



# Residential New Construction and Addition Permit Application

[DevelopmentATX.com](http://DevelopmentATX.com) | Phone: 311 (or 512-974-2000 outside Austin)  
For submittal and fee information, see [austintexas.gov/digitaldevelopment](http://austintexas.gov/digitaldevelopment)

*Download application before entering information.*

Property Information				
Project Address:		Tax Parcel ID:		
Legal Description:				
Zoning District:		Lot Area (sq ft):		
Neighborhood Plan Area (if applicable):		Historic District (if applicable):		
Required Reviews				
Is project participating in <b>S.M.A.R.T. Housing</b> ? Y N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)		Does project have a <b>Green Building</b> requirement? Y N (If yes, attach signed conditional approval letter from Austin Energy Green Building)		
Is this site within an <b>Airport Overlay Zone</b> ? Y N (If yes, approval through Aviation is required)		Does this site have a <b>septic system</b> ? Y N (If yes, submit a copy of approved septic permit. <b>OSSF review</b> required)		
Does the structure <b>exceed 3,600 square feet</b> total under roof?		Y	N	(If yes, <b>Fire review</b> is required)
Is this property within 200 feet of a <b>hazardous pipeline</b> ?		Y	N	(If yes, <b>Fire review</b> is required)
Is this site located within an <b>Erosion Hazard Zone</b> ? Y N (If yes, <b>EHZ review</b> is required)		Is this property within 100 feet of the <b>100-year floodplain</b> ? Y N (Proximity to floodplain may require additional review time.)		
Are there trees <b>19" or greater in diameter on/adjacent</b> to the property? <b>If yes</b> , how many? ____ (Provide plans with a tree survey, <b>tree review</b> required.)		Y	N	
Was there a pre-development consultation for the Tree Review?		Y	N	Proposed impacts to trees: (Check all that apply) Root zone Canopy Removal None/Uncertain
Is this site in the <b>Capital View Corridor</b> ? Y N (If yes, a preliminary review through land use is needed to determine if full view corridor review is required.)		Is this site within the <b>Residential Design and Compatibility Standards Ordinance Boundary Area</b> ? (LDC 25-2 Subchapter F) Y N		
Does this site currently have: water availability? Y N wastewater availability? Y N		(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)		
Does this site have or will it have an auxiliary water source? (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)		Y	N	(If yes, submit approved auxiliary and potable plumbing plans.)
Does this site require a <b>cut or fill</b> in excess of four (4) feet?		Y	N	(If yes, contact the Development Assistance Center for a Site Plan Exemption)
Is this site within the Waterfront Overlay? (LDC 25-2 Subchapter C Article 3)		Y	N	Is this site within the Lake Austin Overlay? (LDC 25-2-180, 25-2-647)
Does this site front a paved street? (If no, contact Development Assistance Center for Site Plan requirements.)		Y	N	Is this site adjacent to a paved alley? (Public Works approval required to take access from a public alley.)
Does this site have a <b>Board of Adjustment (BOA)</b> variance? (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)		Y	N	Case # _____ (if applicable)
Description of Work				
Is Total New/Added Building Area > 5,000 sq. Ft.?		Y	N	(If yes, construction material recycling is required per LDC 25-11-39)
Existing Use:	vacant	single-family residential	duplex residential	two-family residential other: _____
Proposed Use:	vacant	single-family residential	duplex residential	two-family residential other: _____
Project Type:	new construction	addition	addition/remodel	other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? (Notes: Removal of all or part of a structure requires a Demolition Permit Application per LDC 25-11-37. A demo permit is not required for the removal of all or part of an interior wall, floor or ceiling)		Y	N	
# existing bedrooms:	# bedrooms upon completion:		# baths existing:	# baths upon completion:
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) _____ _____				
Trade Permits Required (Check as applicable):		electric	plumbing	mechanical (HVAC) concrete (R.O.W.)



## Subchapter F

### Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

		Existing sq. ft. to remain	New/Added sq. ft.	Proposed Exemption (check article utilized)	Applied Exemption sq. ft.	Total sq. ft.
1 <sup>st</sup> Floor						
2 <sup>nd</sup> Floor						
3 <sup>rd</sup> Floor						
Area w/ ceilings > 15'				Must follow article 3.3.5		
Ground Floor Porch <sup>1</sup> (check article utilized)				<input type="checkbox"/> Full Porch sq. ft. (3.3.3.A) <input type="checkbox"/> 200 sq. ft. (3.3.3 A 2)		
Basement <sup>4</sup>				Must follow article 3.3.3B, see note below		
Attic <sup>5</sup>				Must follow article 3.3.3C, see note below		
Garage <sup>2</sup> (check article utilized)	Attached			<input type="checkbox"/> 200 sq. ft. (3.3.2 B 1)		
	Detached			<input type="checkbox"/> 450 sq. ft. (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq. ft. (3.3.2 B 2a / 2b)		
Carport <sup>2</sup> : (check article utilized)	Attached			<input type="checkbox"/> 450 sq. ft. (3.3.2 A 3) <input type="checkbox"/> 200 sq. ft. (3.3.2 B 1) <sup>3</sup>		
	Detached			<input type="checkbox"/> 450 sq. ft. (3.3.2 A 1)		
Accessory Building(s) (detached)						
Totals				TOTAL GROSS FLOOR AREA		

(Total Gross Floor Area ÷ Lot Area) x 100 = \_\_\_\_\_ Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project?      Y      N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")?      Y      N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**1 Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**2 Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

3Ordinance article 3.3.2 B 1 is 200 sq. ft. exemption may be combined with a 450 sq. ft. exemption. Otherwise only one 450 exemption or one 200 sq. ft. exemption may be taken.

**4 Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**5 Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area over 5 feet has a ceiling height of seven feet or less.

ARCHITECT:  
 JOBE CORRAL ARCHITECTS  
 CAMILLE JOBE, AIA  
 505 W. 38TH STREET, STE B  
 AUSTIN, TX 78705  
 512.499.1591

NOTES:

LEGAL DESCRIPTION:  
 LOT 6, BLOCK 9, ROSEDALE-B, A  
 SUBDIVISION IN TRAVIS COUNTY,  
 TEXAS, ACCORDING TO THE MAP OR  
 PLAT THEREOF RECORDED IN  
 VOLUME 3, PAGE 191, PLAT  
 RECORDS, TRAVIS COUNTY, TEXAS.

LEGEND:

-  (E) WALL TO REMAIN
-  (E) WALL TO BE DEMOLISHED

ISSUE:

PRICING SET 10.30.2019  
 PERMIT SET 09.30.2020



PROJECT:

RAMSEY PARK GARAGE  
 4310 ROSEDALE AVE  
 AUSTIN, TX

PROJECT NUMBER:

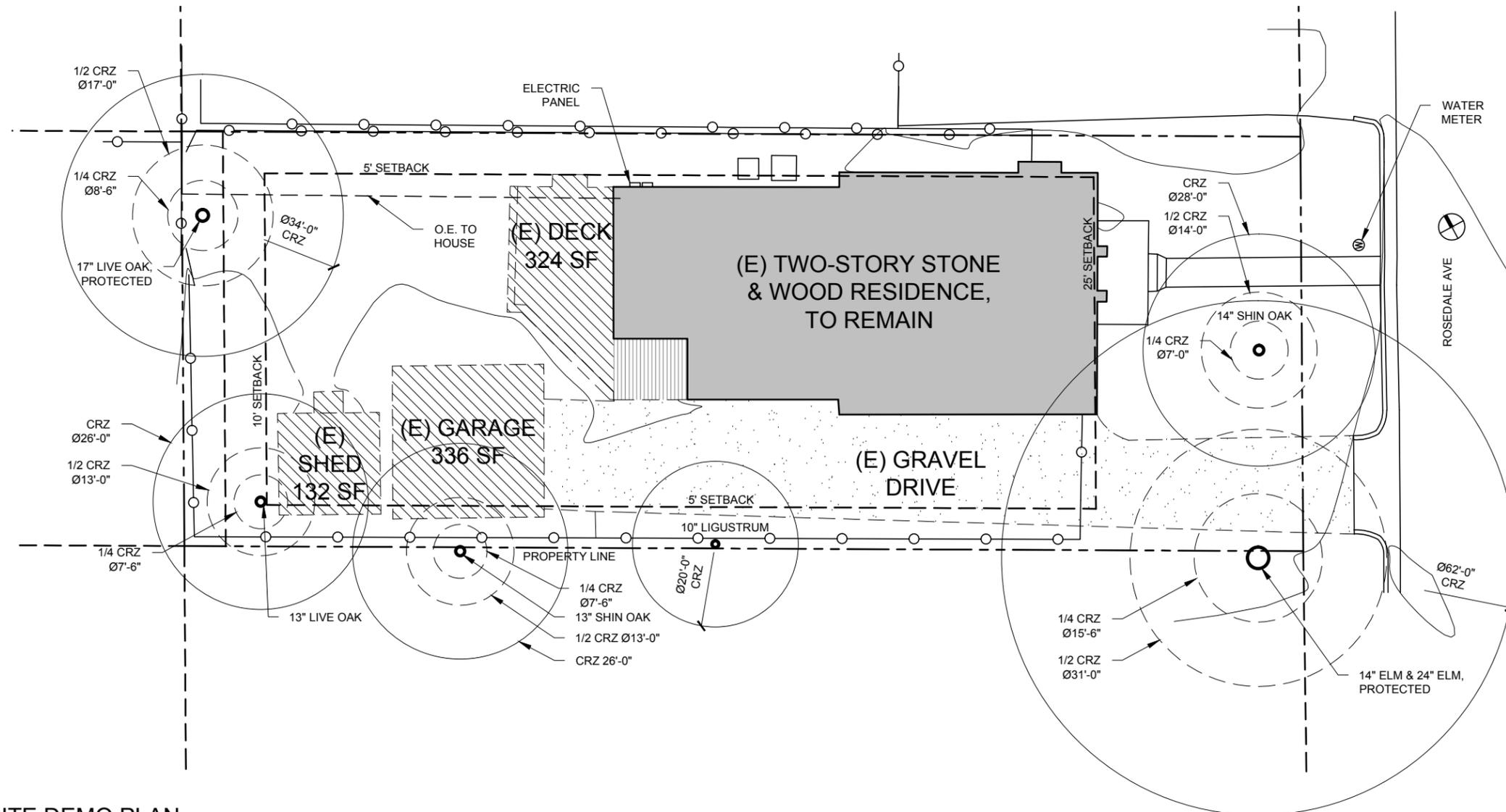
1816

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
 HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
 WORK OF THE ARCHITECT AND MAY NOT BE  
 DUPLICATED, USED OR DISCLOSED WITHOUT THE  
 WRITTEN CONSENT OF THE ARCHITECT.

NORTH:  SCALE:  
 1/16"=1'-0"

SITE DEMO PLAN

**D1.00**



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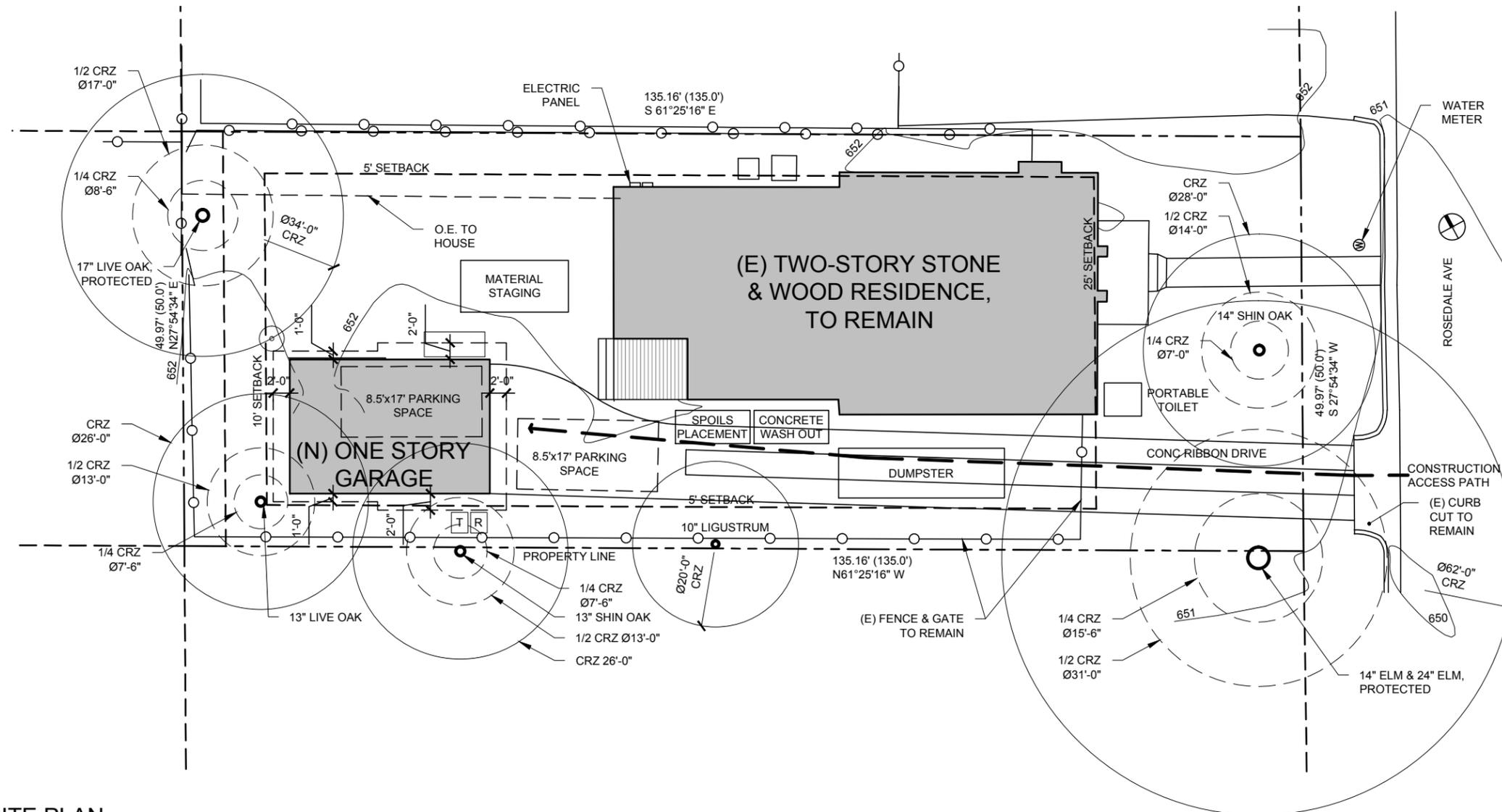
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SITE PLAN

A1.00



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100'-0" ELEVATION = 652'-6" CONTOUR

LEGEND:

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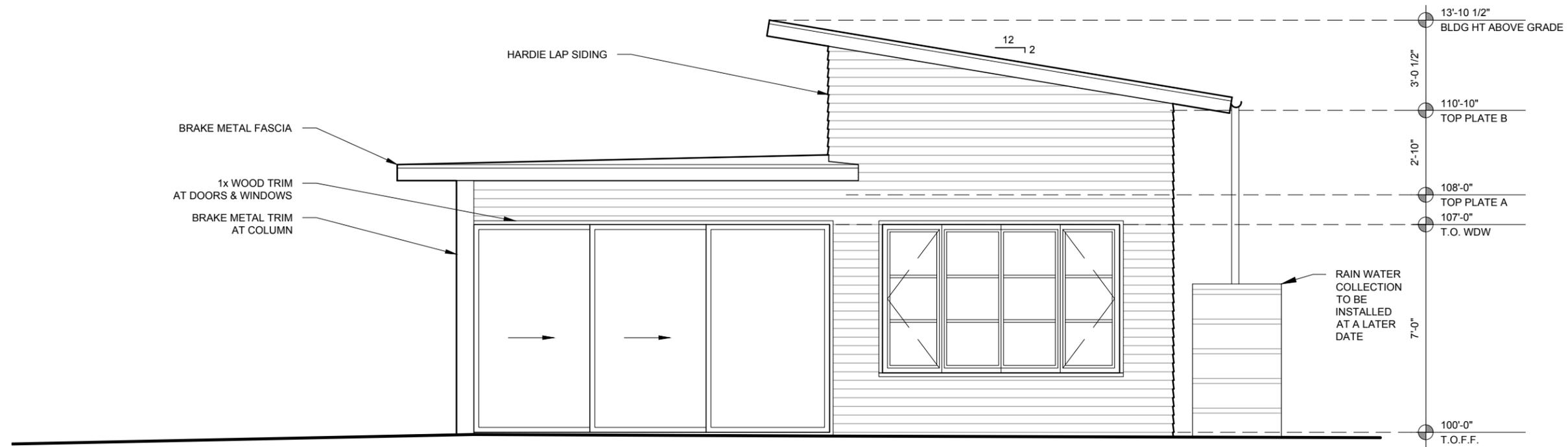
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NORTH: SCALE:  
 1/4"=1'-0"

EXTERIOR ELEVATIONS

**A3.00**



**2** EXTERIOR ELEVATION - NORTH



**1** EXTERIOR ELEVATION - EAST

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AUSTIN, TX 78705  
512.499.1591

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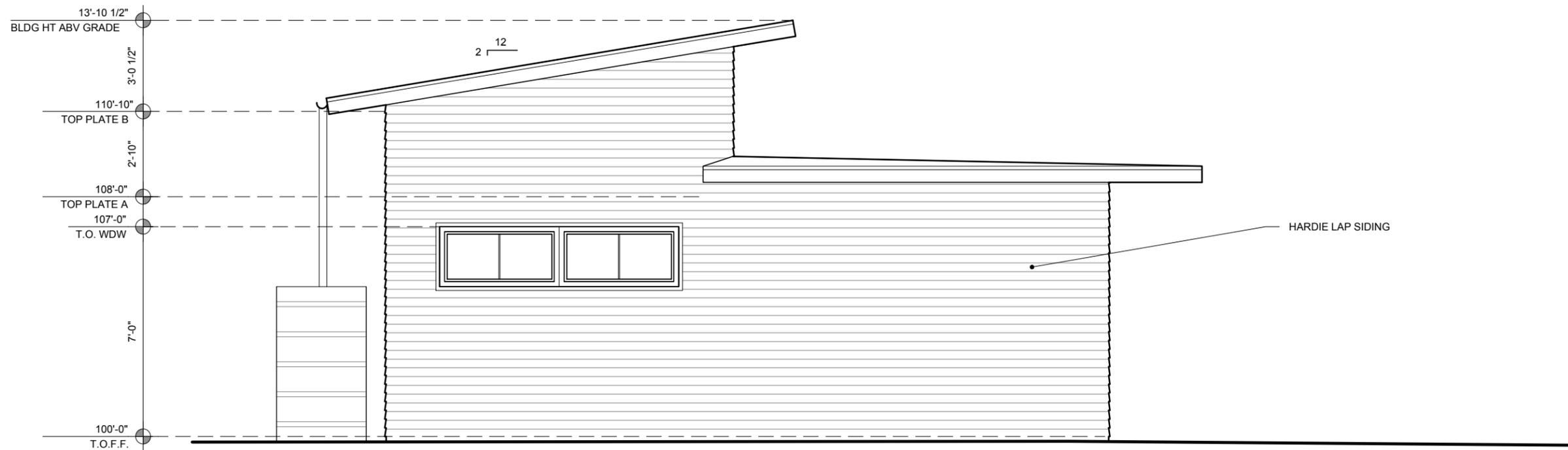
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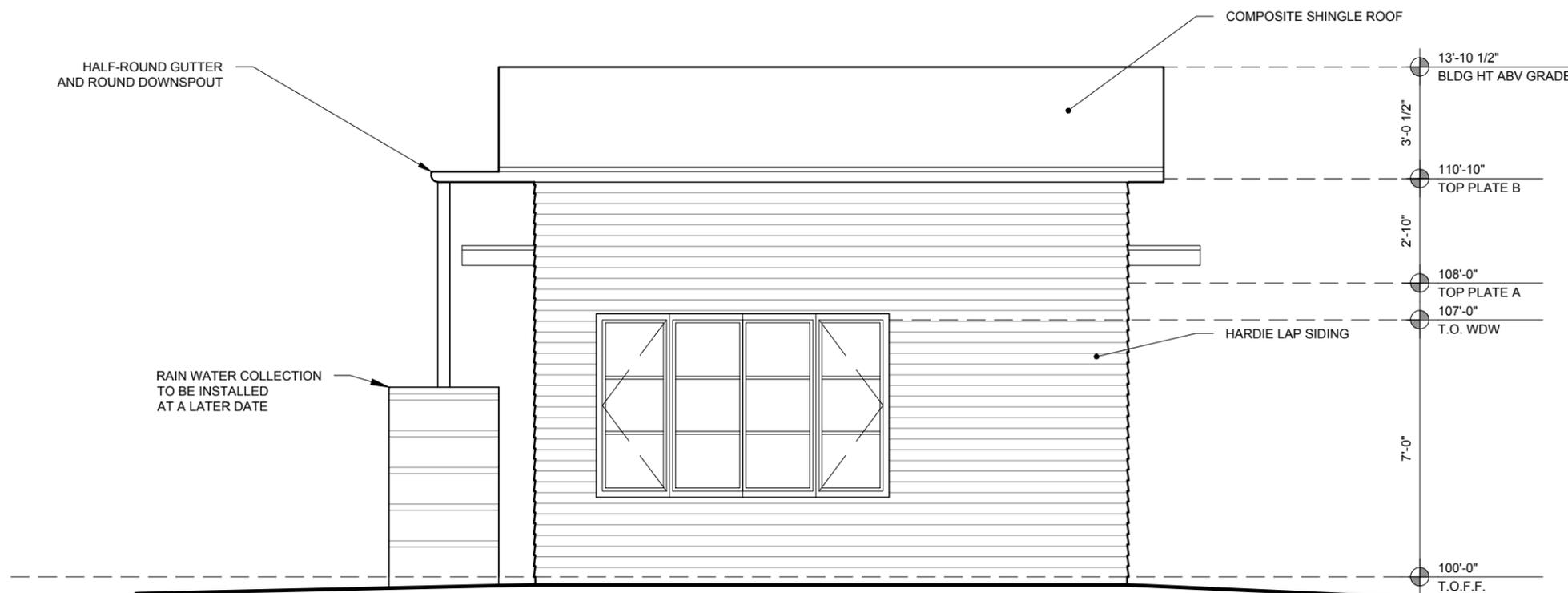
NORTH: SCALE:  
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EXTERIOR ELEVATIONS

**A3.01**



**2** EXTERIOR ELEVATION - SOUTH



**1** EXTERIOR ELEVATION - WEST

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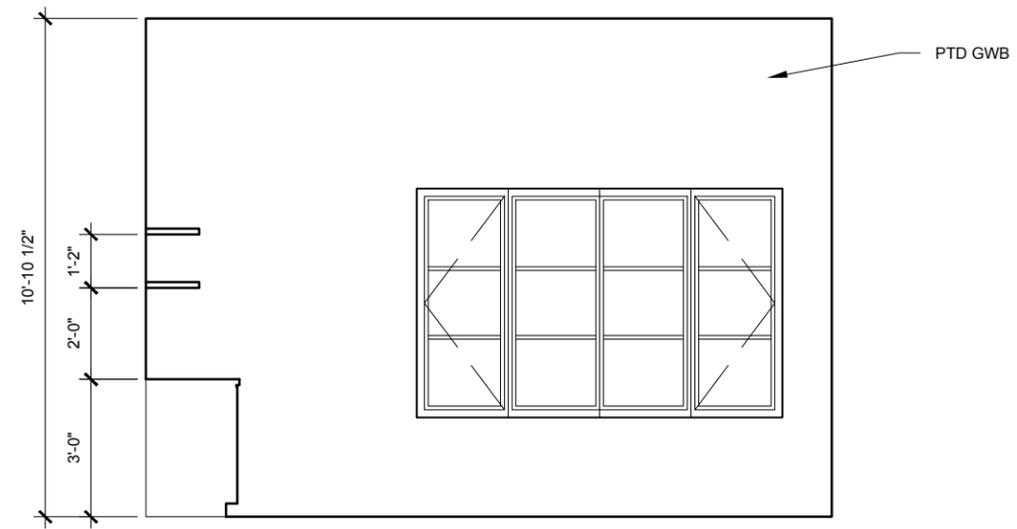
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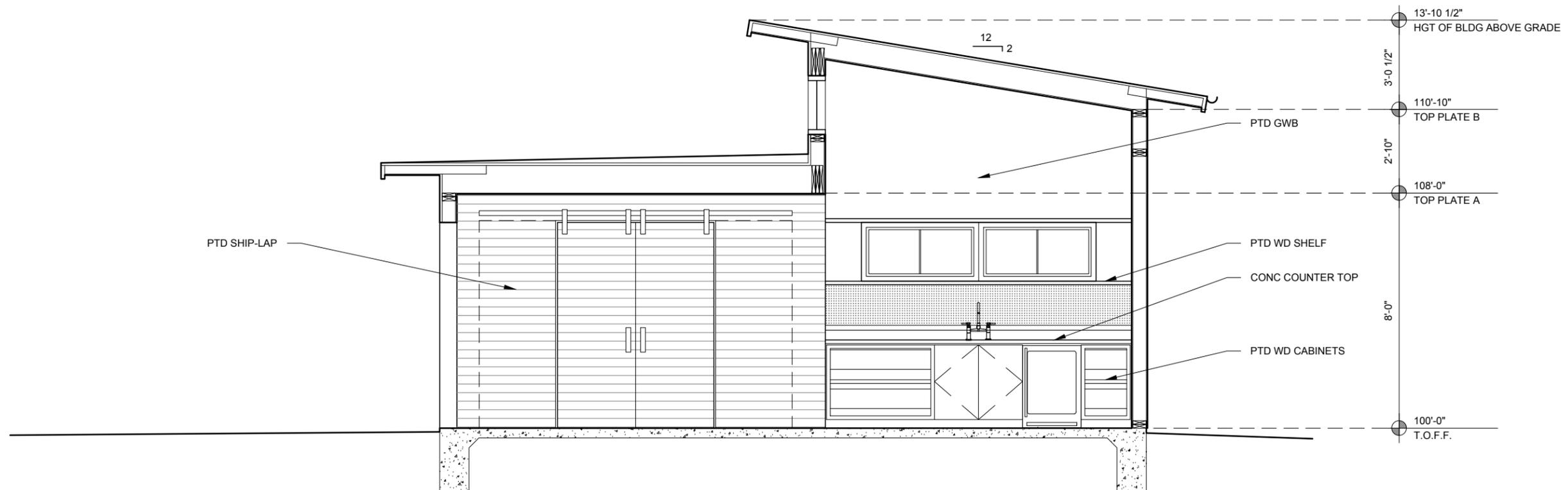
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BUILDING SECTION  
 & INTERIOR ELEVATIONS

**A4.00**



**2** INTERIOR ELEVATION



**1** BUILDING SECTION