

Building Information				
SITE & BUILDING INFORMATION TABLE				
GROSS SITE AREA (GSA)	23,579	SF	0.541	ACRES
EXISTING LAND USE	GENERAL RESTAURANT/COCKTAIL LOUNGE			
PROPOSED LAND USE	SEE PARKING TABLE			
ZONING	CBD			
GROSS FLOOR AREA (SF)	568,334			
NUMBER OF STORIES	48			
FINISHED FLOOR ELEVATION	452.0			
BUILDING COVERAGE (100% ALLOWED)	23,513	SF	99.7%	GSA
IMPERVIOUS COVER (100% ALLOWED)	23,579	SF	100%	GSA
FLOOR-TO-AREA RATIO (15:1 PER ORD.)	24.10			
BUILDING HEIGHT (FT)	552.3			
FOUNDATION TYPE	UNDERGROUND GARAGE CONC. SLAB			

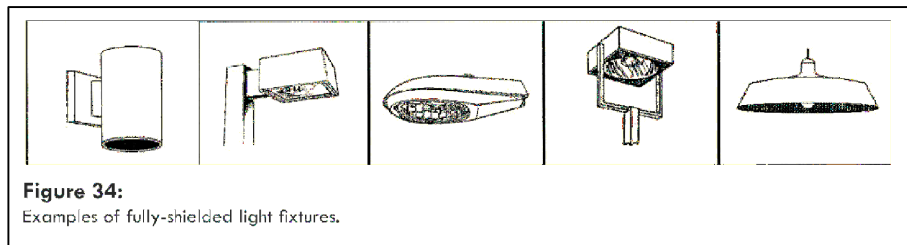
SITE PLAN NOTES:

1. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E.2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION T2.5.2.E.
2. SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
3. A CONDITIONAL LETTER OF APPROVAL IS REQUIRED BY AUSTIN ENERGY GREEN BUILDING PROGRAM PRIOR TO BUILDING PERMIT.
4. COMPLIANCE WITH GREEN BUILDING STANDARDS OF TWO IS REQUIRED FOR ALL BUILDINGS CONSTRUCTED ON THIS SITE.

Parking Table													
Land Use	Units	Sq. Ft.	Parking Ratio	Req'd Spaces	Reduced Req't*	Prov'd (Reg)	Req'd ADA	Prov'd ADA	Req'd ADA Van	Prov'd ADA Van	Req'd Loading	Prov'd Loading	Req'd Bike
Hotel	248	227,117	1.1	273	0.0								
1 Bedroom	108		1.5	162	0.0								
2 Bedroom	96		2	192	0.0								
3 Bedroom	36		2.5	90	0.0								
Total Multi-Family	239	341,217											
Total		568,334		717	0	319	7	8	1	2	2	2	35.8

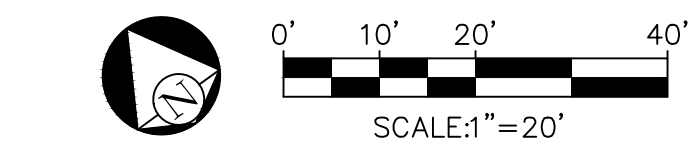
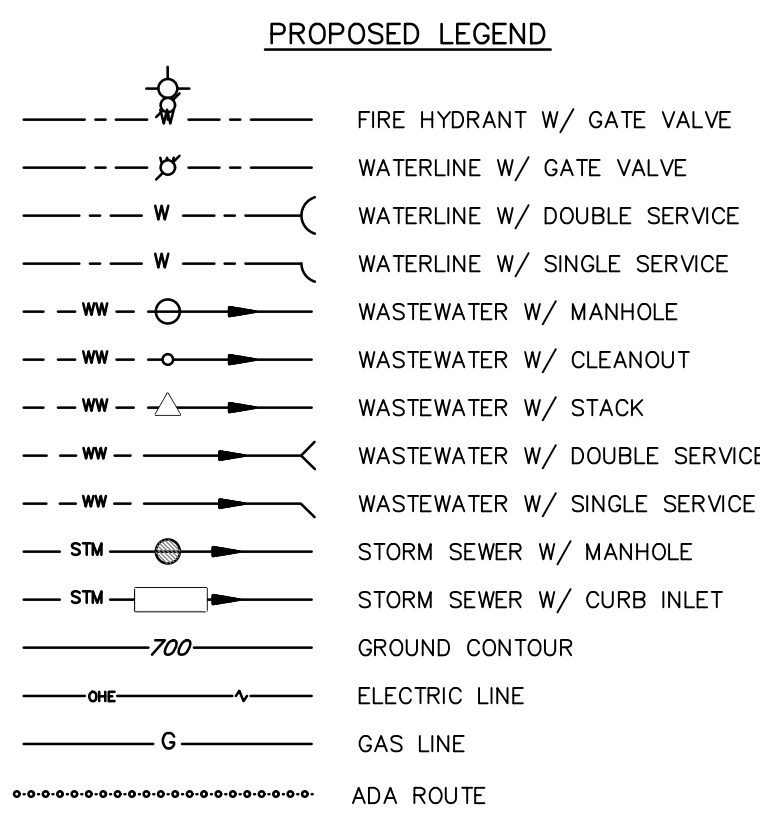
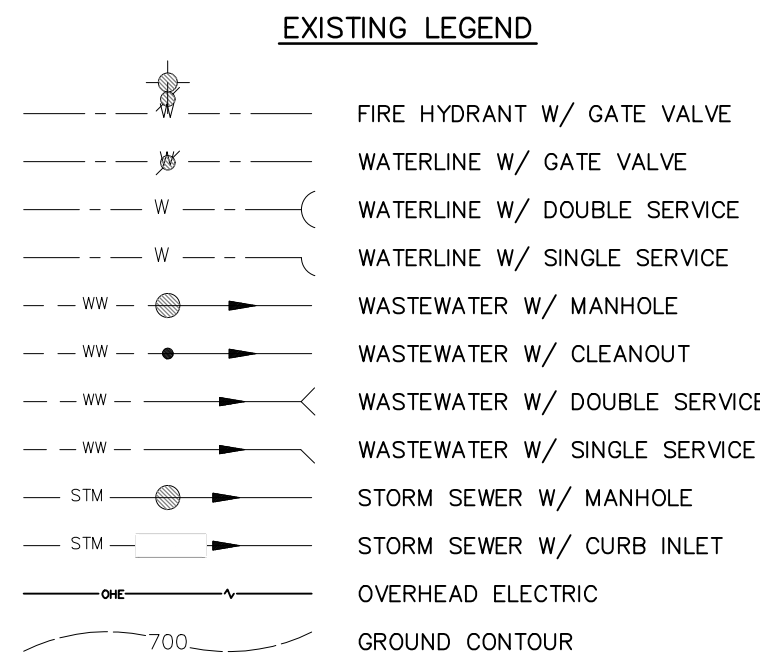
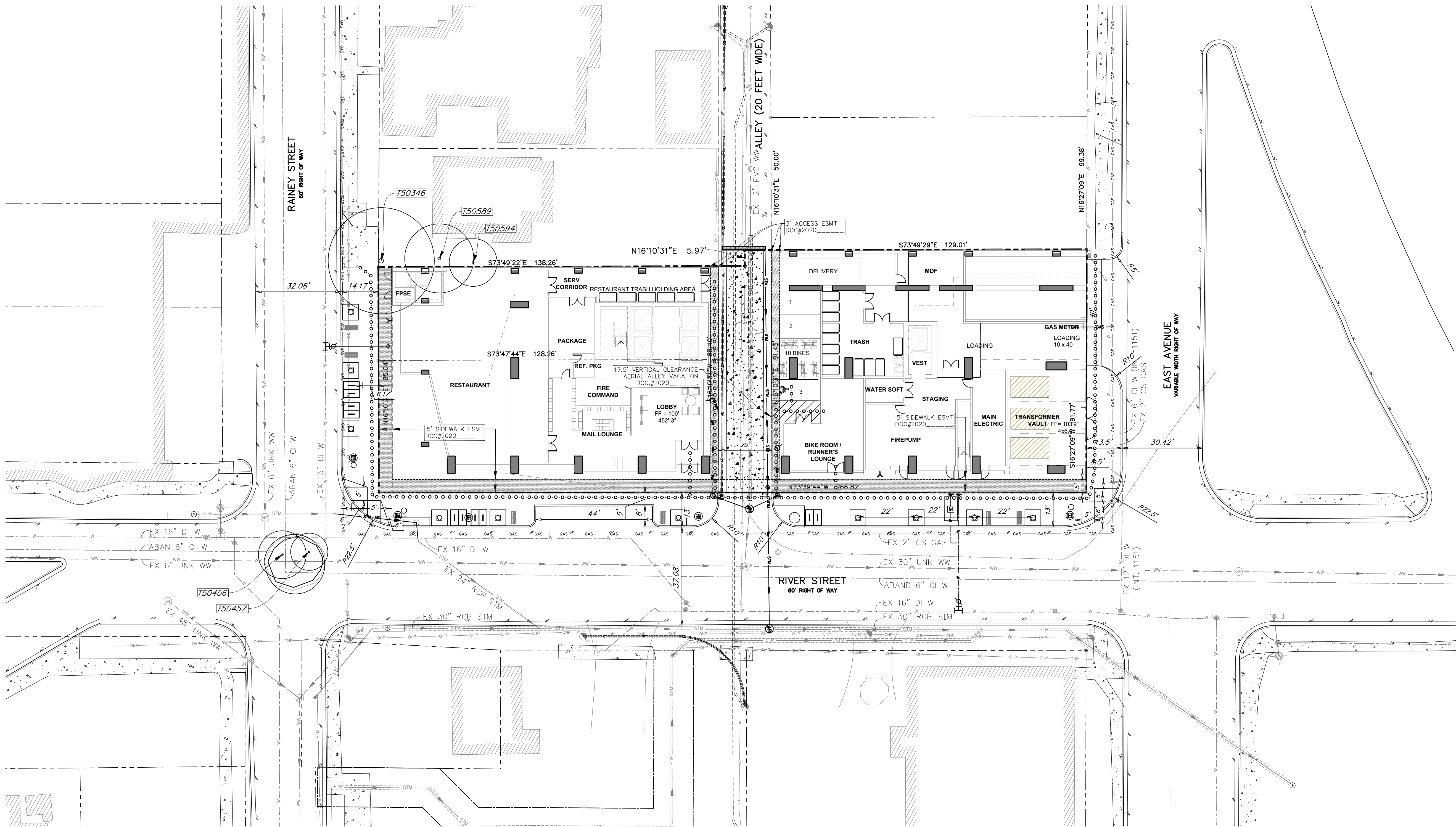
*No parking required in CBD zoning district

Impervious Cover Table				
	Existing	Proposed Removal	Proposed Addition	
Building	3,962	3,962	22,213	
Parking/Driveway & Others	5,803	5,803	1,366	
Sidewalk	-	-	-	
Wood Decks (50% IC)	1,165	1,165	-	
Total (Area)	10,930	10,930	23,579	
Gross Site Area	23,579	SF	0.541	Acre
Total (Percent)	46.35%		46.35%	100.0%



NOTES:

1. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
2. ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50.
3. ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1:50.
4. SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
5. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 IN. THE MAXIMUM HORIZONTAL PROJECTION IS 30 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:12 AND 1:15, AND 40 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:16 AND 1:20.



NO.	DATE	REVISIONS	SHEET

RIVER STREET HOTEL & HOMES
60 EAST AVENUE, AUSTIN, TX 78701

SITE PLAN

CIVILITUDE
ENGINEERS & PLANNERS

5110 LANCASTER COURT, AUSTIN, TX 78723 FIRM REG # F12469
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

SCALE: 1"=20'

JOB NO: A379-001

DGN BY: JMS

DWN BY: MAA

RVW BY: JMS

SITE PLAN APPROVAL SHEET 06 OF 18
FILE NUMBER: SP-2019-0465C APPLICATION DATE: 10-21-2019
APPROVED BY COMMISSION ON UNDER SECTION 112 ON
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE
EXPIRATION DATE (25-5-81, LDC) CASE MANAGER JEREMY SALTILA
PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ

Director, DEVELOPMENT SERVICES DEPARTMENT
RELEASED FOR GENERAL COMPLIANCE: ZONING: CBD
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable.
Subsequent Site Plans which do not comply with the Code current at the time of
filing, and all required Building Permits and/or a notice of construction of a
Building permit is not required, must also be approved prior to the Project
Expiration Date.

SHEET NO.
06
OF 18