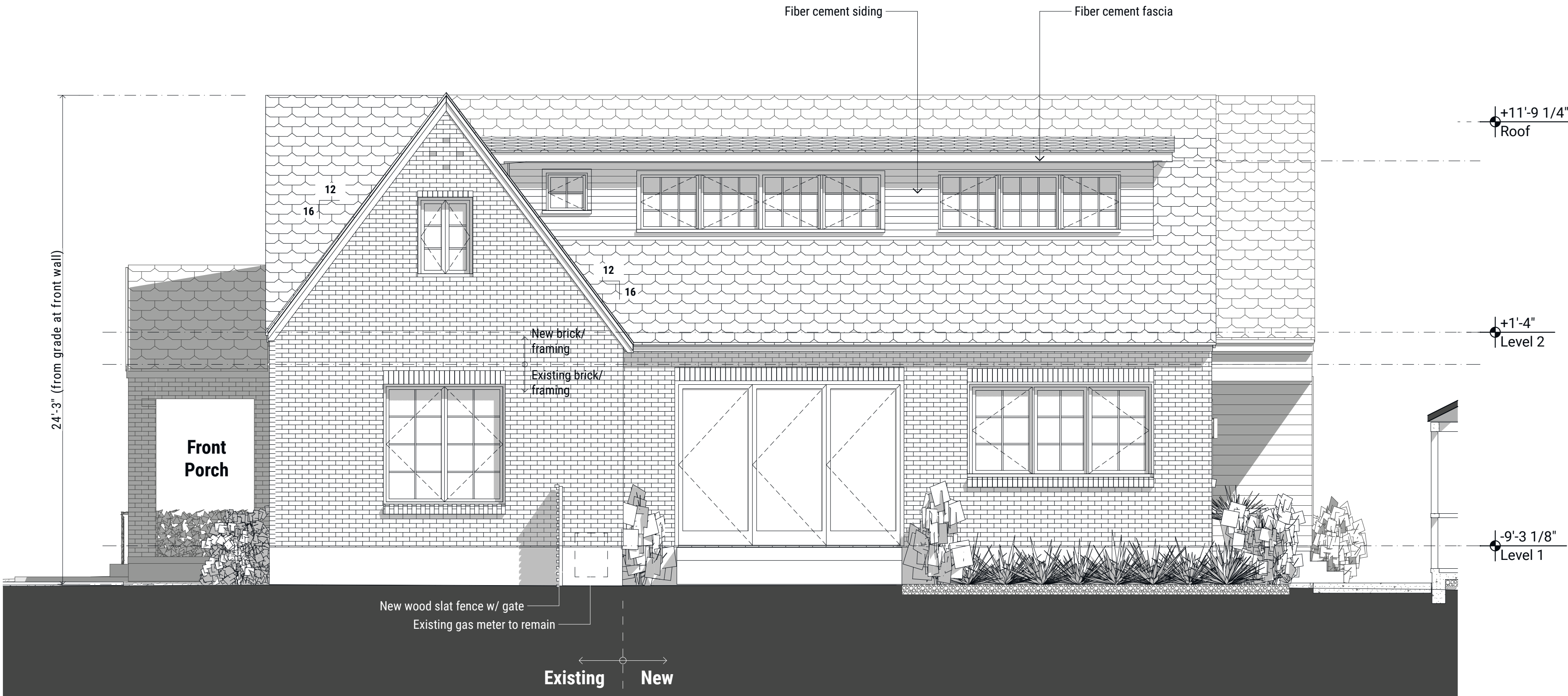
• Exterior window casing and sill to be fiber cement where available (Hardie or equal)

• Stucco to be 3-coat stucco with integral color.

• All gutters to be galvalume, 6' half round

• All downspouts to be galvalume, round

• New back patio to be composite wood decking. 5 1/2" planks, concealed fasteners. Timber Tech, Legacy Collection or equal.



Exterior Elevation: South

SCALE: 1/4" = 1'-0"

1

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Exterior Elevations

A2.1



Exterior Specifications:

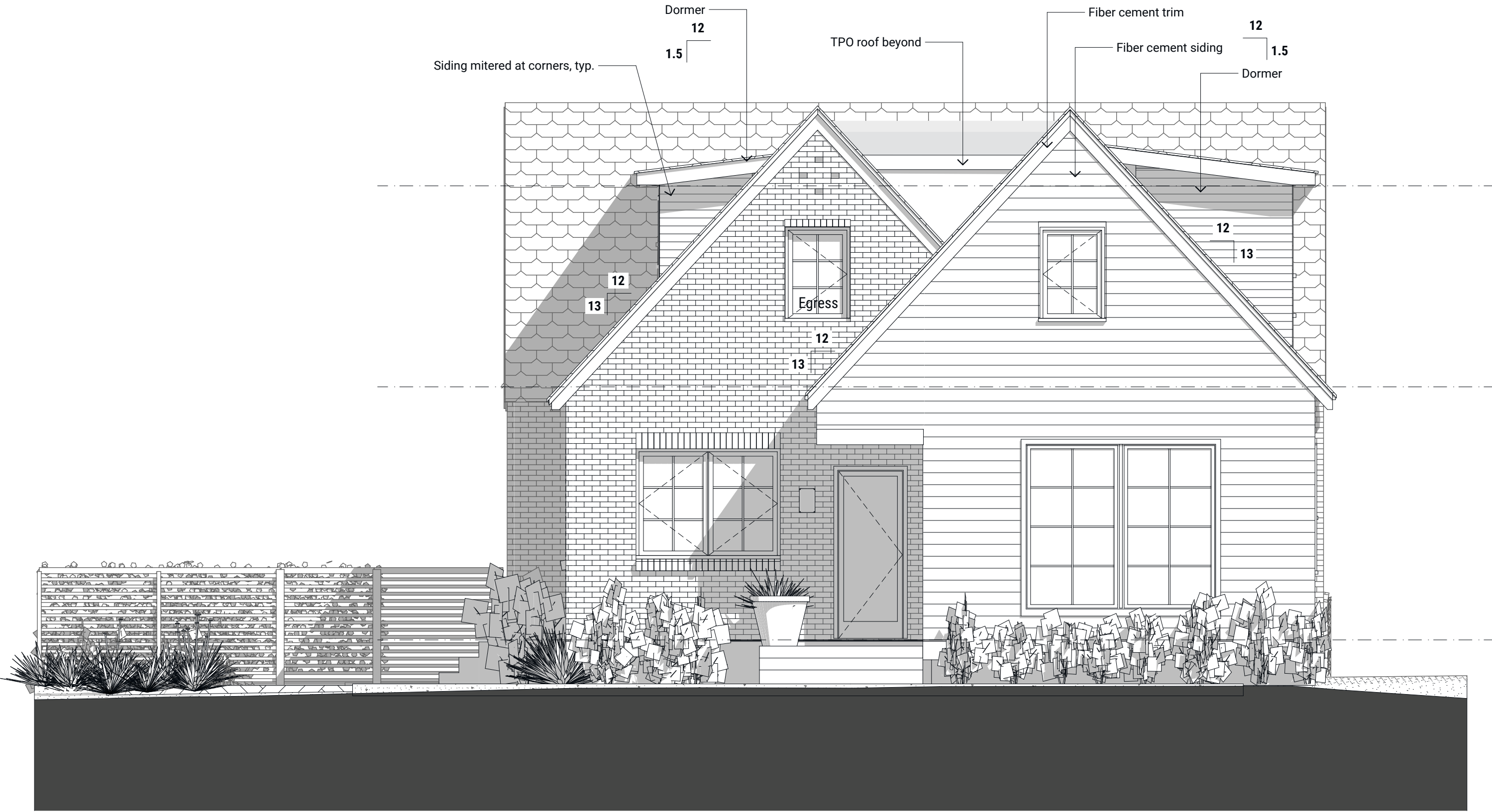
- Existing brick: to be repointed where needed, primed and painted.
- New Brick: to match existing
- New siding

Main House: Hardie Artisan Lap Siding, 7" Exposure, smooth, painted. Corners to be mitered

Screened Porch: Hardie Lap Siding, 7" Exposure, smooth, painted. Corners to be trimmed w/ 2x6 fiber cement

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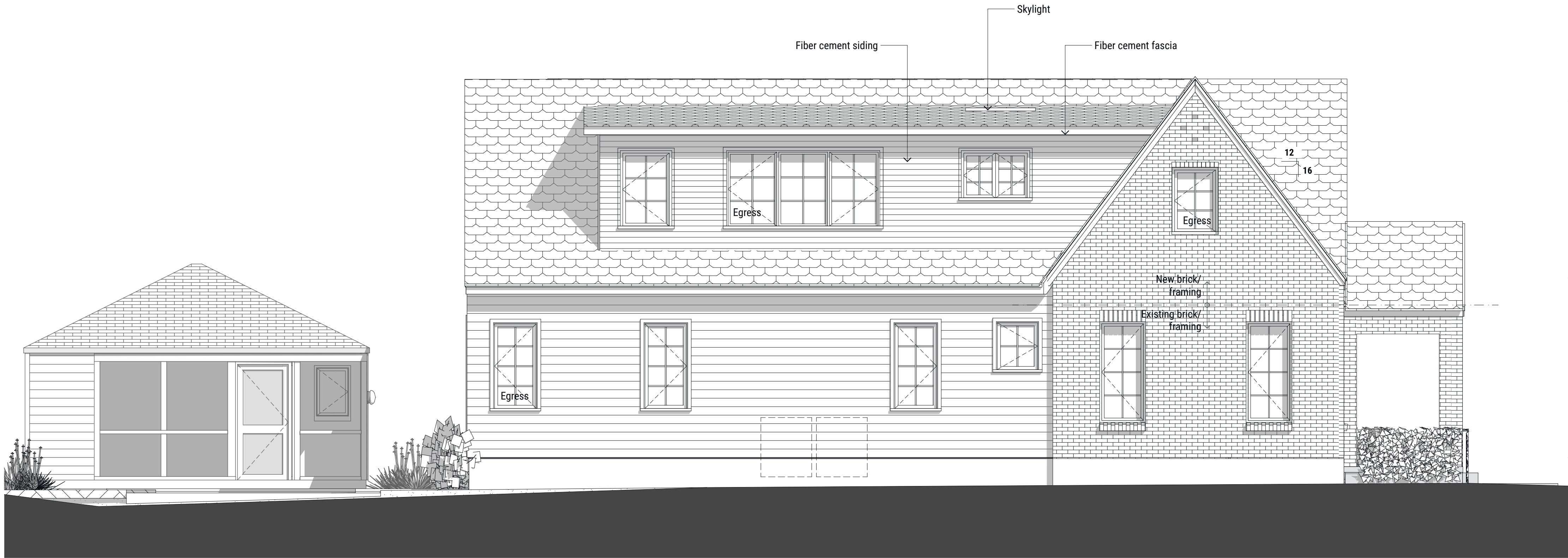
- Trim boards be fiber cement where available (Hardie or equal).
- Water table trim to be PVC, painted. Profile to be confirmed.
- Soffits to the painted 1x\_ pine.
- Fascias to be fiber cement, primed & painted.
- Exterior window casing and sill to be fiber cement where available (Hardie or equal)
- Stucco to be 3-coat stucco with integral color.
- All gutters to be galvalume, 6' half round
- All downspouts to be galvalume, round
- New back patio to be composite wood decking. 5 1/2" planks, concealed fasteners. Timber Tech, Legacy Collection or equal.



Exterior Elevation: East

SCALE: 1/4" = 1'-0"

2



Exterior Elevation: North

SCALE: 1/4" = 1'-0"

1

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Exterior Elevations

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View from South

NOT TO SCALE

2



View from Front yard

NOT TO SCALE

1

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Main House: 3D Views

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View from South  
NOT TO SCALE

2



View from Back  
NOT TO SCALE

1

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Main House: 3D

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