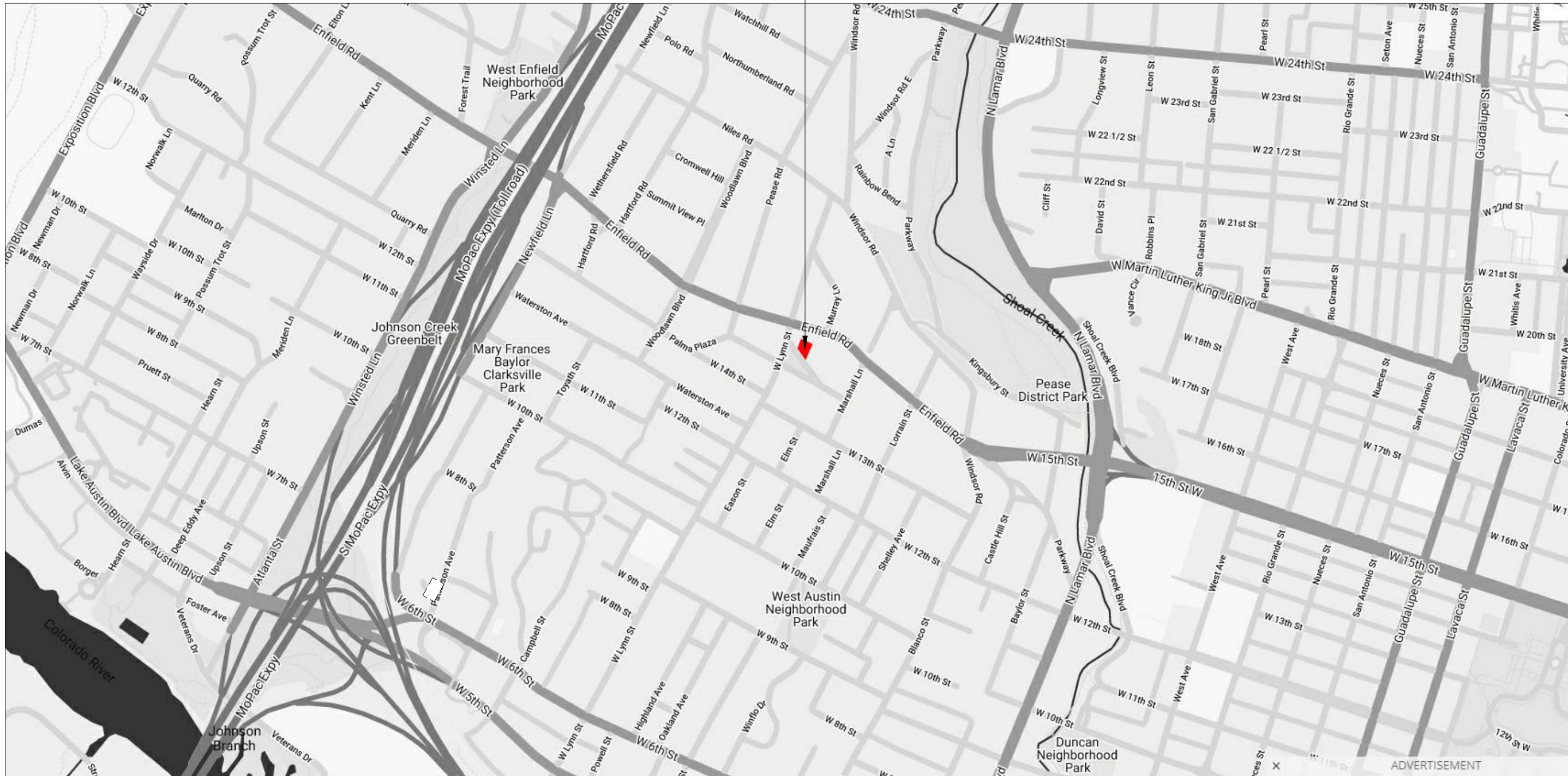


# 1510 Palma Plaza



project location: 1510 palma plaza | austin, texas 78703



## Historic Commision Review Set - 21 Dec 2020



reach architects

1107 south 8th street  
austin, texas 78704  
512.970.5669

GENERAL PROJECT NOTES	
1.	FIELD VERIFY DIMENSIONS PRIOR TO START OF THE WORK.
2.	DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
3.	NOTIFY ARCHITECT OR OWNER OF ANY DISCREPANCIES OR NONCOMPLIANCE FOUND IN THE DRAWINGS PRIOR TO PROCEEDING WITH CONSTRUCTION OR ORDERING OF MATERIALS.
4.	THESE DRAWINGS ARE INTENDED TO COMPLY W/ THE 2015 INTERNATIONAL RESIDENTIAL CODE, & ANY APPLICABLE LOCAL REGULATIONS AND/OR LOCAL DEED RESTRICTIONS. CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL COMPLY W/ ALL APPLICABLE CODES.
5.	CONTRACTOR AND HIS/HER SUBCONTRACTORS ACCEPT FULL RESPONSIBILITY TO ENSURE THAT DRAWINGS ARE CODE COMPLIANT. CONTRACTOR SHALL ACCEPT FULL LIABILITY FOR ANY CHANGES MADE TO THE DRAWINGS W/ OUT VERIFYING W/ THE ARCHITECT.
6.	ARCHITECT IS GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (512) 458-1363.
7.	THESE DRAWINGS DO NOT SPECIFY ANY ACTUAL MATERIALS, FINISHES, PAINT COLORS, FIXTURES, APPLIANCES, OR EQUIPMENT. CONTRACTOR SHALL COORDINATE THE SELECTION OF THESE ITEMS W/ THE OWNER AND SHALL ACCEPT FULL RESPONSIBILITY FOR PROPER DETAILING & INSTALLATION OF THESE ITEMS.
8.	ALL STANDARD ASSEMBLIES, MATERIALS, FINISHES, PAINT COLORS, FIXTURES, APPLIANCES, & EQUIPMENT SHALL BE CONSTRUCTED AND/OR INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS & ANY APPLICABLE CODES.
9.	ARCHITECT IS NOT RESPONSIBLE FOR MEANS & METHODS OF CONSTRUCTION OF THAT WHICH IS NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ALL ASPECTS OF CONSTRUCTION.
10.	ALL ASSEMBLIES MATERIALS, FINISHES, FIXTURES, APPLIANCES, & EQUIPMENT TO BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL PAYMENT, IN ADDITION TO ALL INDUSTRY STANDARD WARRANTIES.
11.	CONTRACTOR SHALL PROVIDE ALL LABOR SERVICES, EQUIPMENT, & MATERIALS REQUIRED FOR THE COMPLETE INSTALLATION OF THE ASSEMBLIES, MATERIALS, FINISHES, FIXTURES, APPLIANCES, & EQUIPMENT NOTED IN THESE DRAWINGS.
12.	THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS PROGRAMS NECESSARY FOR THE COMPLETION OF THE WORK.
13.	CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS/HER OPERATIONS PRIOR TO COMMENCING WORK.
14.	CONTRACTOR ACCEPTS FULL RESPONSIBILITY TO SUBMIT & SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS, & CERTIFICATES OF COMPLIANCE AS REQUIRED. CONTRACTOR ACCEPTS FULL RESPONSIBILITY TO ENSURE THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN APPROVED & OBTAINED PRIOR TO THE START OF WORK.
15.	DURING CONSTRUCTION OF THE WORK, CONTRACTOR SHALL MAINTAIN A CLEAN & ORDERLY WORK AREA AT ALL TIMES.
16.	UPON COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAR THE SITE OF ANY MATERIAL DEBRIS, & CLEAN UP ANY BUILDING OR SITE AREAS AFFECTED BY CONSTRUCTION.
17.	THESE DRAWING DO NOT SHOW TYPICAL DETAILING AND/OR WATERPROOFING.
18.	THE DESIGN & SIZING OF ALL STRUCTURAL MEMBERS (INCLUDING FOUNDATION) IS THE RESPONSIBILITY OF THE ENGINEER CHOSEN BY THE CONTRACTOR/OWNER.
19.	VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.

Sheet List	
Sheet Number	Sheet Name
A000	cover sheet
A001	architectural site plan
A002	subchapter f elevations
A004	3D views
A101	first floor plan
A102	second floor plan
A103	third floor / attic plan
A104	roof plan
A201	building elevations
A202	building elevations

## 1510 palma plaza review set

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alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21

project number 1114

Drawn by ack

Checked by mbc

cover sheet

# A000



SITE DEVELOPMENT INFORMATION							
AREA DESCRIPTION	SQ. FT	Existing SF to Remain		New/Added SF		Total SF	
		UNIT A	UNIT B	UNIT A	UNIT B	UNIT A	UNIT B
1st floor conditioned area *		0	0	876	878	876	878
2nd floor conditioned area (@6')		0	0	878	905	878	905
3rd floor conditioned area (@6')		0	0	581	606	581	606
basement		0	0	0	0	0	0
covered parking - garage or carport *		0	0	199	200	199	200
covered patio, deck, porch &/or balcony area *		0	0	75	336	75	336
other covered or roofed area (overhang > 3') *		0	0	0	0	0	0
uncovered wood deck (counted @ 100%)		0	0	0	0	0	0
TOTAL BUILDING AREA	0	0	2,609	2,925	2,609	2,925	5,534
pool		0	0	0	0	0	0
spa		0	0	0	0	0	0
remodeled floor area, excluding addition/new		0	0	0	0	0	0
TOTAL BUILDING COVERAGE	* included in TOTAL BUILDING COVERAGE				1,150	1,414	2,564
driveway					268		268
sidewalks					166		166
uncovered patio					812		812
uncovered wood decks (counted @ 50%)							0
AC pads and other flatwork					18		18
other (pool coping, retaining walls)					0		0
TOTAL IMPERVIOUS COVER		Site Area: 8,842 sf x 0.45 = 3,979 sf allowed				43.29%	3,828

SITE PLAN NOTES

- PRIOR TO START OF DEMOLITION & CONSTRUCTION, CONTRACTOR SHALL PROVIDE & INSTALL EROSION CONTROL BARRIERS AS REQUIRED.
- UPON COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAR THE SITE OF ANY MATERIAL DEBRIS, & CLEAN UP ANY BUILDING OR SITE AREAS AFFECTED BY CONSTRUCTION.
- EXTERIOR HVAC EQUIPMENT SHALL BE SCREENED IN COMPLIANCE W/ ANY CITY OF AUSTIN REGULATIONS AND/OR LOCAL DEED RESTRICTIONS.
- EXISTING TREES SHALL BE MAINTAINED, UNLESS NOTED OTHERWISE.
- BUILDER TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
- VERIFY METER & UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM ALL DRIVEWAY, WALKWAY & PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS & PATIOS.
- GARBAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.
- CONTRACTOR TO PROVIDE LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHTS.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- TREES TO BE REMOVED SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- 1ST FLOOR POWDER BATH MUST QUALIFY AS A VISITABLE BATHROOM  
A. CLEAR DOOR OPENING MUST BE 30"  
B. LATERAL 2X6 BLOCKING MUST BE INSTALLED ALONG WALLS WITH CENTERLINE 34" ABOVE FINISHED FLOOR  
C. PROVIDE 30' X 30' CLEAR FLOOR SPACE
- VISITABLE NO STEP ENTRANCE TO HAVE BEVELED THRESHOLD OF 1/2" OR LESS AND CLEAR DOOR WIDTH OF AT LEAST 32"
- SPOT GRADE ELEVATIONS REFERENCE THE LOWER ELEVATION BETWEEN EXISTING AND NEW

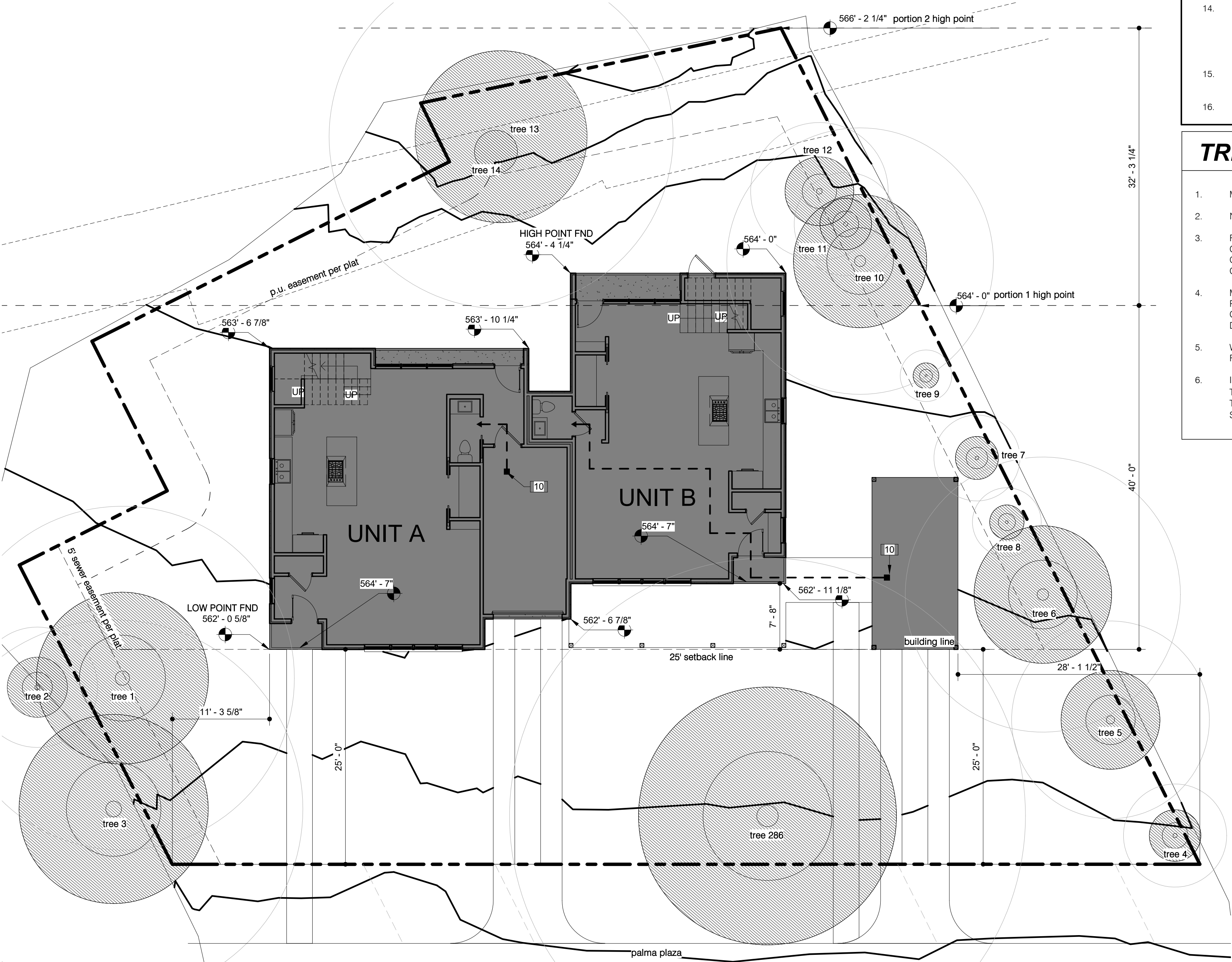
TREE PROTECTION NOTES:

- MULCH TRAFFIC AREA AND SET PROTECTIVE FENCING AROUND TREES IN CRITICAL ROOT ZONE
- NO CONSTRUCTION STAGING WITHIN CRITICAL ROOT ZONES.
- FOOTINGS WITHIN CRITICAL ROOT ZONES TO BE EXCAVATED USING AN AIR SPADE BY A CERTIFIED ARBORIST ON SITE AND USING PRESCRIBED SOIL TREATMENT. IF ANY ROOTS 1.5" OR GREATER ARE ENCOUNTERED DURING EXCAVATION, FOOTING MUST BE MOVED TO AVOID ROOT CONTACT ENGINEER FOR DIRECTION OF SHIFT.
- MATERIAL STAGING, DUMPSTER AND SPOILS PLACEMENT CANNOT BE WITHIN THE 1/2 CRZ OF ANY PROTECTED TREES. PORTABLE TOILET AND CONCRETE WASHOUT CANNOT BE WITHIN THE FULL CRZ OF ANY PROTECTED TREES. COORDINATE EXACT LOCATIONS WITH TREE INSPECTOR DURING PRECONSTRUCTION MEETING.
- WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
- IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.

TREE LIST

1	20"	Pecan
2	7"	Hackberry
3	22"	Live Oak
4	6"	Crape Myrtle
5	11.5"	Crape Myrtle
6	16"	Crape Myrtle
7	5"	Crape Myrtle
8	4"	Live Oak
9	3"	Live Oak
10	15.5"	Hackberry
11	6"	Cedar Elm
12	8"	Hackberry
13	20"	Pecan
14	5"	Red Bud
286	30"	Cedar Elm

Keynote Legend - Visiblity	
Key Value	Keynote Text
10	Visitable exterior route per (R320.7): maintain slope less than 1:20 and cross slope of less than 1:50. Any ramp included in an exterior Visitable route must comply with the Residential Code.



1 architectural site plan  
1/8" = 1'-0"



reach architects

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austin, texas 78704  
512.970.5669

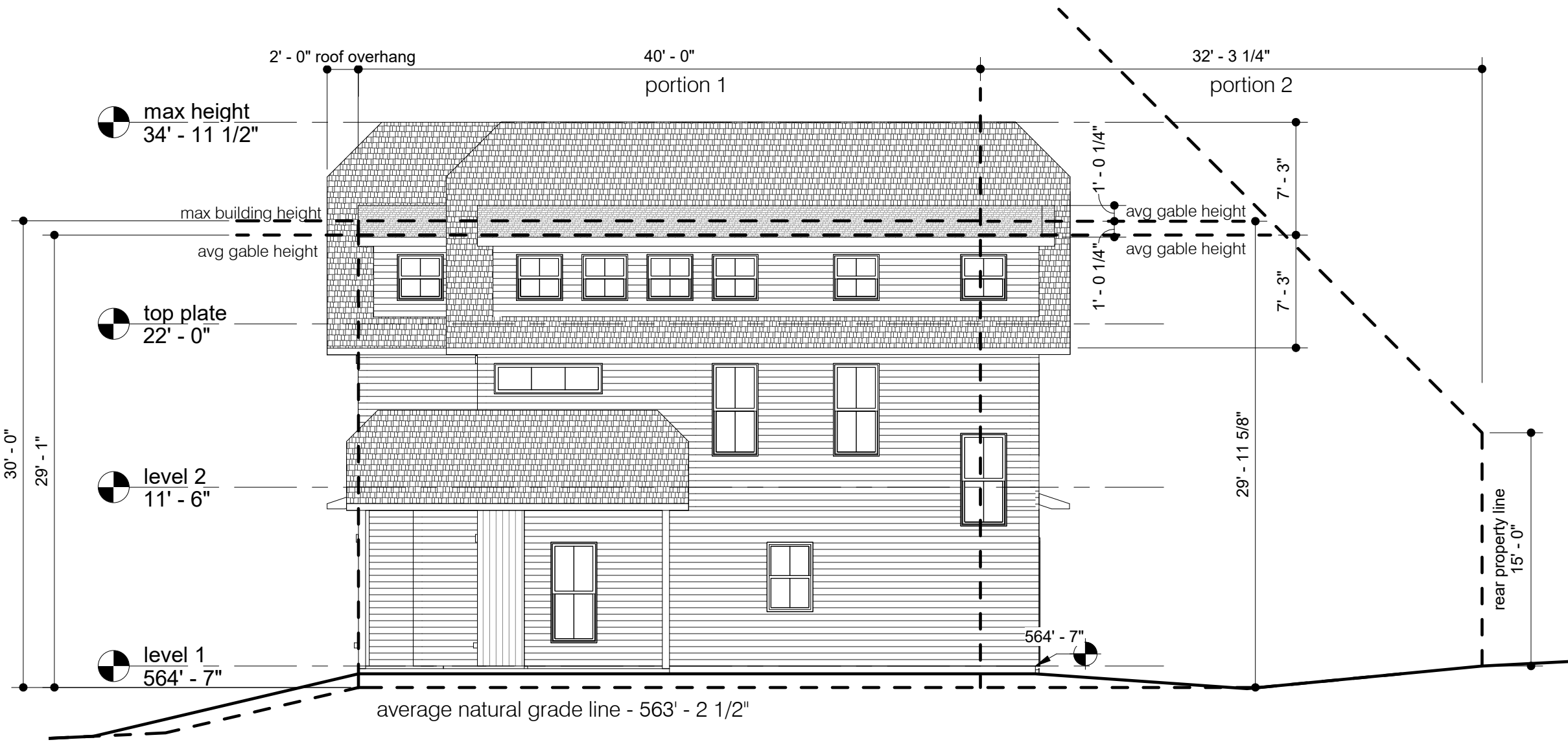
GROSS FLOOR AREA - SUBCHAPTER F (calc. to exterior face of bldg.)						
AREA DESCRIPTION		Existing SF to remain	UNIT A	UNIT B	Proposed Exemption	Applied Exemption
1st floor conditioned area			876	878	-----	-----
2nd floor conditioned area - 5' aff			878	905	-----	-----
3rd floor conditioned area - 5' aff			-----	-----	-----	-----
area w/ ceilings > 15'			-----	-----	-----	-----
Ground Floor Porch			75	249	full porch	324
Basement			-----	-----	-----	-----
Attic			824	874	attic	1,698
Garage	attached		199	xxx	garage	199
	detached		xxx	xxx	-----	-----
Carport	attached		xxx	xxx	-----	-----
	detached		xxx	200	carport	200
Accessory building(s)			-----	-----	-----	-----
Totals			2,858	3,106	TOTAL GROSS FLOOR AREA	3,537
F.A.R. - (3,537 allowed) - total gross floor area/lot size x 100 = 40%						

LOT Area - 8,842sf x 0.4 = 3,537sf

NOTE:  
ALL AREAS MEASURED TO THE OUTSIDE FACE OF THE EXTERIOR FINISH MATERIAL.



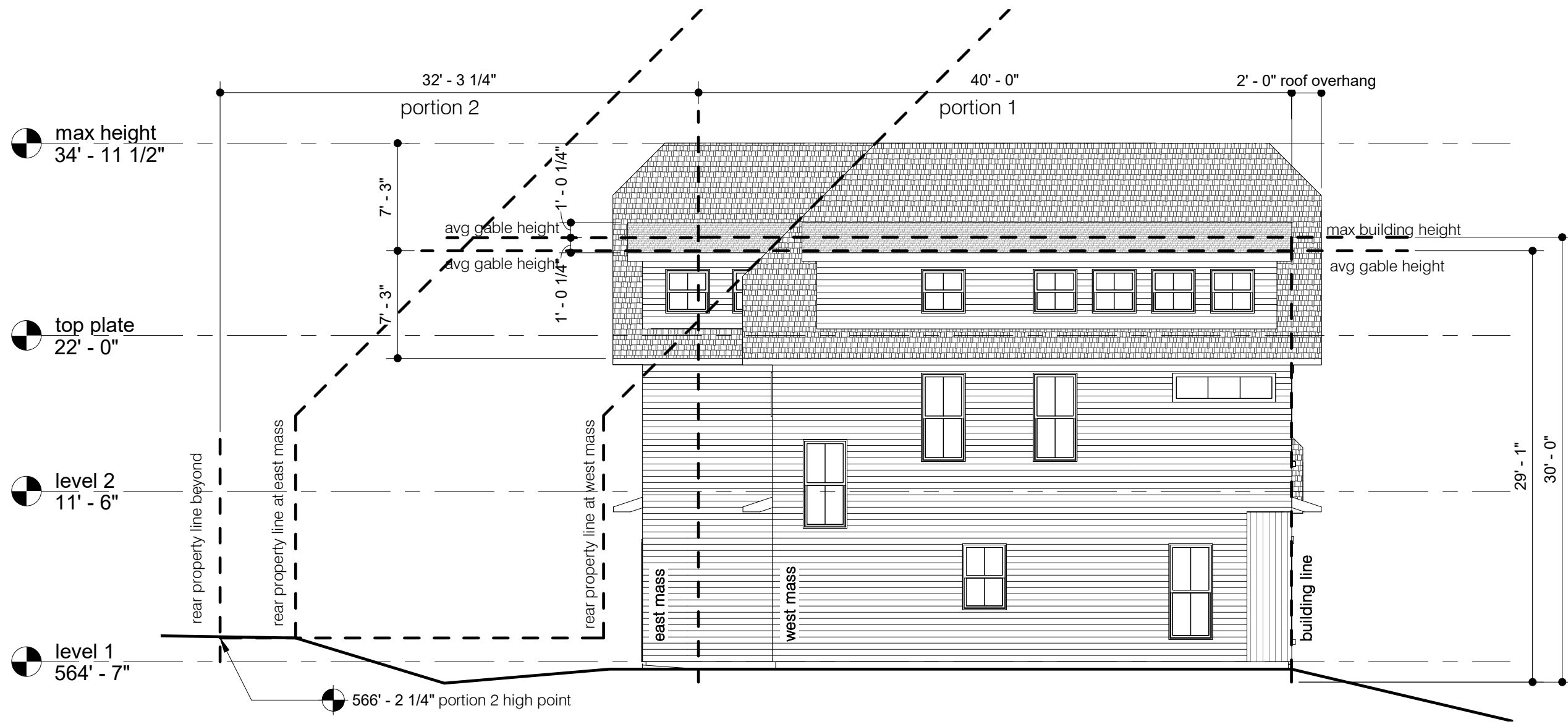
1 north w/ McMansion tent  
1/8" = 1'-0"



2 east w/ McMansion tent  
1/8" = 1'-0"



3 south w/ McMansion tent  
1/8" = 1'-0"



4 west w/ McMansion tent  
1/8" = 1'-0"

## 1510 palma plaza review set

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alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21

project number 1114

Drawn by tr

Checked by ack

subchapter f elevations

# A002



3D VIEW NOTES

1.

THIS SHEET FOR REFERENCE ONLY, NOT FOR CONSTRUCTION.

2.

GRADE NOT SHOWN.

1510

palma

plaza

review set

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alan knox, aia

# 21945

2020.12.21

No.	Description	Date

Date

2020.12.21

project number

1114

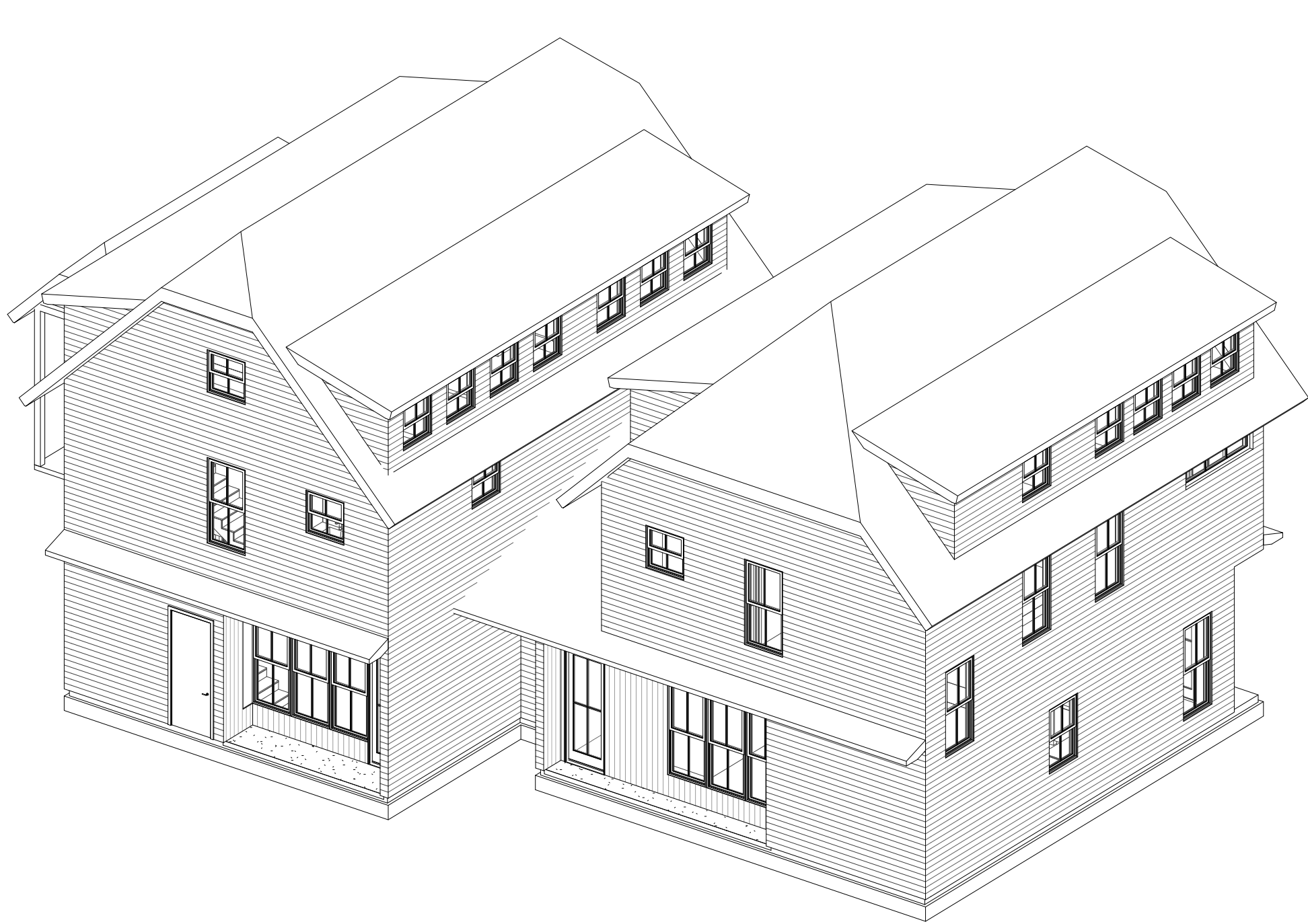
Drawn by

tr

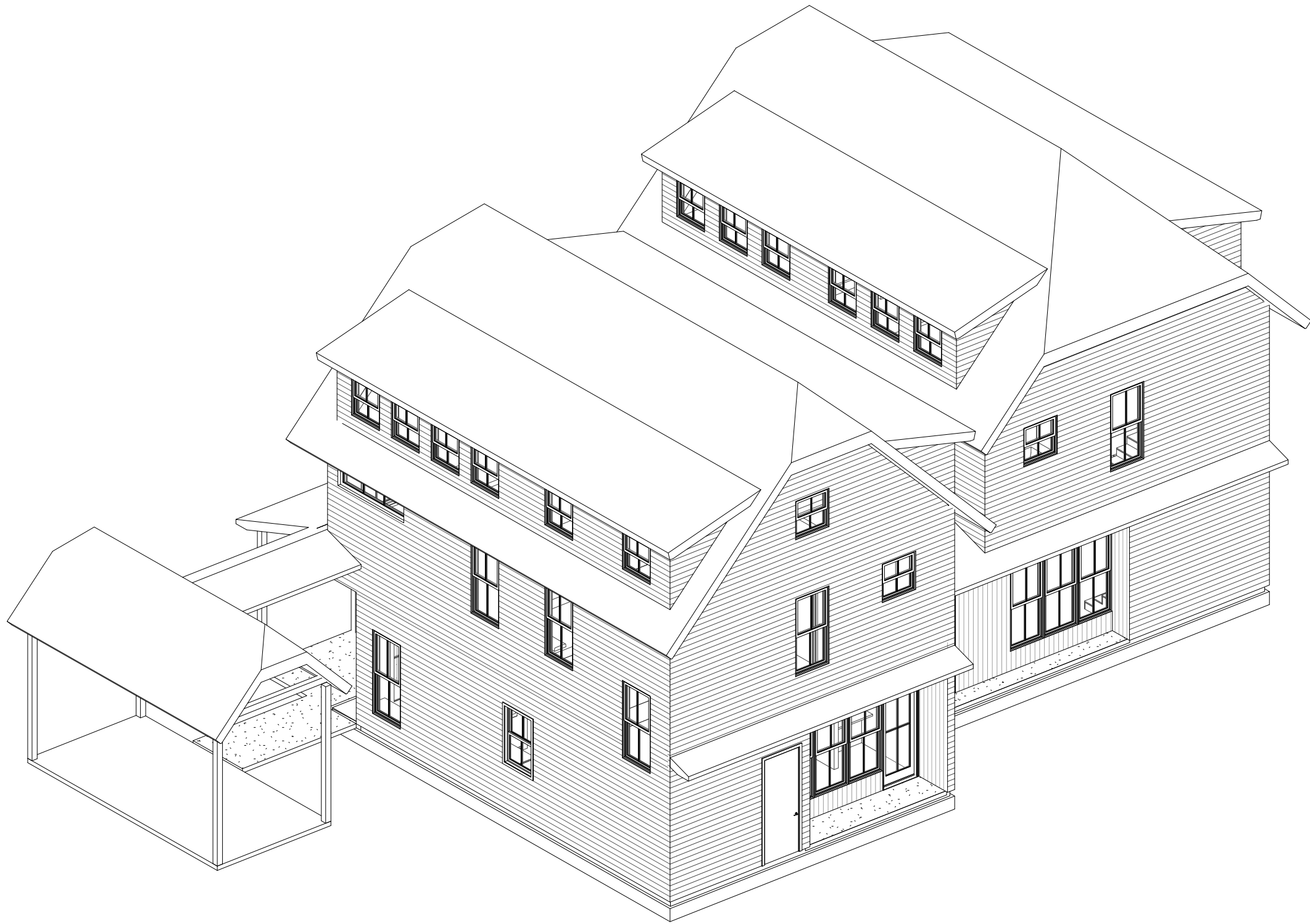
Checked by

ack

3D views



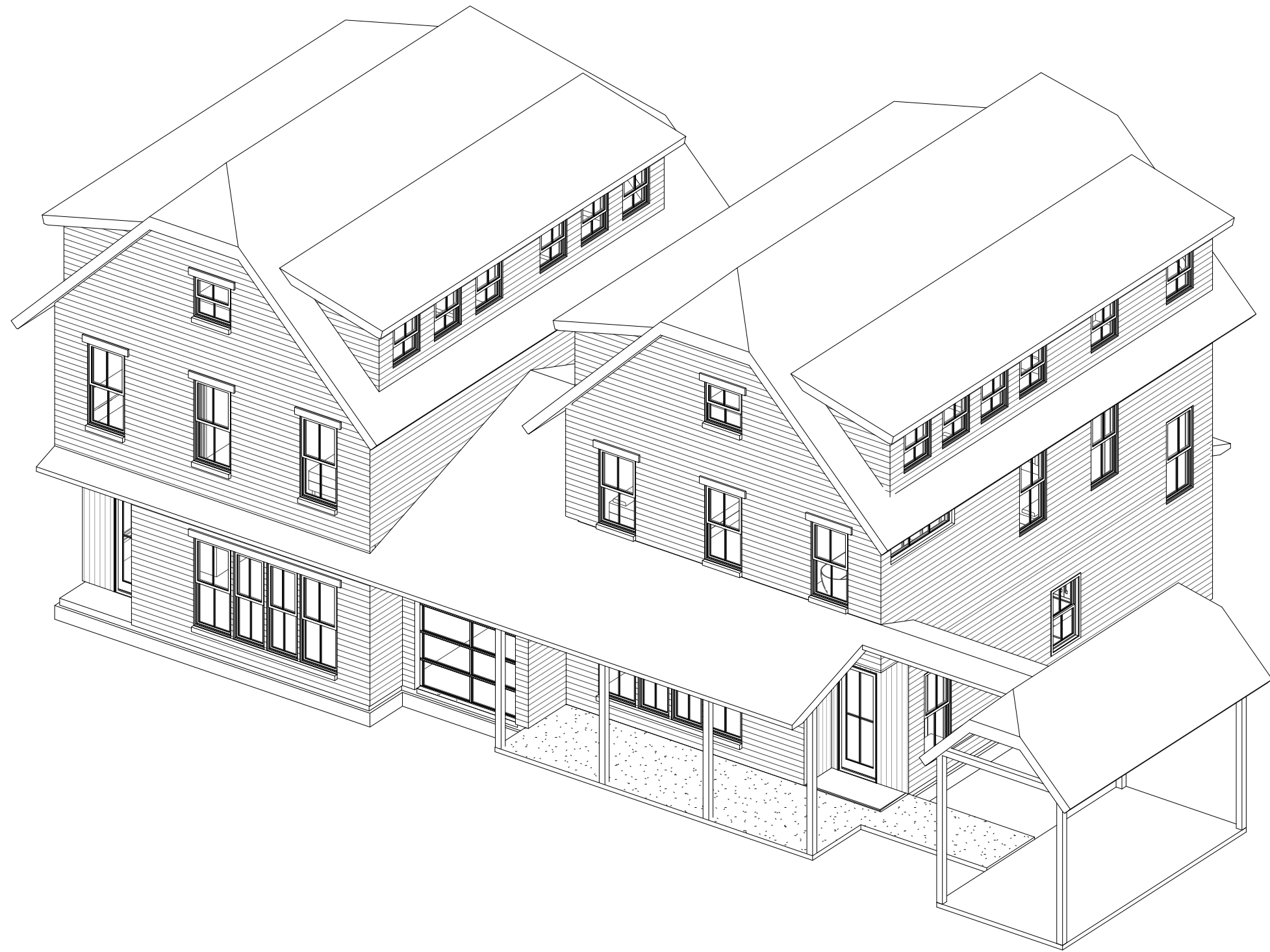
4 northwest



3 northeast

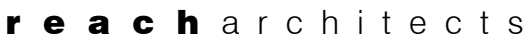


2 southwest



1 southeast





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alan knox, aia # 21945

2020.12.21

Date 2020.12.21

project number 1114

Drawn by tr

Checked by \_\_\_\_\_ ack \_\_\_\_\_

# A104

1. FIELD VERIFY DIMENSIONS PRIOR TO START OF THE WORK.
2. DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
3. ALL WINDOWS & DOORS ARE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR SPECS.
4. ALL PLUMBING EQUIPMENT IS DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED.
5. FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR, THE WALL SHALL BE A MINIMUM OF 12" UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
6. SHOWER HEADS SHALL BE MOUNTED 7'-0" A.F.F. UNLESS NOTED OTHERWISE.
7. INTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS AT 16" O.C., EXCEPT AT PLUMBING WALLS OR POCKET DOOR WALLS, 2X6 STUDS SHALL BE USED.
8. ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2X6 STUDS, THEY MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C.
9. ALL DIMENSIONS SHOWN ON THIS PLAN ARE FROM STRUCTURAL FACE TO STRUCTURAL FACE, UNLESS NOTED OTHERWISE.

1. FIELD VERIFY DIMENSIONS PRIOR TO START OF THE WORK.
2. DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
3. WINDOWS & DOORS SHALL HAVE TEMPERED GLASS OR LAMINATED SAFETY GLASS AS PER APPLICABLE CODES. CONTRACTOR TO COORDINATE W/ MANUFACTURERS.
4. CONTRACTOR SHALL COORDINATE W/ WINDOW MANUFACTURER TO VERIFY EGRESSIBLE WINDOWS ARE INSTALLED WHERE REQUIRED BY CODE.
5. ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
6. GENERIC SINKS & APPLIANCES SHOWN. COORDINATE ACTUAL SIZE, STYLE & LOCATION W/ OWNER.
6. GENERIC MILLWORK SHOWN. COORDINATE FINAL MILLWORK DESIGN & ACCOMPANYING HARDWARE W/ OWNER
7. PROVIDE CONTROL & EXPANSION JOINTS AS REQUIRED IN CONCRETE FLOORS, DRIVES, WALKS & PATIOS.
8. PROVIDE WEATHERSEALS & SILLS AT ALL EXTERIOR DOOR THRESHOLDS.
9. FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR, THE DROP SHALL BE A MINIMUM OF 1/2". UNLESS NOTED OTHERWISE, CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
10. SHOWER HEADS SHALL BE MOUNTED 7'-0" A.F.F. UNLESS NOTED OTHERWISE.
11. ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS AT 16" O.C., EXCEPT AT PLUMBING WALLS OR POCKET DOOR WALLS.
12. ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
13. ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. GLAZING USED IN DOORS AND PANELS OF SHOWER ENCLOSURES SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
14. THESE DOCUMENTS REFLECT NOMINAL WINDOW SIZES, UNLESS NOTED OTHERWISE.
15. PROVIDE BLOCKING FOR CEILING FANS AS REQUIRED.
16. BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS
17. WEATHERSTRIP ATTIC ACCESS DOORS.
18. ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2X6 STUDS, THEY MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C.
19. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
20. PROVIDE BLOCKING AND/OR PROPER SUPPORT FOR SHOWER BENCHES.
21. GC TO PROVIDE CODE COMPLIANT MANUFACTURED SPIRAL STAIR; COORDINATE LOCATIONS & CONFIGURATION WITH OWNER.

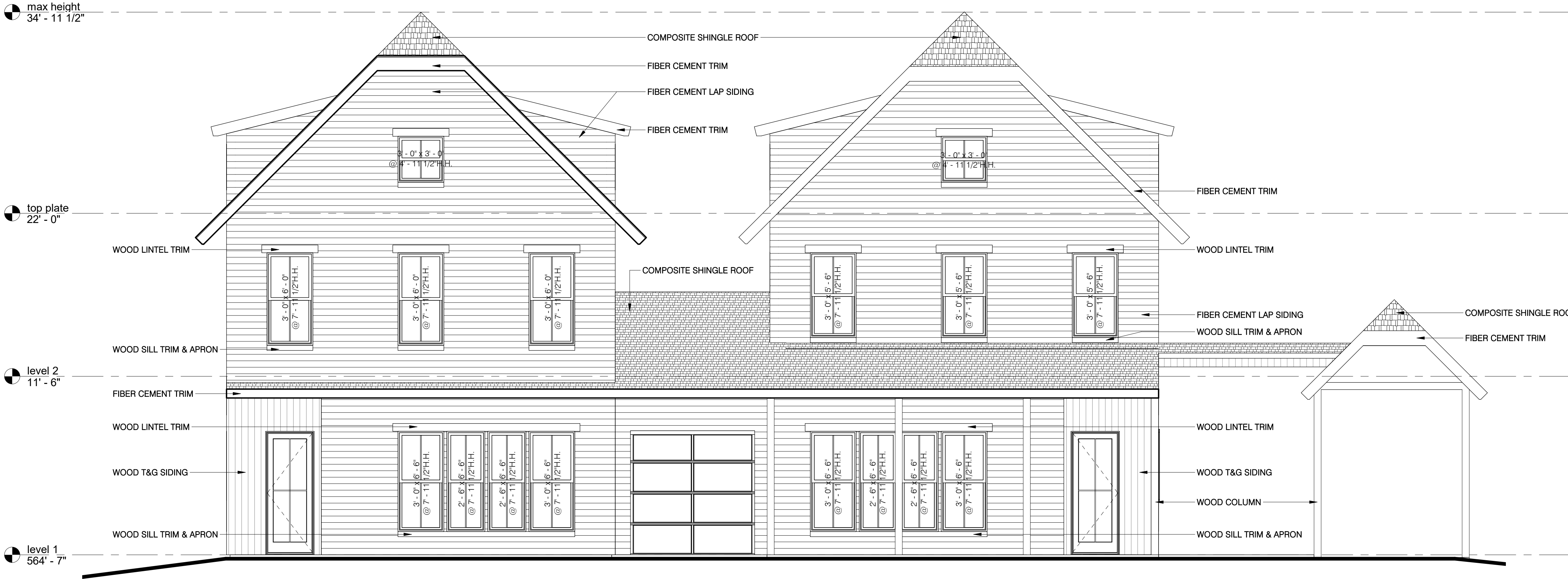
1. ROOF PITCHES AS NOTED ON DRAWINGS.
2. ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
3. ALL EXTERIOR OPENINGS SHALL BE LOAD BEARING.
4. CONTRACTOR AND HIS/HER SUBCONTRACTORS ACCEPT FULL RESPONSIBILITY TO ENSURE THAT BUILDING IS CODE COMPLIANT.
5. CONTRACTOR SHALL ACCEPT FULL LIABILITY FOR ANY CHANGES MADE TO THE DRAWINGS W/ OUT VERIFYING W/ THE ARCHITECT.
6. THE DESIGN & SIZING OF ALL STRUCTURAL MEMBERS IS THE RESPONSIBILITY OF THE ENGINEER CHOSEN BY THE CONTRACTOR/OWNER.
7. RIDGES & VALLEYS TO BE FRAMED ONE SIZE LARGER THAN RAFTERS.
8. ALL OVERHANGS TO BE 3" FROM THE FRAME WALL UNLESS NOTED OTHERWISE.
9. WHEN ENGINEERED TRUSSES ARE USED, TRUSS DESIGN & SPACING SHALL BE PER ENGINEER'S SPECIFICATIONS.
10. ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS. IF WALLS OVER 10'-0" IN HEIGHTS ARE NOT BUILT WITH 2X6 STUDS, THEY MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C.
11. IN VENTED ROOF ASSEMBLIES PROVIDE 1 S.F. NET FREE AREA OF ATTC VENTILATION PER 150 S.F. OR TOTAL COVERED ROOF AREA AS PER CODE.
12. U.N.O. ALL INTERIOR WALLS OF ONE STORY PLAN TO BE LOAD BEARING.
13. REFERENCE ALSO BUILDING ELEVATIONS, BUILDING SECTIONS, WALL SECTIONS, AND DETAILS.

Key Value	Keynote Text
-----------	--------------

① roof plan  
1/4" = 1'-0"

12/21/2020 3:46:58 PM





① south elevation  
1/4" = 1'-0"



② north elevation  
1/4" = 1'-0"

### BLDG ELEVATION NOTES

- DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
- REF A101 FLOOR PLAN.
- CONTRACTOR TO PROVIDE RAINSCREEN & FLASHING FOR ALL WINDOWS & DOORS FOR PROPER DRAINAGE.
- CONTRACTOR TO PROVIDE RAINSCREEN & FLASHING FOR ALL BRICK/MASONRY WALLS FOR PROPER DRAINAGE.
- GRADE LINES SHOWN ON DRAWINGS ARE FOR REPRESENTATIONAL PURPOSES ONLY. REFER TO CIVIL DRAWINGS FOR ACTUAL GRADE ELEVATIONS.
- ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
- PAIN

#### Keynote Legend - Elevations

Key Value	Keynote Text
-----------	--------------



## 1510 palma plaza

review set

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these documents are for design review and not intended for construction bidding or permit purposes. they were prepared by, or under the supervision of:

alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21

project number 1114

Drawn by tr

Checked by ack

building elevations

# A201





## BLDG ELEVATION NOTES

- DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
- REF A101 FLOOR PLAN.
- CONTRACTOR TO PROVIDE RAINSCREEN & FLASHING FOR ALL WINDOWS & DOORS FOR PROPER DRAINAGE.
- CONTRACTOR TO PROVIDE RAINSCREEN & FLASHING FOR ALL BRICK/MASONRY WALLS FOR PROPER DRAINAGE.
- GRADE LINES SHOWN ON DRAWINGS ARE FOR REPRESENTATIONAL PURPOSES ONLY. REFER TO CIVIL DRAWINGS FOR ACTUAL GRADE ELEVATIONS.
- ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
- PAINT ALL GUTTERS & DOWNSPOUTS TO MATCH FIBER CEMENT SIDING.



reach architects

1107 south 8th street  
austin, texas 78704  
512.970.5669

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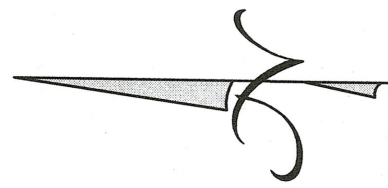
Checked by ack

building elevations

# A202



JOB NO: 20-1281
DRAWN: RCG
F.C.: CC/CC



NOTE:  
ALL EASEMENTS SHOWN HEREON ARE PER THE PLAT OF RECORD - DOCUMENT NO. 2000000667, O.P.R.T.C. THIS AREA DOES NOT APPEAR TO BE IN SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. OTHER EASEMENTS AND/OR RESTRICTIONS NOT SHOWN. SURVEY MAY AFFECT HEREON.

STATE OF TEXAS                      § KNOW ALL MEN BY THESE PRESENTS  
COUNTY OF WILLIAMSON        §  
THAT SURVEYOR FOR TEXAS LAND SURVEYING, INC., HAVE THIS DATE CAUSED TO BE PERFORMED AN ON-THE-GROUND SURVEY UNDER MY SUPERVISION OF THE FOREGOING TRACT OF LAND AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THERE ARE NO DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, ENCROACHMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, AND THAT SAID PROPERTY ADJOINS A DEDICATED ROADWAY, EXCEPT AS SHOWN HEREON.

—A Land Surveying and Geoscience Firm—  
3613 Williams Drive, Suite 903 — Georgetown, Texas 78628  
(512) 930-1600/(512) 930-9389 fax [www.texas-les.com](http://www.texas-les.com)

Witness my hand and seal this the  
4th Day of December, 2020 A.D.

ENFIELD  
V.3/P.75  
P.R.T.C.

TREE LIST		
TAG#	TYPE	CHARACTERISTICS
1	PECAN	SINGLE
2	HACKBERRY	3X
3	LIVE OAK	SINGLE
4	CREPE MYRTLE	3X
5	CREPE MYRTLE	3X
6	CREPE MYRTLE	7X
7	CREPE MYRTLE	4X
8	LIVE OAK	SINGLE
9	LIVE OAK	SINGLE
10	HACKBERRY	3X
11	CEDAR ELM	SINGLE
12	HACKBERRY	SINGLE
13	PECAN	SINGLE
14	RED BUD	SINGLE
286	CEDAR ELM	SINGLE

●	1/2" IRON ROD FOUND WITH ILLEGIBLE ORANGE CAP	LEGEND	
○	1" IRON ROD FOUND		
///	PAVEMENT		
■	FENCE POST		
XX	CHAIN LINK FENCE		
XX	WOOD FENCE		
Y	WOOD FENCE		
Y	Y		
—	ELECTRIC/TELEPHONE LINES		
—	TELEPHONE LINES		
—	CLEANOUT		
⊖	ELECTRIC METER		
⊖	ELECTRIC METER		
⊗	MANHOLE		
⊗	IRIGATION CONTROL VALVE		
⊗	SIGN		
⊗	TELEPHONE		
⊗	TELEPHONE		
⊗	WATER VALVE		
⊗	WATER VALVE		
⊗	RECORD INFORMATION		
( )	SEWER EASEMENT		
S.E.	SEWER UTILITY EASEMENT		
P.U.E.	PUBLIC UTILITY EASEMENT		
P.U.E.	PUBLIC UTILITY EASEMENT		
CONG.	CONCRETE		
R.O.W.	RIGHT-OF-WAY		
R.O.W.	RIGHT-OF-WAY		
OFFIC.	FINISHED FLOOR ELEVATION		
OFFIC.	FINISHED FLOOR ELEVATION		
OFFIC.	FINISHED PUBLIC RECORDS OF TRADING		
OFFIC.	FLAT RECORDS OF TEXAS		
PARC.	TRAVIS COUNTY, TEXAS		



## Photos of Existing Structure



Rotted cedar stump post



CMU blocks used as posts



Cracks from shifting foundation



Compromised wall system





Front Facade



West Facade





East Facade



Back