

1510 PALMA PLAZA

OLD WEST AUSTIN NATIONAL REGISTER HISTORIC DISTRICT

Austin, TX 78703

Date: January 22, 2020

PROPOSAL

Demolish a triplex at 1510 Palma Plaza and construct a new duplex

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1510 Palma Plaza

LDC 25-2-352 – Historic Designation Criteria

1. The property is at least 50 years old as it was built in 1925 (per TCAD).
2. The property does not retain a high degree of integrity as it was altered from a single family home to a duplex in 1962 and then to a triplex in 1963 which included an extra driveway and two additional entrances.
3. Property characteristics:
 - a) This property is not individually listed in the National Register of Historic Places
 - b) Demonstration of significance:
 - i. **ARCHITECTURE:** The building contains some Spanish influences but it does not appear to be architecturally significant.
 - ii. **HISTORICAL ASSOCIATION:** A. Howard Osburn and Augusta Osburn occupied the property for approximately 20 years in the 1920s to 1940s. However, there does not appear to be significant historical associations. A. Howard Osburn worked in real estate and insurance but was not responsible for any notable innovation or significant civic service. Augusta Osburn managed a circulating library and the segregated Austin Country Club for approximately 6 to 8 years.
 - iii. **ARCHAEOLOGY:** The property was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
 - iv. **COMMUNITY VALUE:** the property does not appear to possess a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the community, Austin, or Texas as a whole.
 - v. **LANDSCAPE FEATURES:** The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.

December 4, 2020

Mr Jack Meyer
Soar Investment Group
612 Crestwood Drive
Kingsland, TX 78639
(817) 975-9385

Re: 1510 Palma Plaza - Austin, Texas 78703

Dear Mr Meyer,

Introduction

As requested, my staff made a site visit and at the referenced address for the purpose of performing a structural condition assessment of the existing single-family residence at that address. LOC was not involved with the design or construction of the residence and no plans we're available for review. The following is a summary of our findings and associated recommendations.

Description

The residence is a two-story single family bungalow residence with a pitched roof system which was built around the early to mid 1900's. There is an uncovered concrete porch at the front of the house. The structural system consists of a wood framed structure supported by a "pier and beam" foundation system. Finishes consist of stucco at the exterior and sheetrock wall and ceiling finishes at the interior and flooring consist of wood flooring covered with vinyl. Generally, the house is very dilapidated and in a severe state of disrepair due to a lack of maintenance. The following are my observations of the residence.

Roof System

The roof system consists of a pitch roof with deteriorated composition shingles supported by a "stick frame" wood roof structure of 2x4 rafters and ceiling joists spaced at 24 on center. These framing members are undersized and do not meet the structural building code and exhibit excessive deflection (sagging) and rot due to water infiltrating into the roofing system combined with the fact that they are undersized and needs to be replaced along with the roofing and roof deck. In other words, the roof system should be entirely replaced or reinforced to achieve code compliance.

Page 1 of 2

TO/ts
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1707B Kinney Ave. • Austin, Texas 78704-3350 • Tel. (512) 499-0908

Wall system

The wall systems consist of a 2x4 stud wall framing with a stucco finish which securely cracked throughout. The studs and stucco finish and interior sheetrock is compromised due to rot and water damage. There is no sheathing and no vapor barrier on the exterior face of the wall studs. The sheetrock is nailed to the inside face of the studs. This wall construction is compromised and represents a defective building envelope which does not meet building code or industry standard construction and needs to be replaced.

Foundation System

The foundation system consists of a "pier and beam" construction with wood flooring over a 2x8 floor joist system with 4x4 and 4x6 beams supported by the original cedar stump posts and stacked CMU block at various locations. The floor sags severely at several locations. The CMU blocks we're installed at a later date to replace the some of the original rotted cedar stump posts and in other locations in an attempt to address sagging areas of the floor system and do not meet building code or industry standard construction. The condition of this floor system is rotted throughout, compromised and structurally unsound and needs to be replaced. The concrete porch is also severely cracked and drains toward the house and needs to be replaced.

Recommendations

Based on my observations it is my professional opinion that the building envelope and structural systems including the foundation of the residence are defective, compromised and beyond repair. City of Austin code enforcement officers and the Building Standards board typically recommend that buildings in this dilapidated state be razed since they represent a public safety hazard. Therefore, I recommend that the house be demolished in order to address public safety issues.

Closure

The review consisted of an on-site review only and is intended to cover only the aforementioned items. Neither the review nor the report is intended to cover comprehensive architectural, site, structural, mechanical or electrical systems. Furthermore, the client shall agree to limit LOC Consultants' liability to the client and to all parties involved with the referenced project due to hidden conditions except for negligent acts, due to Professional Engineer's errors, omissions and opinions, such that the total aggregate liability to all those named shall not exceed the Professional Engineer's total fee for service rendered on this review.

Please notify LOC by registered letter within two weeks of this date stating objections to or questions regarding the information contained in this letter. If none are received, it is concluded that no exceptions are taken regarding the professional opinion rendered or the liability statement. If there are any questions or if I can be of further assistance, please call.

Respectfully Submitted,


Terrence Ortiz
President
LOC Structural Division, Inc



12/4/20

TO/ts
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Page 2 of 2



612 Crestwood Dr
 Kingsland, TX 78639
 210-882-6263

SUBJECT: Preliminary report of required repairs
PROPERTY: 1510 Palma Plaza, Austin, TX 78703
DATE: December 7, 2020

The following is a list of repairs necessary to bring the residential structure at 1510 Palma Plaza in Austin, Texas up to current building code and energy standards, and to meet structural safety standards.

Foundation/Flooring
Replace rotted and deteriorated beams, joists, sill plate and other framing members
Remove/replace flooring and subfloors entirely for access to crawl space
Drill and pour concrete piers according to structural engineer specifications
Remove and replace existing front porch to redirect water away from house
Install temporary shoring and bracing during construction
Roof System
Remove/replace existing roof
Add roof framing members for support as per current building code and proper structural design
Interior/Exterior Walls
Remove/replace all drywall (walls & ceilings throughout), and trim
Remove/replace cabinets, tubs, showers, etc.
Texture and paint entire interior
Replace rotted studs, headers, beams
Remove stucco from entire structure
Install insulation
Install plywood sheathing
Install vapor barrier
Remove/replace all windows
Remove/replace rotted/damaged doors
Apply new stucco
Remove/replace all door/window trim, and rotted/damaged soffit and fascia
Install temporary shoring and bracing during construction
Electrical & Plumbing & HVAC
Replace all wiring/devices and fixtures to meet building code
Replace all necessary supply and drain lines impacted from leveling structure
Add new HVAC system for each of three dwelling units

RECOMMENDATION:

Due to the broad scope of work that is required across every square foot of the house, it is cost prohibitive to try to save and repair the existing structure. It is our recommendation to demolish the existing structure and build new. Please see report prepared by LOC Structural Division, Inc.



John Meyer
 President
 J Angelo Design Build

1510 Palma Plaza

Demolition permits issued in 2006 and again in 2007

- A previous owner was issued demolition permits by the City of Austin on two separate occasions

Austin Build + Connect

FOLDER DETAILS

Permit/Case: 2006-025152 BP

Reference File Name: 06010700

Description: Demo Triplex

Sub Type: R- 645 Demolition One Family Homes

Work Type: Demolition

Project Name: 1510 Palma Plz

Status: Expired

Application Date: Feb 13, 2006

Issued: May 5, 2006

Expiration Date: Nov 1, 2006

Related Folder: [Yes](#)

2006 Building Permit

Austin Build + Connect

FOLDER DETAILS

Permit/Case: 2007-127923 BP

Reference File Name: 2007-127923 BP

Description: demo ca 1920 triplex

Sub Type: C- 647 Demolition 3 and 4 Family Bldgs

Work Type: Demolition

Project Name: 1510 PALMA PLZ

Status: Expired

Application Date: Jun 8, 2007

Issued: Oct 16, 2007

Expiration Date: Oct 10, 2008

Related Folder: [Yes](#)

2007 Building Permit

City of Austin
Demolition Permit

PERMIT NO: 2007-127923-BP Type: COMMERCIAL Status: Active
1510 PALMA PLZ Issue Date: 10/16/2007 Expiry Date: 04/13/2008

LEGAL DESCRIPTION		SITE APPROVAL		ZONING		GRID NO.	
PROPOSED OCCUPANCY demo ca 1920 triplex		DA-2077-0451				ISSUED BY Angelisa Vance	
TOTAL SQFT	VALUATION	TYPE CONST	USE CAT	GROUP	FLOORS	UNITS	# OF PARKING SPACES
Existing: 1,976	\$12,500.00		647		1	3	
TOTAL BLDG. COVERAGE		% COVERAGE		TOTAL IMPERVIOUS COVERAGE		% COVERAGE	

Contact:
Owner: DAKTERIS KARL F Telephone: 0-
General Contractor: DAKTERIS KARL F 0-

Fee Description	Fee Amount	Paid Date	Inspection Requirements
Demolition Permit Fee	\$44.00	10/16/2007	Building Inspection
Demolition/Relocation Plan Review Fee	\$26.00	05/15/2007	Water Tap Inspection
Total Fees:	\$70.00		Sewer Tap Inspection

Section 25-11-94 EXPIRATION AND EXTENSION OF PERMIT (Active Permits will expire 180 days at 11:59:59 pm after date of last inspection performed.) See Mechanical, Electrical, Plumbing permits for Related Fees and Inspections.

Comments	Date	User
Historic Review	06/08/2007	Beth Wilson

BY ACCEPTING OR PAYING FOR THIS PERMIT YOU ARE DECLARING THAT YOU ARE THE OWNER OR AUTHORIZED BY THE OWNER THAT THE DATA SUBMITTED AT THE TIME OF APPLICATION WAS TRUE FACTS AND THAT THE WORK WILL CONFORM TO THE PLANS AND SPECIFICATION SUBMITTED HERewith.

It is the responsibility of the contractor to contact the utility providers for service of disconnections prior to the structure being demolished or relocated. Relocation contractors need to contact the Austin Police Department and Austin Energy to make arrangements for routing and structure transport.

Page 1 of 2 TO SCHEDULE AN INSPECTION, CALL 480-0623 Printed: 10/16/07 12:14

2007 Building Permit

1510 Palma Plaza

EXISTING STRUCTURE



FRONT/SOUTH FACADE



WEST FACADE



WEST FACADE



EAST FACADE



EAST FACADE



BACK/NORTH FACADE

1510 Palma Plaza

EXISTING STRUCTURE



PIER & BEAM



COMPROMISED WALL SYSTEM



ROTTING BEAMS



CMU BLOCK AT PIERS



CRACK AT CHIMNEY



CEILING CRACK

SITE DEVELOPMENT INFORMATION						
AREA DESCRIPTION	SQ. FT	Existing SF to Remain		New/Added SF		Total SF
		UNIT A	UNIT B	UNIT A	UNIT B	
1st floor conditioned area *	0	0	876	878	876	878
2nd floor conditioned area (@6)	0	0	878	905	878	905
3rd floor conditioned area (@6)	0	0	581	606	581	606
basement	0	0	0	0	0	0
covered parking - garage or carport *	0	0	199	200	199	200
covered patio, deck, porch &/or balcony area *	0	0	75	336	75	336
other covered or roofed area (overhang > 3) *	0	0	0	0	0	0
uncovered wood deck (counted @ 100%)	0	0	0	0	0	0
TOTAL BUILDING AREA	0	0	2,609	2,925	2,609	2,925
pool	0	0	0	0	0	0
spa	0	0	0	0	0	0
remodeled floor area, excluding addition/new	0	0	0	0	0	0
TOTAL BUILDING COVERAGE	* included in TOTAL BUILDING COVERAGE				1,150	1,414
driveway	0				268	268
sidewalks	0				166	166
uncovered patio	0				812	812
uncovered wood decks (counted @ 50%)	0				0	0
AC pads and other flatwork	0				18	18
other (pool coping, retaining walls)	0				0	0
TOTAL IMPERVIOUS COVER						43.29%
						3,828

SITE PLAN NOTES

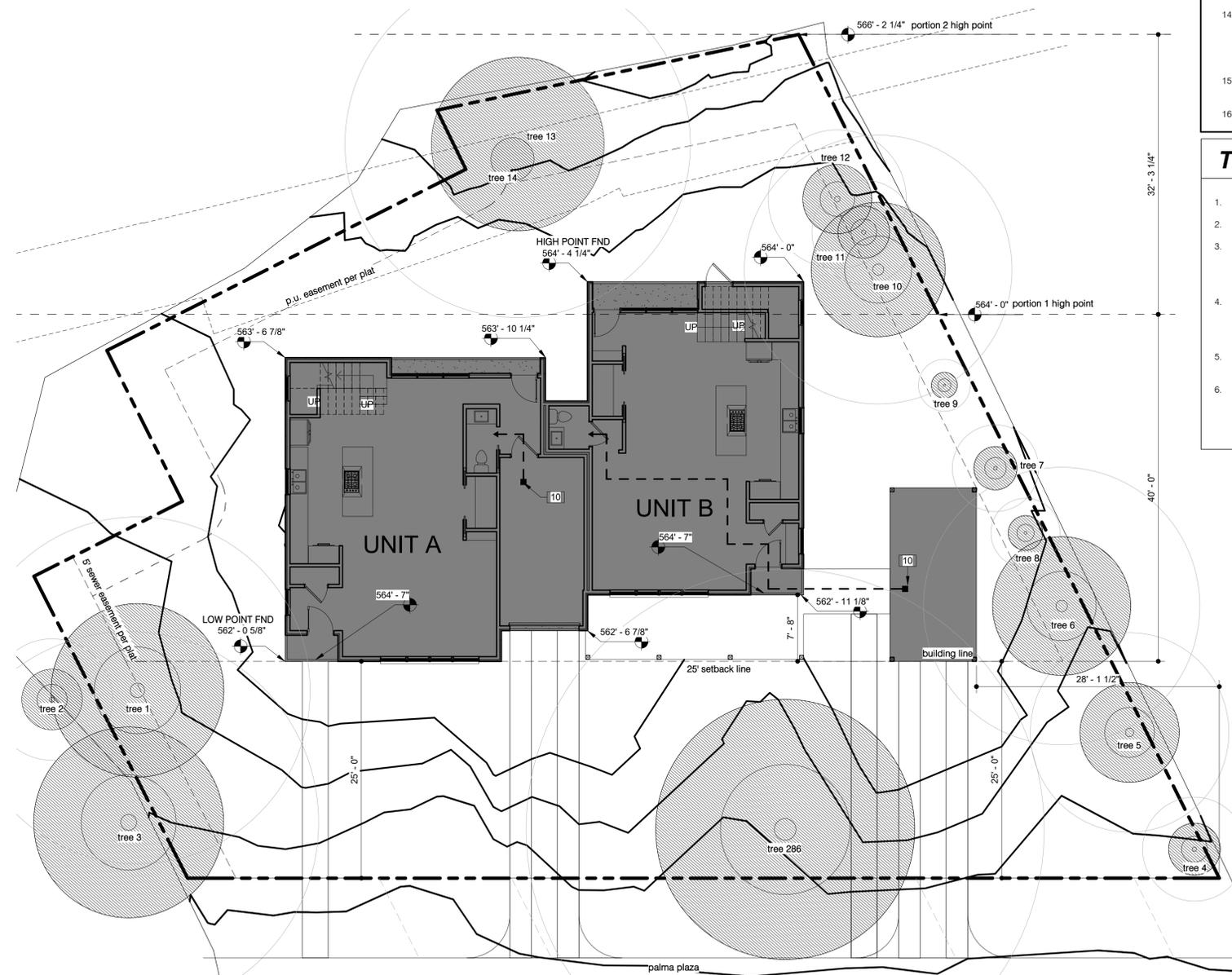
- PRIOR TO START OF DEMOLITION & CONSTRUCTION, CONTRACTOR SHALL PROVIDE & INSTALL EROSION CONTROL BARRIERS AS REQUIRED.
- UPON COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAR THE SITE OF ANY MATERIAL DEBRIS, & CLEAN UP ANY BUILDING OR SITE AREAS AFFECTED BY CONSTRUCTION.
- EXTERIOR HVAC EQUIPMENT SHALL BE SCREENED IN COMPLIANCE W/ ANY CITY OF AUSTIN REGULATIONS AND/OR LOCAL DEED RESTRICTIONS.
- EXISTING TREES SHALL BE MAINTAINED, UNLESS NOTED OTHERWISE.
- BUILDER TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQD.
- VERIFY METER & UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM ALL DRIVEWAY, WALKWAY & PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS & PATIOS.
- GARBAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.
- CONTRACTOR TO PROVIDE LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHTS.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- TREES TO BE REMOVED SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- 1ST FLOOR POWDER BATH MUST QUALIFY AS A VISITABLE BATHROOM
 - CLEAR DOOR OPENING MUST BE 30"
 - LATERAL 2X6 BLOCKING MUST BE INSTALLED ALONG WALLS WITH CENTERLINE 34" ABOVE FINISHED FLOOR
 - PROVIDE 30" X 30" CLEAR FLOOR SPACE
- VISITABLE NO STEP ENTRANCE TO HAVE BEVELED THRESHOLD OF 1/2" OR LESS AND CLEAR DOOR WIDTH OF AT LEAST 32"
- SPOT GRADE ELEVATIONS REFERENCE THE LOWER ELEVATION BETWEEN EXISTING AND NEW

TREE PROTECTION NOTES:

- MULCH TRAFFIC AREA AND SET PROTECTIVE FENCING AROUND TREES IN CRITICAL ROOT ZONE
- NO CONSTRUCTION STAGING WITHIN CRITICAL ROOT ZONES.
- FOOTINGS WITHIN CRITICAL ROOT ZONES TO BE EXCAVATED USING AN AIR SPADE BY A CERTIFIED ARBORIST ON SITE AND USING PRESCRIBED SOIL TREATMENT. IF ANY ROOTS 1.5" OR GREATER ARE ENCOUNTERED DURING EXCAVATION, FOOTING MUST BE MOVED TO AVOID ROOT CONTACT ENGINEER FOR DIRECTION OF SHIFT.
- MATERIAL STAGING, DUMPSTER AND SPOILS PLACEMENT CANNOT BE WITHIN THE 1/2 CRZ OF ANY PROTECTED TREES. PORTABLE TOILET AND CONCRETE WASHOUT CANNOT BE WITHIN THE FULL CRZ OF ANY PROTECTED TREES. COORDINATE EXACT LOCATIONS WITH TREE INSPECTOR DURING PRECONSTRUCTION MEETING.
- WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
- IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.

TREE LIST

1	20"	Pecan
2	7"	Hackberry
3	22"	Live Oak
4	6"	Crape Myrtle
5	11.5"	Crape Myrtle
6	16"	Crape Myrtle
7	5"	Crape Myrtle
8	4"	Live Oak
9	3"	Live Oak
10	15.5"	Hackberry
11	6"	Cedar Elm
12	8"	Hackberry
13	20"	Pecan
14	5"	Red Bud
286	30"	Cedar Elm



Keynote Legend - Visibility	
Key Value	Keynote Text
10	Visitable exterior route per (R320.7): maintain slope less than 1:20 and cross slope of less than 1:50. Any ramp included in an exterior Visitable route must comply with the Residential Code.



reach architects

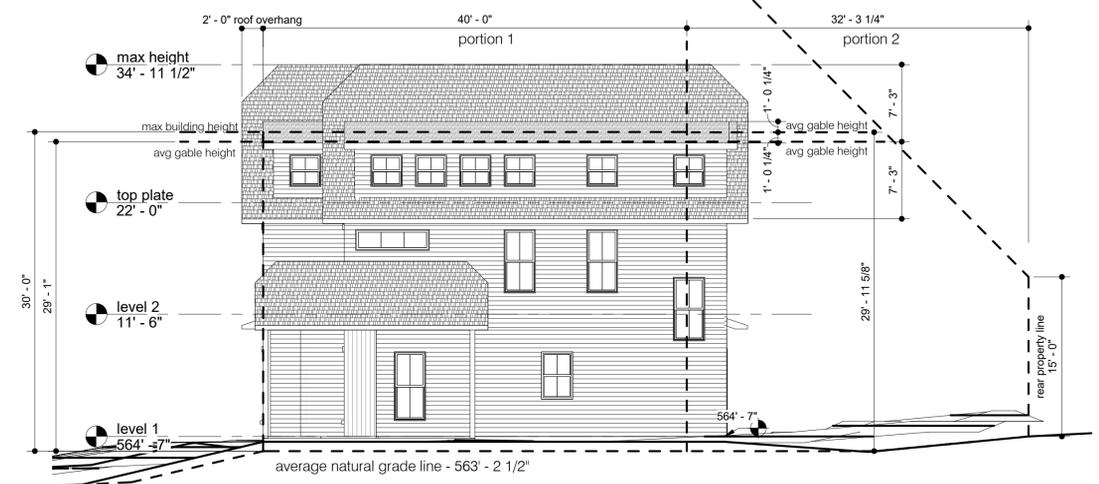
1107 south 8th street
austin, texas 78704
512.970.5669

GROSS FLOOR AREA - SUBCHAPTER F (calc. to exterior face of bldg.)						
AREA DESCRIPTION	Existing SF to remain	UNIT A	UNIT B	Proposed Exemption	Applied Exemption	Total SF
1st floor conditioned area		876	878	-----	-----	1,754
2nd floor conditioned area - 5' aff		878	905	-----	-----	1,783
3rd floor conditioned area - 5' aff		-----	-----	-----	-----	-----
area w/ ceilings > 15'		-----	-----	-----	-----	-----
Ground Floor Porch		75	249	full porch	324	0
Basement		-----	-----	-----	-----	-----
Attic		824	874	attic	1,698	0
Garage	attached	199	xxx	garage	199	0
	detached	xxx	xxx	-----	-----	xxx
Carport	attached	xxx	xxx	-----	-----	xxx
	detached	xxx	200	carport	200	0
Accessory building(s)		-----	-----	-----	-----	-----
Totals		2,858	3,106	TOTAL GROSS FLOOR AREA		3,537

F.A.R. - (3,537 allowed) - total gross floor area/lot size x 100 = 40%
 LOT Area - 8,842sf x 0.4 = 3,537sf
 NOTE:
 ALL AREAS MEASURED TO THE OUTSIDE FACE OF THE EXTERIOR FINISH MATERIAL.



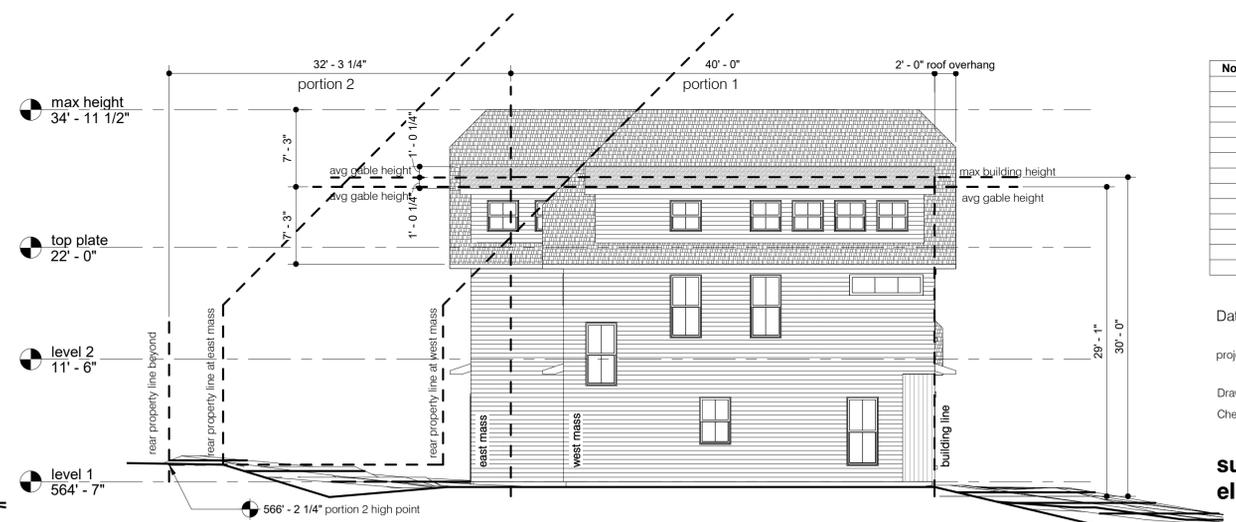
1 north w/ McMansion tent
1/8" = 1'-0"



2 east w/ McMansion tent
1/8" = 1'-0"



3 south w/ McMansion tent
1/8" = 1'-0"



4 west w/ McMansion tent
1/8" = 1'-0"

1510 palma plaza review set

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these documents are for design review and not intended for construction bidding or permit purposes. they were prepared by, or under the supervision of:

alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21
 project number 1114
 Drawn by tr
 Checked by ack

subchapter f elevations

A002

3D VIEW NOTES

1. THIS SHEET FOR REFERENCE ONLY, NOT FOR CONSTRUCTION.
2. GRADE NOT SHOWN.



reach architects

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austin, texas 78704
512.970.5669

**1510
palma
plaza**
review set

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No.	Description	Date

Date 2020.12.21

project number 1114

Drawn by tr

Checked by ack

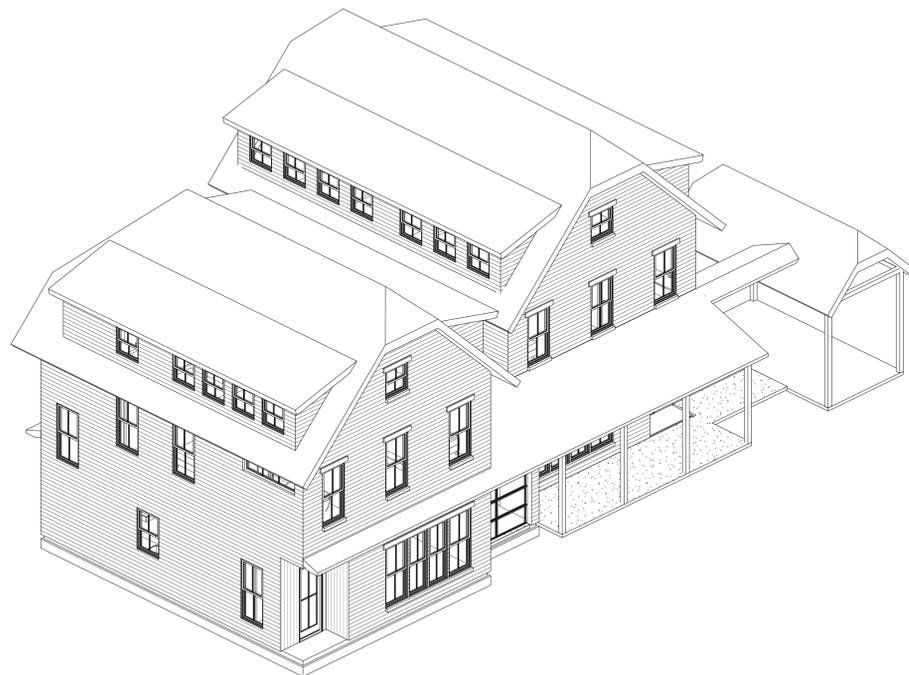
3D views



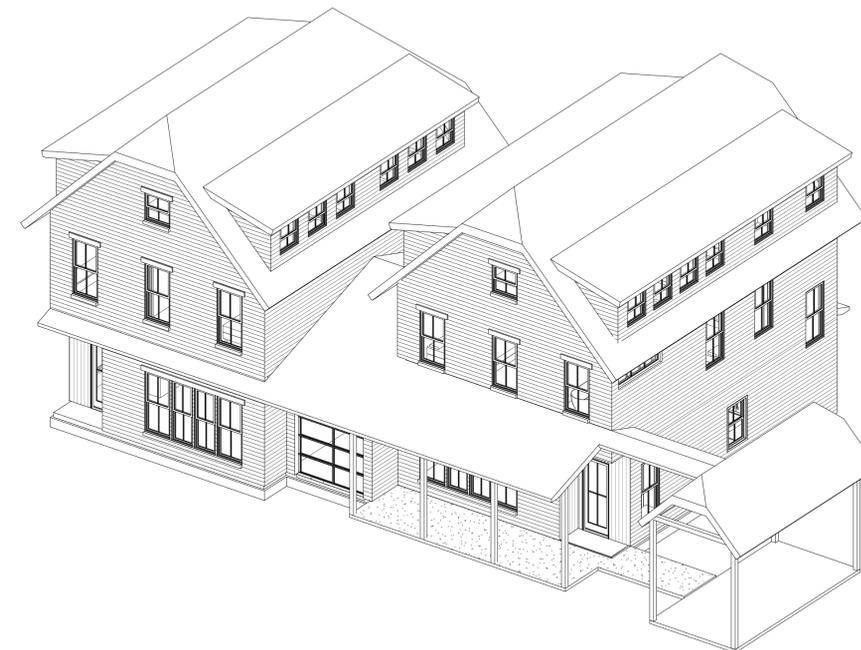
4 northwest



3 northeast



2 southwest



1 southeast



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alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21

project number 1114

Drawn by tr

Checked by ack

first floor plan

A101

VISITABILITY NOTES

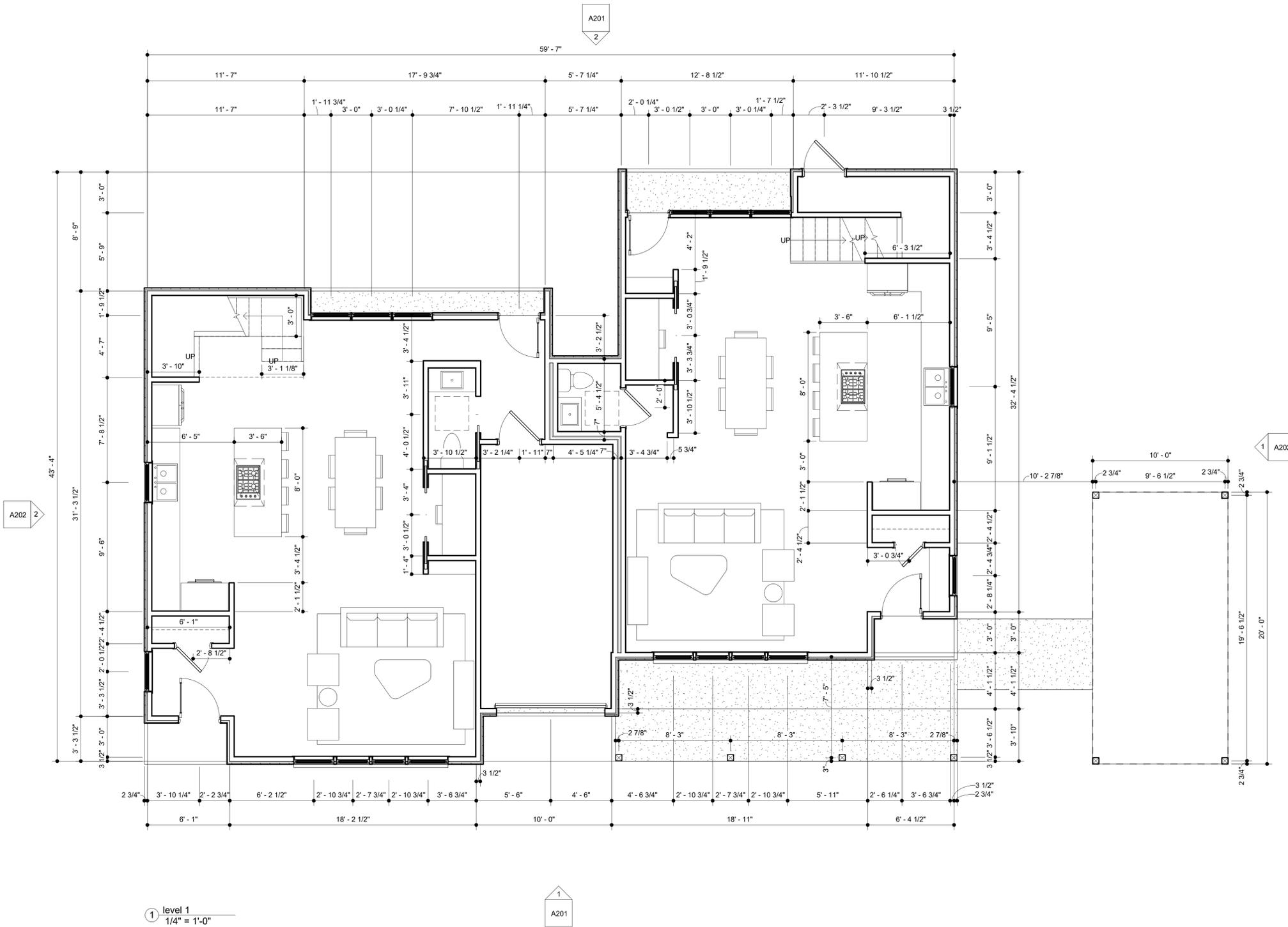
1. AT FIRST FLOOR OF VISITABLE DWELLING, LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE INTERIOR FLOOR LEVEL.
2. AT FIRST FLOOR OF VISITABLE DWELLING, OUTLETS AND RECEPTACLES MINIMUM 15" ABOVE INTERIOR FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS.
3. REF. ELECT. PLANS.

ANNOTATION PLAN NOTES

1. FIELD VERIFY DIMENSIONS PRIOR TO START OF THE WORK.
2. DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
3. WINDOWS & DOORS SHALL HAVE TEMPERED GLASS OR LAMINATED SAFETY GLASS AS PER APPLICABLE CODES. CONTRACTOR TO COORDINATE W/ MANUFACTURERS.
4. CONTRACTOR SHALL COORDINATE W/ WINDOW MANUFACTURER TO VERIFY EGRESSABLE WINDOWS ARE INSTALLED WHERE REQUIRED BY CODE.
5. ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
6. GENERIC SINKS & APPLIANCES SHOWN. COORDINATE ACTUAL SIZE, STYLE & LOCATION W/ OWNER.
6. GENERIC MILLWORK SHOWN. COORDINATE FINAL MILLWORK DESIGN & ACCOMPANYING HARDWARE W/ OWNER.
7. PROVIDE CONTROL & EXPANSION JOINTS AS REQUIRED IN CONCRETE FLOORS, DRIVES, WALKS & PATIOS.
8. PROVIDE WEATHERSEALS & SILLS AT ALL EXTERIOR DOOR THRESHOLDS.
9. FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR, THE DROP SHALL BE A MINIMUM OF 1/2". UNLESS NOTED OTHERWISE CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
10. SHOWER HEADS SHALL BE MOUNTED 7'-0" A.F.F. UNLESS NOTED OTHERWISE.
11. ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS AT 16" O.C., EXCEPT AT PLUMBING WALLS OR POCKET DOOR WALLS.
12. ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
13. ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. GLAZING USED IN DOORS AND PANELS OF SHOWER ENCLOSURES SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
14. THESE DOCUMENTS REFLECT NOMINAL WINDOW SIZES, UNLESS NOTED OTHERWISE.
15. PROVIDE BLOCKING FOR CEILING FANS AS REQUIRED.
16. BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS
17. WEATHERSTRIP ATTIC ACCESS DOORS.
18. ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2X6 STUDS, THEY MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C.
19. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
20. PROVIDE BLOCKING AND/OR PROPER SUPPORT FOR SHOWER BENCHES.
21. GC TO PROVIDE CODE COMPLIANT MANUFACTURED SPIRAL STAIR; COORDINATE LOCATIONS & CONFIGURATION WITH OWNER.

DIMENSION PLAN NOTES

1. FIELD VERIFY DIMENSIONS PRIOR TO START OF THE WORK.
2. DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
3. ALL WINDOWS & DOORS ARE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR SPECS.
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1 level 1
1/4" = 1'-0"

1
A201

1
A202





reach architects

1107 south 8th street
austin, texas 78704
512.970.5669

1510 palma plaza review set

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alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21

project number 1114

Drawn by tr

Checked by ack

second floor plan

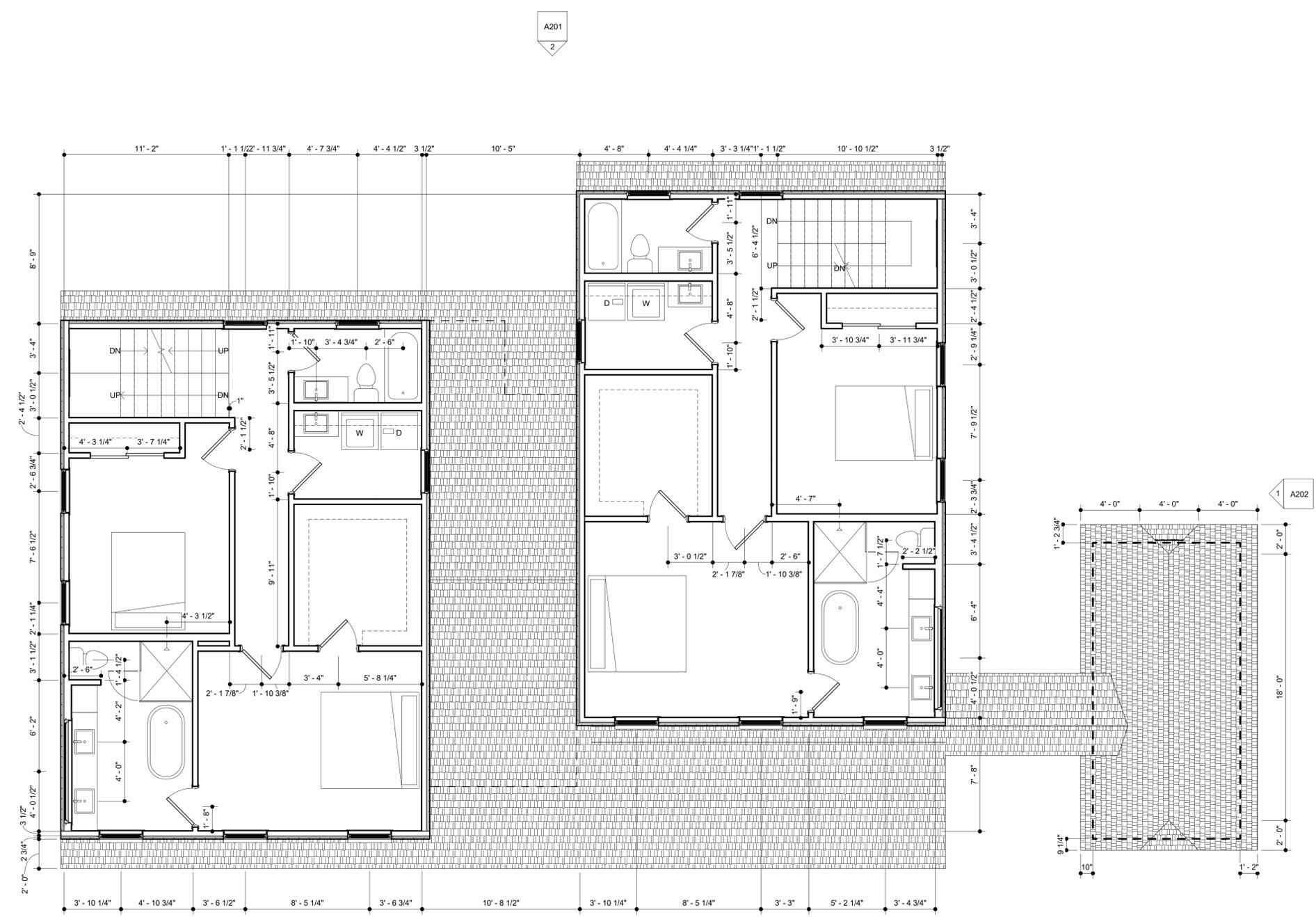
A102

ANNOTATION PLAN NOTES

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1 level 2
1/4" = 1'-0"

1
A201





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alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21

project number 1114

Drawn by Author

Checked by Checker

third floor / attic plan

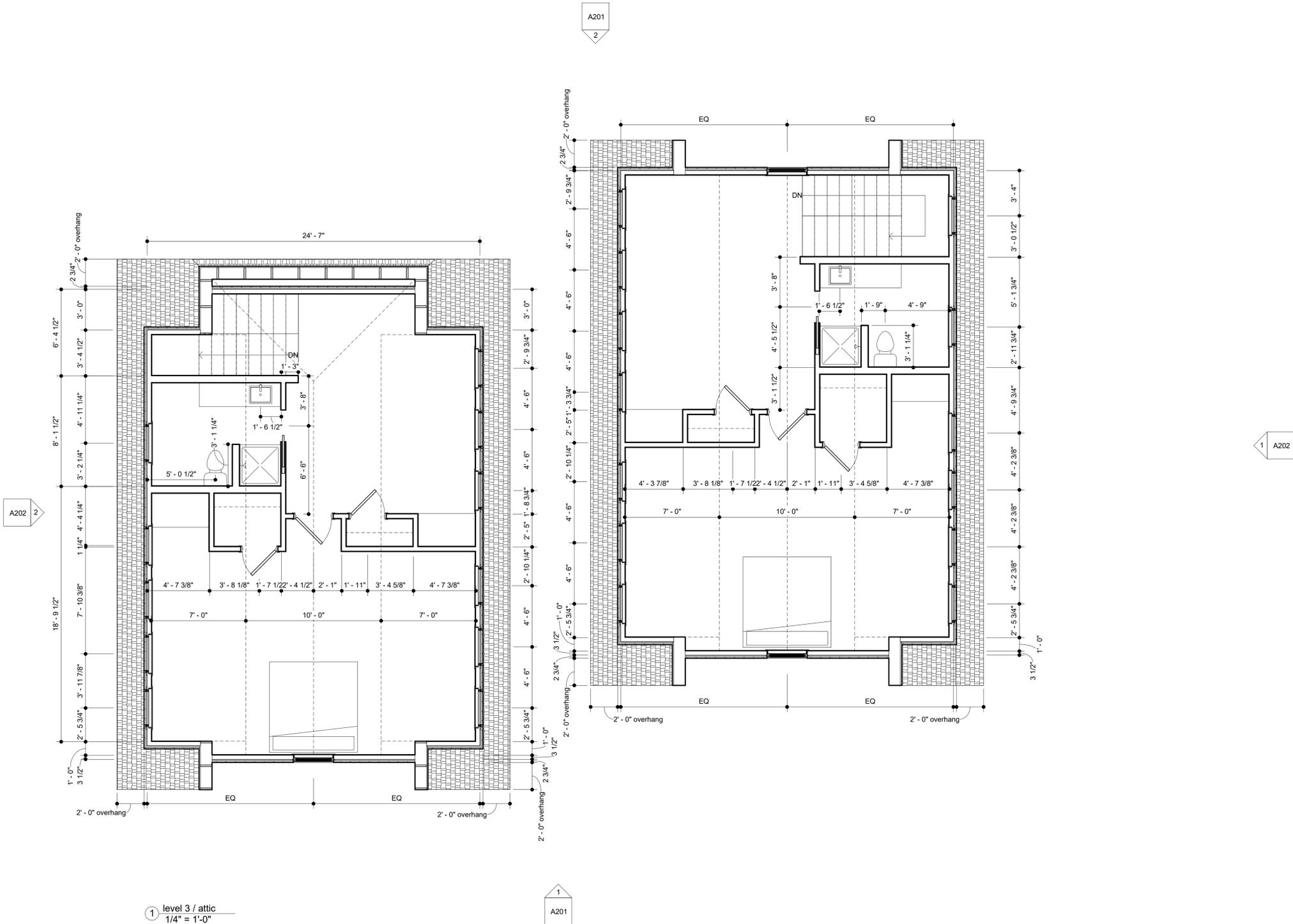
A103

ANNOTATION PLAN NOTES

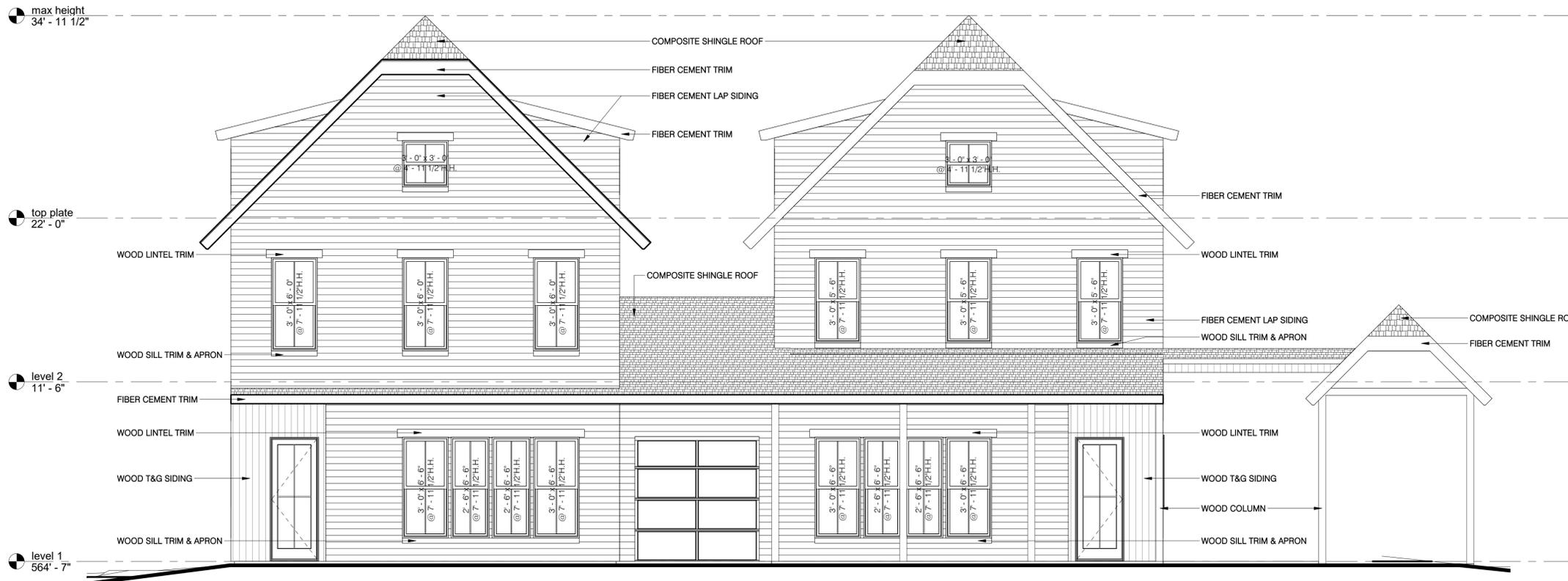
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1 level 3 / attic
1/4" = 1'-0"



① south elevation
1/4" = 1'-0"

- ### BLDG ELEVATION NOTES
- DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
 - REF A101 FLOOR PLAN.
 - CONTRACTOR TO PROVIDE RAINDRIP FOR ALL WINDOWS & DOORS FOR PROPER DRAINAGE.
 - CONTRACTOR TO PROVIDE RAINDRIP FOR ALL BRICK/MASONRY WALLS FOR PROPER DRAINAGE.
 - GRADE LINES SHOWN ON DRAWINGS ARE FOR REPRESENTATIONAL PURPOSES ONLY. REFER TO CIVIL DRAWINGS FOR ACTUAL GRADE ELEVATIONS.
 - ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
 - PAINT ALL GUTTERS & DOWNSPOUTS TO MATCH FIBER CEMENT SIDING.

Keynote Legend - Elevations	
Key Value	Keynote Text



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1510 palma plaza

review set

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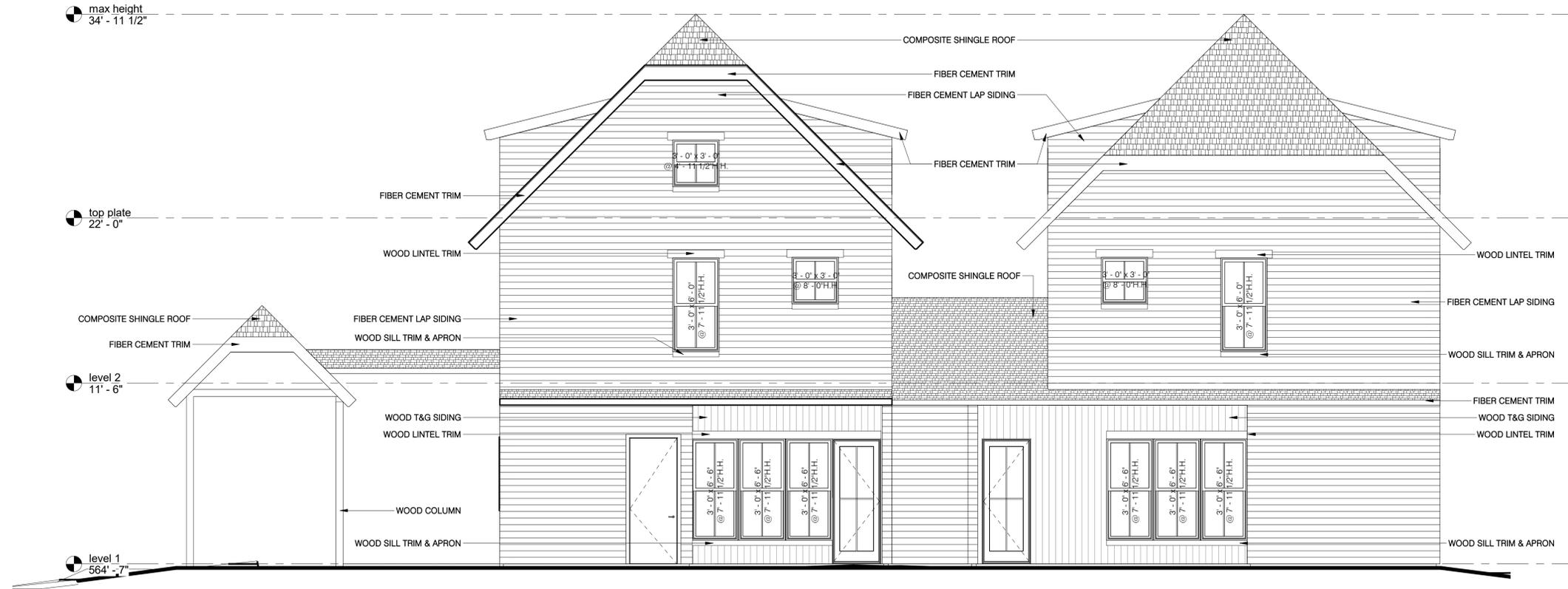
alan knox, aia # 21945

2020.12.21

No.	Description	Date

Date 2020.12.21
project number 1114
Drawn by tr
Checked by ack

building elevations



② north elevation
1/4" = 1'-0"

1510 Palma Plaza

HISTORICAL ASSOCIATION

Must meet the following definition:

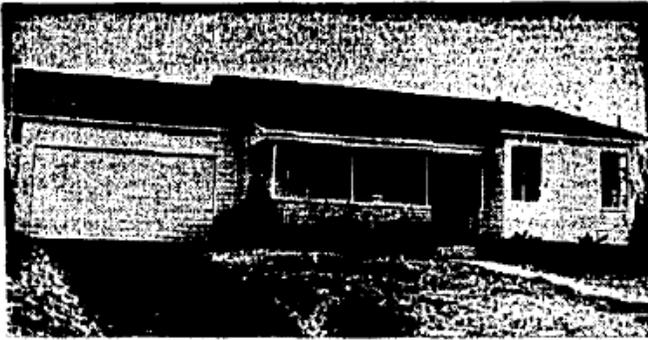
“The property has long-standing significant associations with persons, groups, institutions, businesses, or events of historic importance which *contributed significantly to the history of the city, state, or nation.*”

A. Howard Osburn

- Insurance, real estate developer & broker
- Developed Upland Addition in east Austin

Augusta Osburn

- Sister to Renfro brothers who owned and operated Renfro Drug Stores
 - Augusta operated a circulating library out of the Renfro Drug Store on 12th St
- Managed the segregated Austin Country Club



—Photo by Neal Douglas.

OPEN FOR INSPECTION is this five-room frame home with stone trim in Upland addition at 1404 Concordia. This home has textone walls, select oak floors, steel casement windows and tile bath. The two-car garage is attached.

Upland Addition Gaining Popularity, Osburn Reports

Seven New Homes Already Built in Section, And More To Be Begun Within Week

Upland addition, a breezy rolling area studded with native trees, is gaining popularity, A. Howard Osburn, developer, reported Saturday.

The winding paved streets of the addition will stay that way, Mr. Osburn noted, since all utility lines have been laid and con-

nections run to each lot. Thus, future connections will not break the pavement.

"Upland addition invites you to visit its cool, rolling hills and inspect the attractive new homes that are now available," Mr. Osburn declared.

These homes are built under FHA specifications and under FHA inspection. Two are now available, and many home sites are still open.

Upland addition is 10 minutes' drive from the heart of the city and six minutes from the university. It is located just eight blocks from the new Robert E. Lee school.

Seven new homes have been built, five of them having been sold already. Among those who have purchased homes in Upland are Mr. and Mrs. John D. Reed, Mr. and Mrs. Jim Slavin, Mr. and Mrs. Marlin Moses, Mr. and Mrs. F. W. Bradshaw and Mr. and Mrs. Carlyle W. Urban. Several other new homes have been planned and construction on them will start within the next week.

"The two unsold houses," Mr. Osburn pointed out, "are unusually attractive and are to be sold below present construction costs. Be sure to see them."

Mr. Osburn, a realtor, has offices in the Brown building and a field office at Concordia and Lafayette streets.

Upland

1405 Concordia Ave. New FHA home of five rooms and screened porch. Selected oak floors, tile bath with shower over tub, asphalt drive to two car garage.

A. HOWARD OSBURN

Brown Bldg. Phones 2-8338 or 8-3279

Advertisement for Upland Addition
Austin Statesman August 2, 1942

UPLAND ADDITION

FHA home never occupied. This home has five nicely screen porch arranged rooms, full tile bath, select oak floors, textone walls, red wood siding, two car garage.

A. Howard Osburn

Brown Bldg. Phone 2-8338 or 8-3279

Advertisement for Upland Addition
Austin-American Statesman December 6, 1942

News story on the Upland Addition developed by A. Howard Osburn
Austin American-Statesman, January 18, 1942

TRAVIS COUNTY, TEXAS
VOL. 654 PAGE 331

said Mrs. W. G. Jones, her heirs and assigns, all liens, rights and equities that secure payment of said note and particularly the security afforded by said deed of trust.

WITNESS my hand, this the nineteenth day of August, A. D. 1940.

R. L. Slaughter

THE STATE OF TEXAS,
COUNTY OF TRAVIS.

Before me, the undersigned authority, on this day personally appeared R. L. Slaughter, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office, this the nineteenth day of August, A. D. 1940.

Edna Tolson

(Notary Seal) Notary Public within and for Travis County, Texas.
Filed for record Aug. 26, 1940, at 5 A. M. Recorded Aug. 26, 1940, at 8:40 A. M.

THE STATE OF TEXAS, |
COUNTY OF TRAVIS. |

KNOW ALL MEN BY THESE PRESENTS:

That I, D. C. Reed, of Travis County, Texas, the sole owner of all the property known as Upland Addition to the City of Austin, Travis County, Texas, for the purpose of protecting the interest of all persons who may buy lots in said addition, do hereby promulgate and adopt the restrictions hereinafter set out, which shall be applicable to all lots in said addition and which shall be deemed to be covenants running with the land and binding upon all purchasers, their heirs, executors, administrators, and assigns, whether or not said restrictions are set out in the deeds conveying said property, such restrictions being as follows:

(e) All lots in Upland Addition shall be used for residence purposes only, except the lots Nos. 14 to 23, inclusive in Block No. Five (5) thereof, which may be used for business purposes; and no structure shall be erected on any residential building plot in said addition except one one-family or two-family dwelling house, not to exceed two stories in height, and a one-car or two-car garage.

shall at any time be used as a residence, temporarily or permanently, nor shall any residence of a temporary character be permitted, but this provision shall not prevent the erection of servant's quarters in connection with garages or the use thereof by servants of the persons occupying the dwelling house on said lot.

(f) No part of the premises shall ever be owned by, held for, rented to, or occupied by any person of African descent; provided, however, that this clause shall not prevent the employment of such persons as domestic servants and providing customary accommodations for them on said premises.

(g) No building costing less than Two Thousand Five Hundred Dollars (\$2,500.00) shall be permitted on any lot in the addition, and no building of box construction shall ever be erected in the addition except in the case of one-story outbuildings located on the rear one-fourth (1/4) of the residential plot.

JUST A FEW SAMPLES OF THE MANY
POPULAR NEW BOOKS ON OUR SHELVES

RENFRO DRUG CO. NO. 5 CIRCULATING LIBRARY
914 West 12th St. Augusta Osburn

Disputed Passage	Lloyd C. Douglas
The Sword of Islam	Rafael Sabitini
Dr. Norton's Wife	Mildred Walker
Song of Years	Bess Streeter Aldrich
Danger Signal	Phyllis Bottome

NON-FICTION

Alone	Richard Byrd
Best Poems of 1938	Thomas Moutt
The Windsor Tapestry	Compton MacKenzie
Style Your Personality	Renee Long
Unforgotten Years	Logan P. Smith

Notice in the newspaper of new titles in the Renfro Drug Company Circulating Library, managed by Augusta Osburn
Austin American-Statesman, January 15, 1939

Mrs. Osburn. Manager of Country Club

A new regime has begun at the Austin Country club with the installation as resident manager of Mrs. Howard Osburn, until recently manager of the Austin club in the Norwood building.

Under her predecessor, Mrs. James W. Bass, the club weathered many vicissitudes and came back strong, even after the loss of its buildings by fire.

But increasing demands for the sort of service peculiar to a country club made it mandatory that a manager be within call at all times, and Mrs. Bass, feeling she could not afford to give more time to the club, resigned and the board of directors acceded to her wishes.

The dissolution of the Austin club just at this time made available the services of Mrs. A. Howard Osburn, who as manager of the Austin club made it one of the most popular and delightful places of entertainment in Austin.

Mr. and Mrs. Osburn have taken up residence in the attractive quarters just completed for the manager, and Mrs. Osburn assumed her new duties on Jan. 15.

The club has been very successful in its endeavor to absorb as largely as possible the membership of the Austin club and plans are under way to give the same service as was provided by the recently disbanded club.

A daily luncheon will be served during the hours convenient for business men who will enjoy the relaxation of a drive to the club and a brief sojourn in its restful quiet.

Dinner will be served each night and a special Sunday night supper will be served from 7 to 9 p. m. A special Sunday luncheon served from 12 to 2 p. m. will be another new feature.

Wednesday will henceforth be observed as Ladies' Day at the club.

With increased space and improved facilities provided by recent improvements at the Country club, a return to traditional affairs which have lapsed and been missed during a few years is being arranged. Among these are the Easter Monday bridge tea, formerly an outstanding event on the social calendar in the early spring, the children's Easter party and egg hunt, and the annual barbecue for club members only.

A club dance is being planned, according to the new manager, within the next two weeks.

News story on the installation of Augusta Osburn as manager of the Austin Country Club
Austin-American Statesman January 19, 1936

Austin's Hancock Golf Course Listed in the National Register of Historic Places

AUSTIN, Texas — The Texas Historical Commission recently assisted in the successful nomination of Hancock Golf Course in Austin, Travis County, to the [National Register of Historic Places](#) in recognition of its importance to the history of Austin and the State of Texas.

[Hancock Golf Course](#) was the first location of the Austin Country Club, established in 1899 and incorporated the following year during a national rise in the popularity of golf and establishment of numerous private golf associations across the United States. The nine-hole golf course was the first in Austin, and is the oldest continuously-operated course in the state. Founded by former Austin Mayor Lewis Hancock with a committee of business and civic leaders, [the Austin Country Club added nine holes on a separate parcel in 1913 and continued to operate the course as a private segregated facility until 1951](#), when the organization completed a move to a new location. The City of Austin then operated the course as a public facility, selling off all but the original nine-hole course for commercial development in 1959. The course has played an integral part in the introduction and popularity of the sport in Austin and retains its historic layout.

Source: Texas Historical Commission website

<https://www.thc.texas.gov/news-events/press-releases/austins-hancock-golf-course-listed-national-register-historic-places>