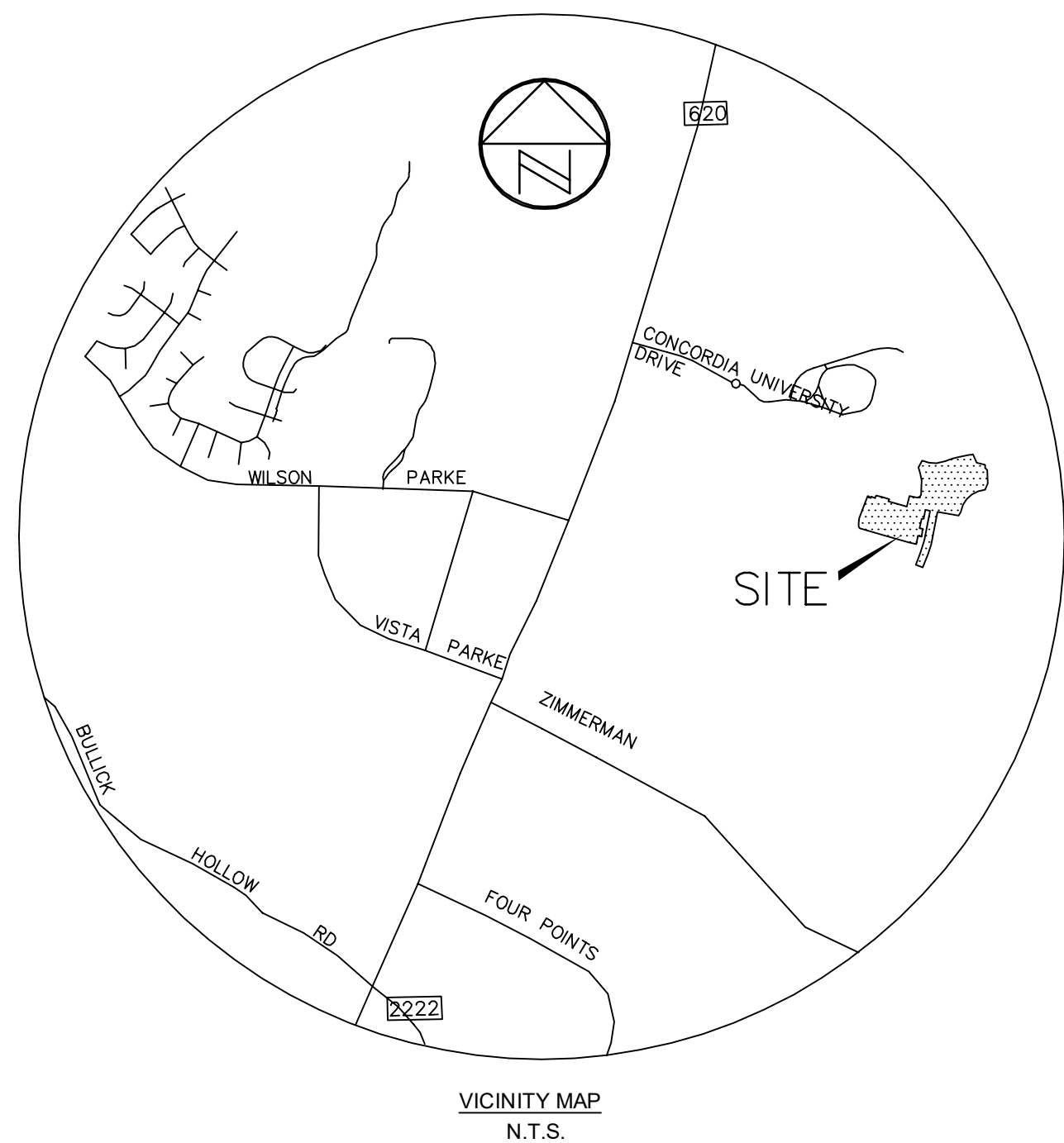


Legend:

- — — — — PROPERTY LINE
- - - - - LIMITS OF CONSTRUCTION



CONTEXT MAP

Concordia University Residence Hall

July 2020

Kimley»»Horn

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY TOPOGRAPHY, UTILITIES, CONTACT WITH THE CITY, ETC.



October 20, 2020

City of Austin
Planning and Development Review Department
505 Barton Springs Road
Austin, TX 78767

**Re: Variance Request Letter – Fill
Concordia University Residence Hall - Site Plan Application SP-2020-0038C
11400 Concordia University Drive
Austin, Texas 78726**

To Whom It May Concern:

INTRODUCTION

Please accept this letter as a request for a variance to the Lake Austin Ordinance #840301-F, Sections 9-10-409(A) and 9-10-409(B) for a max fill of +/- 8.75 ft for the above referenced project.

PROJECT DESCRIPTION

The Concordia University Texas campus is an existing campus located at 11400 Concordia University Drive in northwest Austin, Texas and Travis County. The existing property is approximately 383 acres including approximately 250 acres of preserve land. The campus has existing improvements including buildings, athletic facilities, private drives, underground utilities storm drains, stormwater ponds, and auxiliary improvements.

The proposed campus improvements include a 4-story residence hall building, associated parking lot, outdoor amphitheater area, pedestrian improvements, two water quality and detention ponds, and associated site improvements. This project is located within the Bull Creek Watershed, classified as a Water Supply Suburban Watershed. The site is located within the Edwards Aquifer Recharge Zone according to the City of Austin GIS. Critical water quality zones, water quality transition zones, and critical environmental features are located on the southern and eastern portion of the site. No development will occur in these locations. The terrain is heavily wooded and has some grass cover.



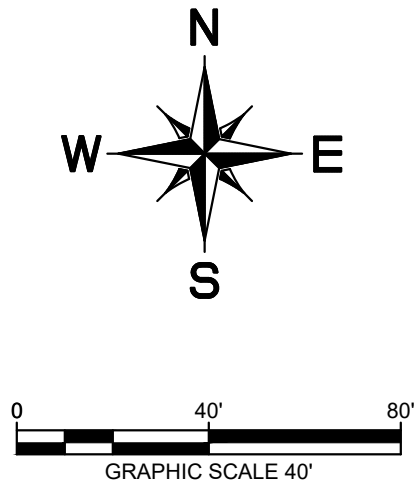
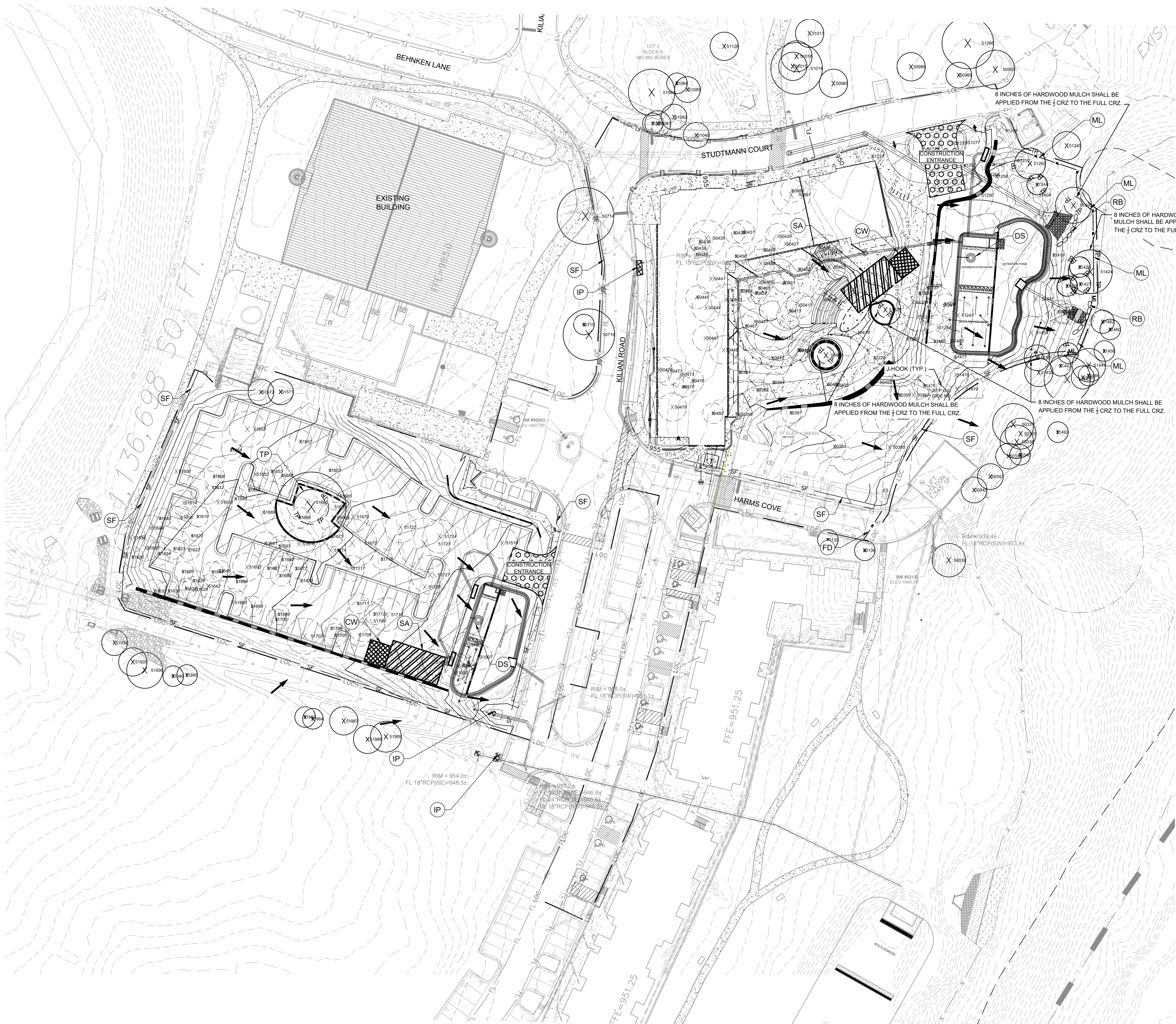
No requests for a variance to CEF buffers, WQTZ or CWQZ areas are being requested. If you have any questions or comments regarding this request, please contact me at 512-271-6314.

Sincerely,

A handwritten signature in blue ink that reads "Brandon Z. Hammann".

Brandon Hammann, P.E., LEED AP
Project Manager

Plotted By: Jack, Date: July 27, 2020, 08:14:44am, File Path: K:\AUS_Civil\0692229503_Corcordia Master Plan\0692223300_RESIDENCE HALL\0692223300_EROSION AND SEDIMENTATION CONTROL AND TREE PROTECTION PLAN.dwg
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF CONSTRUCTION
	SILT FENCE - SEE DETAIL ON SHEET 11.
	CONSTRUCTION ENTRANCE - SEE DETAIL ON SHEET 11.
	STAGING AND SPOILS AREA
	CONCRETE WASHOUT PIT - SEE DETAIL ON SHEET 11.
	TREE PROTECTION - SEE DETAIL ON SHEET 11.
	INLET PROTECTION - SEE DETAIL ON SHEET 11.
	TRIANGULAR FILTER DIKE - SEE DETAIL ON SHEET 11.
	DEWATERING SKIMMER - SEE DETAIL ON SHEET 11.
	MULCH SOCK - SEE DETAIL ON SHEET 11
	TREE TO REMAIN
	TREE TO BE REMOVED

NOTES:

1. REFER TO EROSION AND SEDIMENTATION CONTROL AND TREE PROTECTION DETAILS, SHEET 11.
2. ALL TREES 8" AND GREATER IN SIZE HAVE BEEN SURVEYED. ONLY THOSE TREES 19" AND LARGER ARE CONSIDERED PROTECTED PER ORDINANCE NO. 63-0324-N, AND CROSS-REFERENCED IN THE PDA ORDINANCE FOR THIS PROPERTY (850131-Q).
3. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS. CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
4. CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE, OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
5. THE ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS [LDC 25-6-183].
6. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(A) OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
7. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMPs SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADEING ACTIVITIES. OTHER BMPs SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED.
8. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
9. BMPs HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
10. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS MAY BE REQUIRED BY THE CITY DURING CONSTRUCTION.
11. IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING [ECM 1.4.4.B.3, SECTION 5.1].
12. THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY [ECM 1.4.4.D.4].
13. USE J-HOOKS WHERE SILT FENCE CANNOT BE INSTALLED PARALLEL TO THE EXISTING CONTOURS.
14. THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY. [ECM 1.4.4.D.4].
15. INLET PROTECTION GEOTEXTILE FABRIC SHALL MEET THE SPECIFICATIONS LISTED IN SECTION 1.4.5.9, INLET PROTECTION, OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE TCEQ CONTRACTOR SHALL COMPLY WITH ALL TCEQ STORMWATER POLLUTION PREVENTION REQUIREMENTS.
17. INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO INSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ONTO A PUBLIC ROADWAY THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF SITE SEDIMENTATION. PERIODIC RE-GRAIDINGS OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE DEVICES.
18. EROSION CONTROL DEVICES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
19. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS FOR THIS PROJECT, AND NCTCOG SPECIFICATIONS. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY/COUNTY ENGINEERING DIVISION.
20. IF THE EROSION CONTROL PLAN APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
21. OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED AS PART OF THE PROJECT SITE, AND MUST ALSO COMPLY WITH THE EROSION CONTROL REQUIREMENTS FOR THIS PROJECT. THIS INCLUDES THE INSTALLATION OF BMPs TO CONTROL OFFSITE SEDIMENTATION AND THE ESTABLISHMENT OF PERMANENT GROUND COVER ON DISTURBED AREAS PRIOR TO FINAL APPROVAL OF THE PROJECT.
22. IN ORDER TO COMPLY WITH THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY AND ALL OTHER AGENCIES HAVING JURISDICTION, THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION OR POLLUTION DEVICES, AS REQUIRED, DURING CONSTRUCTION. FILING OF N.O.I. (PER TCEQ REQUIREMENTS) SHALL BE RESPONSIBILITY OF THE CONTRACTOR AND THE OWNER.
23. TREES PROPOSED TO BE PRESERVED MUST MEET THE FOLLOWING CRITERIA:
 - A MINIMUM OF 50% OF THE CRITICAL ROOT ZONE MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER.
 - CUT OR FILL IS LIMITED TO 4 INCHES FROM THE 1/2 CRITICAL ROOT ZONE TO THE 1/2 CRITICAL ROOT ZONE; AND
 - NO CUT OR FILL IS PERMITTED WITHIN THE 1/2 CRITICAL ROOT ZONE.
24. CONTRACTOR SHALL MAINTAIN THE DEWATERING SYSTEM TO ENSURE PERFORMANCE. IF THE DEWATERING SYSTEM IS NOT PERFORMING, THE CONTRACTOR MUST IMMEDIATELY MAKE THE NECESSARY MODIFICATIONS, FOLLOWING THE ENVIRONMENTAL INSPECTOR'S DIRECTION TO ENSURE ADEQUATE SYSTEM PERFORMANCE. CONTRACTOR SHALL PROVIDE THE DEWATERING PLAN AT THE PRECONSTRUCTION MEETING.
25. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY SEDIMENT TRANSPORTED FROM THE LOC TO THE OFFSITE DETENTION/WATER QUALITY POND(S).
26. NO AREAS IN EXCESS OF 2:1 SLOPES ARE ANTICIPATED POST-CONSTRUCTION.

BENCHMARKS

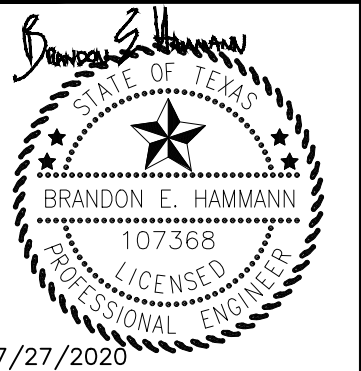
- BM #50003 MAG NAIL SET IN TOP OF CURB ON A CIRCULAR MEDIAN LOCATED AT THE INTERSECTION OF TWO DRIVEWAYS 81' NORTHWEST OF A FLAG POLE AND 361' NORTHWEST OF A WASTEWATER MANHOLE.
- ELEV. =957.97' (NAVD '88)
- BM #52122 MAG NAIL SET IN THE MIDDLE OF A CONCRETE WALL SOUTH ON THE LIFT STATION 25+ SOUTH OF A STORM SEWER MANHOLE ON A CURB INLET AND 471'2" SOUTHEAST OF A WASTEWATER MANHOLE.
- ELEV. =940.28' (NAVD '88)

SITE PLAN APPROVAL SHEET 10 OF 43	
FILE NUMBER	SP-2020-0038C APPLICATION DATE 1/31/2020
APPROVED BY COMMISSION ON	UNDER SECTION 112 OF
CHAPTER 25-5	OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81.LDC)	CASE MANAGER JEREMY SILTALA
PROJECT EXPIRATION DATE (ORD#970905-A)	DWPZ DDZ
Director, Development Services Department	
RELEASED FOR GENERAL COMPLIANCE: ZONING R&D-PDA	
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.	



NO.	REVISIONS	DATE	BY

Kimley»Horn
10814 JOLLYVILLE ROAD AVALON IV SUITE 200 AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-1791
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TPE Firm No. 928



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
069229503	JULY 2020	AS SHOWN	JCL	JCL	BEH

EROSION AND SEDIMENTATION CONTROL AND TREE PROTECTION PLAN

CONCORDIA UNIVERSITY
RESIDENCE HALL
CITY OF AUSTIN
TRAVIS COUNTY, TEXAS