

GENERAL NOTES

- It is the intent of these Contract Documents to establish a high quality level of material and workmanship, but not necessarily to note and call for every last item of work to be done. Any item not specifically covered but deemed necessary for satisfactory completion of the work shall be accomplished by the Contractor in a manner consistent with the quality of work without additional cost to the owner. All material and methods of installation shall be in accordance with industry standards and manufacturer's recommendations.
- The Contractor shall be responsible for a thorough review of all drawings, specifications and existing conditions prior to commencement of work. This includes but is not limited to site utilities and the structural scope of work. The failure of the Contractor to report discrepancies and seek modification or change prior to commencement of work shall be construed as full acceptance of the condition in question by the Contractor. The Contractor shall assume responsibility for all work depicted by the Contract Documents regardless of whether the Subcontractors agree as to whose jurisdiction certain areas of the scope of work are under.
- It shall be assumed that the Contractor and the Subcontractors are sufficiently experienced to be considered qualified in their respective work responsibilities. The Contractor shall insure that the Owner receives acceptable workmanship common to the industry from all Subcontractors and material suppliers and is responsible for hiring qualified staff personnel and/or Subcontractors as necessary.
- The Contractor shall verify the location of all existing utilities and be coordinated in advance of any work required by public utility entities that will affect the cost of schedule of the work.
- The contractor shall meet all safety requirements applicable in the city of Austin and maintain a safe working environment for all personnel and occupants during the entire project. The jobsite is to be kept orderly and as clean as possible during all construction activities.
- This drawing set is provided to communicate only the basic design of the building. Structural design by others, all plumbing and Electrical shall also be design build and shall be coordinated by contractor.
- Any errors and omissions or inconsistencies found in these drawings shall be brought to the Architects attention immediately. Do not proceed with work until all issues have been resolved in writing.
- Do not scale the drawings, written dimensions take precedence over scale dimensions.
- All new construction dimensions are drawn to the face of new studs, as shown on the drawings. Any inconsistencies shall be brought to the Designer's attention prior to the commencement of work.
- The Contractor shall verify all grades and grading requirements prior to the commencement of work. Grades shown are approximate, therefore all stairs and finish floor elevations shall be coordinated in the field. Note: Two consecutive steps shall constitute a stair, and stairs shall not exceed 7 3/4" rise or a 10" run per code. Mount one handrail per stair to continue the length of the run at 34" above the nosing typical. All stairs shall be built in conformance with all codes as applicable.
- All "clear" and "minimum" dimensions shall be within 1/8" along it's full length. No adjustments shall be made without the Designer's prior written consent.
- Locations of all partitions and doors shall be approved by the Designer or Owner in the field prior to construction. The Contractor shall notify the Designer or Owner of any conflicts or discrepancies in the location of new construction.
- Larger scale drawings take precedence over small scale, details take precedence over all. Contractor shall notify the Designer of any discrepancies in writing prior to commencement of work.
- The Contractor and Owner shall take responsibility to meet all code and manufacturer's requirements. It is the responsibility of the Builder to insure the project conforms to all codes applicable at the time of construction. Note: Manufacturer's installation guidelines take precedence over diagrammatic details and drawings. Any inconsistencies shall be brought to the Owner's attention prior to the commencement of work.

SITE NOTES

- EROSION CONTROL**
- The contractor shall install erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing or excavation).
 - The contractor is required to inspect the controls and fences at weekly intervals and after significant rainfall events to insure that they are functioning properly. The person(s) responsible for maintenance of controls and fences shall immediately make any necessary repairs to damaged areas. Silt accumulation at controls must be removed when the depth reaches six (6) inches.
- TREE PROTECTION**
- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.
 - Protective fences shall be erected according to City of Austin Standards for Tree Protection.
 - Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
 - Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
 - Protective fences shall surround the trees or group of trees, and will be located at the outermost limit of branches (drip line), for natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
 - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
 - Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Arborist;
 - Wounds to exposed roots, trunk or limbs by mechanical equipment;
 - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.

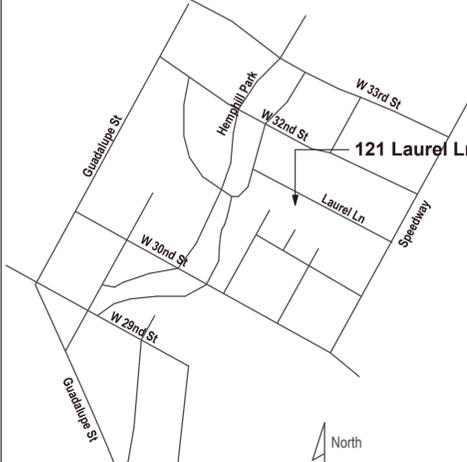
PROJECT DESCRIPTION

Address: 121 Laurel Ln Austin, Texas 78705
 Legal: LOT 11, and the East 5.8' of Lot 12 Block 2 University Heights
 Zoning: SF-3 North University NCCD / Aldridge Place

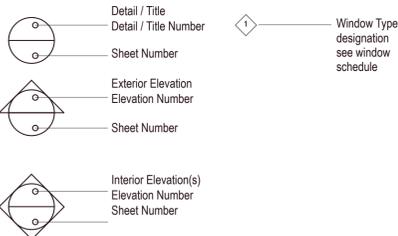
PROJECT INFORMATION

Owner: Rindi McDonald
 121 Laurel Ln Austin, Texas 78705
 Architect: Donald Harris AIA
 512.297.4206

VICINITY MAP



SYMBOLS



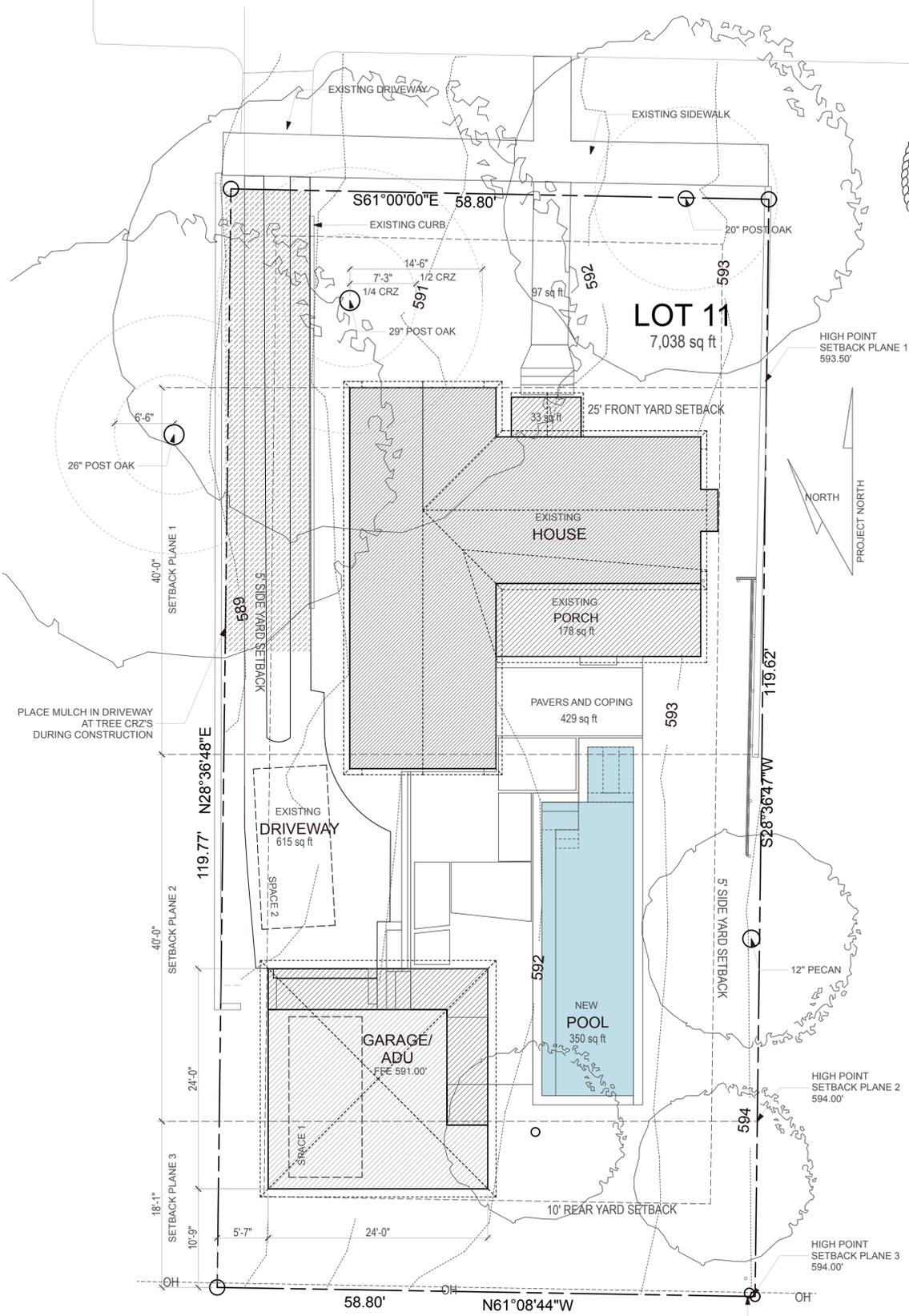
SHEET INDEX

- A1.0 Cover Sheet / General Notes/ Site Plan
- A2.0 First Floor Plan
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- A3.1 Elevations
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ZONING CALCULATIONS

Building Coverage (roofed areas)		
1st Floor Conditioned Area	1022	0
2nd Floor Conditioned Area	1198	469
Garage (detached)		416
Covered Patios	178	161
Covered Porches	36	
pool		350
Total Building Area:	2434	1046
Lot Area per Plat:	7044	
% Building Coverage on Lot:	25.7%	
Conditioned Area:	2220	469
	2689	
Yielded Floor Area Ratio on Lot:	0.3817	
Impervious Coverage		
Total Building Coverage on Lot	1236	577
Driveway Area	615	
Sidewalks & Walkways	97	
Uncovered Patios		429
Uncovered Wood Decks		
Air Conditioner Pads	18	9
Concrete Slabs or Decks		
Other Impervious Coverage		
Impervious Coverage:	1966	1015
total	2981	
allowable	3169.8	
% Impervious Coverage on Lot:	42.3%	

LAUREL LANE



Site Plan
 SCALE: 1/8" = 1'-0"
 1/16"=1'-0" ON 11X17

Don Harris I Architect
 512.297.4206
 www.donharrisarchitect.com



PROPOSED GARAGE/ GUEST HOUSE
121 Laurel Ln
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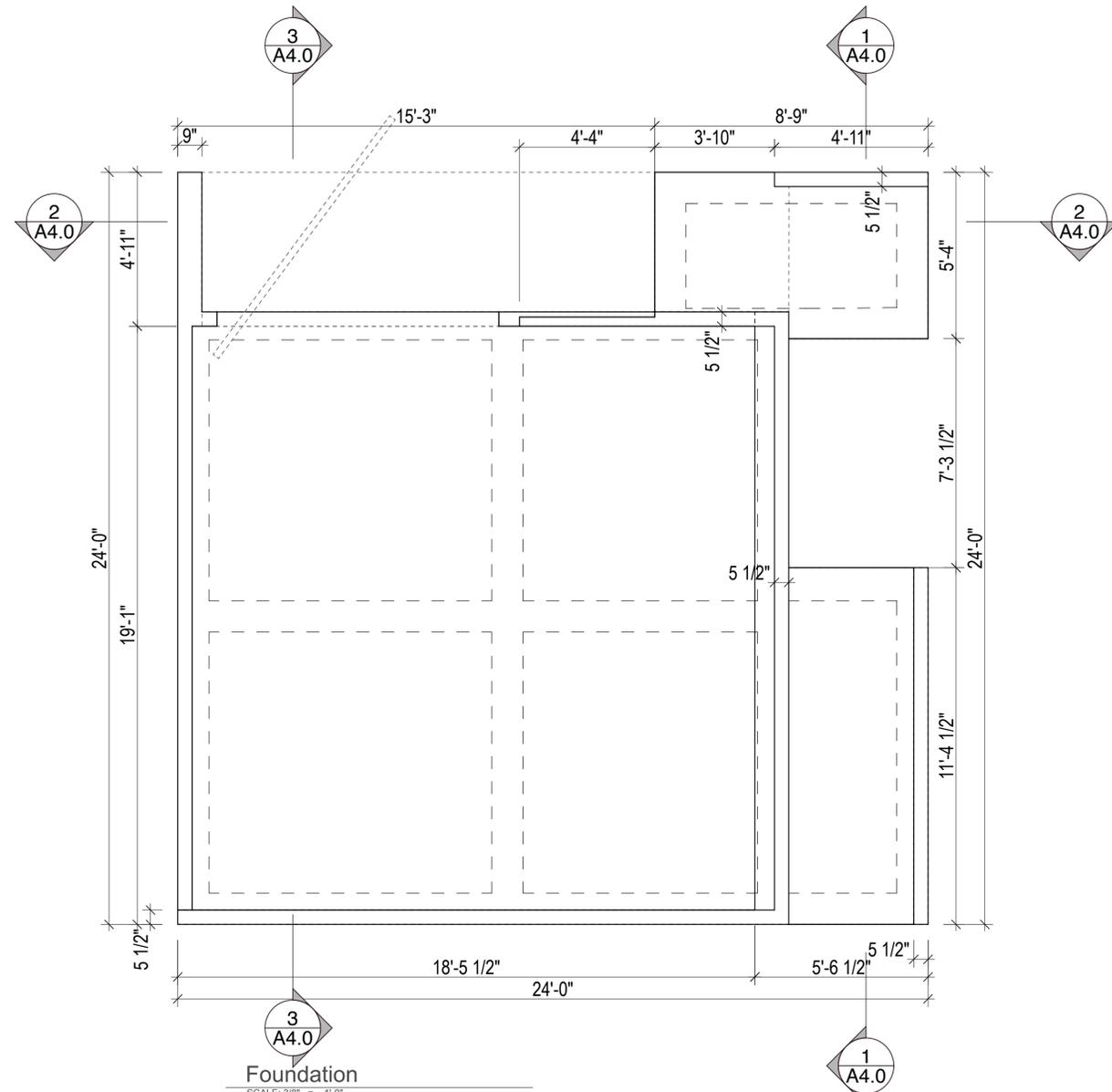
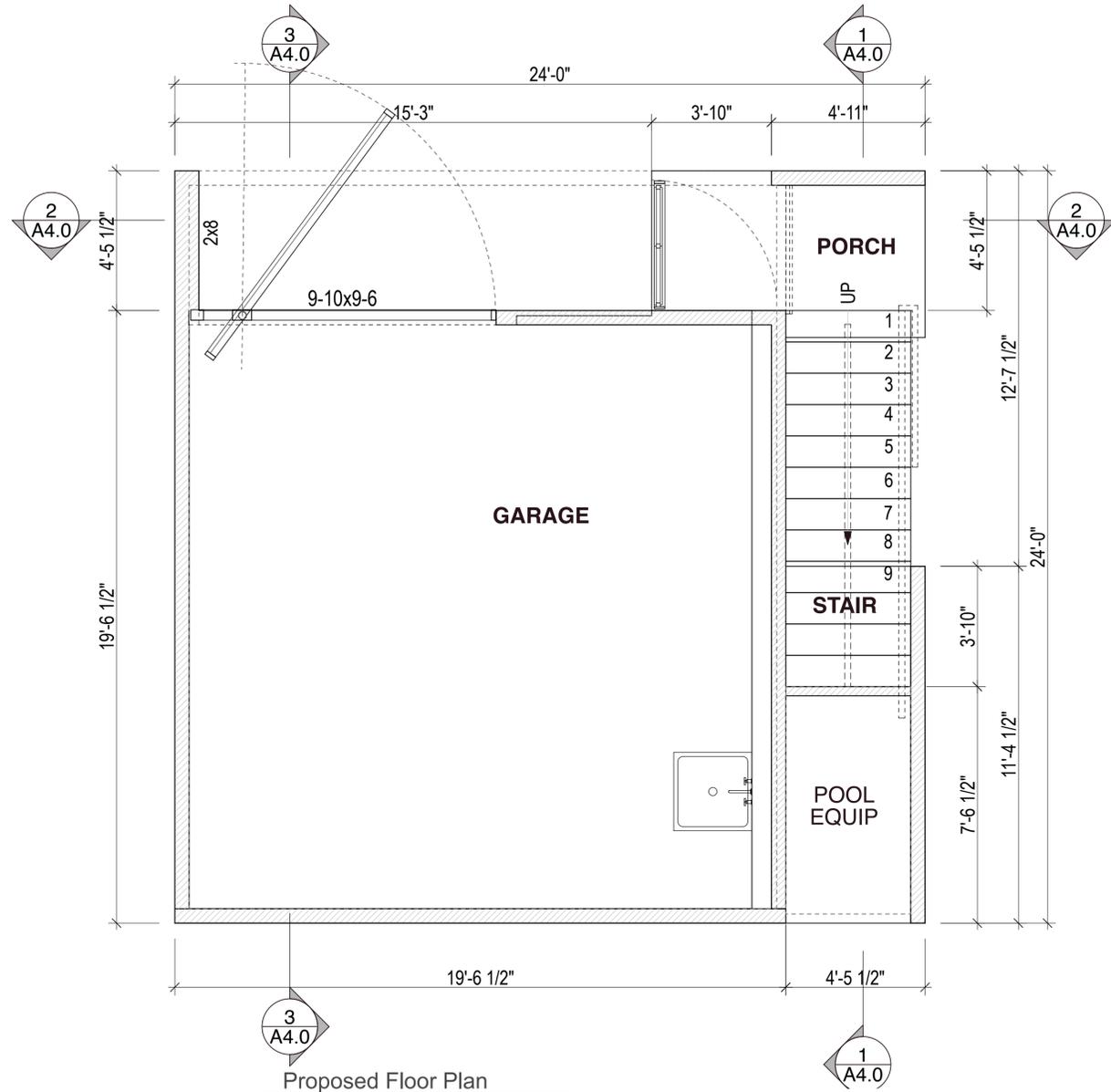
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8.15.2020	SCHEMATIC
10.10.2020	PERMIT SET
1.18.2021	UPDATE 1

SHEET NUMBER
A1.0





PROPOSED GARAGE/ GUEST HOUSE
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LEGEND

- NEW WALL FULL HEIGHT
2x6 @ 16" O.C. WOOD FRAME
- NEW WALL FULL HEIGHT
2x4 @ 16" O.C. WOOD FRAME
- NEW WALL PARTIAL HEIGHT

DOOR NOTES

1. COORDINATE HARDWARE REQUIREMENTS WITH DOOR MANUFACTURER.
2. REFER TO FLOOR PLANS FOR SIZES, WIDTH AND HEIGHT DIMENSIONS ARE TYPICALLY DOOR LEAF SIZE. COORDINATE FRAMING R.O. FOR ADJACENT DOOR AND WINDOW ASSEMBLIES TO ALIGN HEAD HEIGHT AS SHOWN OR NOTED ON THE DRAWINGS.
3. PROVIDE TEMPERED GLASS AT ALL DOORS WITH LIGHTS.
4. PROVIDE SMOKE AND FIRE GASKETS AND CLOSER AT ALL RATED DOOR ASSEMBLIES.
5. PROVIDE RATED DOOR ASSEMBLIES WHERE NOTED ON PLAN.
6. PROVIDE SILLS AND THRESHOLDS AT ALL EXTERIOR DOORS. PROVIDE WOOD THRESHOLDS AT INTERIOR DOORS TO MATCH WOOD FLOOR WHERE APPLICABLE.
7. ALL EXTERIOR DOORS SHALL BE INSTALLED USING WEATHERLAPPED ELASTOMERIC FLASHING AT THE HEAD AND JAMBS.
8. COORDINATE ALL DOORS AS REQUIRED TO ACCOMMODATE FLOOR FINISHES.
9. SUBMIT DOOR CUT SHEETS FOR OWNER APPROVAL PRIOR TO ORDERING.
10. PROVIDE WEATHERSTRIPPING AT ALL DOORS. ANY DAMAGED WEATHERSTRIPPING SHALL BE REMOVED AND REPLACED.
11. PROVIDE TEMPERED GLASS AT SHOWER STALLS AND BUILT IN FURNITURE WITH GLASS DOORS.

WINDOW NOTES

- ANDERSEN 100 WINDOWS
1. DOUBLE GLAZED, LOW-E W/ U-VALUE OF 0.50 OR LOWER AND SHGH .20 OR LOWER, AS APPROVED BY OWNER AND ARCHITECT
 2. REFER TO PLANS FOR TYPE AND SIZES. DIMENSIONS SHOWN ARE FRAME SIZE. VERIFY ROUGH OPENINGS AND WINDOW SIZES WITH MANUFACTURER AND LOCATION. NOTIFY DESIGNER OF ANY NECESSARY ADJUSTMENTS IN ROUGH OPENING REQUIREMENTS PRIOR TO ANY MODIFICATIONS. COORDINATE ASSEMBLY REQUIREMENTS WITH FRAMING REQUIREMENTS.
 3. COORDINATE PIECES OF WINDOW ASSEMBLIES TO PRODUCE A UNIFIED, WEATHER TIGHT UNIT.
 4. ALL WINDOWS SHALL BE INSTALLED USING WEATHERLAPPED ELASTOMERIC FLASHING AT THE HEAD JAMB AND SILLS
 5. PROVIDE TEMPERED GLASS AT ALL WINDOWS LOCATED WITHIN 18" OF A DOOR, WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" FROM THE FLOOR, ADJACENT TO A SHOWER OR TUB LESS THAN 60" TO SILL.

PROJECT NORTH

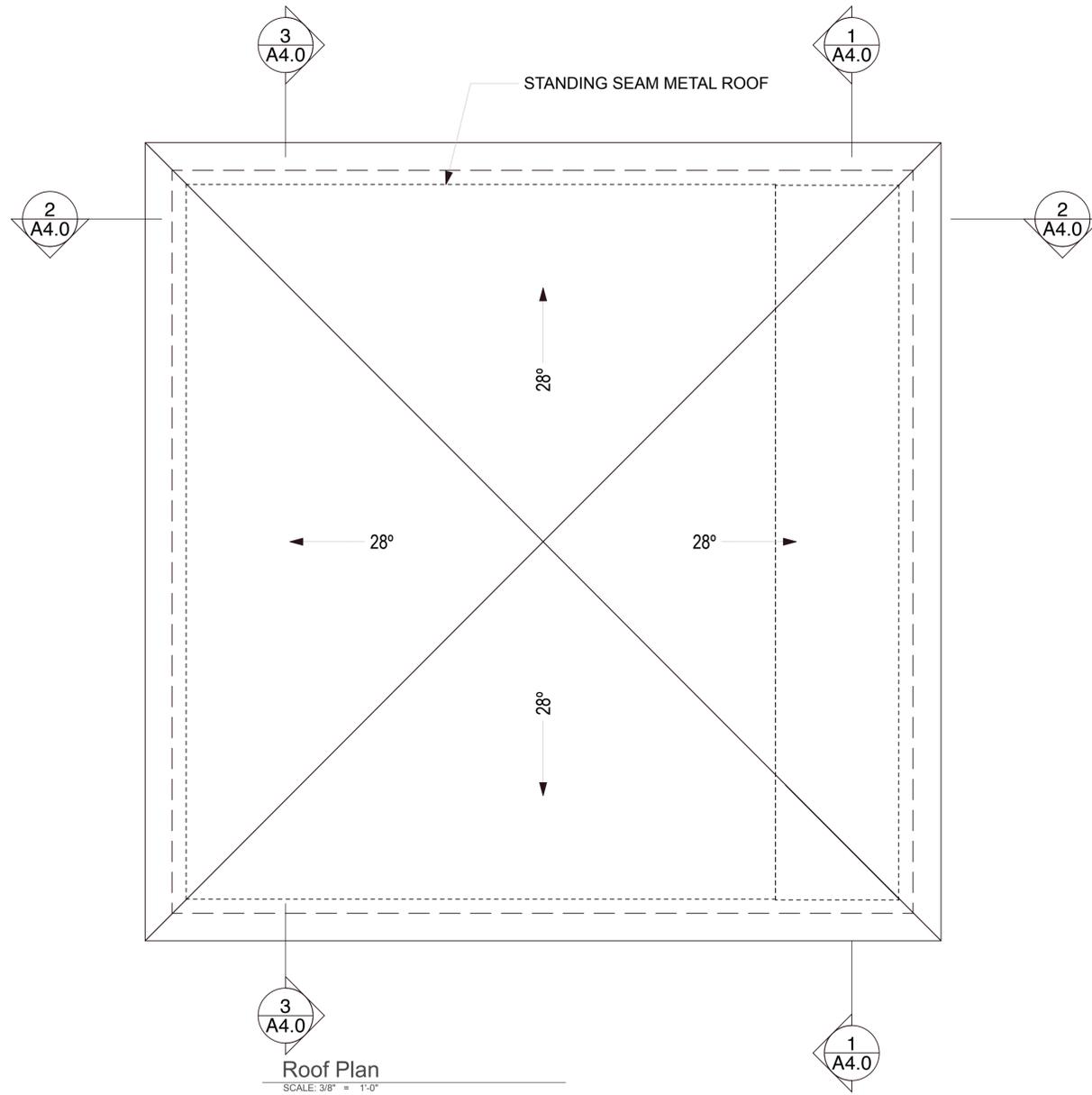
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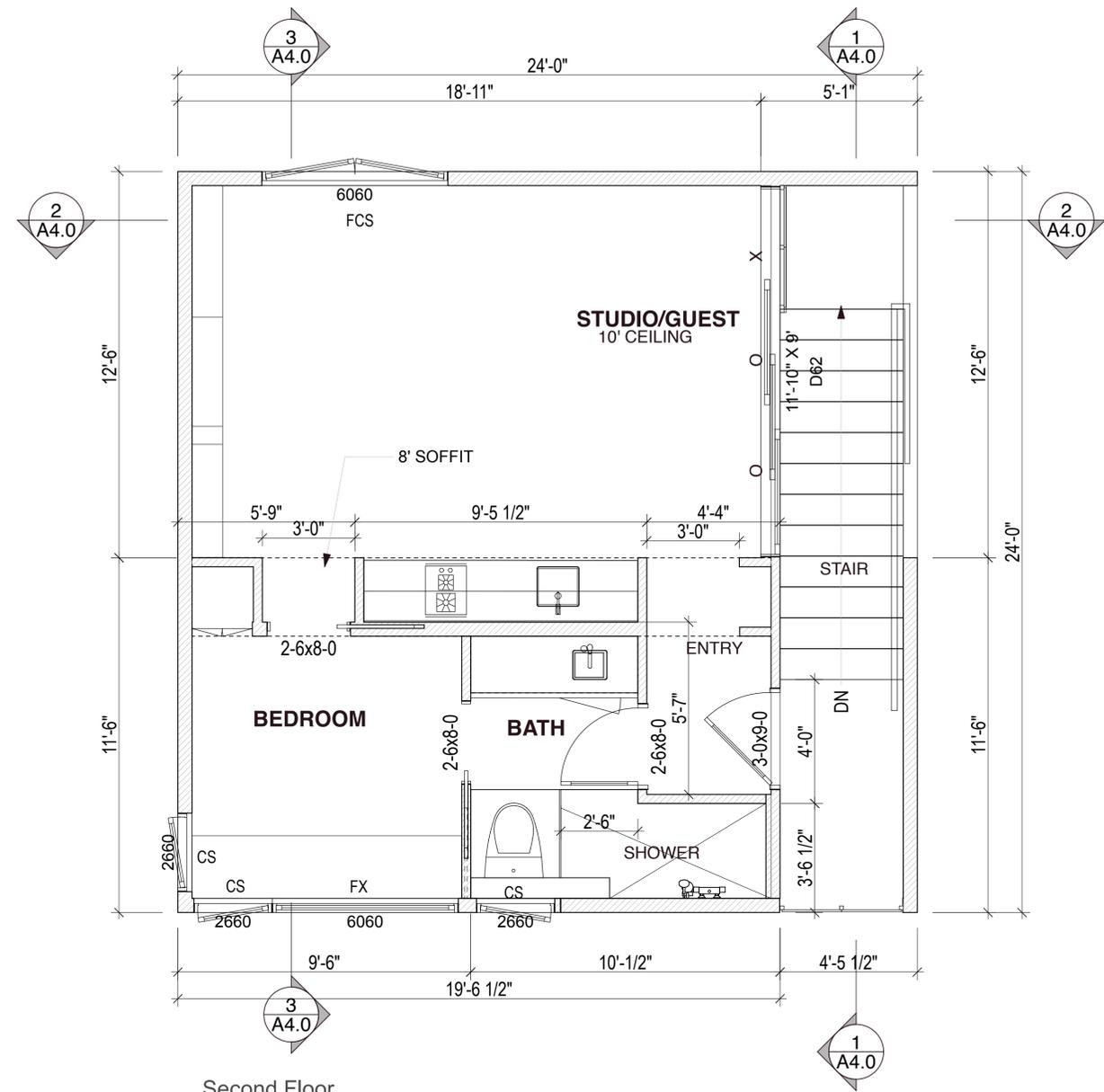
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Roof Plan
SCALE: 3/8" = 1'-0"



Second Floor
SCALE: 3/8" = 1'-0"

PROJECT NORTH

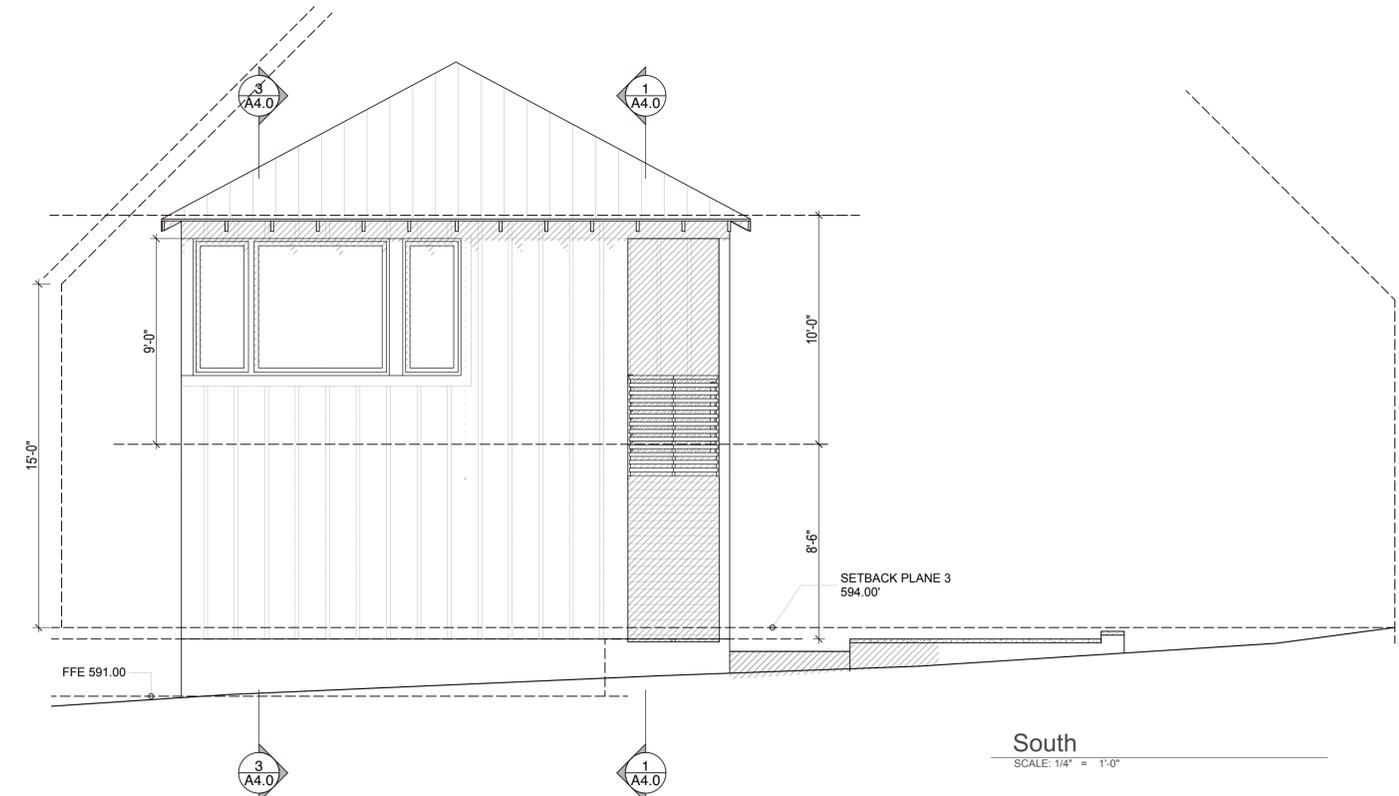
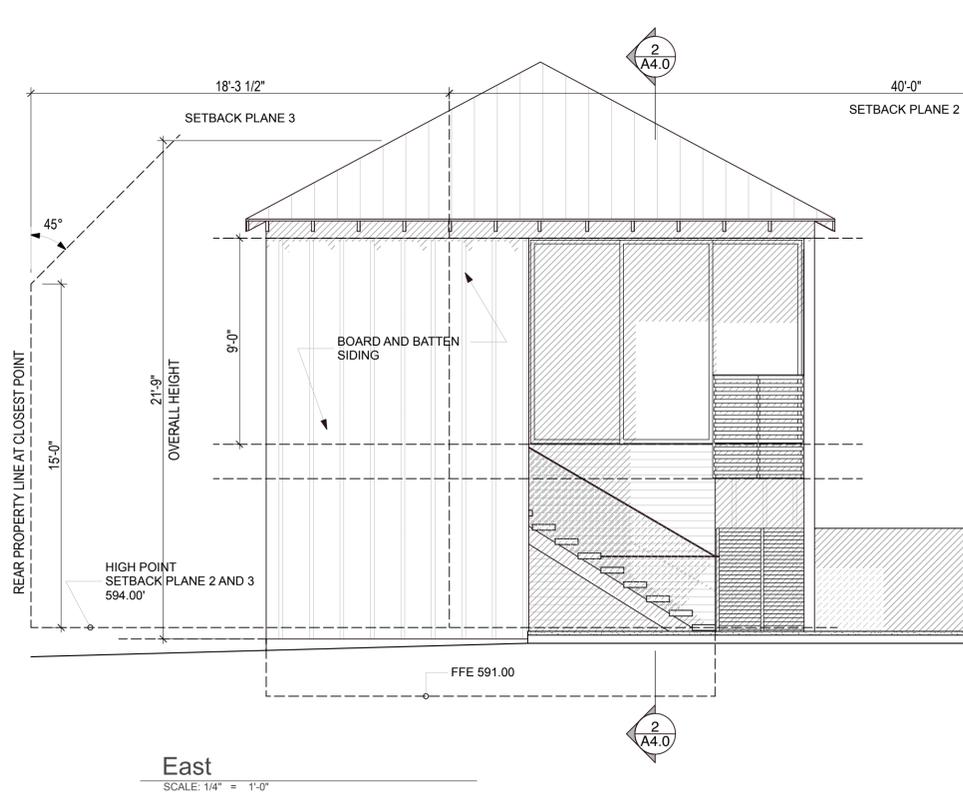
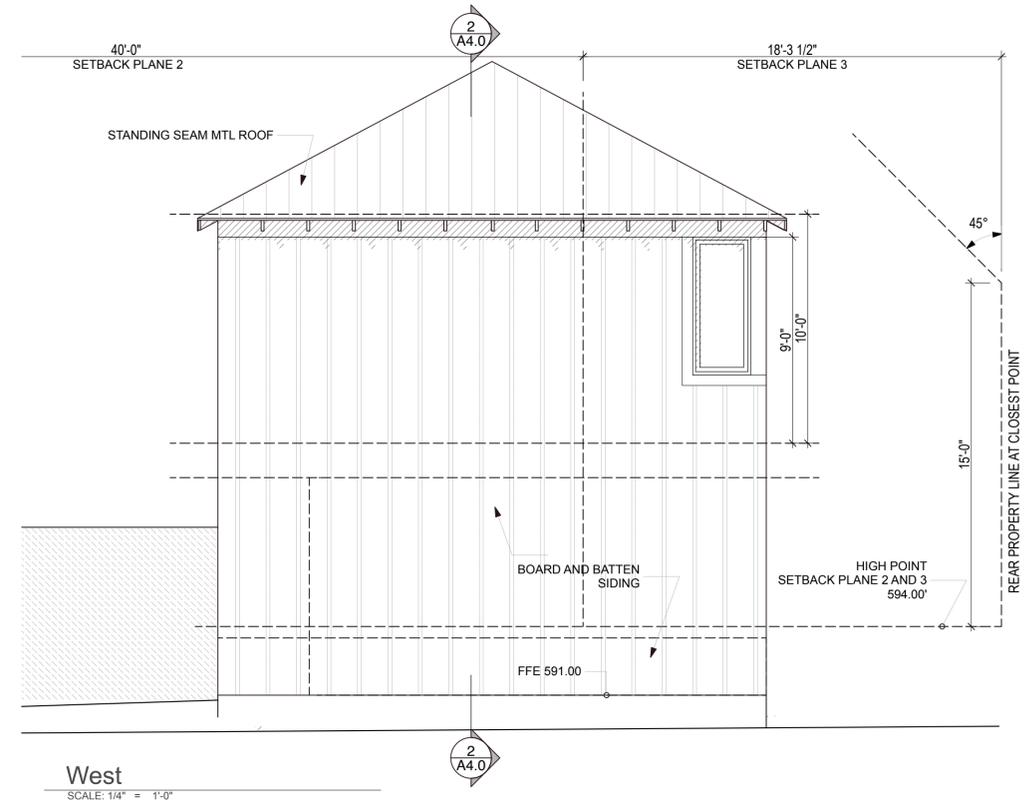
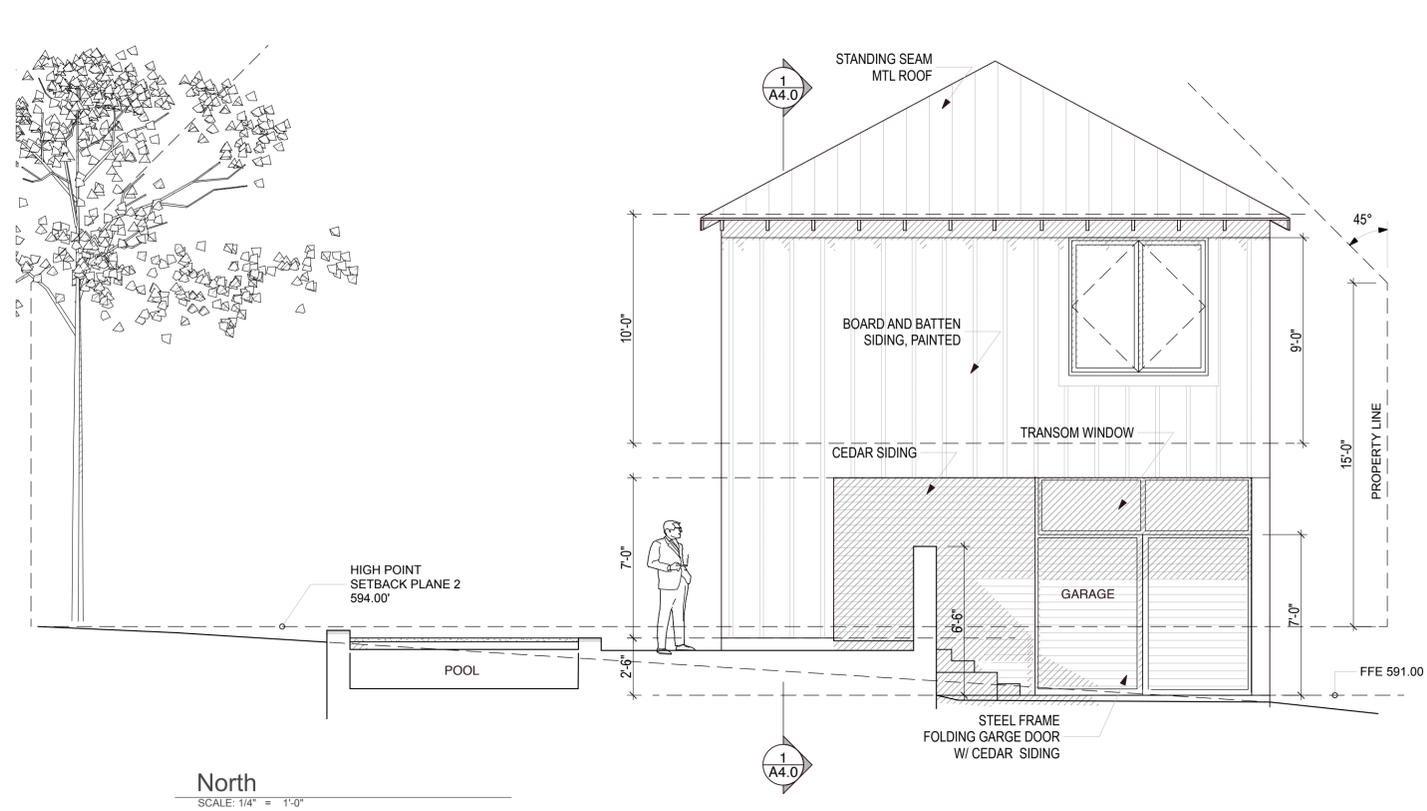
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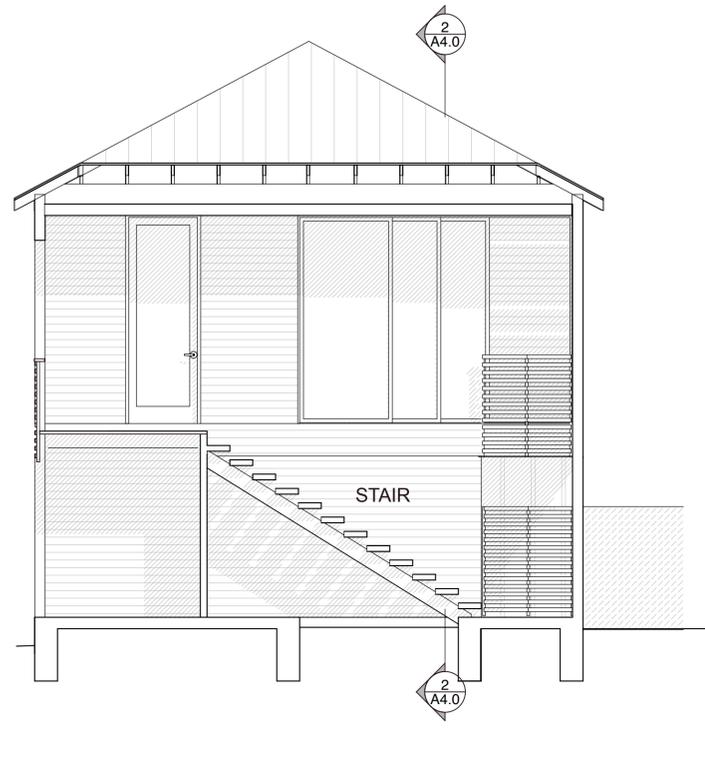
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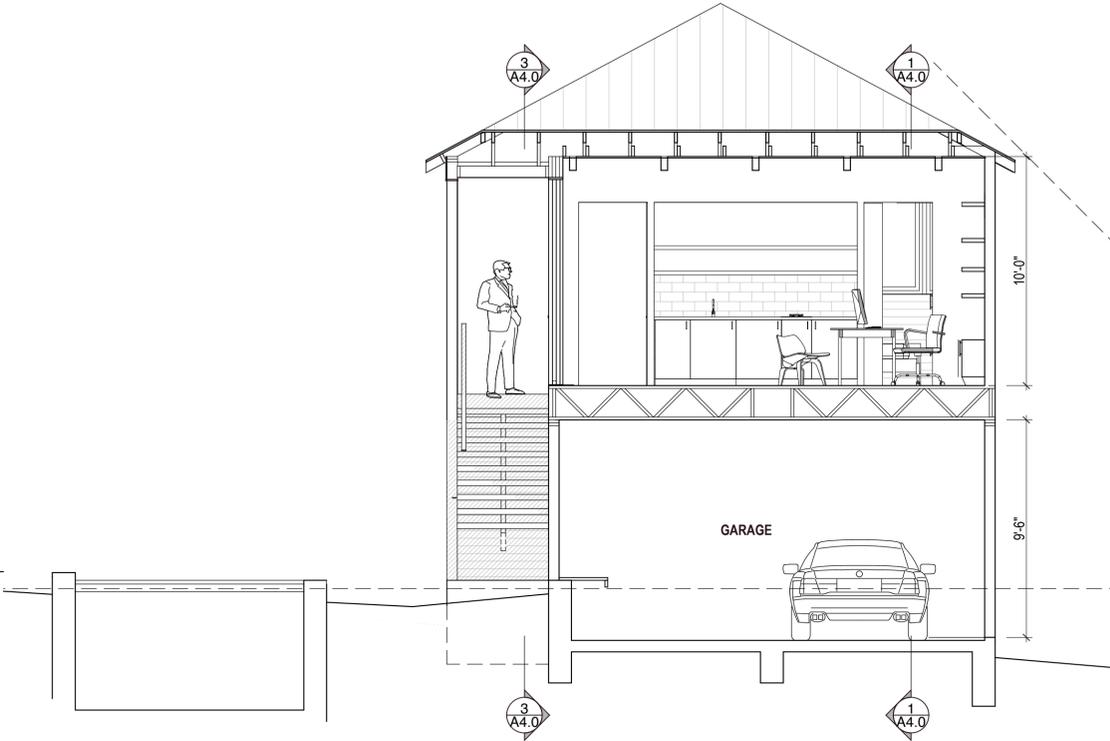
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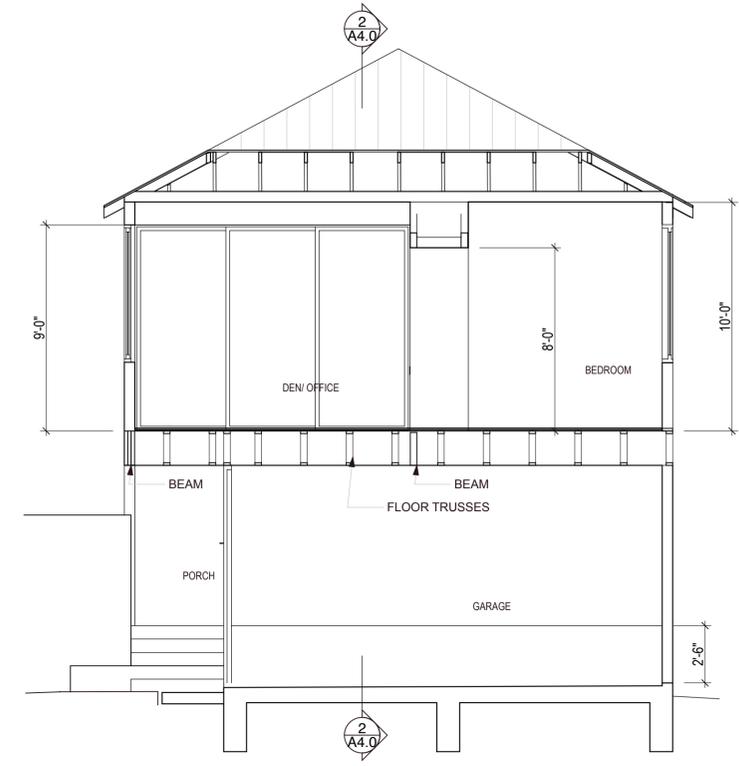
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1 Building Section
SCALE: 1/4" = 1'-0"



2 Building Section
SCALE: 1/4" = 1'-0"



3 Building Section
SCALE: 1/4" = 1'-0"



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