

GENERAL PLAN NOTES

1. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
2. WATERSHED STATUS: THIS PROJECT IS LOCATED IN THE LADY BIRD LAKE WATERSHED. AN URBAN WATERSHED, AND NOT WITHIN THE EDWARDS AQUIFER RECHARGE ZONE
3. NO PORTION OF THIS SITE IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN, FIRM PANEL NO. 48453C0605J, TRAVIS COUNTY, TEXAS DATED JANUARY 6, 2016.
4. THERE ARE NO NATURAL SLOPES ON THIS SITE IN EXCESS OF 15 PERCENT.
5. THERE ARE NO KNOWN CRITICAL ENVIRONMENTAL FEATURES ON SITE.
6. THE PRINCIPAL STREET IS RIVER ST, AN URBAN ROADWAY.
7. THIS NOTE IS BEGIN PLACED ON THE PLAN SET IN PLACE OF A TEMPORARY TRAFFIC CONTROL STRATEGY WITH THE FULL UNDERSTANDING THAT, AT A MINIMUM OF 6 WEEKS PRIOR TO THE START OF CONSTRUCTION, A TEMPORARY TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY THE RIGHT OF WAY MANAGEMENT DIVISION. THE OWNER/REPRESENTATIVE FURTHER RECOGNIZES THAT A REVIEW FEE, AS PRESCRIBED BY THE MOST CURRENT VERSION OF THE CITY'S FEE ORDINANCE, SHALL BE PAID EACH TIME A PLAN OR PLAN REVISION IS SUBMITTED TO RIGHT OF WAY MANAGEMENT DIVISION FOR REVIEW.
8. LICENSE AGREEMENT FOR GREAT STREETS IMPROVEMENTS WAS RECORDED AS DOCUMENT _____ IN TCOPR.
9. THIS SITE IS COMPOSED OF THREE TRACTS, IT HAS BEEN APPROVED AS ONE COHESIVE DEVELOPMENT. IF PORTIONS OF THE TRACTS ARE SOLD, APPLICATION FOR SUBDIVISION AND SITE PLAN APPROVAL MAY BE REQUIRED. THE UNIFIED DEVELOPMENT AGREEMENT WAS RECORDED AS DOC. # _____ IN TCOPR.
10. A FEE-IN-LIEU-OF PARKLAND DEDICATION AND PARK DEVELOPMENT HAS BEEN PAID FOR 239 RESIDENTIAL UNITS AND 248 HOTEL ROOMS.
11. PARTICIPATION IN THE REGIONAL STORMWATER MANAGEMENT PROGRAM WAS GRANTED FOR THIS SITE PLAN ON _____ 2020 BY THE CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT, OFFICE OF THE DIRECTOR. THE RSPM CASE NUMBER FOR THIS SITE PLAN IS _____
12. COMPLIANCE WITH THE UNIVERSAL RECYCLING ORDINANCE IS MANDATORY FOR MULTI-FAMILY COMPLEXES, BUSINESSES AND OFFICE BUILDINGS.

OWNER:
RIVER STREET PARTNERS
906 RIO GRANDE ST
AUSTIN, TX 78701
JON RIOUX
(512) 333-4892

ENGINEER:
CIVILITUDE LLC
5110 LANCASTER COURT
AUSTIN, TX 78723
JAMES M. SCHISSLER, PE
(512) 761-6161

ARCHITECT:
LAKE FLATO ARCHITECTS
1711-C E CESAR CHAVEZ ST
AUSTIN, TX 78702
(512) 373-3715

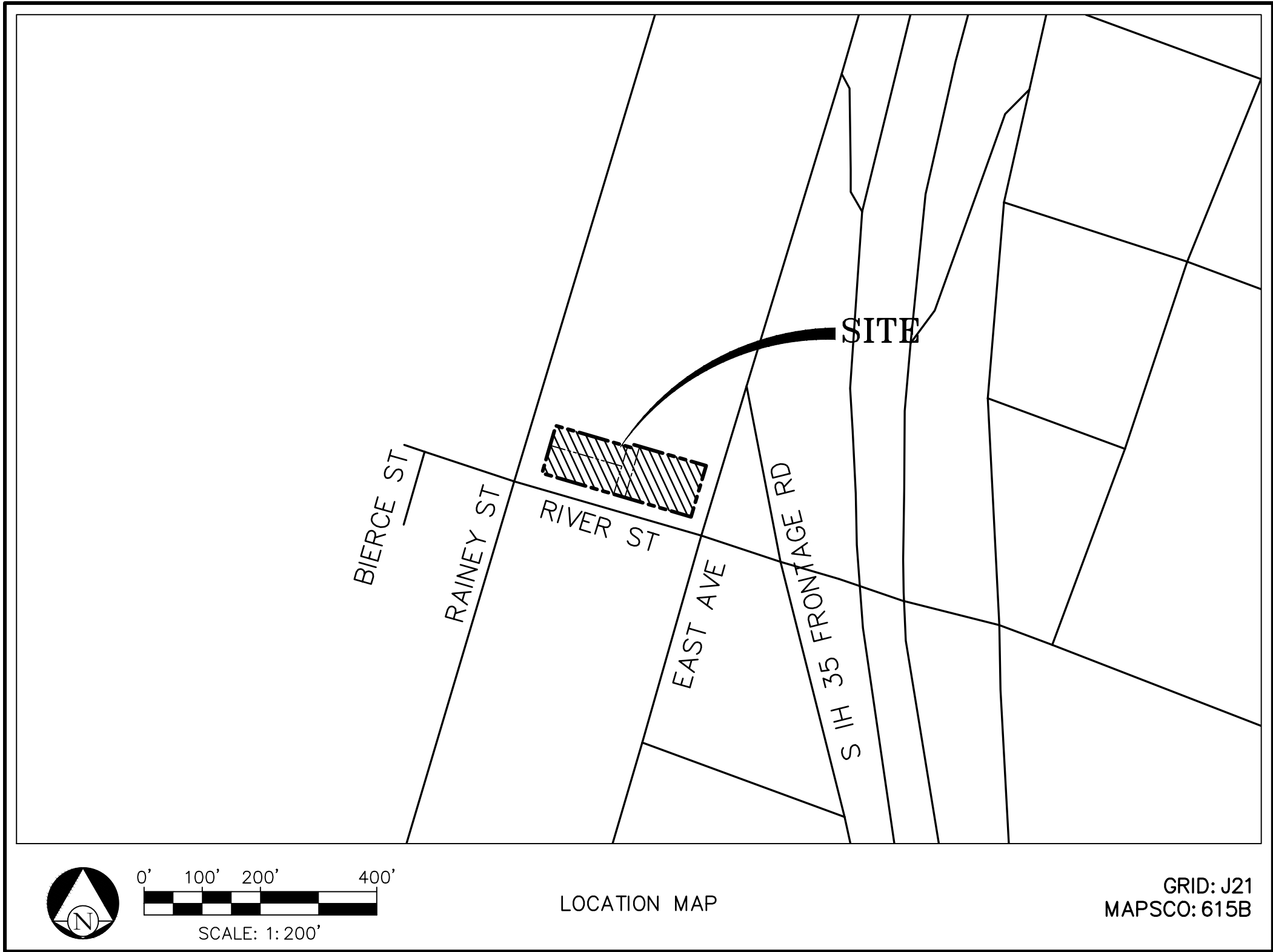
LANDSCAPE ARCHITECT:
NUDGE DESIGN
2051 S LAMAR
AUSTIN, TX 78704
(512) 415-5570

LEGAL DESCRIPTION:
0.2489 ACRES S 20 FT OF LOT 1 * & ADJ S 71X119 FT BLK 1 OLT 72-73 DIV E, DRISKILL & RAINEY SUBD.
0.1475 ACRES S 50.2 FT OF W 128 FT BLK 1 OLT 72-73 DIV E, DRISKILL & RAINEY SUBD.
0.1035 ACRES 15.39 FT OF LOT 18 & ADJ S 19.8X128 FT BLK 1 OLT 72-73 DIV E, DRISKILL & RAINEY SUBD.
LEGAL LOT STATUS: CBI-2019-0194, CBI-2019-0195, CBI-2019-0196

URBAN WATERSHED
LADY BIRD LAKE

SITE DEVELOPMENT PERMIT
RIVER STREET HOTEL & HOMES
60 EAST AVE, AUSTIN, TX 78701

SUBMITTAL DATE : OCTOBER 21, 2019.



SHEET INDEX

- | SHEET | TITLE |
|-------|--|
| 1. | COVER |
| 2. | GENERAL NOTES |
| 3. | AUSTIN WATER GENERAL INFO & CONSTRUCTION NOTES |
| 4. | EXISTING CONDITIONS, DEMO, & PREL. E&SC PLAN |
| 5. | MIDCONSTRUCTION EROSION CONTROL & GRADING PLAN |
| 6. | SITE PLAN |
| 7. | EXISTING DRAINAGE MAP |
| 8. | PROPOSED DRAINAGE MAP |
| 9. | WATER & WASTEWATER PLAN |
| 10. | WATER & WASTEWATER DETAILS |
| 11. | EROSION CONTROL DETAILS |
| 12. | CIVIL DETAILS |
| 13. | GARAGE PLAN |
| 14. | LANDSCAPE CALCULATIONS, NOTES, AND MATERIALS |
| 15. | LANDSCAPE PLAN |
| 16. | LANDSCAPE STANDARD DETAILS |
| 17. | BUILDING ELEVATIONS (1 OF 2) |
| 18. | BUILDING ELEVATIONS (2 OF 2) |

RECOMMENDED FOR APPROVAL

DIRECTOR OF DEVELOPMENT SERVICES DEPARTMENT DATE

CITY OF AUSTIN FIRE DEPARTMENT DATE

AUSTIN WATER DATE

INDUSTRIAL WASTE DATE

SP-2019-0465C
DEVELOPMENT PERMIT NUMBER DATE

AUSTIN FIRE DEPARTMENT	
DESIGN STANDARDS	2015 INTERNATIONAL FIRE CODE WITH CITY OF AUSTIN LOCAL AMENDMENTS
FIRE FLOW DEMAND @ 20 PSI	6000 GPM
INTENDED USE	MIXED USE: HOTEL, APTS.
CONSTRUCTION CLASSIFICATION	TYPE 1A
BUILDING FIRE AREA	851,049 SF
AUTOMATIC FIRE SPRINKLER SYSTEM	NFPA 13
REDUCED FIRE FLOW DEMAND	1500 GPM
FIRE HYDRANT FLOW TEST	1398 GPM AT 104 PSI
FIRE HYDRANT FLOW TEST LOCATION	60 BLOCK EAST AVENUE
HIGH-RISE YES OR NO	YES
ALTERNATIVE METHOD OF COMPLIANCE (IF APPLICABLE)	N/A

CITY OF AUSTIN REVISIONS/CORRECTIONS

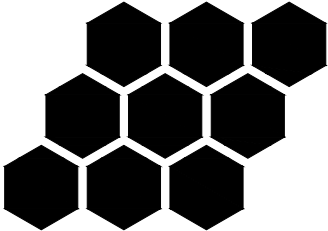
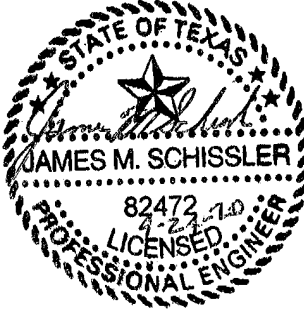
NUMBER	DESCRIPTION	REVISE (R), DELETE (D) ADD (A). SHEET No'S	TOTAL SHEETS IN PLAN SET	NET CHANGE IMPERV. COVER (SF)	TOTAL SITE IMPERV. COVER (SF/%)	COA APPROVAL DATE	DATE IMAGED

James M. Schissler

JAMES M. SCHISSLER, PE

04/27/2020

DATE



CIVILITUDE
ENGINEERS & PLANNERS

FIRM REG# F-12469 5110 LANCASTER COURT, AUSTIN, TX 78723
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR THE DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

SITE PLAN APPROVAL SHEET 01 OF 18
FILE NUMBER: SP-2019-0465C APPLICATION DATE: 10-21-2019
RELEASED FOR GENERAL COMPLIANCE: UNDER SECTION 112 ON
APPROVED BY COMMISSION ON OF THE CITY OF AUSTIN CODE
CHAPTER 25-5 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER JEREMY SALTILA
PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2 DDZ

Director, DEVELOPMENT SERVICES DEPARTMENT ZONING: CBD
RELEASED FOR GENERAL COMPLIANCE: Correction 1
Rev. 1 Correction 2
Rev. 2 Correction 3
Rev. 3

Final plat must be recorded by the Project Expiration Date, if applicable.
Subsequent Site Plans which do not comply with the Code current at the time of
filing, and all required Building Permits and/or a notice of construction (if a
Building permit is not required), must also be approved prior to the Project
Expiration Date.

SHEET NO.
01
OF 18

GENERAL NOTES

- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- CONTRACTOR SHALL CALL TEXAS 811 (811 OR 1-800-344-8377) FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET ROW.
- CONTRACTOR SHALL NOTIFY THE CITY OF AUSTIN - SITE & SUBDIVISION DIVISION TO SUBMIT REQUIRED DOCUMENTATION, PAY CONSTRUCTION INSPECTION FEES, AND TO SCHEDULE THE REQUIRED SITE AND SUBDIVISION PRE-CONSTRUCTION MEETING. THIS MEETING MUST BE HELD PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE ROW OR PUBLIC EASEMENTS. PLEASE VISIT <http://austintexas.gov/page/commercial-site-and-subdivision-inspections> FOR A LIST OF SUBMITTAL REQUIREMENTS, INFORMATION CONCERNING FEES, AND CONTACT INFORMATION.
- FOR SLOPES OR TRENCHES GREATER THAN FIVE FEET IN DEPTH, A NOTE MUST BE ADDED STATING: "ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE, INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 611 EAST 6TH STREET, AUSTIN, TEXAS.)"
- ALL SITE WORK MUST ALSO COMPLY WITH ENVIRONMENTAL REQUIREMENTS.
- THE ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DRAINAGE, FILTRATION AND DETENTION FACILITIES WERE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS:
 - RELEASE OF THE CERTIFICATE OF OCCUPANCY BY THE DEVELOPMENT SERVICES DEPARTMENT (INSIDE THE CITY LIMITS);
 - INSTALLATION OF AN ELECTRIC OR WATER METER (IN THE FIVE-MILE ETJ)
- ALL CONSTRUCTION SHALL COMPLY WITH THE "CITY OF AUSTIN STANDARD SPECIFICATIONS," AS AMENDED BY SPECIAL PROVISION, CURRENT AT THE TIME OF BIDDING.
- CONTRACTOR TO TAKE ALL DUE PRECAUTIONS TO PROTECT EXISTING FACILITIES FROM DAMAGE. ANY DAMAGE TO EXISTING FACILITIES INCURRED AS A RESULT OF THESE CONSTRUCTION OPERATIONS TO BE REPAIRED IMMEDIATELY BY THE CONTRACTOR, AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR TO GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION PERMITS THAT ONLY BE ISSUED TO THE CONTRACTOR HAVE BEEN OBTAINED BY THE CONTRACTOR AT HIS EXPENSE PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING EXCESS AND WASTE MATERIAL, INCLUDING METHODS OF HANDLING AND DISPOSAL.
- CONTRACTOR TO COORDINATE INTERRUPTIONS OF ALL UTILITIES AND SERVICES. ALL WORK TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY COMPANY OR AGENCY INVOLVED.
- WHEN UNLOCATED OR INCORRECTLY LOCATED UNDERGROUND PIPING, OR A BREAK LOCATED IN THE LINE, OR OTHER UTILITIES AND SERVICES ARE ENCOUNTERED DURING SITE WORK OPERATIONS, NOTIFY THE APPLICABLE UTILITY COMPANY IMMEDIATELY TO OBTAIN PROCEDURE DIRECTIONS. COOPERATE WITH THE APPLICABLE UTILITY COMPANY IN MAINTAINING ACTIVE SERVICES IN OPERATION.
- CONTRACTOR TO CONTROL DUST CAUSED BY THE WORK AND COMPLY WITH POLLUTION CONTROL REGULATIONS OF GOVERNING AUTHORITIES. (NO SEPARATE PAY.)
- THESE PLANS, PREPARED BY CIVILITUDE LLC, DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF CIVILITUDE LLC REGIONAL PROFESSIONAL ENGINEER'S (PE) OR ARCHITECT'S (A) IS NOT TO BE USED FOR ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREINAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR TO PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS, INCLUDING THE PLANS AND SPECIFICATIONS REQUIRED BY HOUSE BILLS 662 AND 665 ENACTED BY THE TEXAS LEGISLATURE IN THE 70TH LEGISLATURE - REGULAR SESSION.
- CONTRACTOR TO EXERCISE CAUTION DURING CONSTRUCTION NEAR AND AROUND GAS LINES. NOTIFY GAS COMPANY PRIOR TO ANY WORK.
- BURNING IS NOT ALLOWED ON THIS PROJECT.
- CONTRACTOR TO INSTALL 1/2-INCH-DIAMETER BY 12-INCH-LONG REBAR VERTICALLY, WITH TWO (2) FEET OF SURVEYOR'S RIBBON ATTACHED, AT END OF ALL PIPE STUBS. TOP OF BAR TO BE NOT LESS THAN 12 INCHES BELOW THE FINISHED GRADE.
 - A. BLUE RIBBON - WATER LINE
 - B. RED RIBBON - WASTEWATER LINE
 - C. WHITE RIBBON - GAS LINE
 - D. YELLOW RIBBON - TELECOM DUCT BANK
 - E. ORANGE RIBBON - ELECTRICAL DUCT BANK
- A CURB LAYOUT/IN IS REQUIRED AT ALL POINTS WHERE THE PROPOSED SIDEWALK INTERSECTS THE CURB.
- UNDER OCCURRENCE AT AN EXPANSION JOINT, MAKE CONNECTION BETWEEN NEW AND EXISTING SIDEWALK BY EXPOSING AND CLEANING A ONE-FOOT LENGTH OF WELDED WIRE REINFORCEMENT AND LAPPING NEW REINFORCEMENT ONTO THIS LENGTH.
- CONCRETE FOR SITE WORK TO BE CLASS "A" (E. S. 3000 PSI (28-DAYS) AND ALL REINFORCING STEEL TO BE ASTM A615 60, UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE A SITE PLAN AMENDMENT AND APPROVAL FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING CODE APPROVAL; FIRE CODE APPROVAL; OR BUILDING, DEMOLITION, OR RELOCATION PERMITS APPROVAL. A CITY DEMOLITION OR RELOCATION PERMIT CAN ONLY BE ISSUED ONCE THE HISTORIC REVIEW PROCESS IS COMPLETED.
- ALL SIGNS MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
- THE OWNER IS RESPONSIBLE FOR ALL COSTS OF RELOCATION OF, OR DAMAGE TO, UTILITIES.
- ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
- A SITE DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NON-CONSOLIDATED OR LAND USE COMMISSION APPROVED SITE PLANS.
- WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
- FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A R.O.W. EXCAVATION PERMIT IS REQUIRED.

APPENDIX P-6 NOTES

- AS A COMPONENT OF AN EFFECTIVE REMEDIAL TREE CARE PROGRAM PER ENVIRONMENTAL CRITERIA MANUAL SECTION 5.4, PRESERVED TREES WITHIN THE LIMITS OF CONSTRUCTION MAY REQUIRE SOIL AERATION AND SUPPLEMENTAL NUTRIENTS. SOIL AND/OR FOLIAR ANALYSIS SHOULD BE USED TO DETERMINE THE NEED FOR SUPPLEMENTAL NUTRIENTS. THE CITY ARBORIST MAY REQUEST ANALYSIS AS PART OF A COMPREHENSIVE TREE ASSESSMENT PLAN. SOIL PH SHALL BE CONSIDERED WHEN DETERMINING THE FERTILIZATION COMPOSITION AS SOIL PH INFLUENCES THE TREE'S ABILITY TO UPTAKE NUTRIENTS FROM THE SOIL. IF ANALYSES INDICATE THE NEED FOR SUPPLEMENTAL NUTRIENTS, THEN HUMATE/NUTRIENT SOLUTIONS WITH MYCORRHIZAL COMPONENTS ARE HIGHLY RECOMMENDED. IN ADDITION, SOIL ANALYSIS MAY BE NEEDED TO DETERMINE IF ORGANIC MATERIAL OR BENEFICIAL MICROORGANISMS ARE NEEDED TO IMPROVE SOIL HEALTH. MATERIALS AND METHODS ARE TO BE APPROVED BY THE CITY ARBORIST (512-974-1876) PRIOR TO APPLICATION. THE OWNER OR GENERAL CONTRACTOR SHALL SELECT A FERTILIZATION CONTRACTOR AND ENSURE COORDINATION WITH THE CITY ARBORIST.
- PRE-CONSTRUCTION TREATMENT SHOULD BE APPLIED IN THE APPROPRIATE SEASON, IDEALLY THE SEASON PRECEDING THE PROPOSED CONSTRUCTION. MINIMALLY, AREAS TO BE TREATED INCLUDE THE ENTIRE CRITICAL ROOT ZONE OF TREES AS DESIGNATED ON THE CITY APPROVED PLANS. TREATMENT SHOULD INCLUDE, BUT NOT LIMITED TO, FERTILIZATION, SOIL TREATMENT, MULCHING, AND PROPER PRUNING.
- POST-CONSTRUCTION TREATMENT SHOULD OCCUR DURING FINAL VEGETATION OR AS DETERMINED BY A QUALIFIED ARBORIST AFTER CONSTRUCTION. CONSTRUCTION ACTIVITIES OFTEN RESULT IN A REDUCTION IN SOIL MACRO AND MICRO PORES AND AN INCREASE IN SOIL BULK DENSITY. TO AMELIORATE THE DEGRADED SOIL CONDITIONS, AERATION VIA WATER AND/OR AIR INJECTED INTO THE SOIL IS NEEDED OR OTHER METHODS AS APPROVED BY THE CITY ARBORIST. THE PROPOSED NUTRIENT MIX SPECIFICATIONS AND SOIL AND/OR FOLIAR ANALYSIS RESULTS NEED TO BE PROVIDED TO AND APPROVED BY THE CITY ARBORIST PRIOR TO APPLICATION (FAX # 512-974-3010). CONSTRUCTION WHICH WILL BE COMPLETED IN LESS THAN 90 DAYS MAY USE MATERIALS AT 1/2 RECOMMENDED RATES. ALTERNATIVE ORGANIC FERTILIZER MATERIALS ARE ACCEPTABLE WHEN APPROVED BY THE CITY ARBORIST. WITHIN 7 DAYS AFTER FERTILIZATION IS PERFORMED, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF THE WORK PERFORMED TO THE CITY ARBORIST. PLANNING AND DEVELOPMENT REVIEW DEPT. 1008, AUSTIN, TX 78767. THIS NOTE SHOULD BE REFERENCED AS ITEM #1 IN THE SEQUENCE OF CONSTRUCTION.

FIRE DEPARTMENT NOTES

- THE AUSTIN FIRE DEPARTMENT REQUIRES ASPHALT OR CONCRETE PAVEMENT PRIOR TO CONSTRUCTION AS AN "ALL-WEATHER DRIVING SURFACE."
- HYDRANTS MUST BE INSTALLED WITH THE CENTER OF THE FOUR-INCH OPENING AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE FOUR-INCH OPENING MUST FACE THE DRIVEWAY OR STREET WITH THREE-FOUR INCH SETBACKS FROM THE CURBLINE(S). NO OBSTRUCTION IS ALLOWED WITHIN THREE FEET OF ANY HYDRANT AND THE FOUR-INCH OPENING MUST BE TOTALLY UNOBSTRUCTED FROM THE STREET.
- TIMING OF INSTALLATION: WHEN FIRE PROTECTION FACILITIES ARE INSTALLED BY THE DEVELOPER, SUCH FACILITIES SHALL INCLUDE ALL SURFACE ACCESS ROADS WHICH SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION, WHERE ALTERNATIVE METHODS OF PROTECTION, AS APPROVED BY THE FIRE CHIEF, ARE PROVIDED. THE ABOVE MAY BE REPEATED FOR WATER LAYOUTS.
- ALL PERVIOUS/DECORATIVE PAVING SHALL BE ENGINEERED AND INSTALLED FOR 80,000 LB. LIVE-VEHICLE LOADS. ANY PERVIOUS/DECORATIVE PAVING WITHIN 100 FEET OF ANY BUILDING MUST BE APPROVED BY THE FIRE DEPARTMENT.
- COMMERCIAL DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN TEN FEET OF OPENINGS, COMBUSTIBLE WALLS, OR COMBUSTIBLE EAVE LINES.
- FIRE LANE(S) DESIGNATED ON SITE PLAN SHALL BE REGISTERED WITH CITY OF AUSTIN FIRE MARSHAL'S OFFICE AND INSPECTED FOR FINAL APPROVAL.
- VERTICAL CLEARANCE REQUIRED FOR FIRE APPARATUS IS 14 FEET FOR FULL WIDTH OF ACCESS DRIVE.

SPECIAL CONSTRUCTION TECHNIQUES ECM 3.5.4(D)

- PRIOR TO EXCAVATION WITHIN TREE DRIPLINES OR THE REMOVAL OF TREES ADJACENT TO OTHER TREES, THE CONTRACTOR SHALL MAKE A CLEAR CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.
- CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH A MINIMUM OF 12 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION.
- IN AREAS WITH HIGH SOIL PLASTICITY GEOTEXTILE FABRIC, PER STANDARD SPECIFICATION 6205, SHOULD BE USED UNDER THE MULCH TO PREVENT EXCESSIVE MIXING OF THE SOIL AND MULCH. ADDITIONALLY, MATERIAL SUCH AS PLYWOOD AND METAL SHEETS, COULD BE REQUIRED BY THE CITY ARBORIST TO MINIMIZE ROOT IMPACTS FROM HEAVY EQUIPMENT.
- ONCE THE PROJECT IS COMPLETED, ALL MATERIALS SHOULD BE REMOVED, AND THE MULCH SHOULD BE REDUCED TO A DEPTH OF 3 INCHES.
- PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.
- WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

APPENDIX P-2 TREE PROTECTION NOTES

- ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING.
- PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN STANDARDS FOR TREE PROTECTION.
- PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE PROJECT.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIP LINES.
- PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES, AND WILL BE ERECTED AT THE FURTHEMOST (DRIP LINE) FOR NATURAL AREAS.
- PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
 - SOIL COMPACTION OF THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS;
 - ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL), OR TRENCING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST;
 - WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT;
 - OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
- EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
 - WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELT, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE AREA DISTURBED;
 - WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (FOR TREE SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZED ROOT DAMAGE);
 - WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE BUILDING AND THE TREE;
 - WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST AT 974-1876 TO DISCUSS ALTERNATIVES.
- SPECIAL NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED.
- WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FT (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
- TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT THE TRUNK PRIOR TO REMOVAL.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- ANY TRENCING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE ERECTED AT LEAST 2 FEET FROM EXISTING TREE TRUNKS.
- NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES, NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
- PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL BE LIMITED TO THE REMOVAL OF BRANCHES OR TIPPING OF BRANCHES.
- ALL FINISHED PRUNING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR TREES AND SHRUBS).
- DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

APPENDIX P-4 - STANDARD SEQUENCE OF CONSTRUCTION

THE FOLLOWING SEQUENCE OF CONSTRUCTION SHALL BE USED FOR ALL DEVELOPMENT. THE APPLICANT IS ENCOURAGED TO PROVIDE ANY ADDITIONAL DETAILS APPROPRIATE FOR THE PARTICULAR DEVELOPMENT.

- TEMPORARY EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED AS INDICATED ON THE APPROVED SITE AND SUBDIVISION CONSTRUCTION PLAN AND IN ACCORDANCE WITH THE EROSION SEDIMENTATION CONTROL PLAN (ESC) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT IS REQUIRED TO BE POSTED ON THE SITE. INSTALL TREE PROTECTION, INITIATE TREE MITIGATION MEASURES AND CONDUCT "PRE - CONSTRUCTION" TREE FERTILIZATION (IF APPLICABLE).
- THE ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR MUST CONTACT THE DEVELOPMENT SERVICES DEPARTMENT, ENVIRONMENTAL INSPECTION, AT 512-974-2278, 72 HOURS PRIOR TO THE SCHEDULED DATE OF THE REQUIRED ON-SITE PRECONSTRUCTION MEETING.
- THE ENVIRONMENTAL PROJECT MANAGER, AND/OR SITE SUPERVISOR, AND/OR DESIGNATED RESPONSIBLE PARTY, AND THE GENERAL CONTRACTOR WILL FOLLOW THE EROSION SEDIMENTATION CONTROL PLAN (ESC) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE.
- TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE EROSION SEDIMENTATION CONTROL PLAN (ESC) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE.
- BEGIN SITE CLEARING/CONSTRUCTION (OR DEMOLITION) ACTIVITIES.
- COMPLETE CONSTRUCTION AND START REVEGETATION OF THE SITE AND INSTALLATION OF LANDSCAPING.
- UPON COMPLETION OF THE SITE CONSTRUCTION AND REVEGETATION OF A PROJECT SITE, THE DESIGN ENGINEER SHALL SUBMIT AN ENGINEER'S LETTER OF CONCURRENCE BEARING THE ENGINEER'S SEAL, SIGNATURE, AND DATE, TO THE DEVELOPMENT SERVICES DEPARTMENT INDICATING THAT CONSTRUCTION, INCLUDING REVEGETATION, IS COMPLETE AND IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLANS. AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.
- THE ENVIRONMENTAL PROJECT MANAGER SHALL SUBMIT A LETTER OF CONCURRENCE TO THE DEVELOPMENT SERVICES DEPARTMENT INDICATING THAT THE REQUIRED LANDSCAPING IS COMPLETE AND IN SUBSTANTIAL CONFORMITY WITH THE APPROVED PLANS. AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.
- AFTER A FINAL INSPECTION HAS BEEN CONDUCTED BY THE CITY INSPECTOR AND WITH APPROVAL FROM THE CITY INSPECTOR, REMOVE THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND ANY OTHER TEMPORARY EROSION AND SEDIMENTATION CONTROLS. CONDUCT ANY MAINTENANCE AND REHABILITATION OF THE WATER QUALITY PONDS OR CONTROLS.

AMERICANS WITH DISABILITIES ACT

THE CITY OF AUSTIN HAS REVIEWED THIS PLAN FOR COMPLIANCE WITH CITY DEVELOPMENT REGULATIONS ONLY. THE APPLICANT, PROPERTY OWNER, AND OCCUPANT OF THE PREMISES ARE RESPONSIBLE FOR DETERMINING WHETHER THE PLAN COMPLIES WITH ALL OTHER LAWS, REGULATIONS, AND RESTRICTIONS WHICH MAY BE APPLICABLE TO THE PROPERTY AND ITS USE.

APPENDIX P-1 - EROSION CONTROL NOTES

- THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS, TREE/NATURAL AREA PROTECTIVE FENCING, AND CONDUCT "PRE-CONSTRUCTION" TREE FERTILIZATION (IF APPLICABLE) PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR EXCAVATION).
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE ENVIRONMENTAL CRITERIA MANUAL AND THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN. THE COA ESC PLAN SHALL BE CONSULTED AND USED AS THE BASIS FOR A TPDES REQUIRED SWPPP. IF A SWPPP IS REQUIRED, IT SHALL BE AVAILABLE FOR REVIEW BY THE CITY OF AUSTIN ENVIRONMENTAL INSPECTOR AT ALL TIMES DURING CONSTRUCTION, INCLUDING AT THE PRE-CONSTRUCTION MEETING. THE CHECKLIST BELOW CONTAINS THE BASIC ELEMENTS THAT SHALL BE REVIEWED FOR PERMIT APPROVAL BY COA EV PLAN REVIEWERS AS INSPECTORS.
 - PLAN SHEETS SUBMITTED TO THE CITY OF AUSTIN MUST SHOW THE FOLLOWING:
 - DIRECTION OF FLOW DURING GRADING OPERATIONS.
 - LOCATION, DESCRIPTION, AND CALCULATIONS FOR OFF-SITE FLOW DIVERSION STRUCTURES. AREAS THAT WOULD NOT BE DISTURBED; NATURAL FEATURES TO BE PRESERVED
 - DELINEATION OF CONTRIBUTING DRAINAGE AREA TO EACH PROPOSED BMP (E.G., SILT FENCE, SEDIMENT BASIN, ETC.).
 - LOCATION AND TYPE OF E&S BMPs FOR EACH PHASE OF DISTURBANCE.
 - CALCULATIONS FOR BMPs AS REQUIRED.
 - LOCATION AND DESCRIPTION OF TEMPORARY STABILIZATION MEASURES.
 - LOCATION OF ON-SITE SPOILS, DESCRIPTION OF HANDLING AND DISPOSAL OF BORROW MATERIALS, AND DESCRIPTION OF ON-SITE PERMANENT SPOILS DISPOSAL AREAS, INCLUDING SIZE, DEPTH OF FILL AND REVEGETATION PROCEDURES.
 - DESCRIBE SEQUENCE OF CONSTRUCTION AS IT PERTAINS TO ESC INCLUDING THE FOLLOWING ELEMENTS:

- INSTALLATION SEQUENCE OF CONTROLS (E.G. PERIMETER CONTROLS, THEN SEDIMENT BASINS, THEN TEMPORARY STABILIZATION, THEN PERMANENT, ETC.)
- PROJECT PHASING IF REQUIRED (LOC GREATER THAN 25 ACRES)
- SEQUENCE OF GRADING OPERATIONS AND NOTATION OF TEMPORARY STABILIZATION MEASURES TO BE USED
- SCHEDULE FOR CONVERTING TEMPORARY BASINS TO PERMANENT WQ CONTROLS
- SCHEDULE FOR REMOVAL OF TEMPORARY CONTROLS
- ANTICIPATED MAINTENANCE SCHEDULE FOR TEMPORARY CONTROLS
 - CATEGORIZE EACH BMP UNDER ONE OF THE FOLLOWING AREAS OF BMP ACTIVITY AS DESCRIBED BELOW:
 - 3.1 MINIMIZE DISTURBED AREA AND PROTECT NATURAL FEATURES AND SOIL
 - 3.2 CONTROL STORMWATER FLOWING ONTO AND THROUGH THE PROJECT
 - 3.3 STABILIZE SOILS
 - 3.4 PROTECT SLOPES
 - 3.5 PROTECT STORM DRAIN INLETS
 - 3.6 ESTABLISH PERIMETER CONTROLS AND SEDIMENT BARRIERS
 - 3.7 RETAIN SEDIMENT ON-SITE AND CONTROL Dewatering PRACTICES
 - 3.8 ESTABLISH STABILIZED CONSTRUCTION EYES
 - 3.9 ANY ADDITIONAL BMPs
 - NOTE THE LOCATION OF EACH BMP ON YOUR SITE MAP(S).
 - FOR ANY STRUCTURAL BMPs, YOU SHOULD PROVIDE DESIGN SPECIFICATIONS AND DETAILS AND REFER TO THEM.
 - FOR MORE INFORMATION, SEE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL 1.4.
- THE PLACEMENT OF TREE/NATURAL AREA PROTECTIVE FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF AUSTIN STANDARD NOTES FOR TREE AND NATURAL AREA PROTECTION AND THE APPROVED GRADING/TREE AND NATURAL AREA PLAN.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD ON-SITE WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT AND ENVIRONMENTAL INSPECTOR AFTER INSTALLATION OF THE EROSION/SEDIMENTATION CONTROLS, TREE/NATURAL AREA PROTECTION MEASURES AND "PRE-CONSTRUCTION" TREE FERTILIZATION (IF APPLICABLE) PRIOR TO BEGINNING ANY SITE PREPARATION WORK. THE OWNER OR OWNER'S REPRESENTATIVE SHALL NOTIFY THE DEVELOPMENT SERVICES DEPARTMENT, ENVIRONMENTAL INSPECTION, AT 512-974-2278, 72 HOURS PRIOR TO THE MEETING DATE. COA APPROVED ESC PLAN AND TPDES SWPPP (IF REQUIRED) SHOULD BE REVIEWED BY COA EV INSPECTOR AT THIS TIME.
- ANY MAJOR VIOLATIONS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST OR CITY ARBORIST AS APPROPRIATE. REVISIONS MUST BE APPROVED BY AUTHORIZED COA STAFF. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES.
- THE CONTRACTOR TO PROVIDE A CERTIFIED INSPECTOR THAT IS EITHER A LICENSED ENGINEER (OR PERSON DIRECTLY SUPERVISED BY THE LICENSED ENGINEER) OR CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC OR CPESC - IT). CERTIFIED EROSION, SEDIMENT AND STORMWATER - INSPECTOR (CESSM OR CESSM - IT) OR CERTIFIED INSPECTOR OF SEDIMENTATION AND EROSION CONTROLS (CSECO OR CSECO - IT) CERTIFICATION TO INSPECT THE CONTROLS AND FENCES AT WEEKLY OR BI-WEEKLY INTERVALS AND AFTER ONE-HALF (½) INCH OR GREATER RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES OR ONE-THIRD (⅓) OF THE INSTALLED HEIGHT OF THE CONTROL WHICHEVER IS LESS.
- PROVIDE TO FINAL ACCEPTANCE BY THE CITY, HALL, ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING DEBRIS SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL AREAS.
- ALL WORK MUST STOP IF A VOID IN THE ROCK SUBSTRATE IS DISCOVERED WHICH IS; ONE SQUARE FOOT IN TOTAL AREA; BLOWS AIR FROM WITHIN THE SUBSTRATE AND/OR CONSISTENTLY RECEIVES WATER DURING ANY RAIN EVENT. AT THAT TIME IT IS THE RESPONSIBILITY OF THE PROJECT MANAGER TO IMMEDIATELY CONTACT A CITY OF AUSTIN ENVIRONMENTAL INSPECTOR FOR FURTHER INVESTIGATION.
- TEMPORARY AND PERMANENT EROSION CONTROL: ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW.
 - A. ALL DISTURBED AREAS TO BE REVEGETATED ARE REQUIRED TO PLACE A MINIMUM OF SIX (6) INCHES OF TOPSOIL. [SEE STANDARD SPECIFICATION ITEM NO. 6015.3(A)] DO NOT ADD TOPSOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
 - B. ALL DISTURBED AREAS TO BE REVEGETATED ARE REQUIRED TO MAINTAIN AS MUCH TOPSOIL SALVAGED FROM THE EXISTING SITE IS ENCOURAGED FOR USE, BUT IT SHOULD MEET THE STANDARDS SET FORTH IN 6015.
 - C. AN OWNER/ENGINEER MAY PROPOSE USE OF ONSITE SALVAGED TOPSOIL WHICH DOES NOT MEET THE CRITERIA SPECIFIED IN 6015 BY PROVIDING A SOIL ANALYSIS AND A WRITTEN STATEMENT FROM A QUALIFIED PROFESSIONAL IN SOILS, LANDSCAPE ARCHITECTURE, OR AGRONOMY INDICATING THE ONSITE TOPSOIL WILL PROVIDE AN EQUIVALENT GROWTH MEDIA AND SPECIFYING WHAT, IF ANY, SOIL AMENDMENTS ARE REQUIRED.
 - D. SOIL AMENDMENTS SHALL BE WORKED INTO THE EXISTING ONSITE TOPSOIL WITH A DISC OR TILLER TO CREATE A WELL-BLENDED MATERIAL.
 - E. THE VEGETATIVE STABILIZATION OF AREAS DISTURBED BY CONSTRUCTION SHALL BE AS FOLLOWS:

TEMPORARY VEGETATIVE STABILIZATION:

- FROM SEPTEMBER 15 TO MARCH 1, SEEDING SHALL BE WITH OR INCLUDE A COOL SEASON COVER CROP: (WESTERN WHEATGRASS (PASCOPYRUM SMITHII) AT 5.6 POUNDS PER ACRE, OATS (Avena SATIVA) AT 4.0 POUNDS PER ACRE, CEREAL RYE GRAIN (SECALAE CEREALE) AT 45 POUNDS PER ACRE. CONTRACTOR MUST ENSURE THAT ANY SEED APPLICATION REQUIRING A COOL SEASON COVER CROP DOES NOT UTILIZE ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) OR PERENNIAL RYEGRASS (LOLIUM PERENNE). COOL SEASON COVER CROPS ARE NOT PERMANENT EROSION CONTROL.
- FROM MARCH 2 TO SEPTEMBER 14, SEEDING SHALL BE WITH HULLED BERMUDA AT A RATE OF 45 POUNDS PER ACRE OR A NATIVE PLANT SEED MIX CONFORMING TO ITEM 6045 OR 6095.
 - A. FERTILIZER SHALL BE APPLIED ONLY IF WARRANTED BY A SOIL TEST AND SHALL CONFORM TO ITEM NO. 6065, FERTILIZER. FERTILIZATION SHOULD NOT OCCUR WHEN RAINFALL IS EXPECTED OR DURING SLOW PLANT GROWTH OR DORMANCY. CHEMICAL FERTILIZER MAY NOT BE APPLIED IN THE CRITICAL WATER QUALITY ZONE.
 - B. HYDROMULCH SHALL COMPLY WITH TABLE 1, BELOW.
 - C. TEMPORARY EROSION CONTROL SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 16 INCHES HIGH WITH A MINIMUM OF 95% TOTAL COVER. SO ALL AREAS OF A SITE THAT RELY ON VEGETATION FOR TEMPORARY STABILIZATION ARE UNIFORMLY VEGETATED, AND PROVIDED THERE ARE NO BARE SPOTS LARGER THAN 10 SQUARE FEET.
 - D. WHEN REQUIRED, NATIVE PLANT SEEDING SHALL COMPLY WITH REQUIREMENTS OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL, AND STANDARD SPECIFICATION 6045 OR 6095.

TABLE 1: HYDROMULCHING FOR TEMPORARY VEGETATIVE STABILIZATION

MATERIAL	DESCRIPTION	LONGEVITY	TYPICAL APPLICATIONS	APPLICATION RATES
100% OR ANY BLEND OF WOOD, CELLULOSE, STRAW, OR FIBER OR COTTON PAIL MATERIAL (EXCEPT NO MULCH SHALL EXCEED 30% PAPER)	70% OR GREATER WOOD/STRAW 30% OR LESS PAPER OR NATURAL FIBERS	0-3 MONTHS	MODERATE SLOPES: FROM 1:1 TO 3:1	1,500 TO 2,000 LBS PER ACRE

PERMANENT VEGETATIVE STABILIZATION:

- FROM SEPTEMBER 15 TO MARCH 1, SEEDING IS CONSIDERED TO BE TEMPORARY STABILIZATION ONLY. IF COOL SEASON COVER CROPS ARE USED WHERE PERMANENT VEGETATIVE STABILIZATION IS DESIRED, THE GRASSES SHALL BE MOWED TO A HEIGHT OF LESS THAN ONE-HALF (½) INCH AND THE AREA SHALL BE RE-SEEDING IN ACCORDANCE WITH TABLE 2 BELOW. ALTERNATIVELY, THE COOL SEASON COVER CROP CAN BE MIXED WITH BERMUDA GRASS OR ANY OTHER GRASS OR NATIVE PLANT SPECIES THAT PROVIDE FOR GERMINATION OF WARM-SEASON SEED TYPICALLY REQUIRES SOIL TEMPERATURES OF 60 TO 70 DEGREES.
- FROM MARCH 2 TO SEPTEMBER 14, SEEDING SHALL BE WITH HULLED BERMUDA AT A RATE OF 45 POUNDS PER ACRE WITH A PURITY OF 95% AND A MINIMUM PURE LIVE SEED (PLS) OF 0.83. BERMUDA GRASS IS A WARM SEASON GRASS AND IS CONSIDERED PERMANENT EROSION CONTROL. PERMANENT VEGETATIVE STABILIZATION CAN ALSO BE ACCOMPLISHED WITH A NATIVE PLANT SEED MIX CONFORMING TO ITEM 6045 OR 6095.
 - A. FERTILIZER USE SHALL FOLLOW THE RECOMMENDATION OF A SOIL TEST. SEE ITEM 6065, FERTILIZER. APPLICATIONS OF FERTILIZER (AND PESTICIDE) ON CITY-OWNED AND MANAGED PROPERTY REQUIRES THE YEARLY SUBMITTAL OF A PESTICIDE AND FERTILIZER APPLICATION RECORD, ALONG WITH A CURRENT COPY OF THE APPLICATOR'S LICENSE, FOR CURRENT COPY OF THE RECORD TEMPLATE CONTACT THE CITY OF AUSTIN'S IPM COORDINATOR.
 - B. HYDROMULCH SHALL COMPLY WITH TABLE 2, BELOW.
 - C. WATER THE SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO ACHIEVE GERMINATION AND A HEALTHY STAND OF PLANTS THAT CAN ULTIMATELY SURVIVE WITHOUT SUPPLEMENTAL WATER. APPLY THE WATER UNIFORMLY TO THE PLANTED AREAS WITHOUT CAUSING DISPLACEMENT OR EROSION OF THE MATERIALS OR SOIL. MAINTAIN THE SEEDBED IN A MOIST CONDITION FAVORABLE FOR PLANT GROWTH. ALL WATERING SHALL COMPLY WITH CITY CODE CHAPTER 6-4 (WATER CONSERVATION), AT RATES AND FREQUENCIES DETERMINED BY A LICENSED IRRIGATOR OR OTHER QUALIFIED PROFESSIONAL, AND AS ALLOWED BY THE AUSTIN WATER UTILITY AND CURRENT WATER RESTRICTIONS AND WATER CONSERVATION INITIATIVES.
 - D. PERMANENT EROSION CONTROL SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1½ INCHES HIGH WITH A MINIMUM OF 95 PERCENT FOR THE NON-NATIVE MIX, AND 95 PERCENT COVER FOR THE NATIVE MIX SO THAT ALL AREAS OF A SITE THAT RELY ON VEGETATION FOR STABILITY MUST BE UNIFORMLY VEGETATED, AND PROVIDED THERE ARE NO BARE SPOTS LARGER THAN 10 SQUARE FEET.
 - E. WHEN REQUIRED, NATIVE PLANT SEEDING SHALL COMPLY WITH REQUIREMENTS OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL, ITEMS 6045 AND 6095.

TABLE 2: HYDROMULCHING FOR PERMANENT VEGETATIVE STABILIZATION

MATERIAL	DESCRIPTION	LONGEVITY	TYPICAL APPLICATIONS	APPLICATION RATES
BONDED FIBER MATRIX (BFM)	80% ORGANIC DEBRIDATED FIBERS	ON SLOPES UP TO 2:1 AND EROSIONAL SOIL CONDITIONS	2,500 TO 4,000 LBS PER ACRE (SEE MANUFACTURERS RECOMMENDATIONS)	
10% TACKIFIER	6 MONTHS	ON SLOPES UP TO 2:1 AND EROSIONAL SOIL CONDITIONS		
FIBER REINFORCED MATRIX (FRM)	65% ORGANIC DEBRIDATED FIBERS 25% REINFORCING	UP TO 12 MONTHS	ON SLOPES UP TO 1:1 AND EROSIONAL SOIL CONDITIONS	3,000 TO 4,500 LBS PER ACRE (SEE MANUFACTURERS RECOMMENDATIONS)
10% TACKIFIER	6 MONTHS	ON SLOPES UP TO 2:1 AND EROSIONAL SOIL CONDITIONS		
10. DEVELOPER INFORMATION: OWNER RIVER STREET PARTNERS PHONE # 512-333-4892 CIVILITUDE LLC 512-974-2278 CIVILITUDE ST OWNER REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS: CIVILITUDE LLC PHONE # 512-761-6161 PERSON OR FIRM RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL MAINTENANCE: CONTRACTOR PHONE # PERSON OR FIRM RESPONSIBLE FOR TREE/NATURAL AREA PROTECTION MAINTENANCE: CONTRACTOR PHONE #				

- THE CONTRACTOR SHALL NOT DISPOSE OF SURPLUS EXCAVATED MATERIAL FROM THE SITE WITHOUT NOTIFYING THE DEVELOPMENT SERVICES DEPARTMENT AT 512-974-2278 AT LEAST 48 HOURS PRIOR WITH THE LOCATION AND A COPY OF THE PERMIT ISSUED TO RECEIVE THE MATERIAL.

ELECTRIC UTILITY NOTES

- AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER-B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
- THE OWNER/DEVELOPER OR HIS DESIGNATED PARTY SHALL PROVIDE THE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND TO THE BUILDING TO THE TRANSMISSION STRUCTURES. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND/OR RELOCATION OF THE TRANSMISSION STRUCTURES PRIOR TO ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICES TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITH THE TRANSMISSION STRUCTURES IN THE PROJECT BUDGET.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO THE ELECTRICAL HAZARD. THE OWNER IS RESPONSIBLE FOR FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGE TO THE OWNER.
- ALL ELECTRIC EASEMENTS MUST BE SHOWN ON ALL PLAN SHEETS. LEFT CLEAR FOR ELECTRIC USE AND MAINTENANCE OF 24" BASIS IN PERPETUITY AND MAINTAINANCE AS NOTED. FROM ANY PROPOSED STRUCTURES, VEGETATION, ETC AT ALL TIMES. NECESSARY CLEARANCE INFORMATION (AE, OSHA, NESC, & NEC) MAY BE FOUND IN AUSTIN ENERGY'S DESIGN CRITERIA MANUAL - SECTION 1.5.3.9. THE MANUAL IS AVAILABLE ON AUSTIN ENERGY'S WEBSITE UNDER CONTRACTORS / ELECTRIC SERVICE DESIGN & PLANNING.
- NO TREES SHALL BE PLANTED WITH A MATURE HEIGHT OF GREATER THAN 15 FEET WITHIN THE EASEMENT. NO TREES SHALL BE PLANTED WITHIN 25 FEET OF THE BASE OF THE TRANSMISSION STRUCTURES. THE OWNER SHALL PROVIDE ACCESS FOR AUSTIN ENERGY TO THE EQUIPMENT IS TO BE MAINTAINED AT ALL TIMES WITHIN THE EASEMENT. AUSTIN ENERGY WILL NOT BE RESPONSIBLE FOR DAMAGE AND/OR REMOVAL OF VEGETATION WITHIN THE EASEMENT.
- DO NOT DIG OR GRADE WITHIN 25 FEET OF THE TRANSMISSION STRUCTURES INCLUDING DOWN GUYNCHORS. GRADING NEAR ELECTRIC TRANSMISSION FACILITIES MUST BE COORDINATED WITH AUSTIN ENERGY PRIOR TO COMMENCEMENT OF GRADING. CALL ANDREW PEREZ AT 512-505-7153 TO SCHEDULE A MEETING.
- A PRE-CONSTRUCTION SAFETY MEETING IS REQUIRED WITH AUSTIN ENERGY 48 HOURS BEFORE COMMENCEMENT OF CONSTRUCTION. CALL ANDREW PEREZ AT 512-505-7153 TO SCHEDULE A TAILGATE SAFETY MEETING. INCLUDE CHUCK HENDRY (PH 505-7151) IN THE MEETING, IF CRANES ARE BEING USED DURING CONSTRUCTION. OSHA REQUIRES A 20' CLEARANCE FROM ENERGIZED TRANSMISSION LINES DURING CONSTRUCTION. BARRICADES MUST BE ERECTED 10 FEET FROM ELECTRIC TRANSMISSION STRUCTURES DURING CONSTRUCTION.
- ANY RELOCATION OF ELECTRIC TRANSMISSION FACILITIES OR OUTAGES CAUSED BY THIS PROJECT WILL BE CHARGED TO THE PROPERTY OWNER AND CONTRACTOR.
- WARNING SIGNS MUST BE PLACED UNDER THE OVERHEAD ELECTRIC TRANSMISSION FACILITIES AS NOTIFICATION OF THE ELECTRICAL HAZARD.
- FOR SAFETY REASONS, AERIAL EQUIPMENT, DUMPSTERS, STAGING OR SPOILS AREAS ARE NOT PERMITTED WITHIN 20 FEET OF THE TRANSMISSION WIRE AND/OR STRUCTURES AND MUST BE LOCATED OUTSIDE THE EASEMENT.
- 24-HOUR ACCESS TO ELECTRIC FACILITIES SHALL BE MAINTAINED.
- ANY TEMPORARY OR PERMANENT FENCE PREVENTING ACCESS TO THE TRANSMISSION FACILITIES AND/OR EASEMENT SHALL BE COORDINATED WITH AUSTIN ENERGY STAFF. AE STAFF WILL INSTALL A LOCK ON THE GATE FOR ACCESS.
- THE OWNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROLS TO MINIMIZE CONTAMINATION OF WIRE AND INSULATORS CAUSED BY DUST FROM THIS PROJECT. ANY SUBSEQUENT CLEANING OR ELECTRICAL OUTAGES CAUSED BY DUST FROM THIS PROJECT WILL BE CHARGED TO THE PROJECT OWNER AND CONTRACTOR.
- PROPERTY OWNER IS RESPONSIBLE FOR ANY DAMAGES TO CURBING, LANDSCAPING, WALLS, PAVING PLACED AROUND THE ELECTRIC TRANSMISSION STRUCTURES/POLES/LINES CAUSED BY AUSTIN ENERGY DURING MAINTENANCE AND REPAIRS. ALL CURBING WITHIN THE ELECTRIC TRANSMISSION EASEMENT MUST BE LAYDOWN CURBING.
- ROADS/DRIVEWAYS/PAVEMENT/PARKING WITHIN THE EASEMENT SHOULD BE BUILT TO HANDLE THE WEIGHT OF THE CONDO (80,000 LBS) TO ENSURE SAFETY.
- FIRE HYDRANTS MUST BE LOCATED OUT OF THE TRANSMISSION EASEMENT AND A MINIMUM OF 20 FEET FROM THE TRANSMISSION STRUCTURES.
- SPRINKLERS ARE PROHIBITED WITHIN 15 FEET OF TRANSMISSION POLES.
- OWNER MAY NOT PLACE, ERECT, CONSTRUCT OR MAINTAIN WITHIN THE ELECTRIC TRANSMISSION EASEMENT:
 - ANY PERMANENT STRUCTURES, INCLUDING BUT NOT LIMITED TO HABITABLE STRUCTURES SUCH AS HOMES, MOBILE HOMES, GARAGES, OR OFFICES.
 - ANY STRUCTURE OF ANY KIND IN SUCH PROXIMITY TO THE ELECTRIC TRANSMISSION OR DISTRIBUTION STRUCTURES, TOWERS, OR APPURTENANT FACILITIES AS WOULD CONSTITUTE A VIOLATION OF THE NATIONAL ELECTRIC SAFETY CODE IN EFFECT AT THE TIME THE STRUCTURE IS ERECTED, NOR
 - ANY STRUCTURES, INCLUDING BUT NOT LIMITED TO, FENCES, STORAGE SHEDS, DRAINAGE, FILTRATION OR DETENTION PONDS WHICH WOULD IMPAIR AUSTIN ENERGY'S ACCESS TO THE TRANSMISSION EASEMENTS OR ITS LINES, POLES, STRUCTURES, TOWERS OR APPURTENANT FACILITIES IN THE EASEMENTS

RIVER STREET HOTEL & HOMES – FLOOR AREA DATA TABLE								
	AREA TYPES							
FLOOR	HOTEL INTERIOR	HOTEL EXTERIOR	RESIDENTIAL INTERIOR	RESIDENTIAL EXTERIOR	PARKING GARAGE	BUILDING SUPPORT	SHAFTS	TOTALS
LEVEL 46	–	–	–	–	–	7,615	197	514
LEVEL 45	–	–	14,184	1,149	–	–	371	571
LEVEL 44	–	–	14,184	1,149	–	–	371	571
LEVEL 43	–	–	14,184	1,149	–	–	371	571
LEVEL 42	–	–	14,184	1,149	–	–	371	571
LEVEL 41	–	–	14,184	1,963	–	–	371	571
LEVEL 40	–	–	15,079	1,038	–	–	371	571
LEVEL 39	–	–	15,079	1,038	–	–	371	571
LEVEL 38	–	–	15,079	1,038	–	–	371	571
LEVEL 37	–	–	15,079	1,038	–	–	371	571
LEVEL 36	–	–	15,079	1,038	–	–	371	571
LEVEL 35	–	–	15,079	1,038	–	–	371	571
LEVEL 34	–	–	15,079	1,038	–	–	371	571
LEVEL 33	–	–	15,079	1,038	–	–	371	571
LEVEL 32	–	–	15,079	1,038	–	–	371	571
LEVEL 31	–	–	15,079	1,038	–	–	371	571
LEVEL 30	–	–	15,079	1,038	–	–	371	571
LEVEL 29	–	–	15,079	1,038	–	–	371	571
LEVEL 28	–	–	15,079	1,038	–	–	371	571
LEVEL 27	–	–	15,079	1,038	–	–	371	571
LEVEL 26	–	–	15,079	1,038	–	–	371	571
LEVEL 25	–	–	12,126	649	–	–	394	576
LEVEL 24	–	–	11,544	5,937	–	–	394	903
LEVEL 23	15,349	677	–	–	–	–	394	881
LEVEL 22	15,349	677	–	–	–	–	371	881
LEVEL 21	15,349	1,041	–	–	–	–	371	881
LEVEL 20	15,349	677	–	–	–	–	371	881
LEVEL 19	15,349	677	–	–	–	–	371	881
LEVEL 18	15,349	1,041	–	–	–	–	371	881
LEVEL 17	15,349	677	–	–	–	–	371	881
LEVEL 16	15,349	677	–	–	–	–	371	881
LEVEL 15	15,349	1,041	–	–	–	–	371	881
LEVEL 14	13,246	493	–	–	–	–	371	881
LEVEL 13	13,673	1,583	–	–	–	–	607	886
LEVEL 12	11,859	10,069	–	–	–	–	607	978
LEVEL 11	7,248	–	2,093	236	10,834	672	632	986
LEVEL 10	–	–	2,093	236	17,409	1,254	607	986
LEVEL 09	–	–	2,093	236	17,409	1,254	607	986
LEVEL 08	–	–	2,093	236	17,409	1,254	607	986
LEVEL 07	–	–	2,093	236	17,409	1,254	607	986
LEVEL 06	–	–	2,093	236	17,409	1,254	607	986
LEVEL 05	–	–	2,093	236	17,409	1,254	607	986
LEVEL 04	–	–	2,093	236	17,409	1,254	607	986
LEVEL 03	–	–	2,093	236	17,409	1,254	607	986
LEVEL 02	5,848	1,296	216	–	9,139	1,311	607	986
LEVEL 01	7,100	–	1,389	–	2,685	3,750	607	957
LEVEL B1	4,790	–	–	–	6,747	9,247	–	–
TOTALS	202,105	20,626	341,217	30,839	168,677	32,627	20,054	34,904


GENERAL NOTES

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN DOES NOT REMOVE THESE RESPONSIBILITIES.


REVIEWED BY AUSTIN WATER APPLIES ONLY TO FACILITIES WITHIN PUBLIC STREETS OR PUBLIC UTILITY EASEMENTS. ALL OTHER WATER AND WASTEWATER FACILITIES INSIDE PRIVATE PROPERTY ARE UNDER THE JURISDICTION OF BUILDING INSPECTIONS.

Use of Electronic Files General Disclaimer: Use of the attached files in any manner indicates your acceptance of terms and conditions as set forth below. If you do not agree to all of the terms and conditions, please contact Austin Water pipeline engineering, project coordinator prior to use of the referenced information. Please be advised that the attached files are in a format that can be altered by the user. Due to this fact, any reuse of the data will be at the user's sole risk without liability or legal exposure to The City of Austin and user shall indemnify and hold harmless The City of Austin from all claims, damages, losses and expenses including attorney's fees arising out of or resulting from using the digital file. In addition, it is the responsibility of the user to compare all data with the PDF version of this drawing. In the event there is a conflict between the PDF version drawing and the electronic file, the PDF version drawing shall prevail.

FIRE FLOW TEST DATA



AUSTIN FIRE DEPARTMENT - FIRE PREVENTION DIVISION
Engineering Services Section
One Texas Center, Ste 200 - 505 Barton Springs Road
Austin, Texas 78704
Telephone (512) 974-0160 - Facsimile (512) 974-0162



Austin Fire Department Hydrant Flow Test Report

TEST DATE:	10/12/18					COMPANY:	PREV
TIME:	1030	HRS				OFFICER:	GARC/DECU

RESIDUAL HYDRANT

MAP GRID #	HYDRANT #	PIPE INTERSECTION #	MAIN SIZE	AED BOX #
J21	159561	1098	6	101

BLK #	DIRECTION	STREET NAME	TYPE
80		EAST	AVE

STATIC PRESSURE (PSI):	106	RESIDUAL PRESSURE (PSI):	104
------------------------	-----	--------------------------	-----

COMMENTS:

FLOW HYDRANT

MAP GRID #	HYDRANT #	PIPE INTERSECTION #	MAIN SIZE	AED BOX #
J21	517930	1151	6	101

BLK #	DIRECTION	STREET NAME	TYPE
60		EAST	AVE

STATIC PRESSURE (PSI):	108	VELOCITY PRESSURE (PSI):	100
------------------------	-----	--------------------------	-----

dc = discharge coefficient straight 2½" butt = .9 w/45° elbow = .75	.75
diffuser = N/A	
FLOW RATE (GPM) =	1398

NOTE: This information represents the water supply characteristics in the immediate area on the date and time tested. The City of Austin does not guarantee this data will be representative of the water supply characteristics at any time in the future. It is the requesting party's responsibility to ensure that this test information is appropriate to the location of the project in question and that any differences in elevation between the test location and project are accounted for and included in the hydraulic calculations.

INSPECTION NOTES

Please contact Development Services Department, Site and Subdivision Inspection at sitesubintake@austintexas.gov for arrangements for payment of inspection fees and job assignment for inspection of the public utilities to this site. Inspection fees must be paid before any Pre-construction meeting can be held.

PROJECT INFORMATION¹

FIRE, DOMESTIC AND IRRIGATION DEMAND DATA	
GRID NUMBER:	J21
MAPSCO NUMBER:	615B
AW INTERSECTION NUMBER:	2802
BUILDING SIZE IN SQUARE FEET:	851,049
BUILDING TYPE PER IFC:	IA
BUILDING HEIGHT:	600'
AVAILABLE FIRE FLOW CALCS AT 20 PSI:	5000 GPM
REQUIRED BUILDING FIRE FLOW PER IFC:	6000 GPM
REDUCED FIRE FLOW PER 75% FIRE SPRINKLER REDUCTION:	4500 GPM
MINIMUM FIRE FLOW:	1500 GPM
DOMESTIC WATER DEMAND IN GPM:	465
WATER SUPPLY FIXTURE UNITS (WSFU) FLUSH TANK:	3664
AUSTIN WATER PRESSURE ZONE:	CENTRAL NORTH
STATIC WATER PRESSURE IN PSI:	108
STATIC PRESSURE AT THE HIGHEST LOT SERVED IN PSI:	108
STATIC PRESSURE AT THE LOWEST LOT SERVED IN PSI:	108
MAXIMUM IRRIGATION DEMAND:	26
FIRE LINE VELOCITY: 8-INCH FIRE LINE	5.1 FPS AT 1250 GPM
DOMESTIC LINE VELOCITY: 6-INCH DOMESTIC LINE	5.3 FPS AT 465 GPM

NOTE: LOTS WITH 65 PSI OR GREATER REQUIRE A PRV TO BE INSTALLED ON THE PROPERTY OWNERS SIDE OF THE DOMESTIC WATER METER.

1. WITH THE EXCEPTION OF PROVIDING THE REQUIRED INFORMATION, DO NOT REVISE THESE TABLES IN ANYWAY.

2. ON MINIMUM FIRE FLOW, FOR COMMERCIAL DEVELOPMENT, DESIGN ENGINEER MUST INCLUDE 1500 GALLONS PER MINUTE OR REDUCED FIRE FLOW AMOUNT, WHICHEVER IS GREATER AND 1000 GALLONS PER MINUTE ON RESIDENTIAL DEVELOPMENT/SUBDIVISION.

Meter Notice:

Meter 1.5 inches and larger must be purchased and ordered 90 days in advance of installation.

Meter(s) Requirement for Project:

Address: 60 EAST AVENUE

Proposed Use: MIXED USE

Type: TURBINE

Size: 4" GPM Range: 15 - 630

Service Units: 24

Meter(s) Requirement for Project:

Address: 60 EAST AVENUE

Proposed Use: IRRIGATION

Type: POSITIVE DISPLACEMENT

Size: 1" GPM Range: 3 - 50

CITY OF AUSTIN
AUSTIN WATER
March 2019

VERSION 1.2
STANDARD NO.
1 OF 1

AUSTIN WATER GENERAL INFORMATION AND
CONSTRUCTION NOTES FOR COMMERCIAL
SITES AND SUBDIVISION PLANS

STANDARD CONSTRUCTION NOTES

November 23, 2017

- THE CITY STANDARD CONSTRUCTION SPECIFICATIONS CURRENT AT THE TIME OF BIDDING SHALL COVER MATERIALS AND METHODS USED TO DO THIS WORK.
- CONTRACTOR MUST OBTAIN A STREET CUT PERMIT FROM AUSTIN TRANSPORTATION DEPARTMENT, RIGHT OF WAY MANAGEMENT DIVISION BEFORE BEGINNING CONSTRUCTION WITHIN THE RIGHT-OF-WAY OF A PUBLIC STREET OR ALLEY.
- AT LEAST 48 HOURS BEFORE BEGINNING ANY WATER AND WASTEWATER CONSTRUCTION IN PUBLIC R.O.W. OR PUBLIC EASEMENT, THE CONTRACTOR SHALL NOTIFY AUSTIN TRANSPORTATION INSPECTION OR DEVELOPMENT SERVICES DEPARTMENT (DSD) INSPECTIONS AT THE NUMBER INDICATED ON THE PLANS BY THE AW PLAN REVIEWER.
- THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION IN ADVANCE OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES TO BE EXTENDED, TIED TO, OR ALTERED, OR SUBJECT TO DAMAGE/INCONVENIENCE BY THE CONSTRUCTION OPERATIONS. THE CITY OF AUSTIN WATER AND WASTEWATER MAINTENANCE RESPONSIBILITY ENDS AT R.O.W./EASEMENT LINES.
- NO OTHER UTILITY SERVICE/APPERTENANCES SHALL BE PLACED NEAR THE PROPERTY LINE, OR OTHER ASSIGNED LOCATION DESIGNATED FOR WATER AND WASTEWATER UTILITY SERVICE THAT WOULD INTERFERE WITH THE WATER AND WASTEWATER SERVICES.
- THE CITY SPECIFICATION ITEM 509S WILL BE REQUIRED AS A MINIMUM TRENCH SAFETY MEASURE.
- ALL MATERIALS TESTS ORDERED BY THE OWNER FOR QUALITY ASSURANCE PURPOSES, SHALL BE CONDUCTED BY AN INDEPENDENT LABORATORY AND FUNDED BY THE OWNER IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 1804S.04.
- PRESSURE TAPS SHALL BE ALLOWED ON A CASE BY CASE BASIS, AS DETERMINED BY THE DIRECTOR'S DESIGNEE. NORMALLY PRESSURE TAPS 4 INCHES AND LARGER SHALL BE ALLOWED IN THE FOLLOWING CASES: A) A TEST SHUT OUT INDICATES AN ADEQUATE SHUT OUT TO PERFORM THE WORK IS NOT FEASIBLE B) MORE THAN 30 CUSTOMERS OR A SINGLE CRITICAL CUSTOMER (AS DEFINED BY AUSTIN WATER) WOULD BE IMPACTED BY THE SHUT OUT OR C) THE EXISTING WATER LINE WARRANTS IT.
- THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 510.3(22) AND SPL.WW 27-A and WW 27-F.
- FIRE HYDRANTS SHALL BE SET IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 511S.4 AND SHALL BE PAINTED FLYNT ALUMINUM OR EQUAL. FIRE HYDRANTS AND ASSOCIATED VALVES, TEN (10) YEARS AND OLDER WILL BE REQUIRED TO BE REPLACED WITH A NEW FIRE HYDRANT AND APPURTENANCES.
- WATER LINE TESTING AND STERILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEMS 510.3 (27)-(29). FORCE MAIN PRESSURE TESTING SHALL BE CONDUCTED AND FALL UNDER THE SPECIFICATIONS AS WATER LINES (PRESSURE PIPE) OR AT THE PRESSURES SHOWN ON THE APPROVED PLANS.
- ALL MATERIAL USED ON STANDARD PRODUCTS LISTING. ANY MATERIAL NOT LISTED HAS TO GO THROUGH THE REVIEW OF THE STANDARDS COMMITTEE FOR REVIEW AND APPROVAL PRIOR TO START OF PROJECT. TESTING AND EVALUATION OF PRODUCTS ARE REQUIRED BEFORE APPROVAL WILL BE GIVEN ANY CONSIDERATION.
- WHEN WATER SERVICES ARE DAMAGED AND THE SERVICE MATERIAL IS PE, THE LINE SHALL BE REPAIRED ONLY BY HEAT FUSION WELD OR REPLACED THE FULL LENGTH WITH TYPE K COPPER MATERIAL. ANY TIME PB IS DAMAGED OR TAMPERED WITH IN ANY WAY, THE SERVICE LINE SHALL BE REPLACED FULL LENGTH WITH TYPE K COPPER MATERIAL. NOTE: FULL LENGTH IS FROM CORPORATION STOP TO METER.
- WHEN AN EXISTING WATERLINE SHUT OUT IS NECESSARY AND POSSIBLE, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR WHO WILL THEN NOTIFY AUSTIN WATER DISPATCH AND THE AFFECTED CUSTOMERS A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE.
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR SO THAT HE CAN NOTIFY THE AUSTIN WATER AT 872-8000 AT A MINIMUM OF 72 HOURS PRIOR TO RELOCATING ANY DOMESTIC OR FIRE DEMAND WATER METERS. THE CONTRACTOR SHALL CAREFULLY REMOVE ALL METERS AND METERS BOXES THAT ARE INDICATED TO BE RELOCATED OR SALVAGED. THE CONTRACTOR SHALL INSTALL THE REMOVED METER OR CITY PROVIDED METER AT THE NEW LOCATION INDICATED ON THE CONSTRUCTION PLANS.
- WATER AND WASTE WATER SERVICES WILL NEED TO BE REPLACED UP TO THE MAIN. REPAIR COUPLINGS ARE NOT ALLOWED ON NEW INSTALLATIONS.
- ALL MANHOLES IN UNPAVED AREAS PROVIDING DIRECT ACCESS TO A WASTEWATER LINE SHALL BE WATERTIGHT AND BEAR THE WORDING AND INSIGNIA FOR THE CITY OF AUSTIN.
- THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES, BELOW GROUND AND OVERHEAD, PRIOR TO STARTING ONSITE UTILITY WORK.
- ALL WATER AND WASTEWATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE SEPARATION DISTANCES INDICATED IN CHAPTER 290 - DRINKING WATER STANDARDS, CHAPTER 217 - DESIGN CRITERIA FOR SEWERAGE SYSTEMS AND CHAPTER 210 - DESIGN CRITERIA FOR RECLAIMED SYSTEMS OF TCEQ RULES.
- CONTRACTOR'S PERSONNEL THAT PERFORM BUTT FUSION AND ELECTROFUSION ON OR TO HDPE PIPE AND FITTINGS MUST HAVE CURRENT QUALIFICATION TRAINING CERTIFICATE ISSUED BY MOELROY OR COMPARABLE TRAINING PROGRAM.
- SHOP DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL STRUCTURAL ENGINEER, REGISTERED IN THE STATE OF TEXAS, SHALL BE SUBMITTED FOR AUSTIN WATER APPROVAL FOR LARGE DIAMETER PRE-CAST MANHOLES, JUNCTION BOXES, WET WELLS, AND SIMILAR STRUCTURES. THE SHOP DRAWINGS SHALL INCLUDE FLOWLINE ELEVATIONS OF ALL INCOMING AND OUTGOING PIPES, ELEVATION OF TRANSITION FROM LARGE DIAMETER SECTIONS TO 48" ID SECTION, TOP OF MANHOLE ELEVATION, SURROUNDING GROUND ELEVATION, AS WELL AS SPECIAL CONSTRUCTION CONSIDERATIONS THAT ARE SPECIFIED IN THE CONTRACT DRAWINGS. THE SUBMITTAL WILL NEED TO BE INCLUDED IN THE PLAN SET AS THRU A CORRECTION PROCESS.
- VALVE STEM EXTENSIONS SHALL CONSIST OF A SINGLE PIECE OF IRON ROD OF THE REQUIRED LENGTH WITH A SOCKET ON ONE END AND NUT ON THE OTHER.
- ALL POTABLE WATER SYSTEM COMPONENTS INSTALLED AFTER JANUARY 4, 2014, SHALL BE ESSENTIALLY "LEAD FREE" ACCORDING TO THE US SAFE DRINKING WATER ACT. EXAMPLES ARE VALVES (CORPORATION STOP, CURB STOP, AND PRESSURE REDUCING), NIPPLES, BUSHINGS, PIPE, FITTINGS, BACKFLOW PREVENTERS AND FIRE HYDRANTS. TAPPING SADDLES AND 2 INCH AND LARGER GATE VALVES ARE THE ONLY COMPONENTS EXEMPT FROM THIS REQUIREMENT. COMPONENTS THAT ARE NOT CLEARLY IDENTIFIED BY THE MANUFACTURER AS MEETING THIS REQUIREMENT EITHER BY MARKINGS ON THE COMPONENT OR ON THE PACKAGING SHALL NOT BE INSTALLED.
- ALL FIRE HYDRANTS AND VALVES THAT ARE TO BE ABANDONED SHALL BE REMOVED, SALVAGED AND RETURNED TO AUSTIN WATER. NOTICE SHOULD BE GIVEN 48 HOURS PRIOR TO RETURN TO: PIPELINE OPERATIONS DISTRIBUTION SYSTEM MAINTENANCE, VALVES AND HYDRANT SERVICES, SUPERVISING AW PIPELINE TECHNICIAN AT 512-972-1133.
- ALL EXISTING WATER METERS IDENTIFIED TO BE RELOCATED OR ABANDONED AT THE DEVELOPMENT, SHALL BE REMOVED FROM THE METER BOX PRIOR TO CONSTRUCTION AND GIVEN IMMEDIATELY TO THE DSD INSPECTOR.
- THE ENGINEER SHALL CALL OUT THE SIZE, TYPE AND USE (DOMESTIC OR IRRIGATION) OF ALL EXISTING WATER METERS TO BE RELOCATED OR REPURPOSED. WATER METER NUMBERS WILL NOT BE REQUIRED TO BE PLACED ON THE PLAN SHEET. A SEPARATE AUSTIN WATER TAPS OFFICE FORM WILL BE USED TO PROVIDE RELEVANT INFORMATION FOR THE EXISTING INFORMATION ON EXISTING METERS TO RECEIVE APPROPRIATE CREDITS. THIS FORM SHALL BE DIRECTLY SUBMITTED TO AUSTIN WATER TAPS OFFICE FOR REVIEW AND PROCESSING.
- NO CONNECTION MAY BE MADE BETWEEN THE PRIVATE PLUMBING AND AUSTIN WATER INFRASTRUCTURE UNTIL A CITY APPROVED WATER METER HAS BEEN INSTALLED.
- ALL GRAVITY LINES SHALL BE INSTALLED DOWNSTREAM.
- METER BOXES AND CLEAN OUTS SHALL NOT BE LOCATED WITHIN PAVED AREAS SUCH AS DRIVEWAYS AND SIDEWALKS.
- PROTECTED STREET STATUS IS SUBJECT TO CHANGE OVER TIME. IT IS THE OWNER'S RESPONSIBILITY TO CONFIRM THE STREET STATUS PRIOR TO CONSTRUCTION AS PROTECTED STREET STATUS WILL DIRECTLY IMPACT THE CONSTRUCTION COSTS. IF PROTECTED STREETS ARE PROPOSED TO BE DISTURBED, APPROVAL FROM THE STREET AND BRIDGE DIVISION OF THE TRANSPORTATION DEPARTMENT IS REQUIRED.

FIRE FLOW MAP

AW INFRASTRUCTURE INFORMATION			
PROPOSED PRODUCT TYPE (TO BE INSTALLED)	LENGTH OF PIPE (L.F.)	SIZE OF PIPE (INCH)	NO. OF SERVICES
WATER MAIN	45	8	
WASTEWATER MAIN		N/A	
RECLAIMED WATER MAIN		N/A	
WATER SERVICE	10	6	2
WASTEWATER SERVICE	15	6	1
RECLAIMED WATER SERVICE	N/A	N/A	

EXPAND OR REDUCE TABLE AS NEEDED
THE INFORMATION INCLUDED IN THIS TABLE ARE APPROXIMATE VALUES ESTIMATED BASED ON GENERAL ENGINEERING GUIDELINES

DOES THIS PROJECT NEED AULCC REVIEW ?

☒ YES

☐ NO

IF YES, PLEASE PROVIDE UCC# 190418-04-01

DOES THIS PROJECT INVOLVE A DEVELOPMENT AGREEMENT

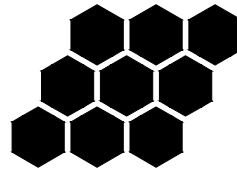
THAT IMPACTS AUSTIN WATER INFRASTRUCTURE?

☐ YES

☒ NO

NOTE: IF THE PROJECT IS LOCATED WITHIN FULL PURPOSE JURISDICTION, A RIGHT-OF-WAY REVIEW, THROUGH THE AULCC PERMIT PROCESS WILL BE REQUIRED.

AW EXPIRATION STAMP
THREE YEARS FROM THE
DATE OF SIGN-OFF

NO.	DATE	REVISIONS	SHEET
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.			
RIVER STREET HOTEL & HOMES 60 EAST AVENUE, AUSTIN, TX 78701			
AUSTIN WATER GENERAL INFORMATION AND CONSTRUCTION NOTES			
<div><div>CIVILITUDE ENGINEERS & PLANNERS</div><div>5110 LANCASTER COURT, AUSTIN, TX 78723 FIRM REG # F12469 PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM</div></div>			
SCALE: NOT TO SCALE			
JOB NO: A379-001			
DGN BY: JMS			
DWN BY: MAA			
RVW BY: JMS			
SITE PLAN APPROVAL SHEET 03 OF 18 FILE NUMBER: SP-2019-0465C APPLICATION DATE: 10-21-2019 APPROVED BY COMMISSION ON UNDER SECTION 112 ON CHAPTER 25-5 OF THE CITY OF AUSTIN CODE EXPIRATION DATE (25-5-B1, LDC) CASE MANAGER JEREMY SALTILA PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ			
Director, DEVELOPMENT SERVICES DEPARTMENT RELEASED FOR GENERAL COMPLIANCE: ZONING: CBD Rev. 1 Correction 1 Rev. 2 Correction 2 Rev. 3 Correction 3			
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a Building permit is not required, must also be approved prior to the Project Expiration Date.			
SHEET NO. 03 OF 18			

RIVER STREET HOTEL & HOMES – 60 EAST AVE, AUSTIN, TX 78701

SP-2019-0465C

NOTES:

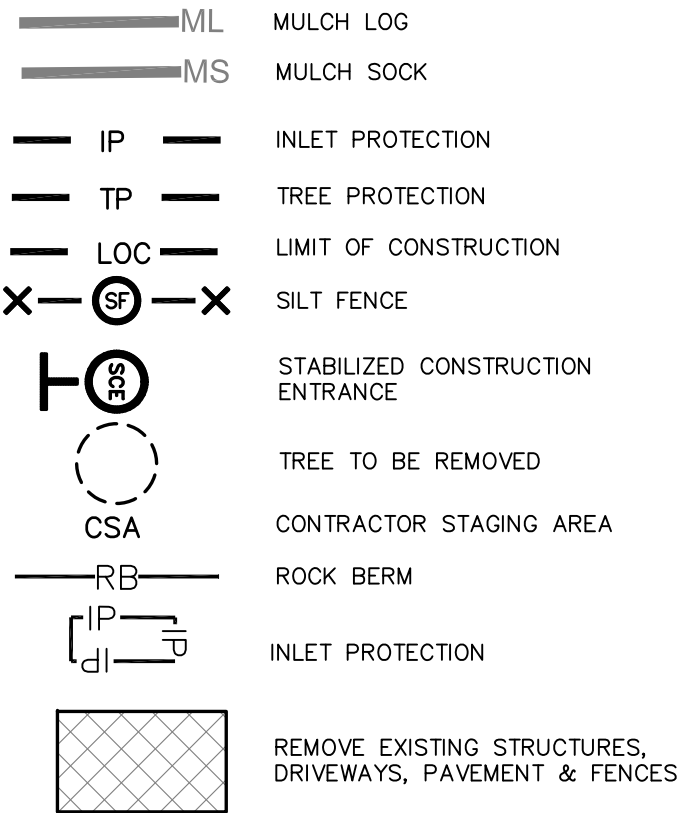
1. A PRE-CONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.
2. IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR SOIL RETENTION MATTING.
3. ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD EROSION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.
4. THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY.
5. SILT FENCE INSTALLATION SHALL COMPLY WITH ECM 1.5.4.G.
6. IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING.
7. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
8. SIDEWALK REPAIR NOTES: REPAIRS TO CONCRETE SIDEWALKS DAMAGED BY THE WORK REQUIRE FULL SIDEWALK PANEL RECONSTRUCTION, JOINT TO JOINT, IN AREAS WITH SIDEWALK PAVERS, CONTRACTOR SHALL CAREFULLY REMOVE, STORE AND REPLACE PAVERS TO MATCH EXISTING CONDITIONS OR BETTER.
9. TREE, TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY JPH LAND SURVEYING, INC. SIGNED 02-01-2019.
10. BENCHMARK IS A MAG NAIL WITH A METAL WASHER STAMPED "JPH LAND SURVEYING" SET IN CONCRETE, LOCATED APPROXIMATELY 60 FEET SOUTHWEST OF THE CENTERLINE INTERSECTION OF RAINEY AND RIVER STREETS. ELEVATION =451.40' (NAVD'88).

TREE SURVEY PERFORMED 01-25-2019

NUMBER	DESCRIPTION
2098	R 15" HACKBERRY
2099	R 13" HACKBERRY
2100	R 14" HACKBERRY
50190	R 21" ASH P
50222	R 22" COTTONWOOD P
50243	R 20" COTTONWOOD P
50320	R 16" PECAN
50327	R 12" PECAN
50346	R 20" HACKBERRY P
50456	9" CEDAR ELM
50457	7" CEDAR ELM
50589	R 13" HACKBERRY
50594	R 9" CHINABERRY I

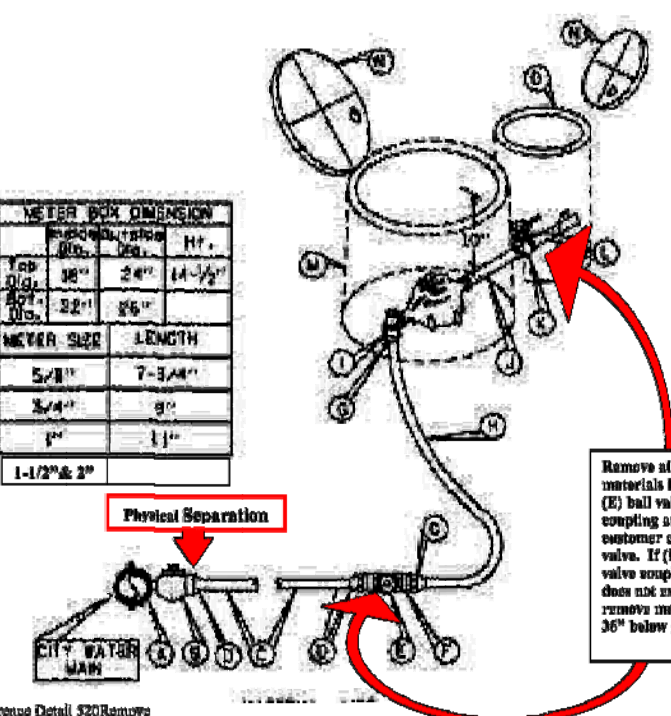
R=REMOVE
P=PROTECTED
H=HERITAGE
I=INVASIVE

PROPOSED LEGEND



ABANDONMENT OF SERVICES AT THE MAIN REFERENCE DETAIL
RESIDENTIAL/COMMERCIAL

- Notes:
1. Meter box (M), meter, angle meter stop (S), water meter coupling (C), service pipe from bell valve to angle stop (H), bell valve coupling (B), shall be removed from the Right of Way (ROW). Synoptic remove (R) and all material up to (C).
 2. If bell valve coupling (B) does not exist, remove all material to 30" below grade.
 3. A physical separation between the corporation stop (R) at the main and the service pipe (C) shall be performed. This is accomplished by removing the pipe coupling at the corporation stop (R). Corporation stop (R) shall be abandoned in place in the OFF position.
 4. After separation between the corporation stop (R) and service pipe (C) is achieved the corporation stop (R) and main water pipe (A) is wrapped with 8-millex polyethylene film.
 5. All voids behind the curb shall be filled with select backfill and 6" of topsoil in accordance with the Public Works Utility Street Cut Manual.
 6. All work performed in the ROW shall be in accordance with current City of Austin Standards, Specifications and Utility Street Cut Manual.



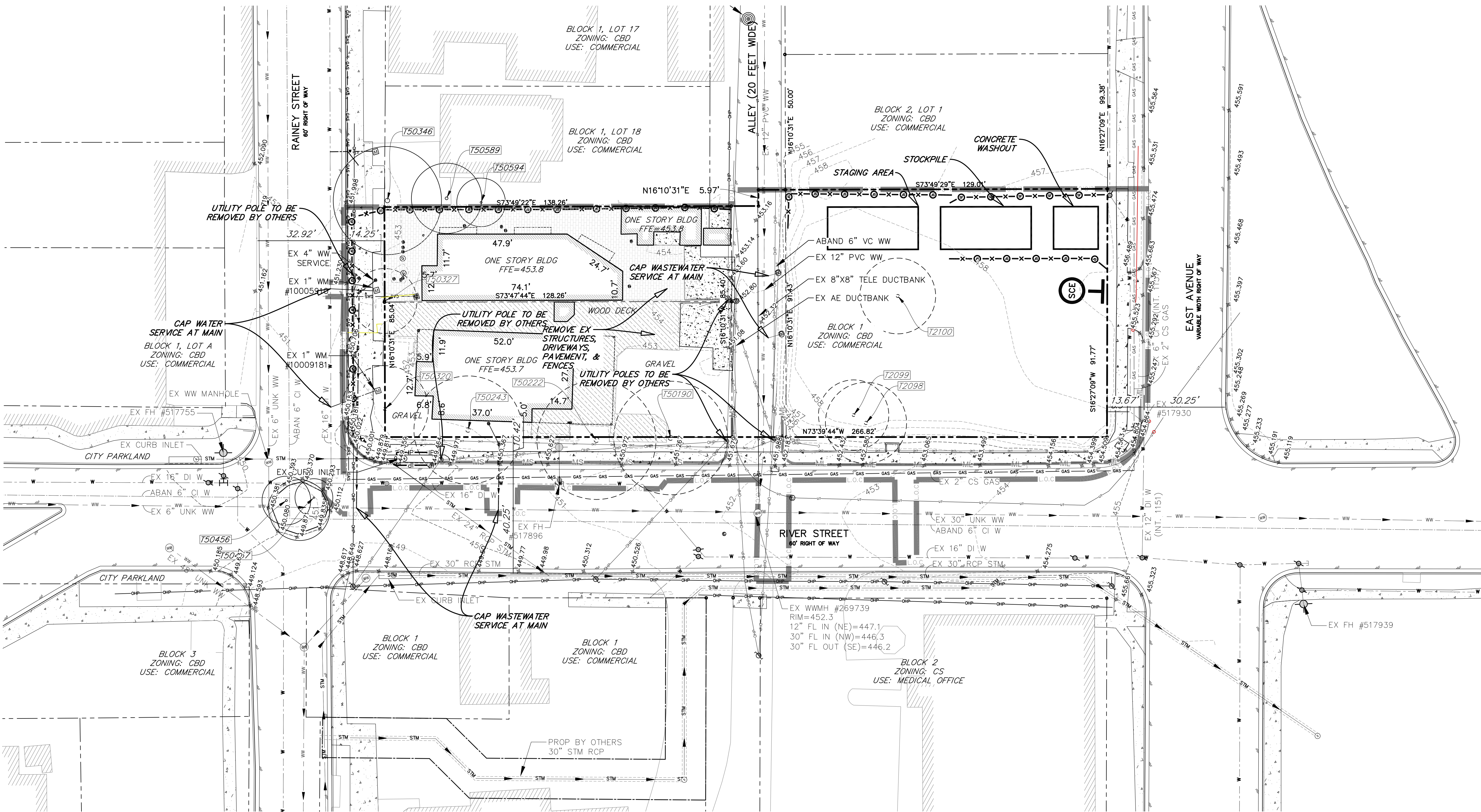
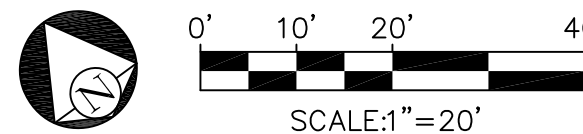
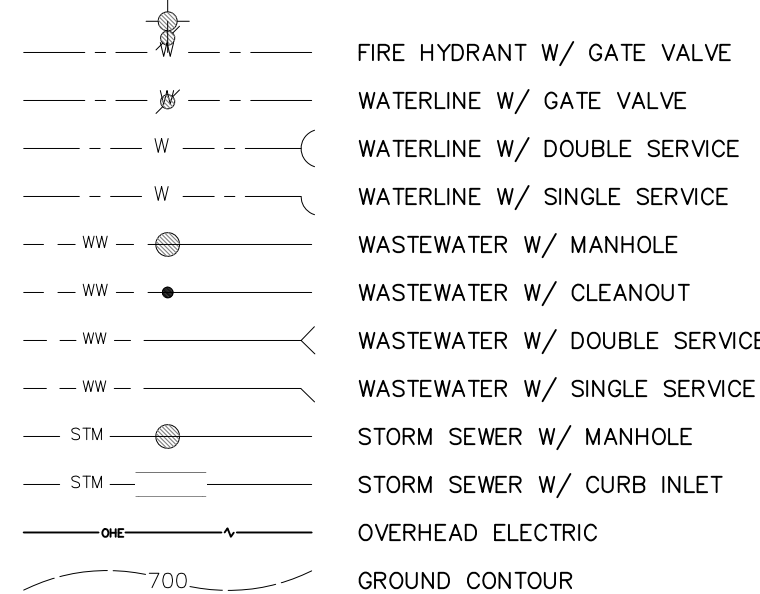
DETAIL - A

WATER METER REMOVAL AND
RELOCATION REQUIREMENTS:

ALL EXISTING WATER METERS, RECOGNIZED TO BE RELOCATED OR ABANDONED AT RESIDENTIAL AND/OR COMMERCIAL DEVELOPMENTS BY THE ENGINEER OF RECORD, SHALL BE REMOVED FROM THE METER BOX(ES) PRIOR TO CONSTRUCTION AND GIVEN IMMEDIATELY TO THE UTILITY INSPECTOR. THE UTILITY INSPECTOR WILL THEN TURN IN THE WATER METER(S) TO AMU CONSUMER SERVICES TAPS OFFICE FOR CREDIT WITHIN FIVE (5) BUSINESS DAYS OF RECEIPT OF THE WATER METER(S). BEFORE ANY LARGE (3" AND ABOVE) METER(S) ARE REMOVED, THE UTILITY INSPECTOR WILL SCHEDULE THE TIME AND PLACE OF THE METER DELIVERY WITH THE AMU TAPS OFFICE AND METER SHOP, AND PROVIDE THE CONTRACTOR WITH THAT INFORMATION. AT THE PRE-CONSTRUCTION MEETING THE CITY INSPECTOR SHALL VERIFY THAT THE METER NUMBER DISPLAYED ON THE METER COVER AT ITS PHYSICAL LOCATION IS THE SAME METER NUMBER LISTED ON THE APPROVED ENGINEERING DRAWINGS. THE CORRECT METER NUMBER(S) AT THE SITE ADDRESS SHALL BE INCLUDED ON THE PLANS AND PHYSICALLY VERIFIED BY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL CONTACT AN AMU TAPS CUSTOMER SERVICE REPRESENTATIVE TO CONFIRM THE METER INFORMATION ON THE PLANS MATCHES UTILITY RECORDS.

IF WATER SERVICE IS REQUIRED DURING CONSTRUCTION, THE CONTRACTOR WILL CALL CITY OF AUSTIN UTILITIES TO ESTABLISH AN ACTIVE UTILITY ACCOUNT. ONCE SERVICE IS AVAILABLE TO THE SITE, AND ALL APPLICABLE TAP FEES HAVE BEEN PAID, A NEW WATER METER SHALL BE ISSUED TO BE INSTALLED IN ORDER TO ENSURE ACCURATE CALIBRATION OF THE WATER METER(S) TO BE USED FOR THE SITE. UNDER NO CIRCUMSTANCES SHALL AN EXISTING WATER METER BE USED DURING CONSTRUCTION OR RELOCATED TO ANOTHER LOCATION AND/OR ADDRESS WITHOUT PRIOR SUBMITTAL OF A WRITTEN REQUEST FOR EXCEPTION AND SUBSEQUENT WRITTEN APPROVAL FROM THE TAPS OFFICE.

EXISTING LEGEND



NO.	DATE	REVISIONS	SHEET

RIVER STREET HOTEL & HOMES
60 EAST AVENUE, AUSTIN, TX 78701

EXISTING CONDITIONS & DEMOLITION PLAN

CIVILITUDE
ENGINEERS & PLANNERS

5110 LANCASTER COURT, AUSTIN, TX 78723 FIRM REG # F12469
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

SCALE: 1"=20'

JOB NO: A379-001

DGN BY: JMS

DWN BY: MAA

RVW BY: JMS



SITE PLAN APPROVAL SHEET 04 OF 18

FILE NUMBER: SP-2019-0465C APPLICATION DATE: 10-21-2019

APPROVED BY COMMISSION ON UNDER SECTION 112 ON

CHAPTER 25-5 OF THE CITY OF AUSTIN CODE

EXPIRATION DATE (25-5-81, LDC) CASE MANAGER JEREMY SALTILA

PROJECT EXPIRATION DATE (ORD #970905-A) DWPZ DDZ

Director, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: ZONING: CBD

Rev. 1 Correction 1

Rev. 2 Correction 2

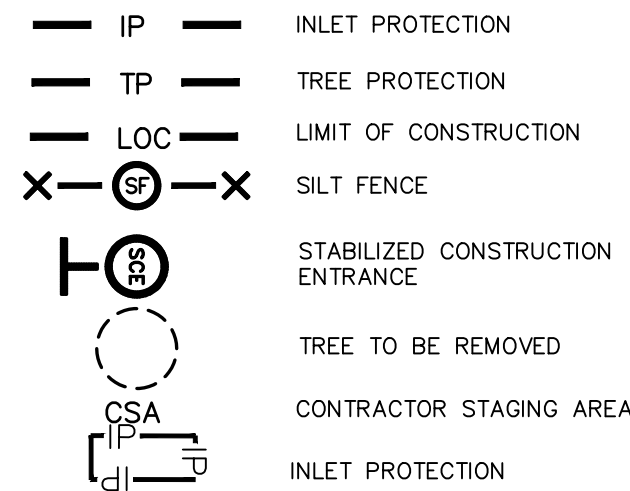
Rev. 3 Correction 3

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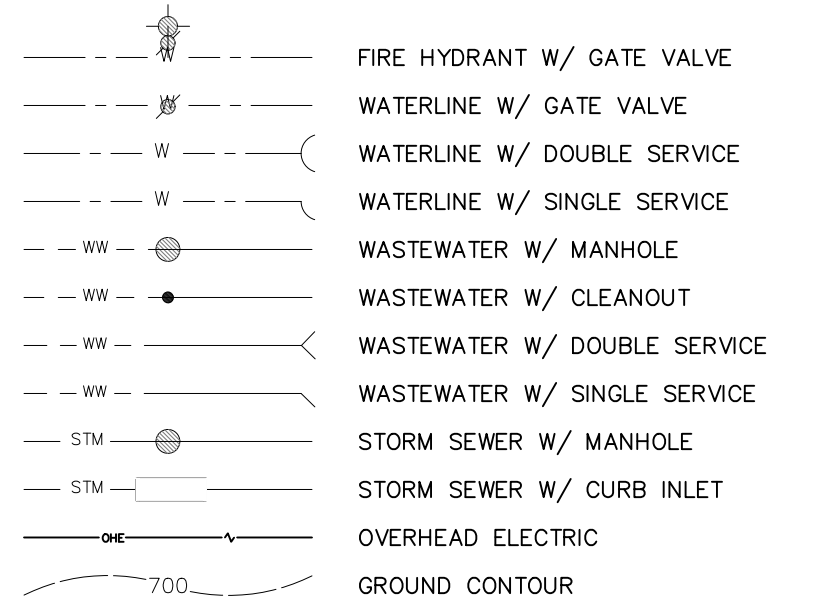
SHEET NO. 04 OF 18

NOTES:

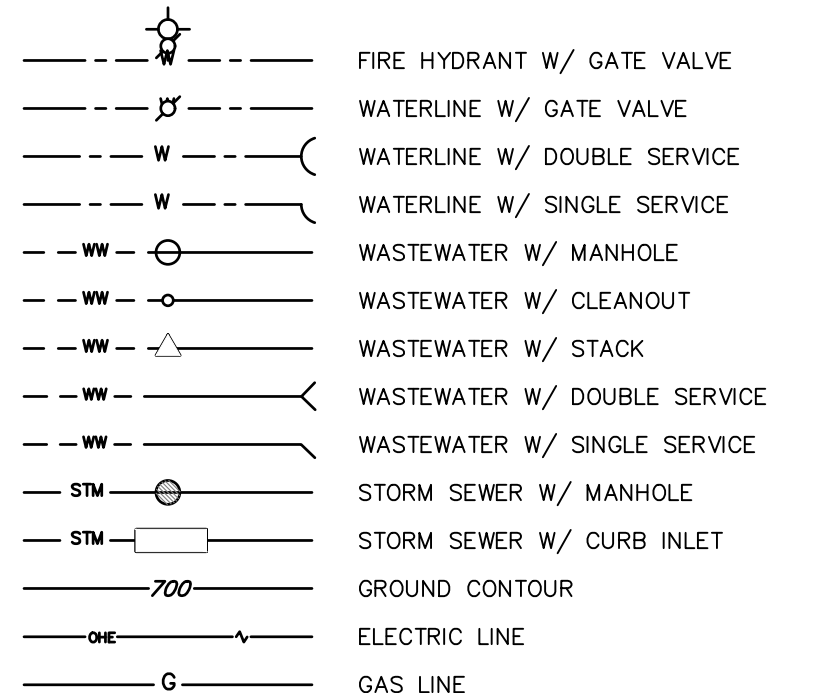
1. A PRE-CONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.
2. IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR SOIL RETENTION MATTING.
3. ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD EROSION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.
4. THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY.
5. SILT FENCE INSTALLATION SHALL COMPLY WITH ECM 1.5.4.G.
6. IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING.
7. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
8. SIDEWALK REPAIR NOTES: REPAIRS TO CONCRETE SIDEWALKS DAMAGED BY THE WORK REQUIRE FULL SIDEWALK PANEL RECONSTRUCTION, JOINT TO JOINT, IN AREAS WHT SIDEWALK PAVERS, CONTRACTOR SHALL CAREFULLY REMOVE, STORE AND REPLACE PAVERS TO MATCH EXISTING CONDITIONS OR BETTER.
9. WHEN INSTALLING MULCH LOGS, IF DAYLIGHT CAN BE SEEN UNDER THE MULCH LOG DUE TO TOPOGRAPHIC CHANGES, ADD ADDITIONAL ROWS OF MULCH LOG TO CLOSE GAPS.



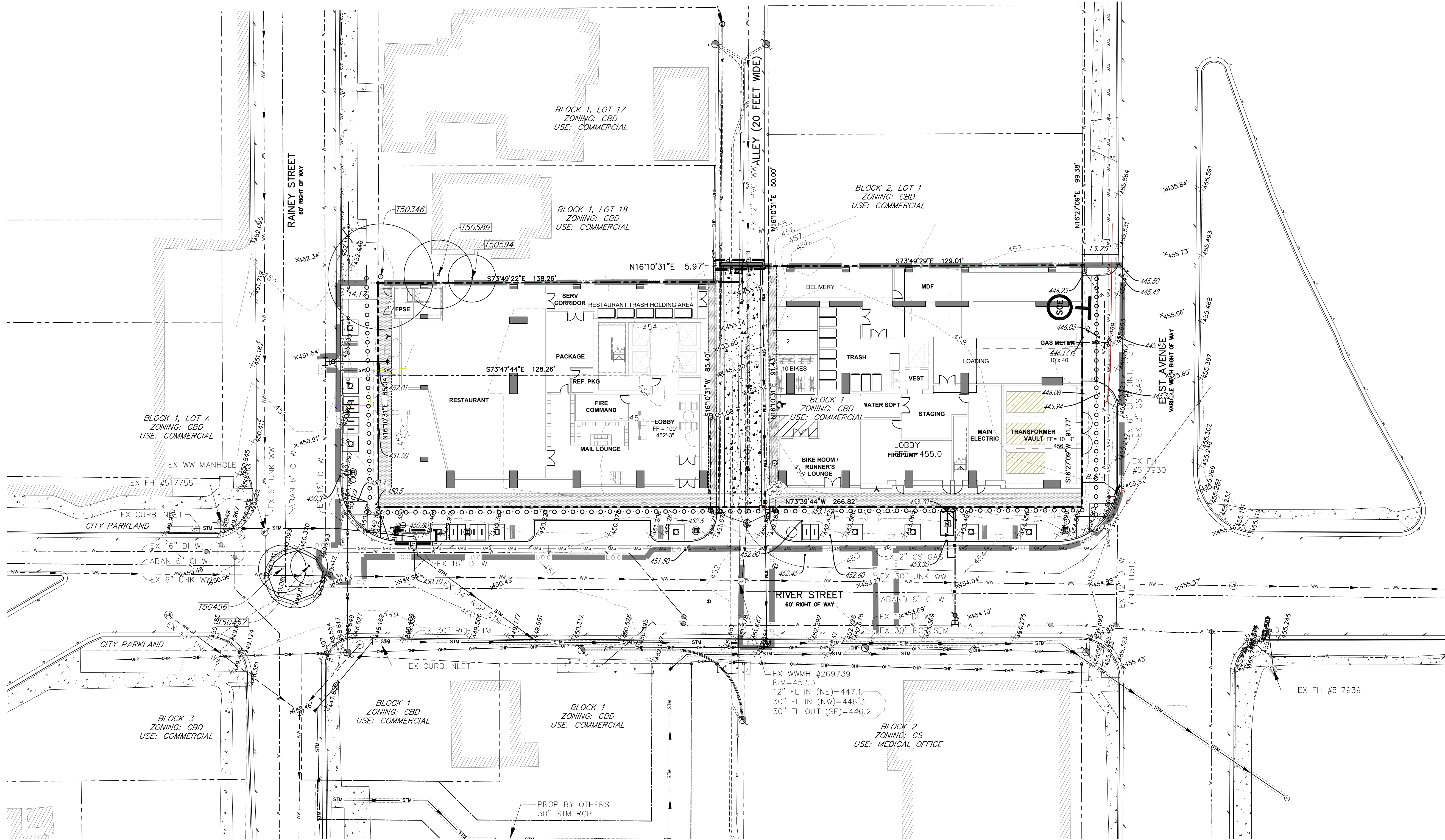
EXISTING LEGEND



PROPOSED LEGEND



***** ADA PATH



NO.	DATE	REVISIONS	SHEET

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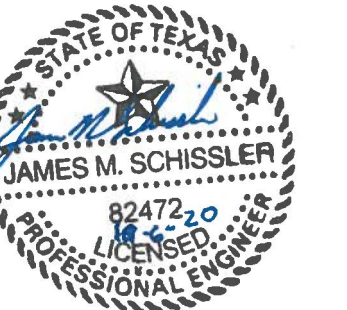
RIVER STREET HOTEL & HOMES
60 EAST AVENUE, AUSTIN, TX 78701

MIDCONSTRUCTION EROSION CONTROL & GRADING PLAN

CIVILITUDE
ENGINEERS & PLANNERS

5110 LANCASTER COURT, AUSTIN, TX 78723 FIRM REG # F12469
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

SCALE: 1"=20'
JOB NO: A379-001
DGN BY: JMS
DWN BY: MAA
RVW BY: JMS



SITE PLAN APPROVAL SHEET 05 OF 18
FILE NUMBER: SP-2019-0465C APPLICATION DATE: 10-21-2019
APPROVED BY COMMISSION ON UNDER SECTION 112 ON
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE
EXPIRATION DATE (25-5-B1, LDC) CASE MANAGER JEREMY SALTILA
PROJECT EXPIRATION DATE (ORD #970905-A) DWFZ DDZ

Director, DEVELOPMENT SERVICES DEPARTMENT
RELEASED FOR GENERAL COMPLIANCE: ZONING: CBD
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3

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SHEET NO.
05
OF 18

Building Information				
SITE & BUILDING INFORMATION TABLE				
GROSS SITE AREA (GSA)	23,579	SF	0.541	ACRES
EXISTING LAND USE	GENERAL RESTAURANT/COCKTAIL LOUNGE			
PROPOSED LAND USE	SEE PARKING TABLE			
ZONING	CBD			
GROSS FLOOR AREA (SF)	568,334			
NUMBER OF STORIES	48			
FINISHED FLOOR ELEVATION	452.0			
BUILDING COVERAGE (100% ALLOWED)	23,513	SF	99.7%	GSA
IMPERVIOUS COVER (100% ALLOWED)	23,579	SF	100%	GSA
FLOOR-TO-AREA RATIO (15:1 PER ORD.)	24.10			
BUILDING HEIGHT (FT)	552.3			
FOUNDATION TYPE	UNDERGROUND GARAGE CONC. SLAB			

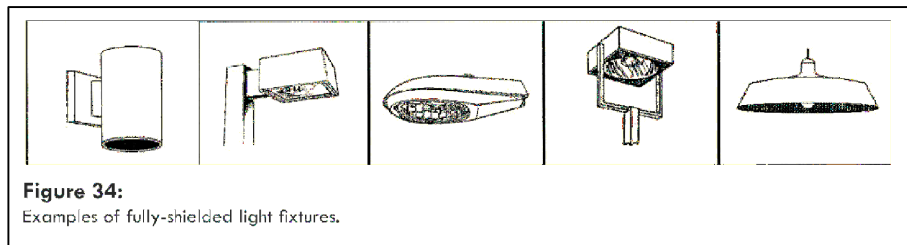
SITE PLAN NOTES:

1. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E, 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION T2.5.2.E.
2. SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
3. A CONDITIONAL LETTER OF APPROVAL IS REQUIRED BY AUSTIN ENERGY GREEN BUILDING PROGRAM PRIOR TO BUILDING PERMIT.
4. COMPLIANCE WITH GREEN BUILDING STANDARDS OF TWO IS REQUIRED FOR ALL BUILDINGS CONSTRUCTED ON THIS SITE.

Parking Table													
Land Use	Units	Sq. Ft.	Parking Ratio	Req'd Spaces	Reduced Req't*	Prov'd (Reg)	Req'd ADA	Prov'd ADA	Req'd ADA Van	Prov'd ADA Van	Req'd Loading	Prov'd Loading	Req'd Bike
Hotel	248	227,117	1.1	273	0.0								
1 Bedroom	108		1.5	162	0.0								
2 Bedroom	96		2	192	0.0								
3 Bedroom	36		2.5	90	0.0								
Total Multi-Family	239	341,217											
Total		568,334		717	0	319	7	8	1	2	2	2	35.8

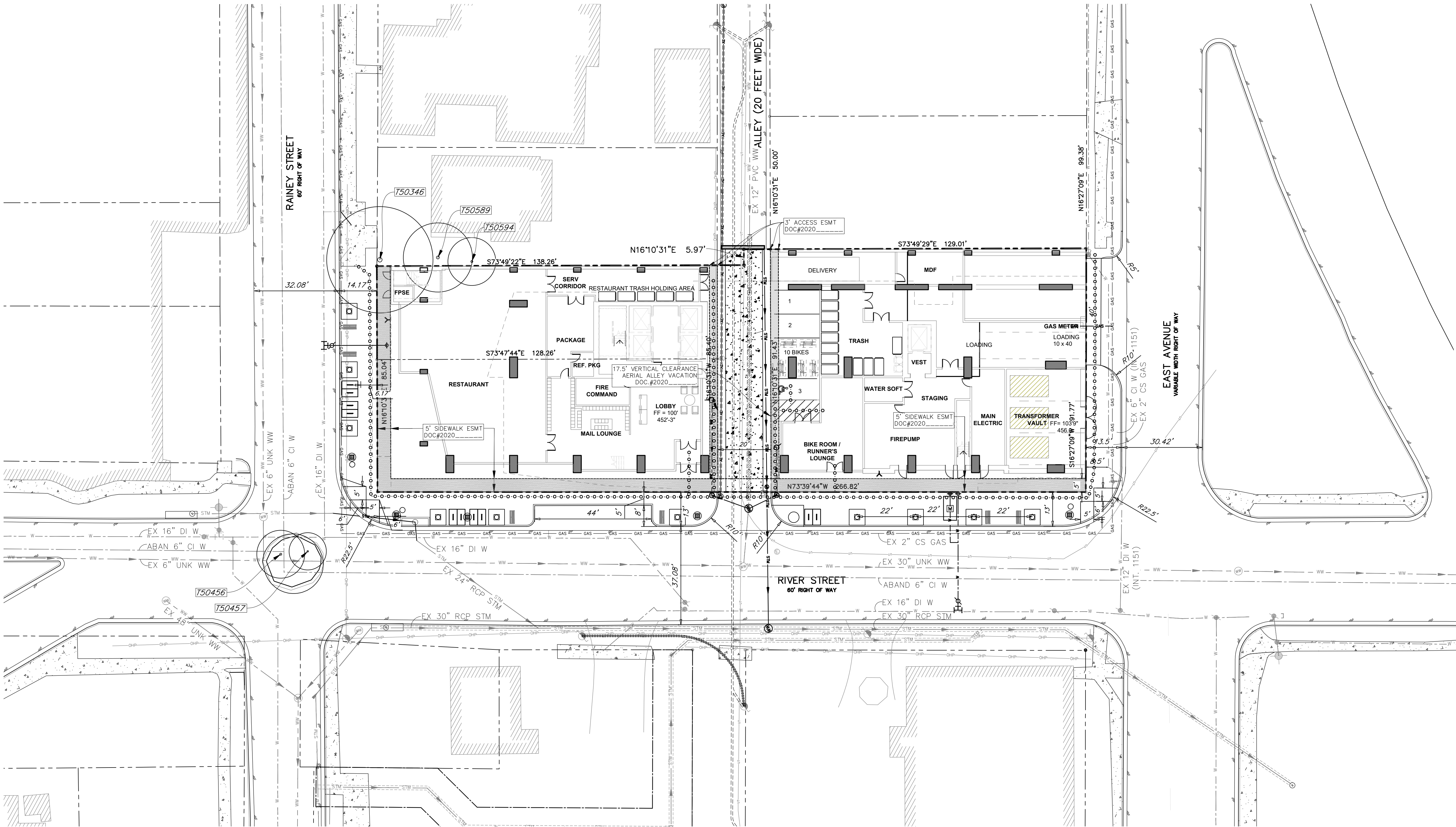
*No parking required in CBD zoning district

Impervious Cover Table				
	Existing	Proposed Removal	Proposed Addition	
Building	3,962	3,962	22,213	
Parking/Driveway & Others	5,803	5,803	1,366	
Sidewalk	-	-	-	
Wood Decks (50% IC)	1,165	1,165	-	
Total (Area)	10,930	10,930	23,579	
Gross Site Area	23,579	SF	0.541	Acre
Total (Percent)	46.35%		46.35%	100.0%



NOTES:

1. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
2. ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50.
3. ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1:50.
4. SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
5. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 IN. THE MAXIMUM HORIZONTAL PROJECTION IS 30 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:12 AND 1:15, AND 40 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:16 AND 1:20.



EXISTING LEGEND

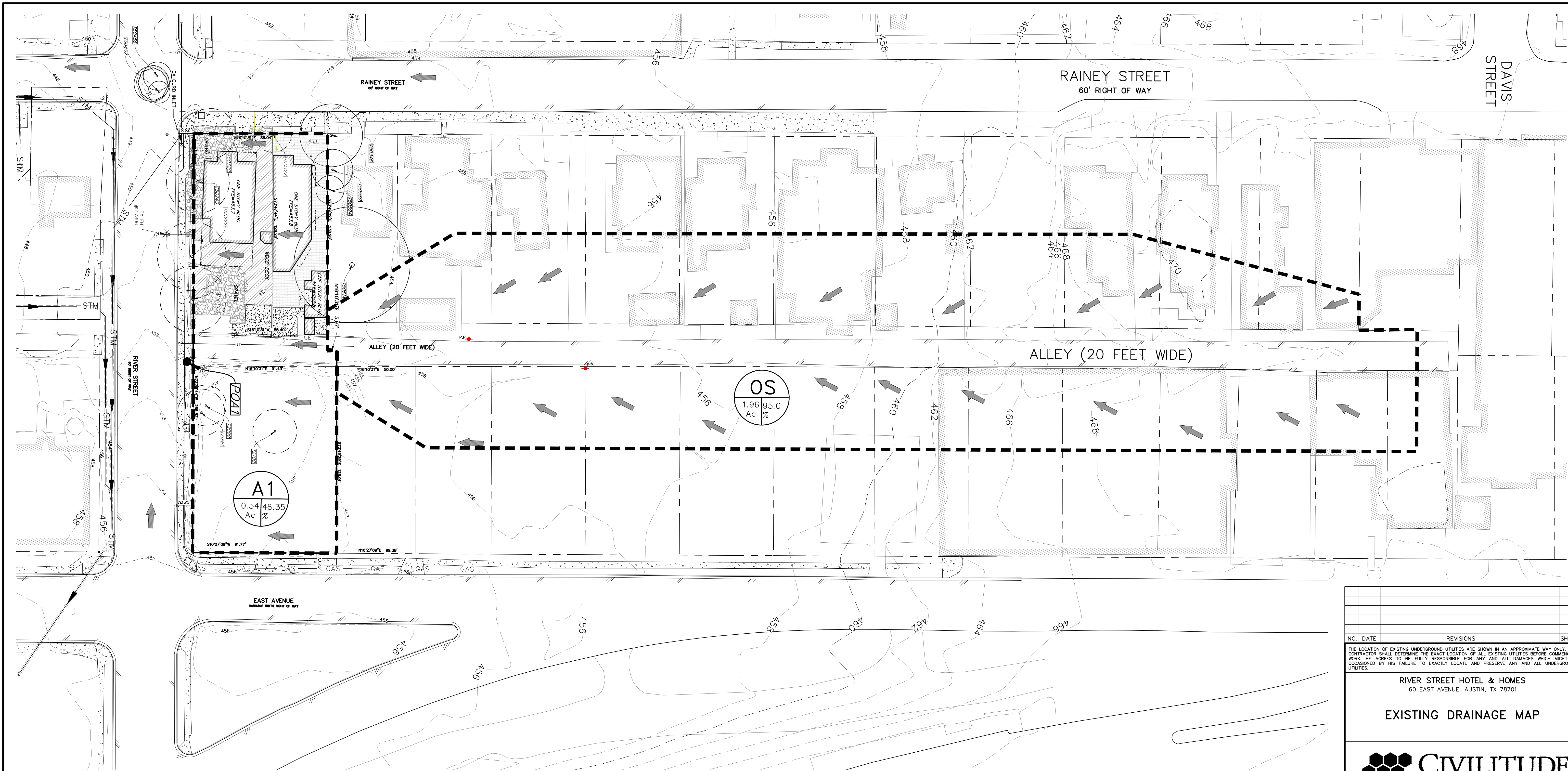
- FIRE HYDRANT W/ GATE VALVE
- WATERLINE W/ GATE VALVE
- W— WATERLINE W/ DOUBLE SERVICE
- W— WATERLINE W/ SINGLE SERVICE
- WW— WASTEWATER W/ MANHOLE
- WW— WASTEWATER W/ CLEANOUT
- WW— WASTEWATER W/ DOUBLE SERVICE
- WW— WASTEWATER W/ SINGLE SERVICE
- STM— STORM SEWER W/ MANHOLE
- STM— STORM SEWER W/ CURB INLET
- OE— OVERHEAD ELECTRIC
- 700— GROUND CONTOUR

PROPOSED LEGEND

- FIRE HYDRANT W/ GATE VALVE
- WATERLINE W/ GATE VALVE
- W— WATERLINE W/ DOUBLE SERVICE
- W— WATERLINE W/ SINGLE SERVICE
- WW— WASTEWATER W/ MANHOLE
- WW— WASTEWATER W/ CLEANOUT
- WW— WASTEWATER W/ STACK
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- G— GAS LINE
- ADA ROUTE



NO.	DATE	REVISIONS	SHEET
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RIVER STREET HOTEL & HOMES 60 EAST AVENUE, AUSTIN, TX 78701			
SITE PLAN			
 5110 LANCASTER COURT, AUSTIN, TX 78723 FIRM REG # F12469 PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM			
SCALE:	1"=20'		
JOB NO:	A379-001		
DGN BY:	JMS		
DWN BY:	MAA		
RVW BY:	JMS		
SITE PLAN APPROVAL SHEET 06 OF 18 FILE NUMBER: SP-2019-0465C APPLICATION DATE: 10-21-2019 APPROVED BY COMMISSION ON UNDER SECTION 112 ON CHAPTER 25-5 OF THE CITY OF AUSTIN CODE EXPIRATION DATE (25-5-81, LDC) CASE MANAGER JEREMY SALTILA PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ			
Director, DEVELOPMENT SERVICES DEPARTMENT RELEASED FOR GENERAL COMPLIANCE: ZONING: CBD Rev. 1 Correction 1 Rev. 2 Correction 2 Rev. 3 Correction 3			
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SHEET NO.			06
			OF 18



LEGEND

--- DRAINAGE AREA BOUNDARY

A1
0.54 46.35
Ac %
ON-SITE DRAINAGE AREA NAME
AREA/IC %

➔ FLOW DIRECTION

EXISTING								
Sub Basin	Downstream	Total TC (min)	Area (ac)	Impervious Cover (%)	HEC-HMS Outputs			
					Q2 (cfs)	Q10 (cfs)	Q25 (cfs)	Q100 (cfs)
A1	POA1	5.0	0.540	46.4%	1.1	2.3	3.0	4.2
OS	POA1	8.0	1.96	95%	5.0	8.9	11.2	14.9
Point of Analysis 1					6.0	11.1	14.0	18.9



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RIVER STREET HOTEL & HOMES
60 EAST AVENUE, AUSTIN, TX 78701

EXISTING DRAINAGE MAP

CIVILITUDE
ENGINEERS & PLANNERS

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SCALE: 1"=20'

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DGN BY: JMS

DWN BY: MAA

RVW BY: JMS

JAMES M. SCHISLER
82472
LICENSED PROFESSIONAL ENGINEER

SITE PLAN APPROVAL SHEET 07 OF 18

FILE NUMBER: SP-2019-0465C APPLICATION DATE: 10-21-2019

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Director, DEVELOPMENT SERVICES DEPARTMENT

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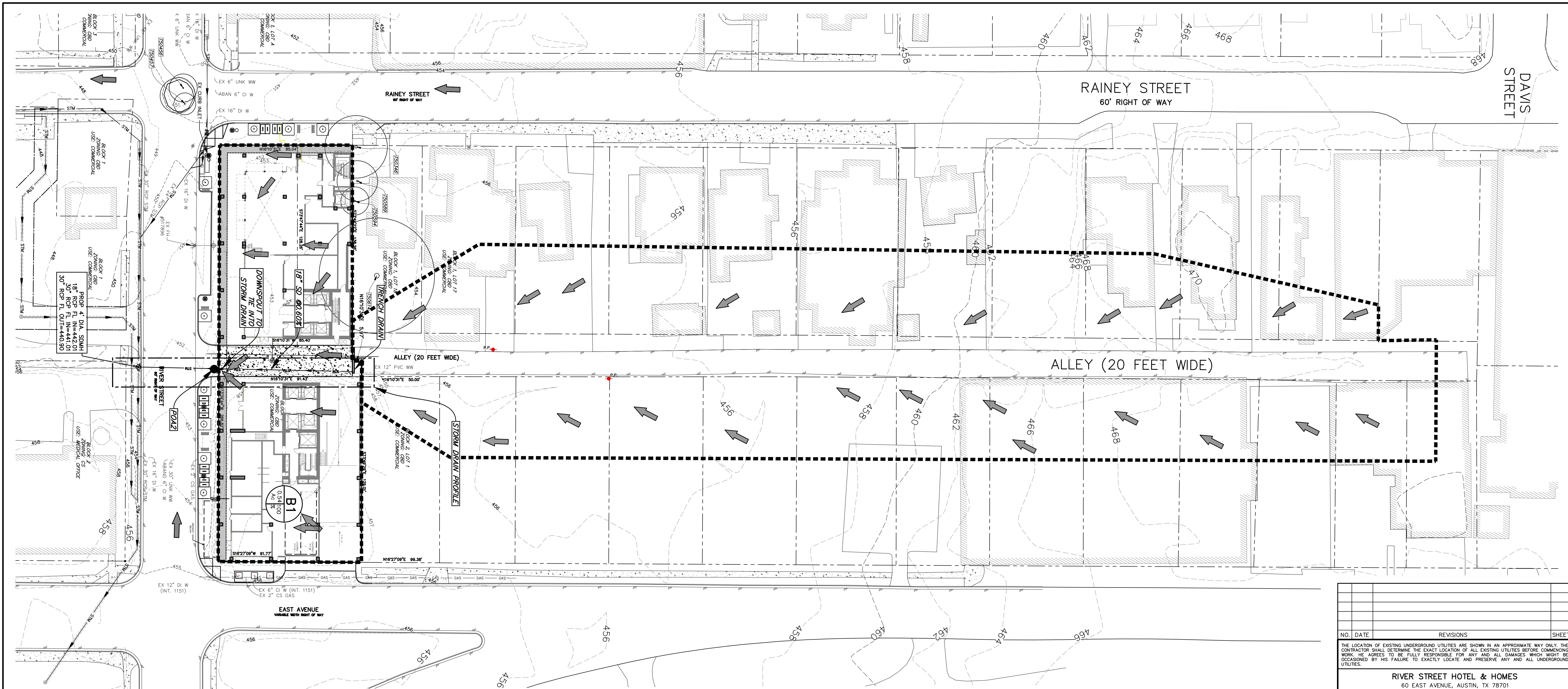
Rev. 1 Correction 1

Rev. 2 Correction 2

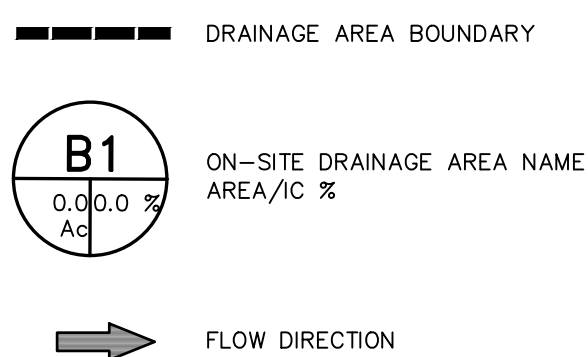
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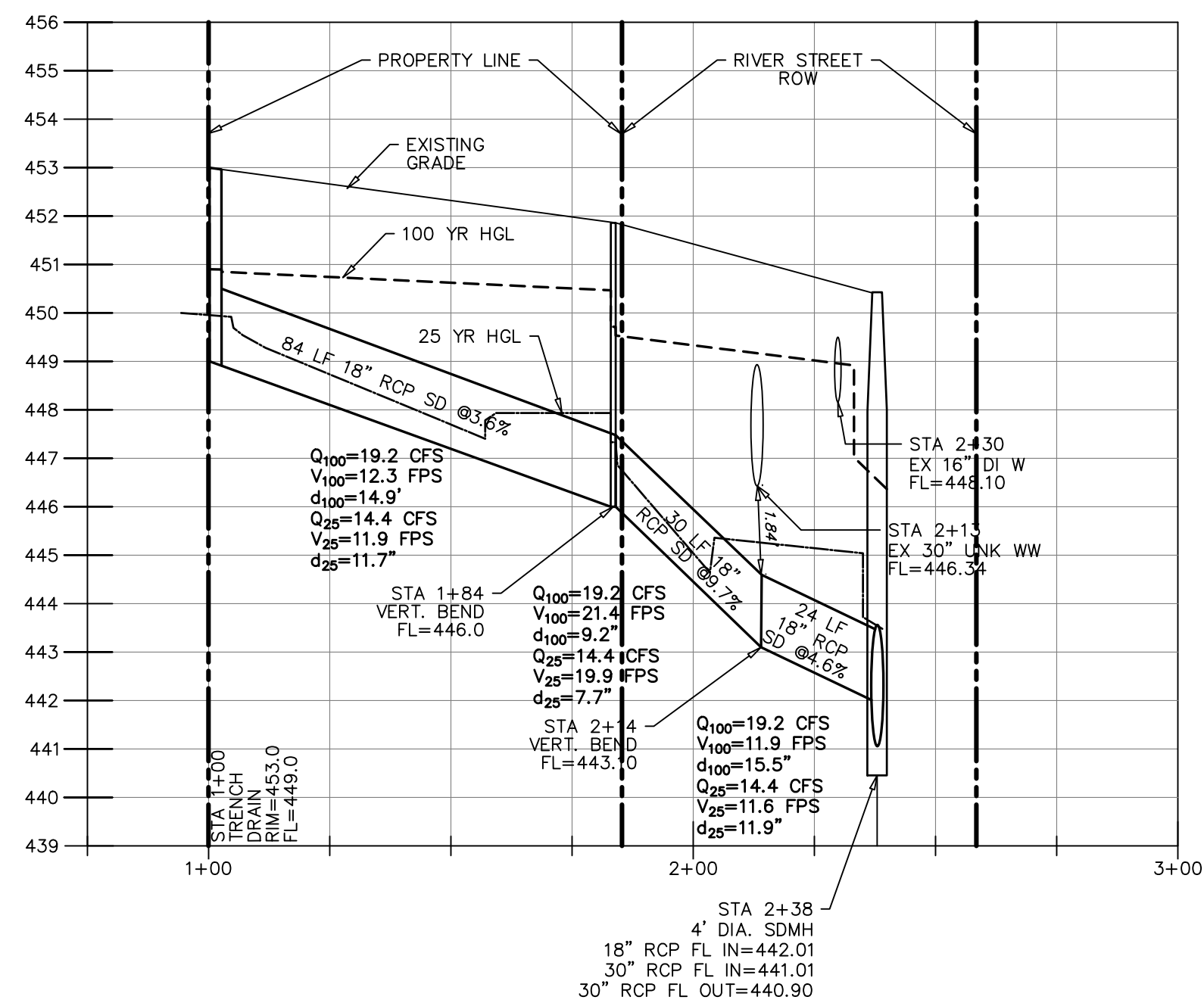


LEGEND



EXISTING							HEC-HMS Outputs			
Sub Basin	Downstream	Total TC (min)	Area (ac)	Curve Number	Impervious Cover (%)		Q2 (cfs)	Q10 (cfs)	Q25 (cfs)	Q100 (cfs)
A1	POA1	5.0	0.540	79	46.4%		1.1	2.3	3.0	4.2
OS	POA1	8.0	1.96	79	95%		5.0	8.9	11.2	14.9
Point of Analysis 1							6.0	11.1	14.0	18.9

PROPOSED							HEC-HMS Outputs			
Sub Basin	Downstream	Total TC (min)	Area (ac)	Curve Number	Impervious Cover (%)		Q2 (cfs)	Q10 (cfs)	Q25 (cfs)	Q100 (cfs)
B1	POA2	5.0	0.54	79	100.0%		1.5	2.7	3.4	4.6
OS	POA2	8	1.96	79	95%		5.0	8.9	11.2	14.9
Points of Analysis 2							6.4	11.4	14.4	19.2
Increase in Runoff (CFS) (Negative values mean controlled flows)							0.4	0.3	0.4	0.3



STORM DRAIN PROFILE
SCALE
1"=30' HORIZ.
1"=3' VERT.

NO.	DATE	REVISIONS	SHEET
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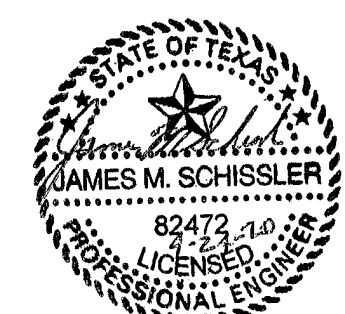
RIVER STREET HOTEL & HOMES
60 EAST AVENUE, AUSTIN, TX 78701

PROPOSED DRAINAGE MAP



5110 LANCASTER COURT, AUSTIN, TX 78723 FIRM REG # F12469
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

SCALE: 1"=20'
JOB NO: A379-001
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SITE PLAN APPROVAL SHEET 08 OF 18
FILE NUMBER: SP-2019-0465C APPLICATION DATE: 10-21-2019
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Director, DEVELOPMENT SERVICES DEPARTMENT
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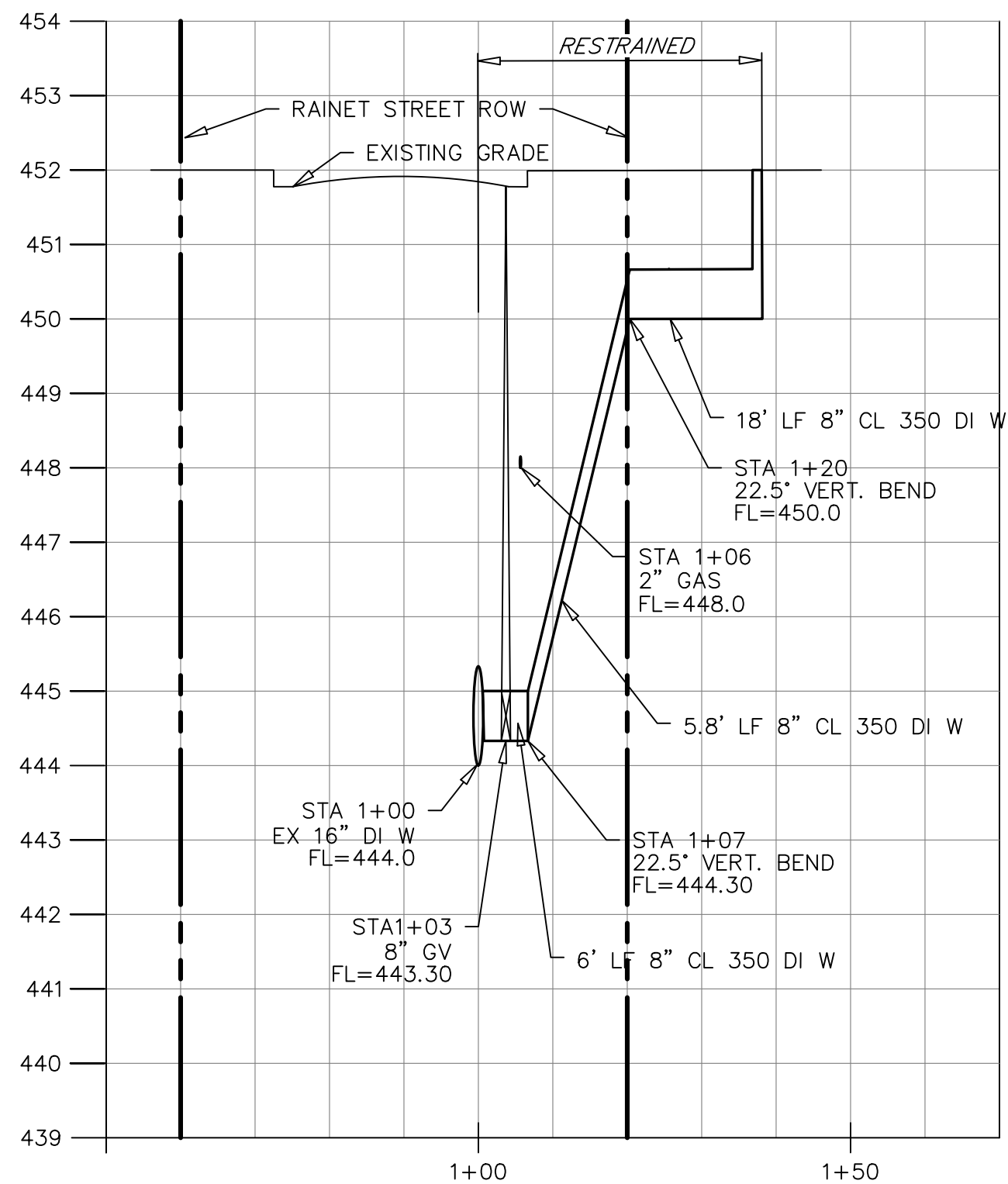
SHEET NO.
08
OF 18

WATER PROFILE 2

SCALE

1"=20' H

1"=2' V

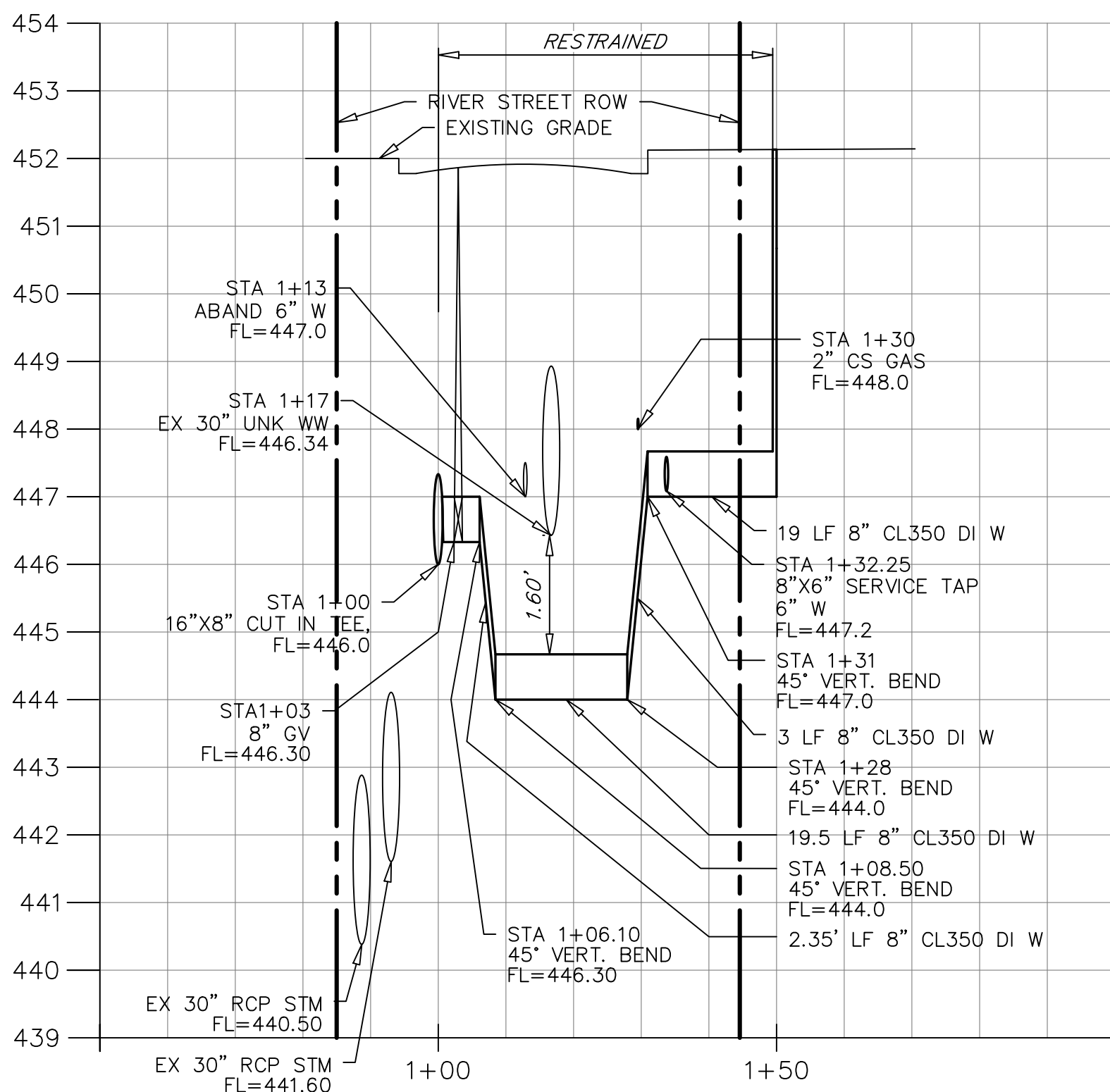


WATER PROFILE 1

SCALE

1"=20' H

1"=2' V



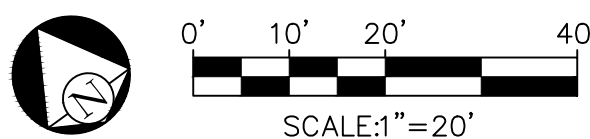
NOTE:
UNDERGROUND MAINS SUPPLYING NFPA 13 SPRINKLER SYSTEMS MUST BE
INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 13, AND THE FIRE
CODE, BY A LICENSED SPRINKLER CONTRACTOR WITH A PLUMBING PERMIT.
THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME,
UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.

EXISTING LEGEND

- FIRE HYDRANT W/ GATE VALVE
- WATERLINE W/ GATE VALVE
- WATERLINE W/ DOUBLE SERVICE
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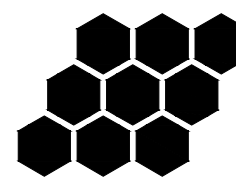


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WATER & WASTEWATER PLAN & PROFILES



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SITE PLAN APPROVAL SHEET 09 OF 18
FILE NUMBER: SP-2019-0465C APPLICATION DATE: 10-21-2019
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SHEET NO.

09

OF 18