

BOA GENERAL REVIEW COVERSHEET

CASE: C15-2020-0074

BOA DATE: December 14th, 2020

ADDRESS: 1501 Nickerson St

COUNCIL DISTRICT: 9

OWNER: Michele Connor

AGENT: William Burkhardt

ZONING: SF-3-NCCD-NP (Fairview Park NCCD, South River City NP)

LEGAL DESCRIPTION: LOT 1 BLK 17 SWISHER ADDN

VARIANCE REQUEST: increase of FAR from 40% to 41%

SUMMARY: remodel/addition to existing Single-Family residence

ISSUES: configuration, layout and design constraints of existing primary structure

	ZONING	LAND USES
<i>Site</i>	SF-3-NCCD-NP	Single-Family
<i>North</i>	CS-NCCD-NP	General Commercial Services
<i>South</i>	SF-3-NCCD-NP	Single-Family
<i>East</i>	SF-3-NCCD-NP	Single-Family
<i>West</i>	SF-3-NCCD-NP	Single-Family

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District

Austin Lost and Found Pets

Austin Neighborhoods Council

Bike Austin

Friends of Austin Neighborhoods

Greater South River City Combined Neighborhood Plan Contact Team

Homeless Neighborhood Association

Neighborhood Empowerment Foundation

Preservation Austin

SELTexas

Sierra Club, Austin Regional Group

South Central Coalition

South River City Citizens Assn.

Zoning Committee of South River City Citizens

D-1/2

GIBSON

GIBSON

THE CIRCLE

PARK

ELIZABETH

CONGRESS

MONROE

BRACKENRIDGE

DRAKE

NICKERSON

MILTON

NOTIFICATIONS

CASE#: C15-2020-0074
LOCATION: 1501 NICKERSON STREET



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

1" = 143'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.





Board of Adjustment General/Parking Variance Application

DevelopmentATX.com | Phone: 311 (or 512-974-2000 outside Austin)
For submittal and fee information, see austintexas.gov/digitaldevelopment

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # _____ ROW # _____ Tax # _____

Section 1: Applicant Statement

Street Address: 1501 Nickerson Street

Subdivision Legal Description:

Lot 1, Blk 17 of Swisher Addition, Recorded in Bk. 1, Pg. 2, Plat Records of Trav. Co., together w/the Map or Plat recorded in/under Vol. 276, Pg. 151 of the Deed Records of Travis Co., TX

Lot(s): 1 Block(s): 17

Outlot: _____ Division: SWISHER ADDITION

Zoning District: SF-3-NCCD-NP

I/We William Burkhardt on behalf of myself/ourselves as
authorized agent for Michele Connors & Seth Bank affirm that on
Month November, Day 3, Year 2020, hereby apply for a hearing before the
Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☒ Other: Remodel/addition

Type of Structure: Single Family Residence - Remodel/Addition

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

Chapter 25-2, Subchapter F, Paragraph 2.1: Maximum Development Permitted, Maximum Floor-to-Area Ratio - .40 FAR (2,789 SF) is permitted, the request is for 2,874 SF (an additional 85 SF/.41 FAR).

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

The property is a corner lot with 2 existing modestly-sized houses, one constructed before 1921 and the other by 1950; the main house is 1,431 SF and the secondary house is 622 SF, and as such the zoning regulations do not allow for the design and construction of a workable residential plan under current circumstances without demolishing either the secondary house or the main house.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

There are currently 2 houses on the property, a primary residence and a 622 SF guest house. Given the configuration, layout and design constraints of the existing primary residence, even the proposed modest addition to the primary residence is not possible to achieve without removing the guest house or significantly impacting the character of the property. <Please see the Notes below for additional comments.>

b) The hardship is not general to the area in which the property is located because:

Many residential properties in this transitional zone have redeveloped into hybrid residential/commercial operations with outsized structures, or have demolished existing structures to construct new residences, or are outright commercial operations which directly impact this property; the request for the minor additional square footage will be unnoticed in context.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The area is currently comprised of mixed zoning categories in a transitional and heavily-trafficked commercial district and is either adjacent to or in proximity of structures of a variety of sizes, most all of which are significantly larger than is being proposed by the request. The variance request is extremely modest in size and granting it will neither impair the use of adjacent conforming property nor will it impair the purpose of the regulations of the zoning district.

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

N/A

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

N/A

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:


N/A

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

N/A

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

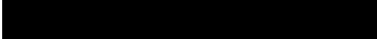
Applicant Signature:  Date: 11/03/2020

Applicant Name (typed or printed): William Burkhardt Architect, PLLC

Applicant Mailing Address: 802 Christopher St.

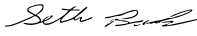
City: Austin State: TX Zip: 78704

Phone (will be public information): (512) 750-6580

Email (optional – will be public information): 

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: Bank, Seth Connors, Michele  Digitally signed by Connors, Michele
Date: 2020.11.02 23:56:44 -06'00' Date: Nov. 2, 2020

Owner Name (typed or printed): Michele Connors and Seth Bank

Owner Mailing Address: 1501 Nickerson St.

City: Austin State: TX Zip: 78704

Phone (will be public information):

Email (optional – will be public information):

Section 5: Agent Information

Agent Name: William Burkhardt Architect PLLC

Agent Mailing Address: 802 Christopher St.

City: Austin State: TX Zip: 78704

Phone (will be public information): (512) 750-6580

Email (optional – will be public information): 

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

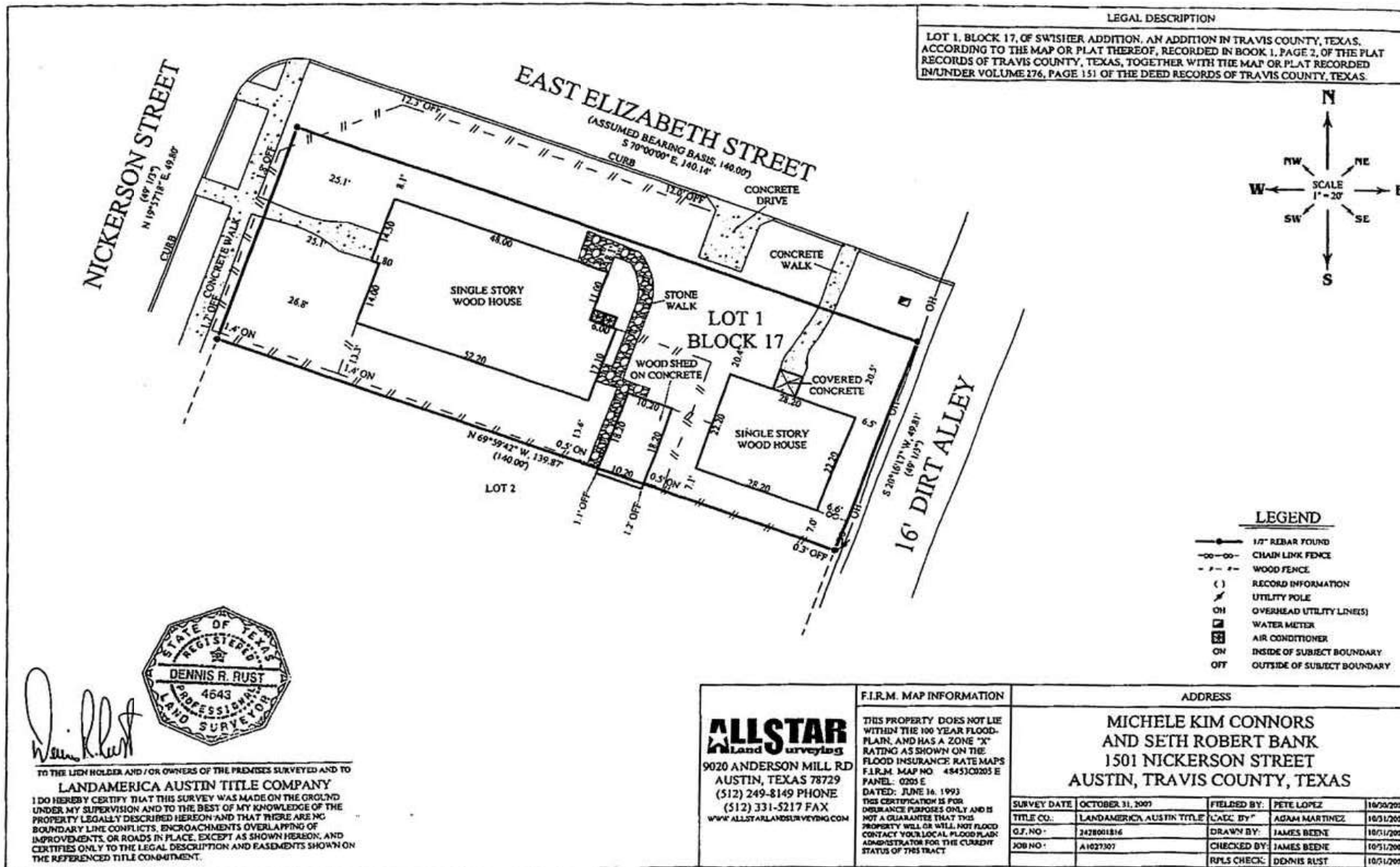
<Hardship Additional Notes>

Please note the following points in support of this request:

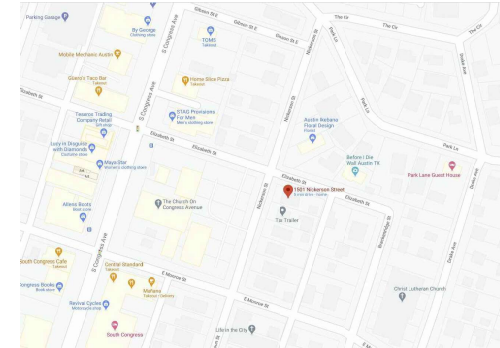
1. It was never the intent of the McMansion ordinance to eliminate all projects over .4 far – in fact the RDCC was specifically established as a vehicle to allow for some development over .4 FAR.

Additional Space (continued)

2. Prior to dissolution, the RDCC was the mechanism for meritorious projects to request additional FAR;
3. If the project were designed from scratch and the site were cleared, compliance with Subchapter F could be achieved more easily.
4. With the McMansion Task Force, and the RDCC, and to the extent possible within Subchapter F, there had always been noted a special deference to and awareness of the difficulties of adding to or remodeling existing structures, specifically with the intent to preserve rather than to demolish them.
5. As a heritage tree or a property quirk on a site can be a hardship, then within reason, an existing structure can be; to work within the limitations of the existing property, to preserve it and to update it for present circumstances and living constraints is an analogous hardship.



1501 NICKERSON REMODEL-ADDITION AUSTIN, TX 78704 OCTOBER 28, 2020



SITE LOCATION - SCALE: N.T.S.

INFORMATION		ISSUE/REVISION DATE:	
COV		PERMIT MTG.	BOA
		10/13/2020	10/28/2020
ARCHITECTURAL DRAWINGS			
A1.1	EXIST. SITE PLAN & LDC CALCULATIONS	●	●
A1.2	DEMOLITION SITE PLAN & NEW SITE PLAN	●	●
A2.1	FIRST FLOOR PLAN & DEMOLITION PLAN	●	●
A2.2	SECOND FLOOR PLAN & ROOF PLAN	●	●
A2.3	ENLARGED FIRST FLOOR PLAN	●	●
A2.4	ENLARGED SECOND FLOOR PLAN	●	●
A3.1	NORTH & EAST ELEVATIONS	●	●
A3.2	SOUTH & WEST ELEVATIONS	●	●
A3.3	BUILDING SECTION & DETAILS	●	●
A3.4	WINDOW TYPES	●	●
A4.1	INTERIOR ELEVATIONS	●	●
A4.2	INTERIOR ELEVATIONS	●	●
A5.1	FIRST FLOOR ELECTRICAL PLAN	●	●
A5.2	SECOND FLOOR ELECTRICAL PLAN	●	●
STRUCTURAL DRAWINGS			
S-1	FOUNDATION PLAN & DETAILS		
S-2	FRAMING PLANS & DETAILS		
S-3	FRAMING DETAILS		



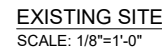
REVISIONS	DATE

Sheet Name:
COVER SHEET

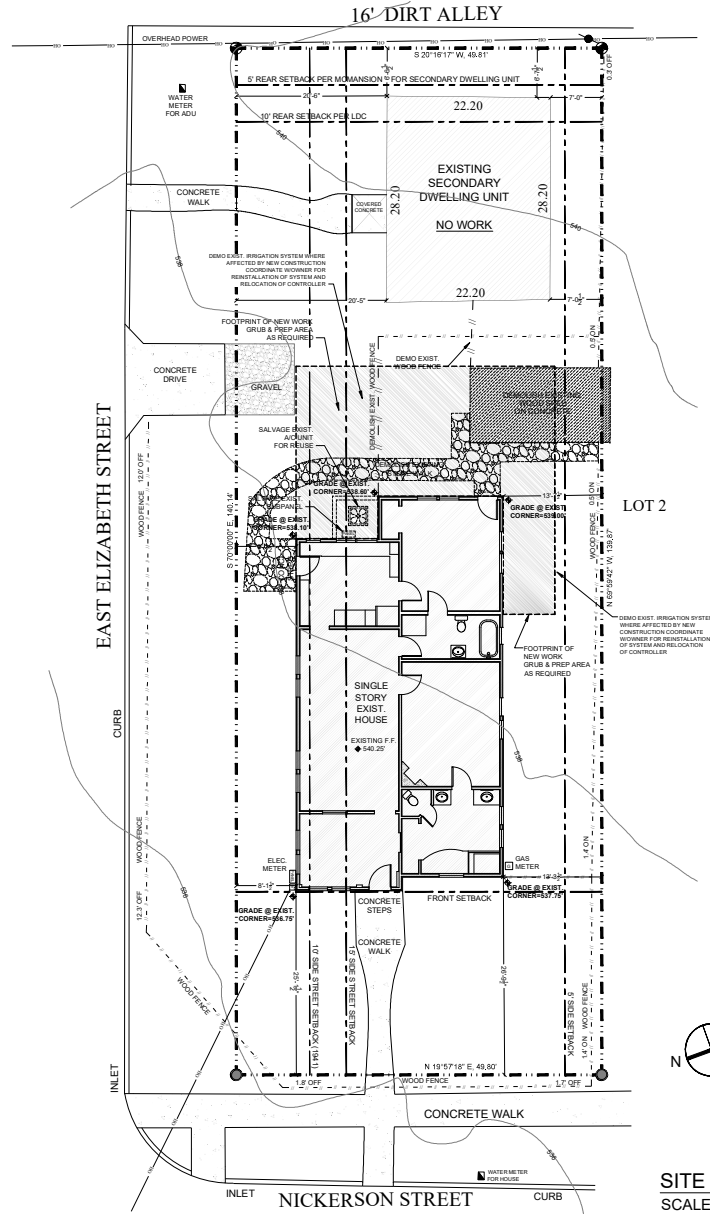
Project: CONNORS
Issue Date: OCT. 28, 2020
Phase: CONSTRUCTION
Drawn By: WB
Date: OCT. 28, 2020
Sheet:

COV

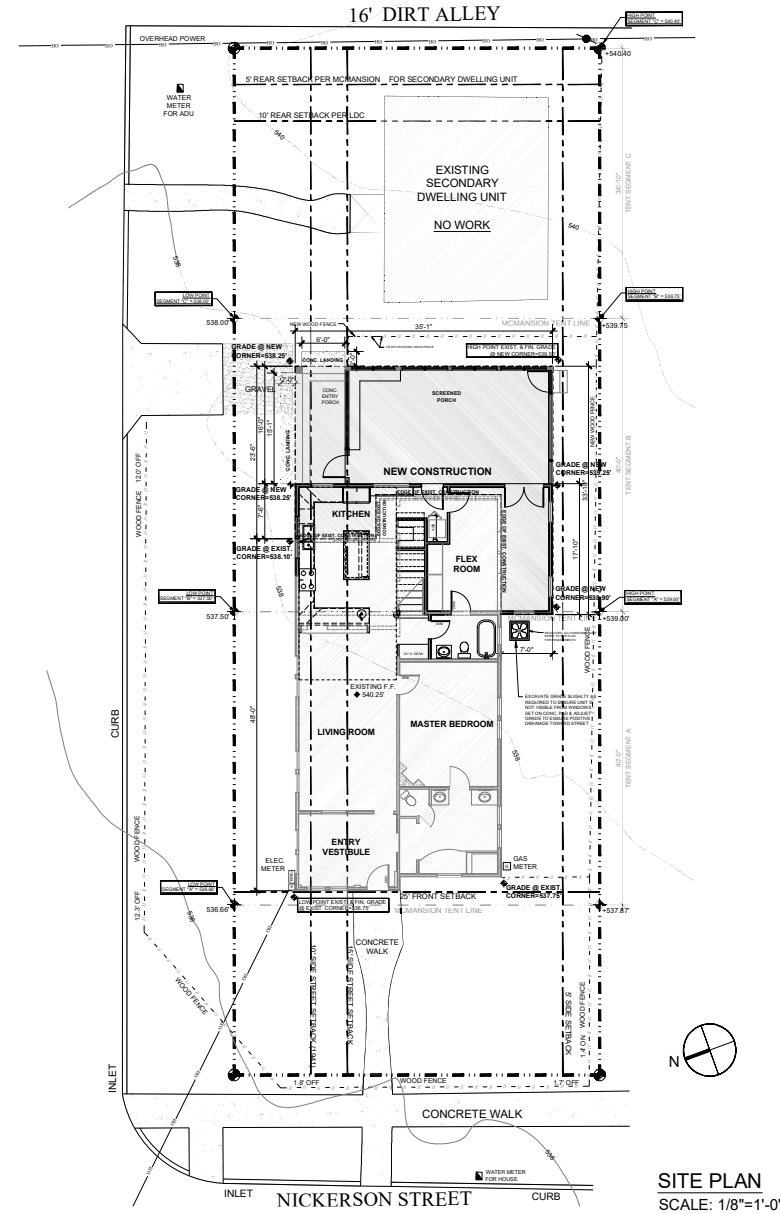
A1.1



F.A.R. CALCULATIONS				
TOTAL SITE AREA: 6,973 SF				
40% OF TOTAL SITE AREA = 2,789 SF				
AREA DESCRIPTION	EXISTING SF	NEW SF	EXEMPTION	TOTAL SF
1ST FLOOR CONDITIONED AREA:	1,431 SF	266 SF		1,697 SF
MAIN HOUSE:	620 SF	0 SF		620 SF
SECONDARY HOUSE:	0 SF	557 SF		557 SF
2ND FLOOR CONDITIONED AREA:	0 SF	0 SF		0 SF
3RD FLOOR CONDITIONED AREA:	0 SF	0 SF	0 SF	0 SF
BASEMENT:	0 SF	0 SF	0 SF	0 SF
ATTIC:	0 SF	0 SF	0 SF	0 SF
GARAGE (DETACHED):	0 SF	0 SF	0 SF	0 SF
CARPORT (ATTACHED):	0 SF	0 SF	0 SF	0 SF
(DETACHED):	0 SF	0 SF	0 SF	0 SF
ACCESSORY BUILDINGS*	183 SF	<183 SF>	0 SF	0 SF
COVERED (GROUND-FLOOR) PORCH:				
FRONT:	0 SF	0 SF	0 SF	0 SF
REAR:	0 SF	491 SF (EXEMPT)	491 SF (EXEMPT)	0 SF (EXEMPT)
SIDE:	0 SF	24 SF (EXEMPT)	24 SF	0 SF (EXEMPT)
TOTALS:	2,236 SF	553 SF		2,874 SF
TOTAL S.F. = 2,874 SF = .41 F.A.R. (EXCEEDS BY 85 SF)				2,874 SF



SITE DEMOLITION
SCALE: 1/8"=1'-0"



SITE PLAN
SCALE: 1/8"=1'-0"

CONNORS - BANK RESIDENCE
1501 NICKERSON
AUSTIN TX 78704

[illegible]

Sheet Name:
**SITE
PLAN**

Project:	CONNORS
Issue Date:	OCT. 28, 2020
Phase:	CONSTRUCTION
Drawn By:	WB
Date:	OCT. 28, 2020
Sheet:	

A1.2

D-1/12

brkrtstudio
WILLIAM BURKHARDT ARCHITECT PLLC
802 CHURCH ST., SUITE 110
AUSTIN, TEXAS 78704
512.476.4444



CONNORS - BANK RESIDENCE
1501 NICKERSON
AUSTIN TX 78704

REVISIONS	DATE

Sheet Name:
FIRST FLOOR PLAN & DEMO PLAN

Project: CONNORS
Issue Date: OCT. 28, 2020
Phase: CONSTRUCTION
Drawn By: WB
Date: OCT. 28, 2020
Sheet:

A2.1

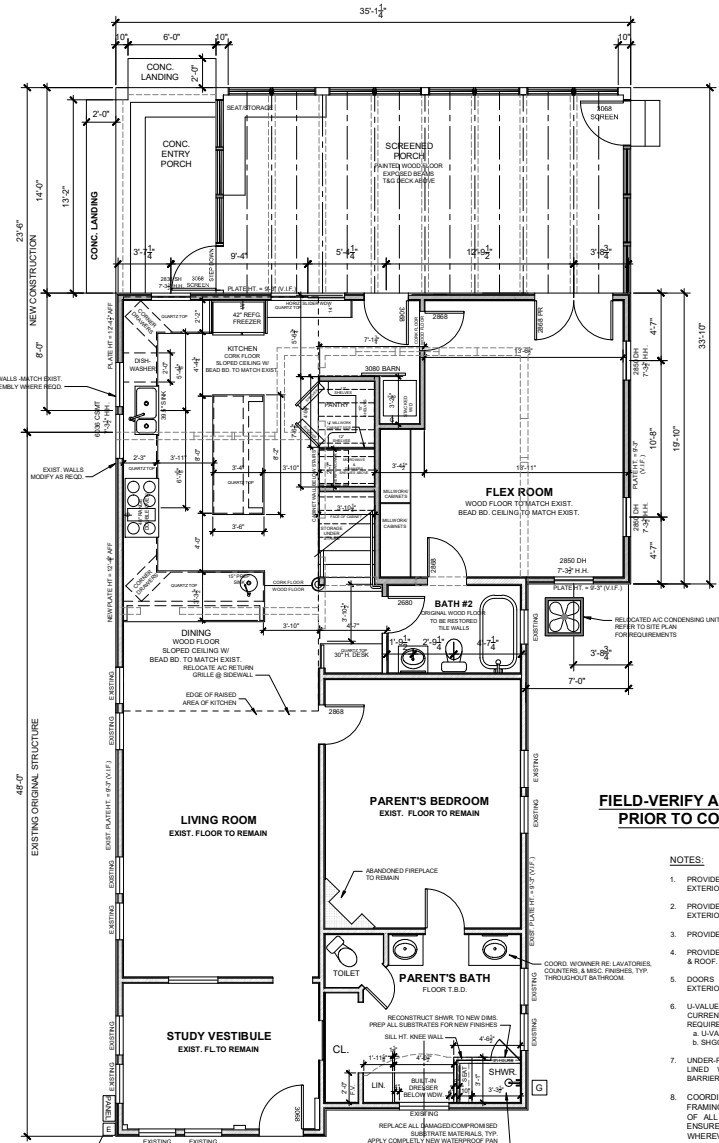
GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER.
2. NOTES APPLY TO ALL SHEETS, ALL ACTIVITIES, AND ALL DISCIPLINES. REGARDLESS OF THE SHEET ON WHICH THEY APPEAR. QUESTIONS AND DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR THE OWNER IMMEDIATELY.
3. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO ACHIEVE THE DESIGN INTENT OF THE PROJECT AS DESCRIBED IN THE ATTACHED DOCUMENTS.
4. CONSTRUCTION DOCUMENTS ARE DESIGNED TO COMPLY WITH APPLICABLE RESIDENTIAL BUILDING CODE, LOCAL LAND DEVELOPMENT CODE, AND RELEVANT NEIGHBORHOOD PLAN REQUIREMENTS. CONTRACTOR AND SUBCONTRACTORS ARE FULLY RESPONSIBLE TO PERFORM ALL WORK IN COMPLIANCE WITH AND ADHERENCE TO SUCH RELEVANT CODES AND ORDINANCES.
5. CONTRACTOR TO VERIFY AND ACQUIRE ALL PERMITS AND INSPECTIONS NECESSARY AND REQUIRED FOR THE WORK.
6. REVISIONS AND CHANGES SHOULD NOT BE MADE TO THE WORK BY THE OWNER OR THE CONTRACTOR WITHOUT THE INVOLVEMENT OF THE ARCHITECT. ALL WORK UNDERTAKEN WITHOUT SUCH INVOLVEMENT OR NOTIFICATION WILL BE THE CONTRACTORS SOLE RESPONSIBILITY.
7. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, LOCATIONS OF ALL UTILITIES, AND EXISTING GRADES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL CONFIRM DIMENSIONS TAKEN FROM KNOWN OR IDENTIFIABLE POINTS AND SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES PRIOR TO COMMITTING TO CONSTRUCTION. AT BUILDING STAKEOUT, CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND DIMENSIONS AND THE LOCATIONS OF ALL LOT LINES, EASEMENTS, BUILDING SETBACK LINES AND SIDE AND REAR YARD REQUIREMENTS AND SHALL BE RESPONSIBLE FOR THE CORRECT AND ACCURATE PLACEMENT OF THE BUILDING AND THE RELATIONSHIP OF THESE ELEMENTS TO WHAT WILL BE CONSTRUCTED.
8. COORDINATE DEMOLITION OF EXISTING CONSTRUCTION WITH NEW WORK SHOWN ON DRAWINGS.
9. CONTRACTOR SHALL CONSTANTLY PROTECT ALL OPEN OR OTHERWISE EXPOSED CONSTRUCTION FROM WEATHER, RAIN, AND EXPOSURE TO THE ELEMENTS. ALL EXPOSED CONSTRUCTION SHALL BE PROTECTED AT THE END OF EACH DAY'S WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO RESIDENCE RESULTING FROM FAILURE OF SUCH PROTECTION.
10. ALL EXISTING TREES TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED. PROTECT ACCORDING TO STANDARD PROTECTION DETAILS AND REQUIREMENTS.
11. TREE PROTECTION: WHEN IN PROXIMITY OF A CR2 OF PROTECTED TREES FOLLOW STANDARD ROOT ZONE PROCEDURE FOR ROOTS AFFECTED BY EXCAVATION FOR GRADE BEAMS.
12. ANY EXISTING PLANTING TO BE RELOCATED IS TO BE EXCAVATED, NOTED OR BURIED TEMPORARILY, STORED AND MAINTAINED IN GOOD CONDITION FOR REPLANTING BY CONTRACTOR AT PROJECT COMPLETION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SITE WHICH MAY OCCUR DURING OR AS A RESULT OF CONSTRUCTION ACTIVITIES. IF OPERATIONAL DAMAGE OCCURS ON PLATINGS, CONTRACTOR SHALL REPLACE DAMAGED WORK PRIOR TO PROJECT CLOSE-OUT.
14. FENCING: CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO FENCING WHICH MAY OCCUR DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE EXISTING AND NEW PERIMETER FENCING TO ORIGINAL CONDITION IF SUCH IS SCHEDULED TO REMAIN.
15. COMPLETELY GRUB TREE ROOTS AND SUBSURFACE VEGETATION & EXCAVATE TO UNDISTURBED SUBGRADE WHERE REQUIRED FOR NEW FOUNDATION (SEE STRUCTURAL).
16. CONTRACTOR SHALL CONFIGURE GAS LINE, ELECTRICAL LINES AND DROPS, CABLE FEEDS, EXHAUSTS AND VENTS, ETC. AS REQUIRED TO ACHIEVE THE MOST EFFICIENT AND APPROPRIATE ROUTING. LOCATE ALL VENTS AND EXHAUSTS AS FAR TO THE REAR OF THE STRUCTURE AS POSSIBLE TO AVOID INTERFERENCE FROM STREETS. CONSOLIDATE VENTS TO THE FEWEST POSSIBLE NUMBER OF ROOF PENETRATIONS.
17. DASHED LINES TYPICALLY INDICATE OVERHEAD COMPONENTS SUCH AS SHELVES, BUILT-IN CABINETS, ETC. UNLESS NOTED OTHERWISE.
18. FRAME ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS PER MANUFACTURERS DIMENSIONS.
19. REFER TO STRUCTURAL DRAWINGS FOR SITE AND FOUNDATION PREPARATION REQUIREMENTS.
20. ALL WORK, MATERIALS, ASSEMBLIES AND FINISHES ARE TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS, INDUSTRY STANDARDS AND BEST CONSTRUCTION PRACTICES.
21. THE CONSTRUCTION DOCUMENTS DO NOT SHOW OR DETAIL ROOFING OR WATERPROOFING OR WALL PENETRATIONS AND/OR SIMILAR ASSEMBLIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS AND FULL AND COMPLETE DETAILS BETWEEN MATERIALS, COMPONENTS AND ASSEMBLIES USED IN THE PROJECT AS NECESSARY AND REFERABLE AS REQUIRED FOR A COMPLETE, WEATHERTIGHT AND PROFESSIONALLY FINISHED PROJECT. WHETHER SPECIFIED OR NOT, AND WHETHER OR NOT INDICATED OR REFERENCED.
22. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS USED FOR ALL WORK PERFORMED.
23. WALL FRAMING TO BE 2X4 OR 2X6 @ 16" O.C. U.N.O., AS INDICATED ON PLANS.
24. DIMENSIONS SHOWN ON PLAN DRAWINGS ARE TO EXTERIOR FACE OF STUD FOR EXTERIOR WALLS AND TO EXTERIOR FACE OF INTERIOR WALLS. DIMENSIONS DO NOT INCLUDE DRYWALL, OR ADDITIONAL FINISH SURFACES SUCH AS TILE OR GROUT, UNLESS SPECIFICALLY DIMENSIONING MASONRY, WHICH IS DIMENSIONED TO EXTERIOR FINISHED FACE.
25. LOCATE HOLEBORES APPROXIMATELY 24" A.F.F. U.N.O.
26. FIELD-VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IF DISCREPANCIES OR F UNABLE TO RECONCILE.
27. ALL HEIGHTS ARE RELATIVE TO FINISH FLOOR AND NOT TO FOUNDATIONS OR ELEVATION U.N.O.
28. WALLS NOT HATCHED DO NOT EXTEND TO CEILING.
29. ALL SHOWER HEADS TO BE MOUNTED @ 7'-0" U.N.O.
30. ALL INTERIOR WALL AND CEILING MATERIAL IS GYPSUM BOARD U.N.O. PROVIDE IN-WALL BLOCKING FOR ALL LOAD-BEARING SURFACE-MOUNTED COMPONENTS SUCH AS FANS, GRAB BARS, HANDRAILS, MILLWORK, ETC.
31. ALL STRUCTURAL ENGINEERING TO BE PROVIDED BY LICENSED ENGINEER - OR APPROPRIATELY LICENSED PROFESSIONAL (ARCHITECT IS NOT RESPONSIBLE FOR STRUCTURAL ENGINEERING).
32. ALL MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING TO BE PERFORMED BY LICENSED ENGINEERS OR APPROPRIATELY LICENSED PROFESSIONALS. (ARCHITECT IS NOT RESPONSIBLE FOR SEPTIC OR MEP ENGINEERING).

NOTES:

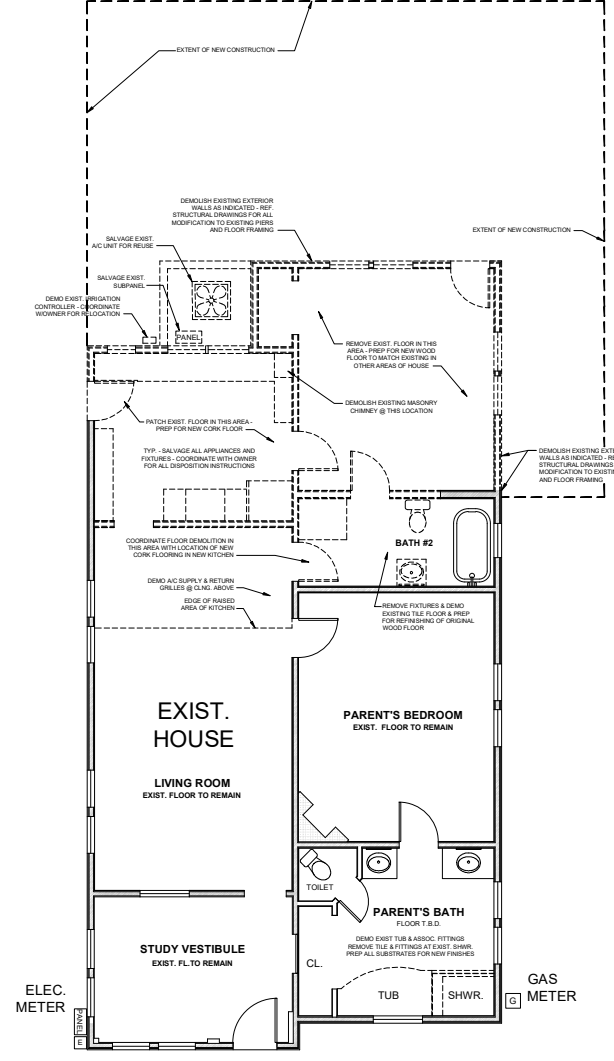
1. PROVIDE MIN. R-13 INSULATION IN EXTERIOR 2X4 WALLS.
2. PROVIDE MIN. R-19 INSULATION IN EXTERIOR 2X6 WALLS.
3. PROVIDE MIN. R-13 FLOOR INSULATION.
4. PROVIDE MIN. R-30 INSULATION IN ATTIC & ROOF.
5. DOORS & WINDOWS TO BE JELD-WEN EXTERIOR WOOD UNITS.
6. U.V.A.U.L.E. & SHGC TO CORRESPOND TO CURRENT CITY OF AUSTIN REQUIREMENTS.
a. U.V.A.U.L.E. = 0.40 MAX.
b. SHGC = 0.25 MAX.
7. UNDER-FLOOR CRAWL SPACE TO BE LINED WITH POLYETHYLENE VAPOR BARRIER.
8. COORDINATE ALL FLOOR/CEILING FRAMING LAYOUTS WITH LOCATIONS OF ALL RECESSED CAN LIGHTS TO ENSURE LAYOUT AS SHOWN - TYP. WHEREVER CAN LIGHTS ARE SHOWN.

FIELD-VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION



FIRST FLOOR
SCALE: 1/4"=1'-0"

DEMOLITION PLAN
SCALE: 1/4"=1'-0"

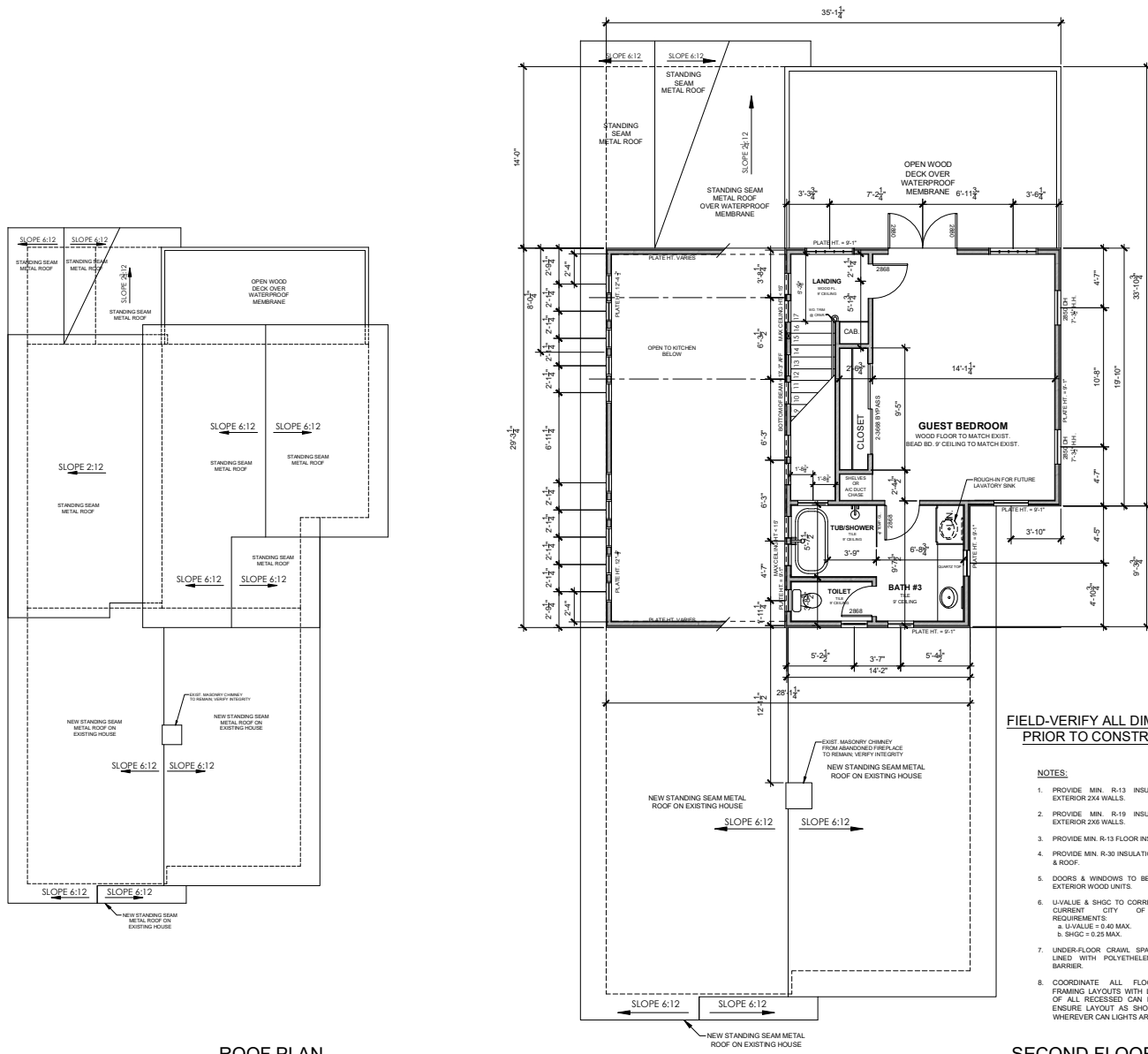


REVISIONS	DATE

Sheet Name:
SECOND FLOOR PLAN & ROOF PLAN

Project: CONNORS
Issue Date: OCT. 28, 2020
Phase: CONSTRUCTION
Drawn By: WB
Date: OCT. 28, 2020
Sheet:

A2.2



ROOF PLAN
SCALE: 3/16"=1'-0"

FIELD-VERIFY ALL DIMENSIONS
PRIOR TO CONSTRUCTION

NOTES:

1. PROVIDE MIN. R-13 INSULATION IN EXTERIOR 2X4 WALLS.
2. PROVIDE MIN. R-19 INSULATION IN EXTERIOR 2X6 WALLS.
3. PROVIDE MIN. R-13 FLOOR INSULATION.
4. PROVIDE MIN. R-30 INSULATION IN ATTIC & ROOF.
5. DOORS & WINDOWS TO BE JELD-WEN EXTERIOR WOOD UNITS.
6. U-VALUE & SHGC TO CORRESPOND TO CURRENT CITY OF AUSTIN REQUIREMENTS.
a. U-VALUE = 0.40 MAX.
b. SHGC = 0.25 MAX.
7. UNDER-FLOOR CRAWL SPACE TO BE LINED WITH POLYETHYLENE VAPOR BARRIER.
8. COORDINATE ALL FLOOR/CEILING FRAMING LAYOUTS WITH LOCATIONS OF ALL RECESSED CAN LIGHTS TO ENSURE LAYOUT AS SHOWN - TYP. WHEREVER CAN LIGHTS ARE SHOWN.

SECOND FLOOR
SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER.
2. NOTES APPLY TO ALL SHEETS, ALL ACTIVITIES, AND ALL DISCIPLINES. REGARDLESS OF THE SHEET ON WHICH THEY MAY APPEAR. QUESTIONS AND DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR THE OWNER IMMEDIATELY.
3. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO ACHIEVE THE DESIGN INTENT OF THE PROJECT AS DESCRIBED IN THE ATTACHED DOCUMENTS.
4. CONSTRUCTION DOCUMENTS ARE DESIGNED TO COMPLY WITH APPLICABLE RESIDENTIAL BUILDING CODE, LOCAL AND DEVELOPMENT CODE, AND RELEVANT NEIGHBORHOOD PLAN RESTRICTIONS. CONTRACTOR AND SUBCONTRACTORS ARE FULLY RESPONSIBLE TO PERFORM ALL WORK IN CONFORMANCE WITH AND ADHERENCE TO SUCH RELEVANT CODES AND ORDINANCES.
5. CONTRACTOR TO VERIFY AND ACQUIRE ALL PERMITS AND INSPECTIONS NECESSARY AND REQUIRED FOR THE WORK.
6. REVISIONS AND CHANGES SHOULD NOT BE MADE TO THE WORK BY THE OWNER OR THE CONTRACTOR WITHOUT THE INVOLVEMENT OF THE ARCHITECT. ALL WORK UNDERTAKEN WITHOUT SUCH INVOLVEMENT OR NOTIFICATION WILL BE THE CONTRACTORS SOLE RESPONSIBILITY.
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8. COORDINATE DEMOLITION OF EXISTING CONSTRUCTION WITH NEW WORK SHOWN ON DRAWINGS.
9. CONTRACTOR SHALL CONSTANTLY PROTECT ALL OPEN OR OTHERWISE EXPOSED CONSTRUCTION FROM WEATHER, RAIN, AND EXPOSURE TO THE ELEMENTS. ALL EXPOSED CONSTRUCTION SHALL BE PROTECTED AT THE END OF EACH DAYS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO RESIDENCE RESULTING FROM FAILURE OF SUCH PROTECTION.
10. ALL EXISTING TREES TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED. PROTECT ACCORDING TO STANDARD PROTECTION DETAILS AND REQUIREMENTS.
11. TREE PROTECTION: WHEN IN PROXIMITY OF 1/2" OF PROTECTED TREES FOLLOW STANDARD ROOT ZONE PROCEDURE FOR ROOTS AFFECTED BY EXCAVATION FOR GRADE BEAMS.
12. ANY EXISTING PLANTING TO BE RELOCATED IS TO BE EXCAVATED, NOTED OR BURIED TEMPORARILY, STORED AND MAINTAINED IN GOOD CONDITION FOR REPLANTING BY CONTRACTOR AT PROJECT COMPLETION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SITE WHICH MAY OCCUR DURING OR AS A RESULT OF CONSTRUCTION ACTIVITIES. IF OPERATIONS DAMAGE DRIVE OR PLANTING, CONTRACTOR SHALL REPLACE DAMAGED WORK PRIOR TO PROJECT CLOSEOUT.
14. FENCING: CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO FENCING WHICH MAY OCCUR DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE EXISTING AND NEW SITE PREPARATION FENCING TO ORIGINAL CONDITION IF SUCH IS SCHEDULED TO REMAIN.
15. COMPLETELY GRUB TREE ROOTS AND SUBSURFACE VEGETATION & EXCAVATE TO UNDISTURBED SUBGRADE WHERE REQUIRED FOR NEW FOUNDATION (REF. STRUCTURAL).
16. CONTRACTOR SHALL CONFIGURE GAS LINE, ELECTRICAL LINES AND DROPS, CABLE FEEDS, EXHAUSTS AND VENTS, ETC. AS REQUIRED TO ACHIEVE THE MOST EFFICIENT AND APPROPRIATE ROUTING/LOCATE ALL VENTS AND EXHAUSTS AS FAR TO THE REAR OF THE STRUCTURE AS POSSIBLE TO AVOID VISIBILITY FROM STREETS. CONSOLIDATE VENTS TO THE FEWEST POSSIBLE NUMBER OF ROOF PENETRATIONS.
17. DASHED LINES TYPICALLY INDICATE OVERHEAD COMPONENTS SUCH AS SHELVES, BUILT-IN CABINETRY, ETC. UNLESS NOTED OTHERWISE.
18. FRAME ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS PER MANUFACTURERS DIMENSIONS.
19. REFER TO STRUCTURAL DRAWINGS FOR SITE AND FOUNDATION PREPARATION REQUIREMENTS.
20. ALL WORK, MATERIALS, ASSEMBLIES AND FINISHES ARE TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS, INDUSTRY STANDARDS AND BEST CONSTRUCTION PRACTICES.
21. THE CONSTRUCTION DOCUMENTS DO NOT SHOW OR DETAIL ROOFING OR WATERPROOFING OR WALL PENETRATIONS AND/OR SIMILAR ASSEMBLIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS AND FULL AND COMPLETE DETAILS BETWEEN MATERIALS, COMPONENTS AND ASSEMBLIES USED IN THE PROJECT AS NECESSARY AND REFERABLE AS REQUIRED FOR A COMPLETE, WEATHERTIGHT AND PROFESSIONALLY FINISHED PRODUCT, WHETHER SPECIFIED OR NOT, AND WHETHER OR NOT INDICATED OR REFERENCED.
22. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS USED FOR ALL WORK PERFORMED.
23. WALL FRAMING TO BE 2X4 OR 2X6 @ 16" O.C. U.N.O., AS INDICATED ON PLANS.
24. DIMENSIONS SHOWN ON PLAN DRAWINGS ARE TO EXTERIOR FACE OF STUD FOR EXTERIOR WALLS AND TO FACE OF STUD AND/OR INTERIOR WALLS. DIMENSIONS DO NOT INCLUDE DRYWALL, OR ADDITIONAL FINISH SURFACES SUCH AS TILE OR GROUT, UNLESS SPECIFICALLY DIMENSIONING MASONRY, WHICH IS DIMENSIONED TO THE FINISHED FACE.
25. LOCATE HOSE BBS APPROXIMATELY 24" A.F.F. U.N.O.
26. FIELD-VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IF DISCREPANCIES OR IF UNABLE TO RECONCILE.
27. ALL HEIGHTS ARE RELATIVE TO FINISH FLOOR AND NOT TO FOUNDATIONS/SLAB ELEVATION U.N.O.
28. WALLS NOT HATCHED DO NOT EXTEND TO CEILING.
29. ALL SHOWER HEADS TO BE MOUNTED @ 7'-0" U.N.O.
30. ALL INTERIOR WALL AND CEILING MATERIAL IS GYPSUM BOARD U.N.O. PROVIDE IN-WALL BLOCKING FOR ALL LOAD-BEARING SURFACE-MOUNTED COMPONENTS SUCH AS FANS, GRAB BARS, HANDRAILS, MILLWORK, ETC.
31. ALL STRUCTURAL ENGINEERING TO BE PROVIDED BY LICENSED ENGINEER (OR APPROPRIATELY LICENSED PROFESSIONAL ARCHITECT IS NOT RESPONSIBLE FOR STRUCTURAL ENGINEERING).
32. ALL MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING TO BE PERFORMED BY LICENSED ENGINEERS (OR APPROPRIATELY LICENSED PROFESSIONALS. ARCHITECT IS NOT RESPONSIBLE FOR

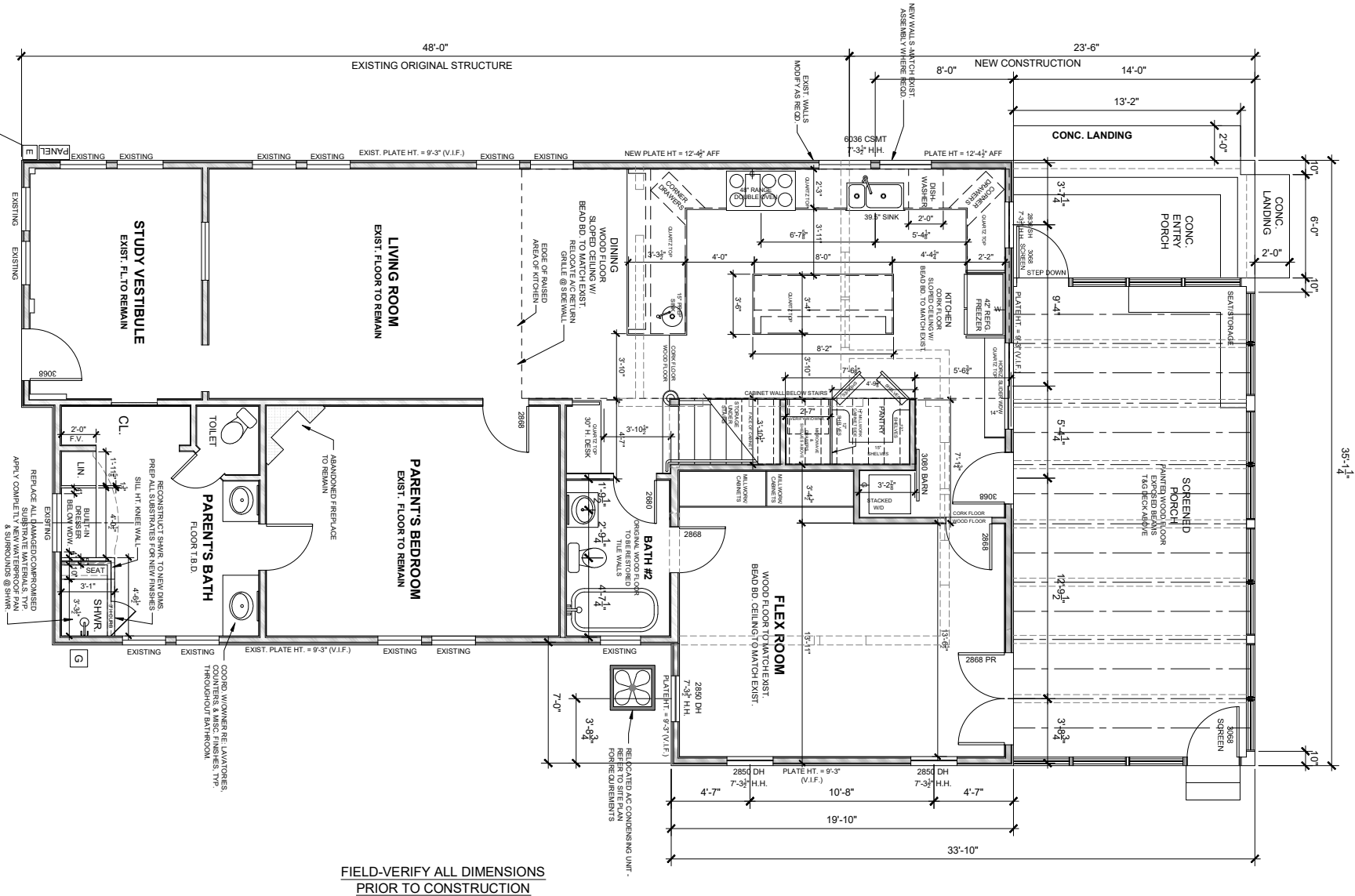
CONNORS - BANK RESIDENCE
1501 NICKERSON
AUSTIN TX 78704

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Sheet Name:
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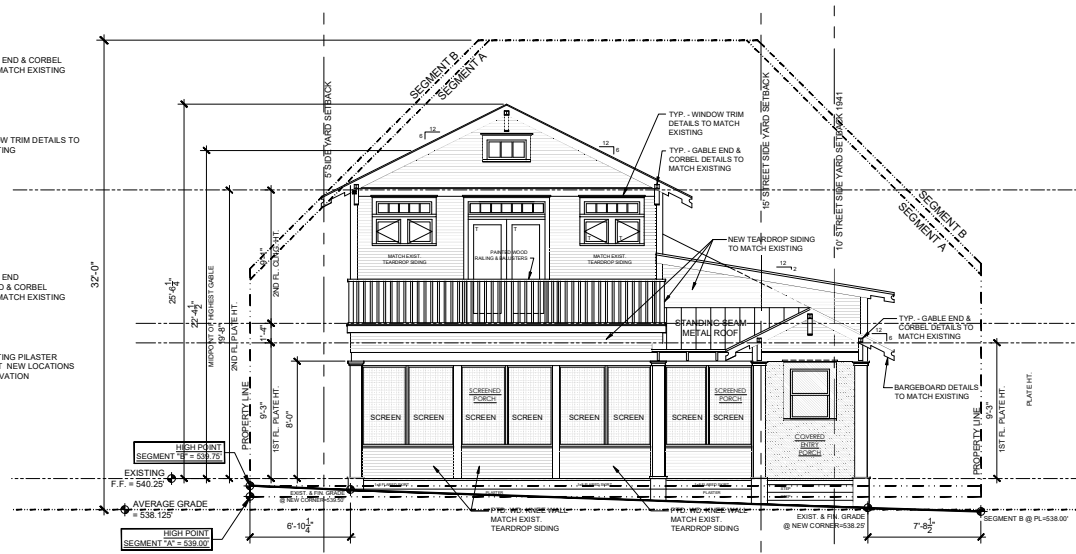
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Issue Date: OCT. 28, 2020
Phase: CONSTRUCTION
Drawn By: WB
Date: OCT. 28, 2020
Sheet:

A2.3



Project:	CONNORS
Issue Date:	OCT. 28, 2020
Phase:	CONSTRUCTION
Drawn By:	WB
Date:	OCT. 28, 2020
Sheet:	

SECOND FLOOR
SCALE: 1/4"=1'-0"

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A3.1

REVISIONS	DATE

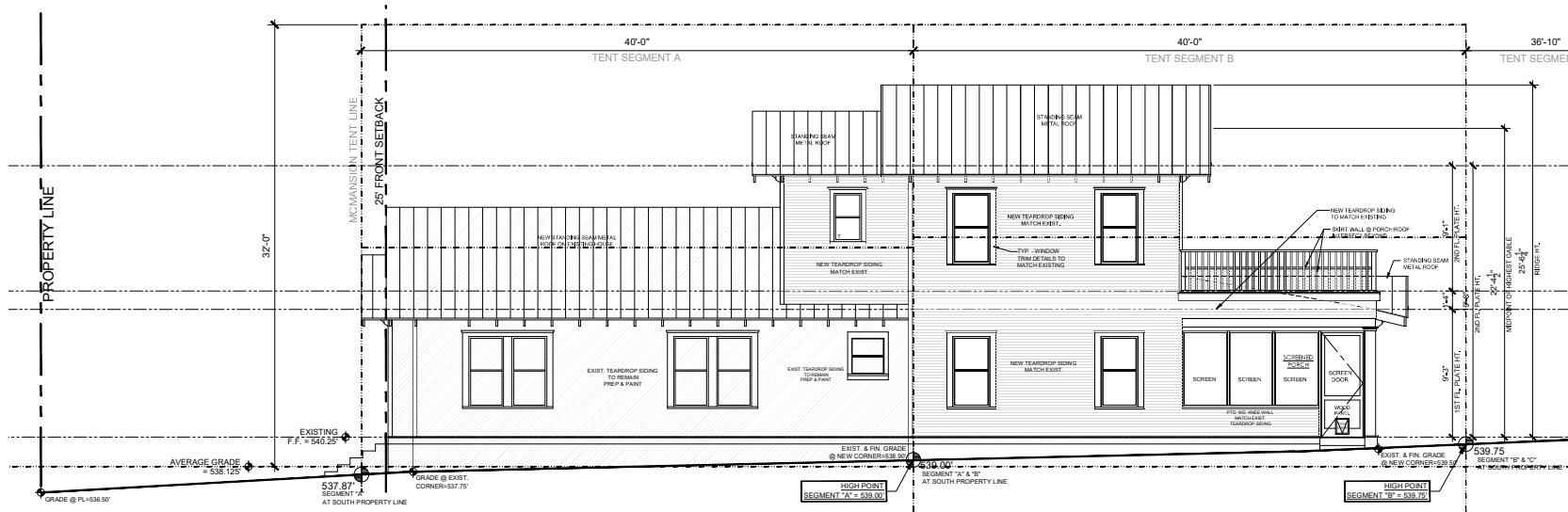
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**SOUTH
&
WEST
ELEVATIONS**

Project: **CONNORS**
Issue Date: **OCT. 28, 2020**
Phase: **CONSTRUCTION**
Drawn By: **WB**
Date: **OCT. 28, 2020**
Sheet:

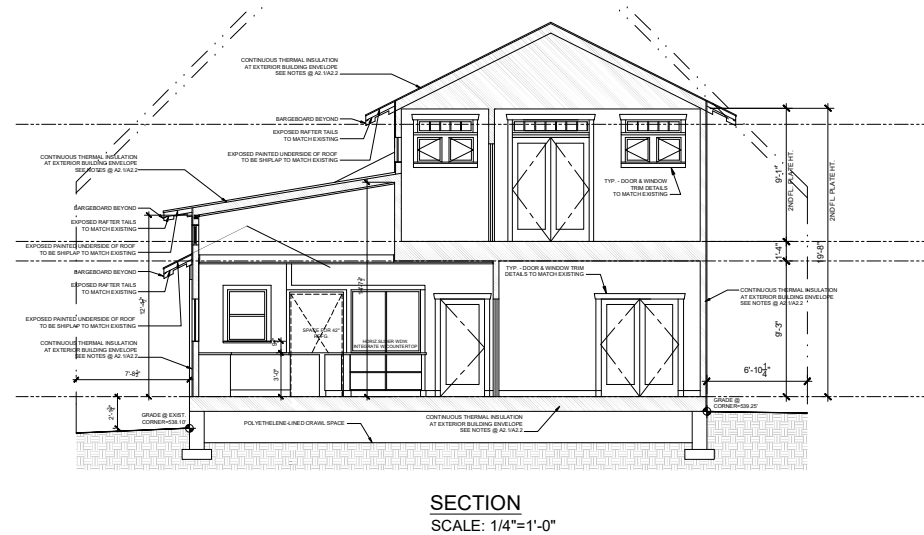
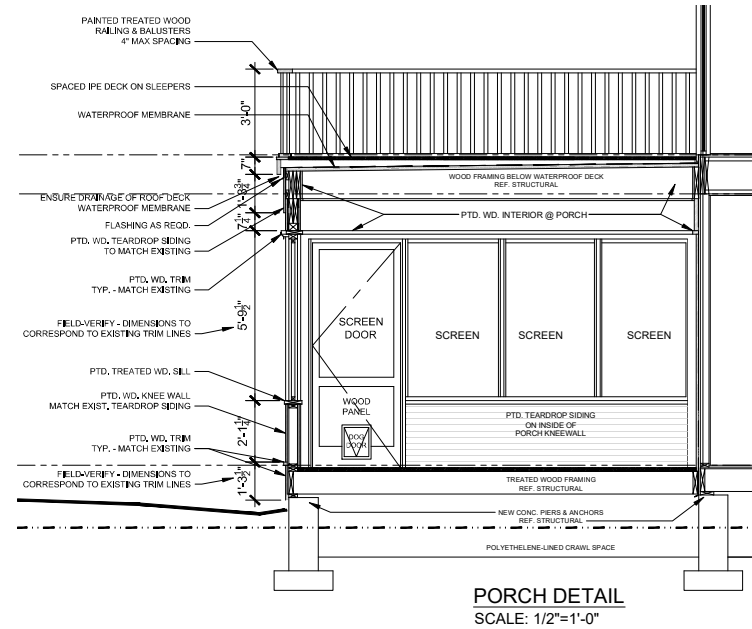
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WEST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



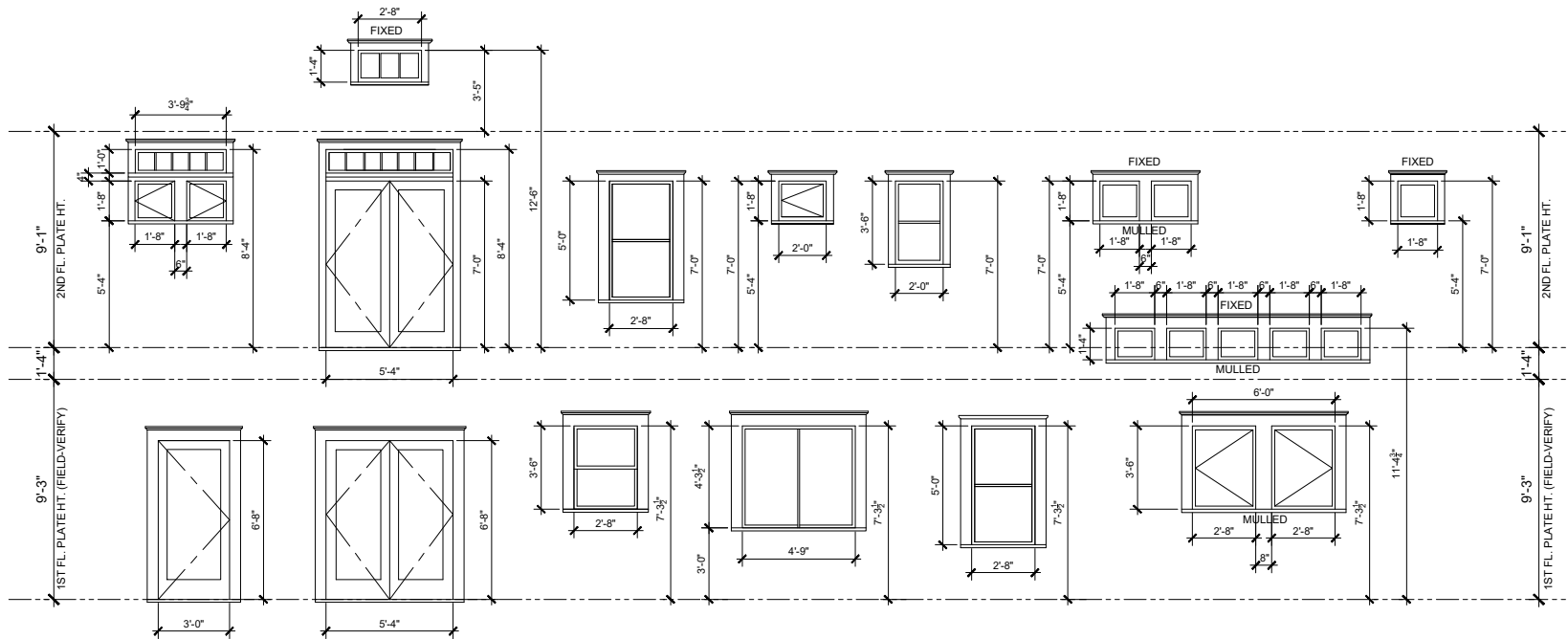
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SECTION

Project: CONNORS
Issue Date: OCT. 28, 2020
Phase: CONSTRUCTION
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Sheet:

A3.3



DOOR & WINDOW TYPES
SCALE: 3/8"=1'-0"

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AUSTIN TX 78704

REVISIONS	DATE

Sheet Name:
**DOOR
&
WINDOW
TYPES**

Project: CONNORS
Issue Date: OCT. 28, 2020
Phase: CONSTRUCTION
Drawn By: WB
Date: OCT. 28, 2020
Sheet:

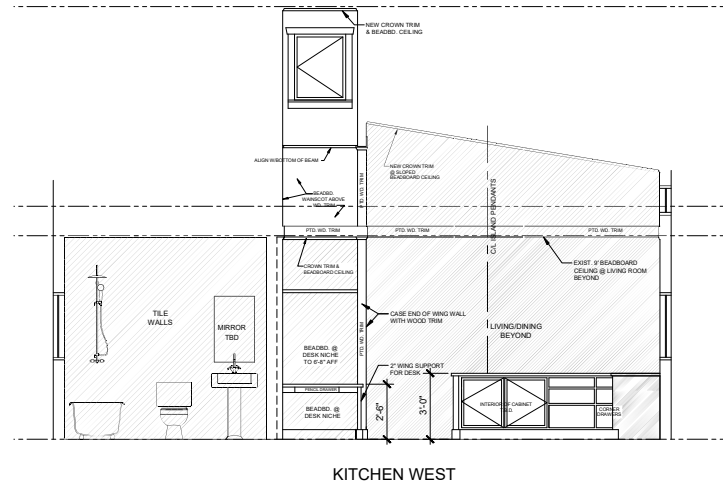
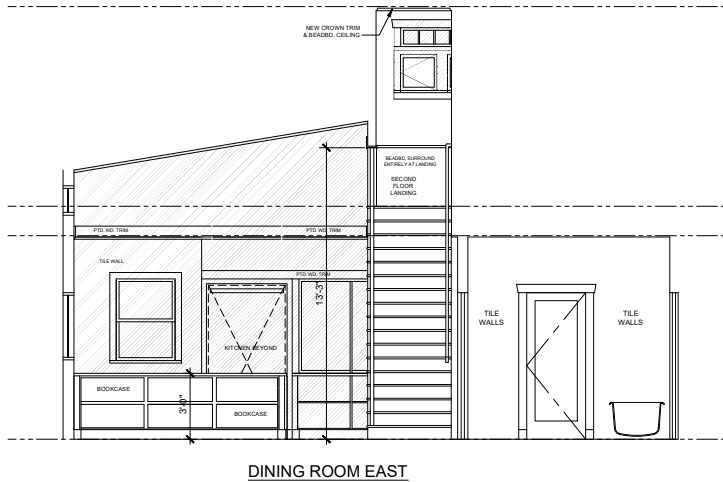
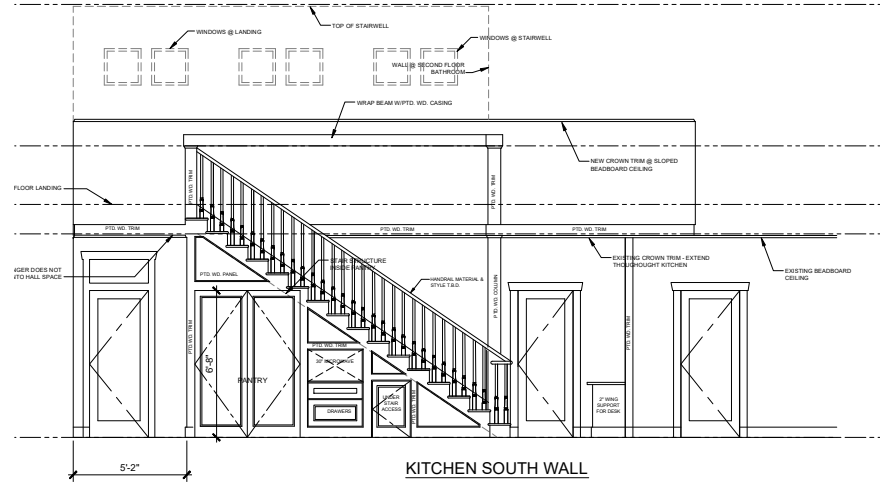
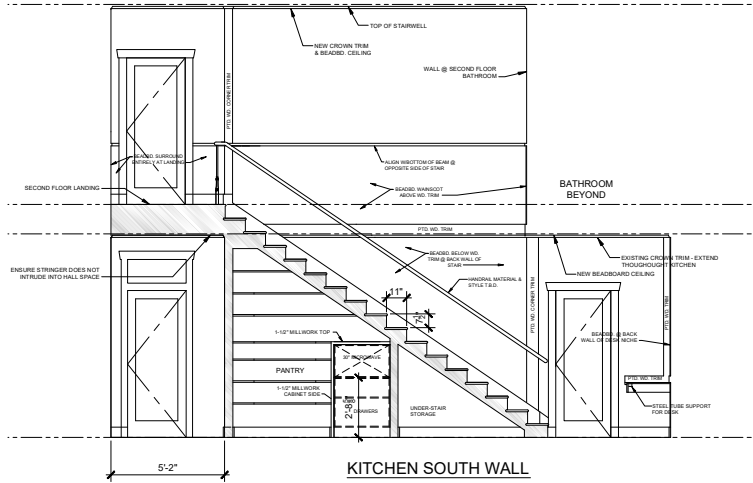
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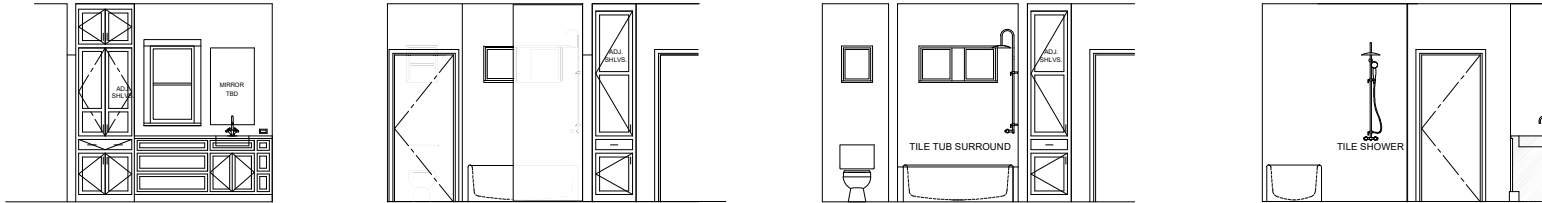
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Project: CONNORS
Issue Date: OCT. 28, 2020
Phase: CONSTRUCTION
Drawn By: WB
Date: OCT. 28, 2020
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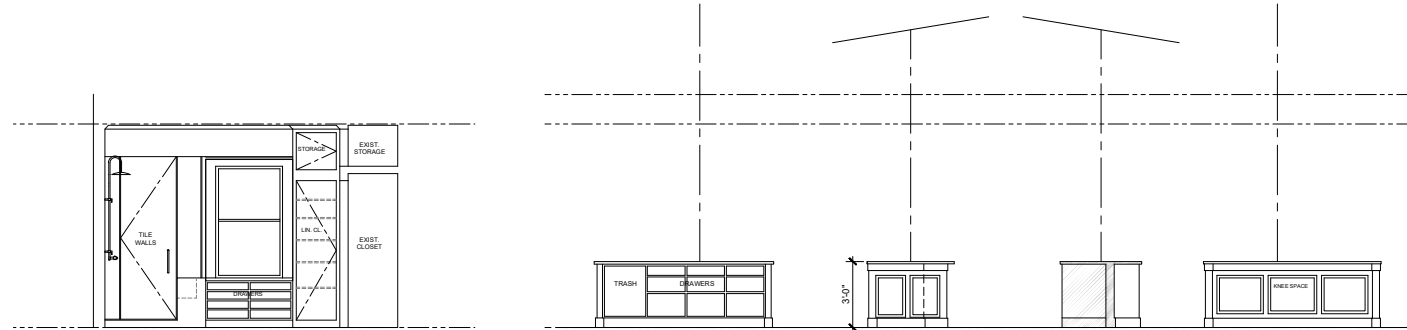
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INTERIOR ELEVATIONS
SCALE: 3/8"=1'-0"

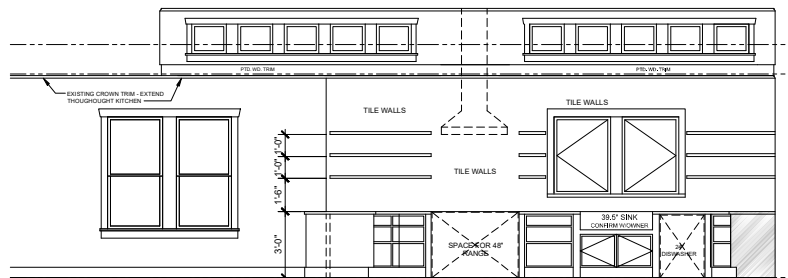


SECOND FLOOR BATHROOM

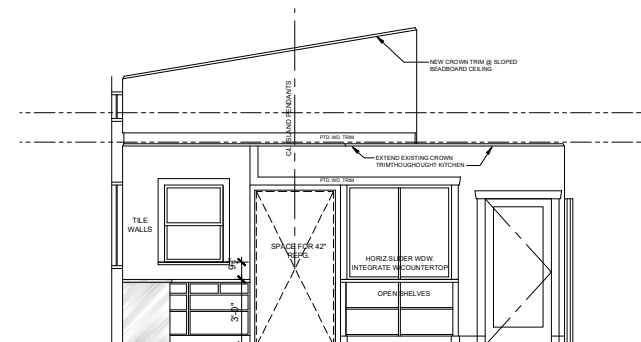


MAIN BATHROOM

KITCHEN ISLAND



KITCHEN NORTH WALL



KITCHEN EAST

INTERIOR ELEVATIONS

SCALE: 3/8"=1'-0"

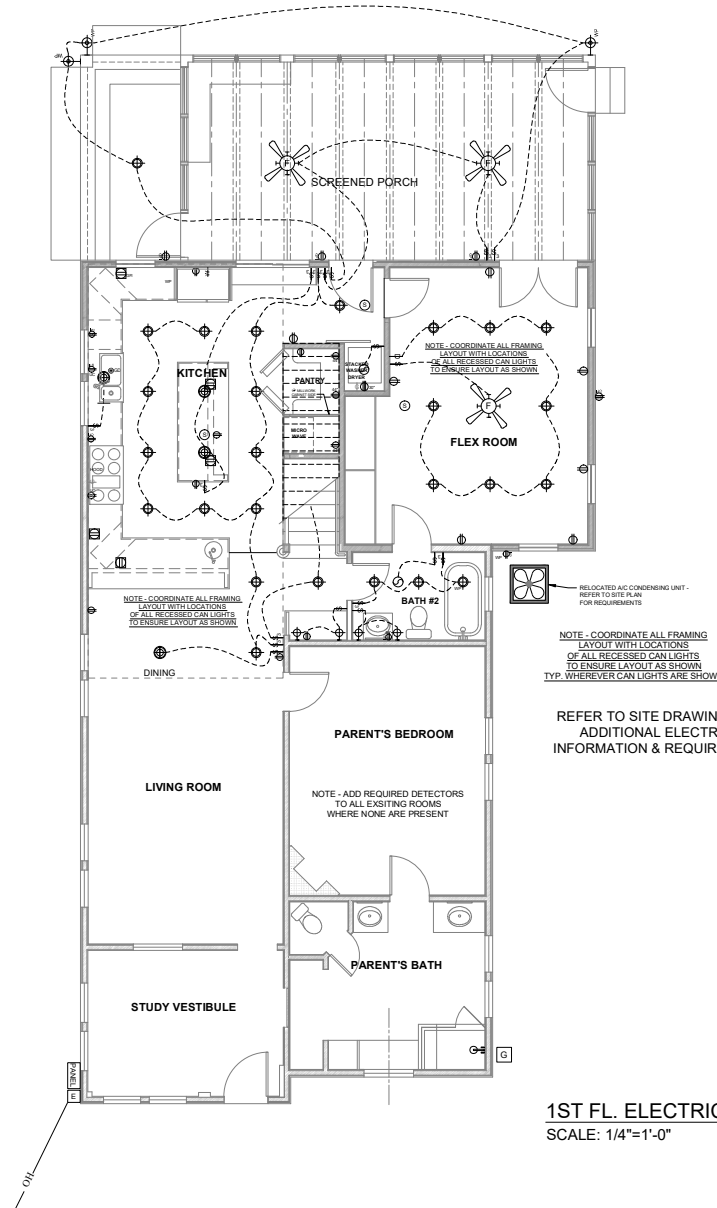
CONNORS - BANK RESIDENCE
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**INT.
 ELEV'S.**

Project: CONNORS
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A4.2



ELECTRICAL SYMBOLS:

- CEILING SURFACE-MOUNTED FIXTURE
- RECESSED CEILING LED FIXTURE
- PENDANT LIGHT FIXTURE
- CEILING FAN WITH LIGHT
- WATERPROOF RECESSED CEILING LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- WATERPROOF WALL MOUNTED LIGHT FIXTURE
- RECESSED WALL LIGHT FIXTURE
- DIRECTIONAL RECESSED CEILING LIGHT FIXTURE
- RECESSED FLOOR LIGHT FIXTURE
- LED ART LIGHT
- FLUORESCENT TUBE LIGHT FIXTURE
- UNDERCABINET STRIP LIGHT FIXTURE
- UNDERCABINET STRIP RECEPTABLES
- DUPLEX OUTLET
- QUADPLEX OUTLET
- GFI DUPLEX OUTLET
- WATERPROOF DUPLEX OUTLET
- SWITCHED DUPLEX OUTLET
- 220V OUTLET
- JUNCTION BOX
- FLOOR OUTLET
- TELEPHONE JACK
- DATA PORT / MODEM
- DIMMER
- SWITCH
- DOORBELL
- GARBAGE DISPOSAL
- EXHAUST FAN
- SMOKE DETECTOR
- HEAT DETECTOR
- DOOR CHIME
- GARAGE DOOR CONTROLS
- ELECTRIC METER
- GAS METER
- CABLE JACK
- ALARM KEYPAD

ELECTRICAL NOTES:

- RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC ART. 210-52(A).
- ALL BRANCH CIRCUITS WILL BE ARC-FAULT CIRCUIT PROTECTED. NEC ART. 210-10(B).
- CONTRACTOR TO FURNISH AND INSTALL AND/OR UPGRADE ALL COMPONENTS REQUIRED BY CODE.
- ALL REQUIRED COMPONENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL COMPONENTS, WIRING AND CRUISING TO MEET ALL THE REQUIREMENTS OF THE NEC AND OF ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT, INCLUDING PROVIDING ADDITIONAL OUTLETS AS REQUIRED BY CODE.
- OWNER TO REVIEW ALL ROUGH BOX LOCATIONS PRIOR TO INSTALLING CONDUIT AND WIRE.
- PROVIDE ALL REQUIRED ELECTRICAL POWER, OUTLETS, SWITCHES AND FIXTURES FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT.
- GROUND FAULT PROTECTION IS REQUIRED FOR ALL RECEPTABLES WITHIN 6 FEET OF ANY WATER SOURCES.
- ALL OUTDOOR LIGHT FIXTURES SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- HEIGHT OF ALL SWITCHES SHALL BE AT 42" A.F.F. TO THE CENTERLINE OF THE SWITCH UNLESS OTHERWISE NOTED (D.O.N.). HEIGHT OF ALL OUTLETS SHALL BE 4" A.F.F. TO THE CENTERLINE OF THE OUTLET UNLESS OTHERWISE NOTED (D.O.N.). NOTED HEIGHTS ARE ABOVE FINISHED FLOOR. LOCATION OF ALL OUTLETS IS TO BE VERIFIED WITH INTERIOR ELEVATIONS.
- PROVIDE SMOKE & CARBON MONOXIDE DETECTORS AT ALL LOCATIONS REQUIRED BY CODE. ENSURE COMPLIANCE WITH ALL LIFE-SAFETY CODE REQUIREMENTS.

1ST FL. ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

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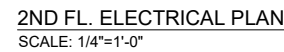
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Sheet Name:
FIRST FLOOR ELECTRICAL PLAN

Project: CONNORS
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Phase: CONSTRUCTION
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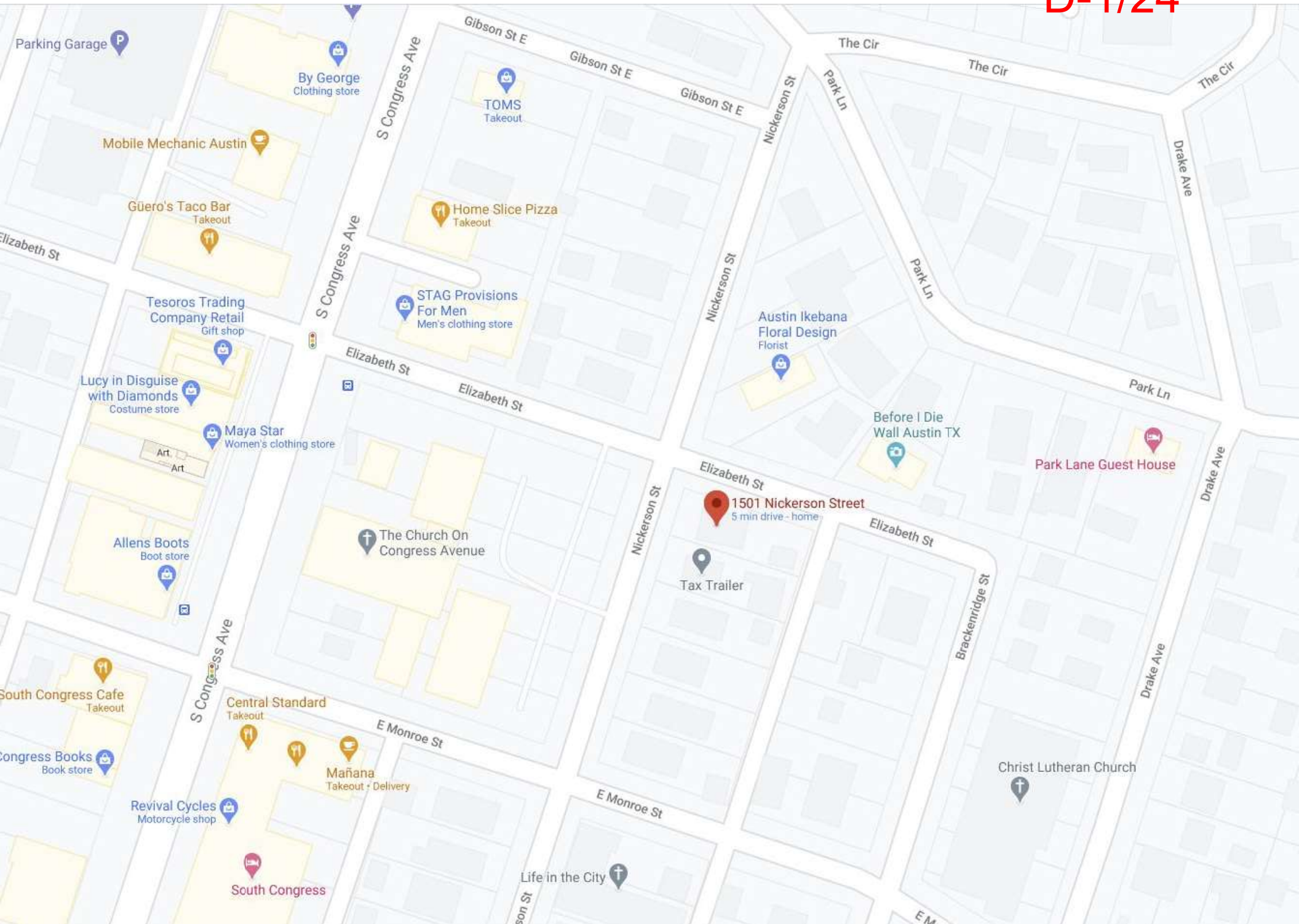
A5.1



1. RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC ART. 210.24(C).
2. ALL BRANCH CIRCUITS WILL BE AIR-CAPUT CIRCUIT PROTECTED. NEC ART. 240.10(B).
3. CONTRACTOR TO FURNISH AND INSTALL AND/OR UPGRADE ALL COMPONENTS REQUIRED BY CODE.
4. ALL REQUIRED COMPONENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL COMPONENTS, WIRING AND CRUISING TO MEET ALL THE REQUIREMENTS OF THE NEC AND ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT, INCLUDING PROVIDING ADEQUATE PROTECTION TO ALL OUTLETS AT ALL TIMES.
6. OWNER TO REVIEW ALL ROUGH BOSS LOCATIONS PRIOR TO INSTALLING CONDUIT AND WIRE.
7. PROVIDE ALL REQUIRED ELECTRICAL POWER, OUTLETS, SWITCHES AND FIXTURES FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT.
8. GROUND FAULT PROTECTION IS REQUIRED FOR ALL RECEPTACLES WITH 6 FEET OF ANY WATER SOURCES.
9. ALL OUTDOOR LIGHT FIXTURES SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS AND BE CHANGING BY CHANGING.
10. HEIGHT OF ALL SWITCHES SHALL BE AT "42" A.F.F. TO THE CENTERLINE OF THE SWITCH (UNLESS OTHERWISE NOTED (U.O.N.)). HEIGHT OF ALL OUTLETS SHALL BE AT "42" A.F.F. TO THE CENTERLINE OF THE OUTLET (UNLESS OTHERWISE NOTED (U.O.N.)). NOTED HEIGHTS SHALL BE VERIFIED AND RECORDED FOR ALL OF ALL OUTLETS IS TO BE VERIFIED WITH INTERIOR ELEVATIONS.
11. PROVIDE SMOKE & CARBON MONOXIDE DETECTORS AT ALL LOCATIONS REQUIRED BY CODE. INSURE COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.

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A5.2





Property Profile



Legend

- Addresses
- Building Footprints 2017

Notes

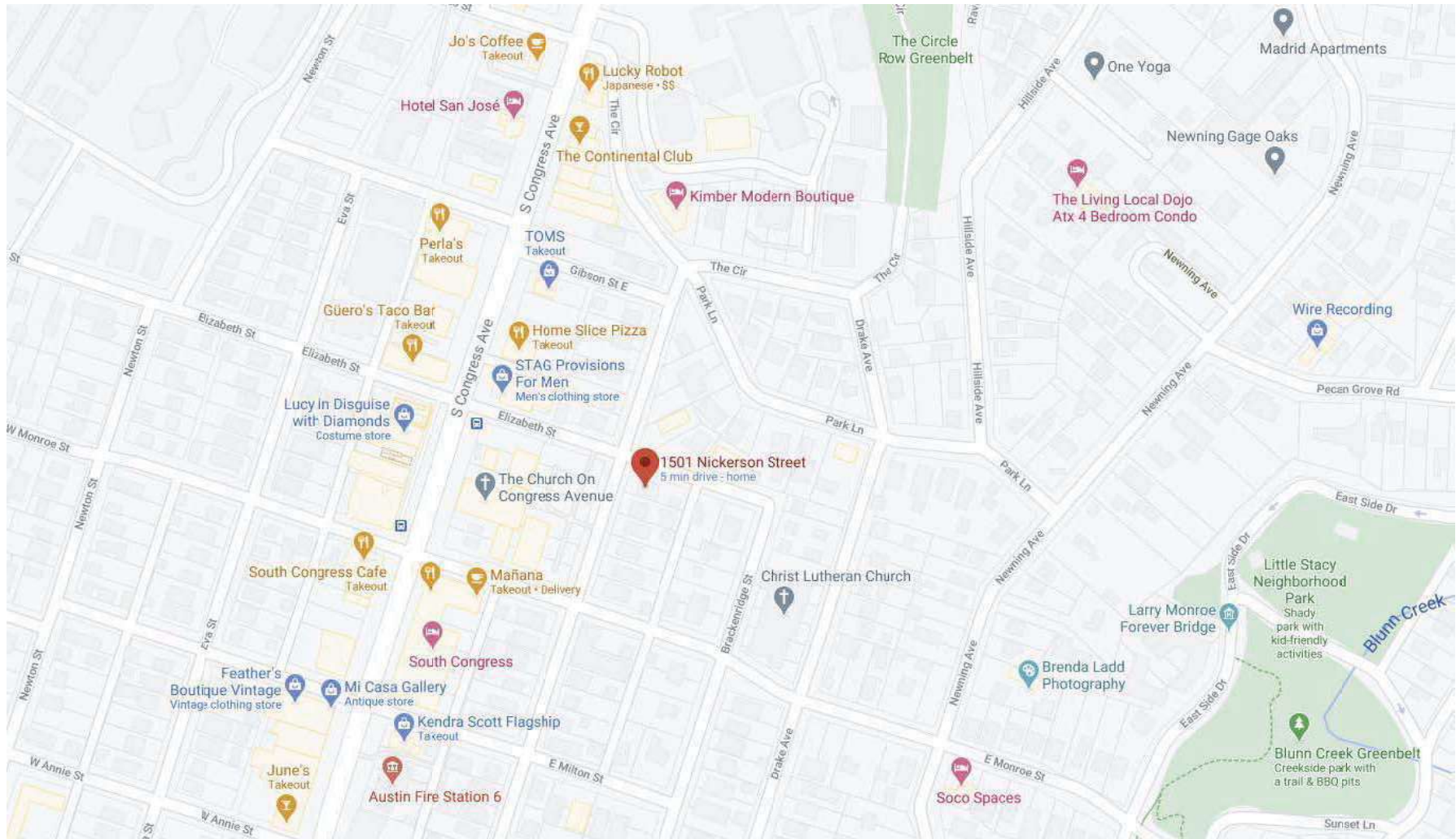
1501 Nickerson

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11/03/2020

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CONTEXT MAP

