
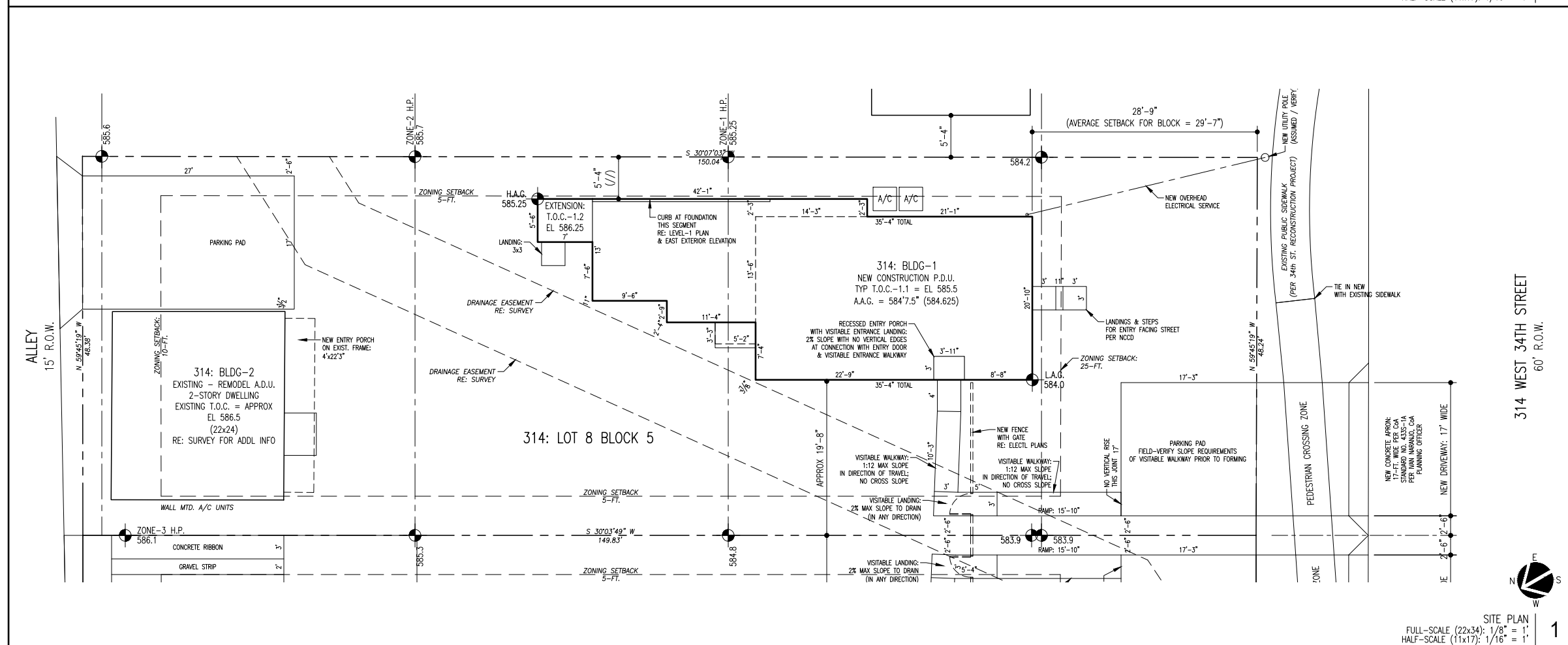


LIST OF DRAWINGS		DATE:	REVISION
1910	SITE PLAN: DEMOLITION SITE PLAN: NEW GENERAL NOTES		
BUILDINGS 1:                      NEW CONSTRUCTION			
A1-1	FLOOR PLANS: LEVEL-1 FLOOR PLANS: LEVEL-2		
A1-2	FLOOR PLAN: HABITABLE ATTIC HIGH ROOF PLAN		
A1-3	EXTERIOR ELEVATIONS:    PLAN EAST PLAN SOUTH		
A1-4	EXTERIOR ELEVATIONS:    PLAN WEST PLAN NORTH		
A1-5	BUILDING SECTIONS OUTLINE SPECIFICATIONS MISC SCHEDULES		
A1-6	ELECTRICAL PLANS            LEVEL-1 LEVEL-2 LEVEL-3		
BUILDING 2:                      EXISTING-REMODEL			
A2-1	FLOOR PLANS:                LEVEL-1 FLOOR PLANS:                LEVEL-2		
A2-2	EXTERIOR ELEVATIONS		
A2-3	ELECTRICAL PLANS ROOF PLAN		
<div style="text-align: center;">  <p>04 NOVEMBER 2020</p> <p>PERMIT REVISION</p> <p>The Texas Board of Architectural Examiners, P.O. Box 12337, Austin, Texas 78711-2337 or 333 Guadalupe, Suite 2-350, Austin, Texas 78701-3942, (512) 305-9000, has jurisdiction over individuals licensed under the Architects' Registration Law, Texas Civil Statutes, Article 249a. This file is an instrument of service and is to be used solely for the purposes stipulated under separate executed contracts with the Architect. This document is copyrighted and is not to be used, duplicated or otherwise modified except with express permission of the Architect.</p> </div>			
<h2 style="text-align: center; margin: 0;">JOINT USE ACCESS AGREEMENT NOTE</h2> <p>PER RESEARCH BY ARTHUR WALSTON OF THE CITY OF AUSTIN OFFICE OF REAL ESTATE SERVICES, AS DESCRIBED IN EMAILS ON OR AROUND 01.13.20, THE ACCESS EASEMENT REFERENCED IN THE PROPERTY DEEDS WERE NOT FORMALLY RECORDED WITH THE CITY OF AUSTIN, SO IT IS NOT NECESSARY TO SUBMIT OR OBTAIN AN EASEMENT RELEASE APPLICATION TO THE OFFICE OF REAL ESTATE SERVICES</p>			



<b>GENERAL NOTES</b>	
ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AS MANDATED BY ALL GOVERNING JURISDICTIONS	
DRAWINGS AND DOCUMENTS ARE GENERAL IN NATURE AND DO NOT INCLUDE OR ANTICIPATE EVERY CONDITION POSSIBLE	
CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THESE DRAWINGS AND MAKE A DETAILED SITE VISIT TO REVIEW FIELD CONDITIONS: REPORT DISCREPANCIES.	
WRITTEN DIMENSIONS GOVERN: DO NOT SCALE DRAWINGS	
MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE MANUFACTURER PUBLISHED INSTRUCTIONS AND/OR RECOMMENDATIONS	
THESE DRAWINGS AND SPECIFICATIONS WHEN ISSUED ARE THE PROPERTY OF THE DESIGN COMPANY AND/OR ARCHITECT FOR THIS SPECIFIC ADDRESS	
SITE PLAN IS BASED ON SURVEY INFORMATION PROVIDED BY OWNER AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION BY GENERAL CONTRACTOR	
PROJECT MAY BE SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, OR OTHER LIMITATIONS, OF WHICH THE DESIGN COMPANY AND/OR ARCHITECT HAS NOT BEEN INFORMED: OWNER TO VERIFY	
TREES SHALL BE PROTECTED IN ACCORDANCE WITH REGULATING AUTHORITY'S RULES AND REGULATIONS	
FAILURE TO ABIDE BY THE ABOVE INFORMATION, AND/OR FAILURE TO ABIDE BY COMMONLY ACCEPTED PRACTICES, SHALL ALLEVIATE THE DESIGN COMPANY AND/OR ARCHITECT FROM LIABILITY	
REFER TO SITE DEVELOPMENT INFORMATION (SEPARATE DOCUMENT) FOR PROJECT DATA	
ABBREVIATIONS: AVERAGE ADJACENT GRADE      A.A.G. HIGH ADJACENT GRADE        H.A.G. LOW ADJACENT GRADE        L.A.G. TOP OF CONCRETE              T.O.C.	
<div>314 WEST 34th STREET AUSTIN TX 78705</div> <div>TWO-FAMILY PROJECT: PDU: NEW CONSTRUCTION ADU: ADDITION-REMODEL ZONING: SF-3-NCCD-1P</div> <div><div><b>BOREN</b> ARCHITECTS</div><div>512.554.5474</div></div>	
DRAWING TITLE:	
DATE:	AS NOTED
PROJECT:	1910: 314
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	314

City of Austin  
2022 BUILDING CODE COMPLIANCE  
1910





- 410  
28' SETBACK PER FIELD-MEASURE
- 408  
27.5' SETBACK PER FIELD-MEASURE
- 406  
26' SETBACK PER FIELD-MEASURE
- 404  
27' SETBACK PER FIELD-MEASURE
- 402  
27' SETBACK PER FIELD-MEASURE
- 400  
MULTI-FAMILY USE APARTMENT BUILDING  
EXEMPT FROM SETBACK AVERAGING
- 316  
24'-9" SETBACK PER SURVEY  
(NOT INCLUDED IN DATA FOR 316)
- 314  
34'-3" SETBACK PER SURVEY  
(NOT INCLUDED IN DATA FOR 314)
- 312  
29' SETBACK PER FIELD-MEASURE
- 310  
39' SETBACK PER FIELD-MEASURE
- 308  
25' PER PERMIT HISTORY DOCUMENTS
- 306  
36'-2" PER PERMIT HISTORY DOCUMENTS
- 304  
30' SETBACK PER FIELD-MEASURE
- 302  
29' SETBACK PER FIELD-MEASURE
- 300  
31' SETBACK PER FIELD-MEASURE



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314 WEST 34th STREET  
AUSTIN TX 78705

TWO-FAMILY PROJECT:  
PDU: NEW CONSTRUCTION  
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP



DATA FOR 316 WEST 34th STREET

DATA THIS SHEET TAKEN FROM FIELD-MEASUREMENTS

LISTED DATA BELOW ORGANIZED FROM PROPERTIES WEST TO EAST

1. 28'-0"
2. 27'-6"
3. 21'-0"
4. 27'-0"
5. 27'-0"
6. APT BLDG NOT APPLICABLE
7. 24'-9" SUBJECT TRACT - NOT INCLUDED IN DATA
8. 34'-3"
9. 29'-0"
10. 39'-0"
11. 26'-0"
12. 36'-2"
13. 30'-0"
14. 29'-0"
15. 31'-0"

TOTALS:  
384' DIVIDED BY 13 APPLICABLE LOTS

AVERAGE SETBACK FOR BLOCK:  
29'-7"

DATA FOR 314 WEST 34th STREET

DATA THIS SHEET TAKEN FROM FIELD-MEASUREMENTS

LISTED DATA BELOW ORGANIZED FROM PROPERTIES WEST TO EAST

1. 28'-0"
2. 27'-6"
3. 21'-0"
4. 27'-0"
5. 27'-0"
6. APT BLDG NOT APPLICABLE
7. 24'-9" SUBJECT TRACT - NOT INCLUDED IN DATA
8. 34'-3"
9. 29'-0"
10. 39'-0"
11. 26'-0"
12. 36'-2"
13. 30'-0"
14. 29'-0"
15. 31'-0"

TOTALS:  
375'-5" DIVIDED BY 13 APPLICABLE LOTS

AVERAGE SETBACK FOR BLOCK:  
28'-7"

DRAWING TITLE:

DATE: AS NOTED

PROJECT: 1910: 314

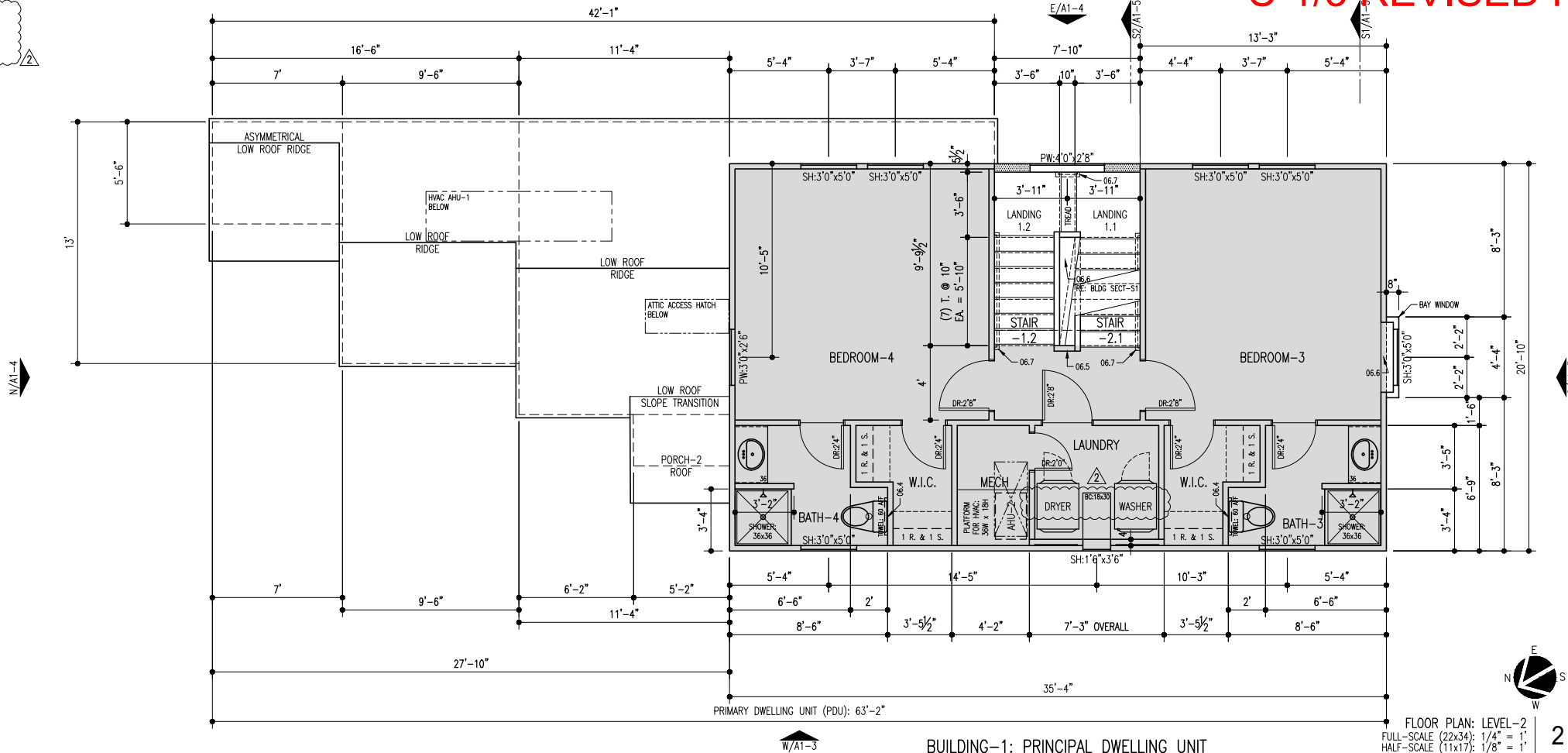
SCALE: AS NOTED

DRAWN: DPB

SHEET:  
314



PERMIT REVISION NOTES THIS LEVEL ONLY:  
\* DOUBLE, STACKED WASHERS / DRYERS REPLACED  
WITH SINGLE WASHER / DRYER



- KEYNOTES LEGEND**
- KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT:  
SEE OUTLINE SPECIFICATIONS THIS PACKAGE FOR ADDL INFO
- 01.1 VISIBILITY: INTERIOR ROUTE OF TRAVEL
  - 01.2 VISIBILITY: 30 x 30 REQD CLEAR FLOOR AREA  
\* SEE VISIBILITY NOTES FOR ADDL INFO THIS ROOM
  - 02.0 EXISTING GRADE TO REMAIN OR BE MODIFIED WHERE NOTED
  - 02.1 NEW PAVEMENT: SLOPE TO DRAIN @ 2% MIN. OR AS NOTED
  - 02.2 NEW FINISH GRADING: SLOPE TO DRAIN @ 2% MIN.
  - 03.1 CONC FOUNDATION PER STRUCTL
  - 03.2 CONC FOUNDATION PER STRUCTL: SLOPE TO DRAIN AS NOTED
  - 03.3 CONC FOUNDATION PER STRUCTL: SPECIAL FEATURE AS NOTED
  - 03.4 CONC FOUNDATION SLOPE TRANSITION: NO VERTICAL EDGE
  - 03.5 CONC FOUNDATION STEMMALL: 4-IN. W. x 6-IN. H.
  - 04.0 EXISTING CONCRETE MASONRY UNIT WALL
  - 05.1 STEEL LINTEL AT NEW WALL OPENING AT EXISTING CMU WALL
  - 06.0 EXISTING WOOD FRAMING ELEMENT
  - 06.1 WOOD FLOOR OR ROOF FRAMING PER STRUCTL
  - 06.2 EDGE OF FRAMING
  - 06.3 LOWER CEILING OR FURR DOWN: DEPTH PER PLAN OR SECTION
  - 06.4 2x6 MIN. BLOCKING IN STUD WALL CENTERED AS NOTED
  - 06.5 PARTIAL-HEIGHT FRAMING: 40-IN. H. NOM. WITH DIVISION-09 CAP TRIM
  - 06.6 INTERIOR PLATFORM: AS NOTED WITH DIVISION-09 CAP TRIM
  - 06.7 STAINED WOOD HANDRAIL
  - 07.0 EXISTING SIDING TO REMAIN: REFURBISH AS REQUIRED
  - 07.1 SIDING TYPE-1: PLANKS WITH 10.75-IN. EXPOSURE TYP U.N.O.
  - 07.2 SIDING TYPE-2: PLANKS WITH 4-IN. EXPOSURE
  - 07.3 ROOF EDGE: 2x8 NOM @ TYPE-1 & 1x6 NOM @ TYPE-2
  - 07.4 EXTERIOR TRIM AS SCHEDULED
  - 07.5 EXTERIOR CEILING AS SCHEDULED
  - 07.6 NEW SIDING TO MATCH EXISTING AT WINDOW OR DOOR INFILL
  - 08.0 EXISTING DOOR OR WINDOW PER REMODEL PLAN NOTES
  - 08.1 SCHEDULED DOOR
  - 08.2 SCHEDULED WINDOW
  - 12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION
  - 15.1 HVAC EQUIPMENT OR ACCESSORY
  - 15.2 PLUMBING EQUIPMENT OR ACCESSORY
  - 16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

DATE: 11.04.20  
11.20.20

REVISION DESCRIPTION

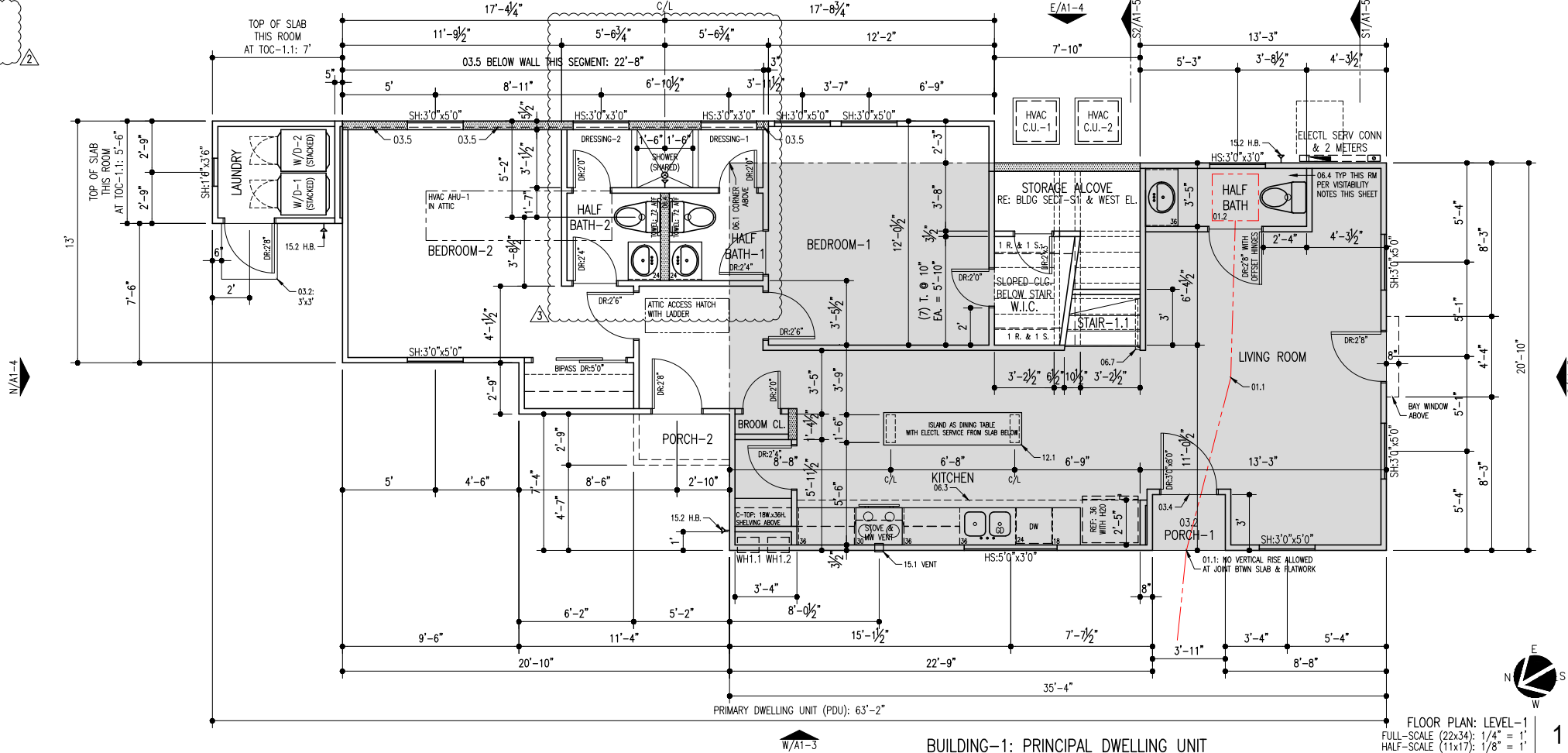
ADDENDA-2: PERMIT REVISION  
ADDENDA-3: PERMIT REVISION CLARIFICATION

04 NOVEMBER 2020  
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PERMIT REVISION NOTES THIS LEVEL ONLY:  
\* SHOWER REMOVED FROM BATH-1  
(NO LONGER A FULL-BATH BUT A HALF-BATH)  
AND REPLACED WITH A CLOTHES WASHER & DRYER



- FLOOR PLAN NOTES: NEW CONSTRUCTION**
1. NEW 2x6 STUD WALLS HATCHED FOR CLARITY: ALL OTHERS 2x4
  2. ALL DIMENSIONS FROM EDGE OF WALL OR FLOOR FRAMING  
OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP
  3. WINDOWS ARE SIZED ON PLANS IN WIDTH x HEIGHT FORMAT:  
SEE EXTERIOR ELEVATIONS FOR ADDL INFO
  4. DOORS SHALL BE 6'-FT. 8-IN. HIGH U.N.O. ON PLAN
  5. COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS WITH MNFR REQS
  6. SMOKE & CARBON MONOXIDE ALARMS TO BE INSTALLED IN FULL COMPLIANCE  
WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE R314
- VISIBILITY NOTES**
- R320.3: VISITABLE BATHROOM (HALF BATH LEVEL-1) (KEYNOTE-01.2)  
\* DOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 32"  
\* LATERAL 2x6 BLOCKING SHALL BE INSTALLED CENTERED @ 34" A.F.F. FLUSH WITH STUD EDGES OF WALL  
ALL 3-SIDES OF TOILET AT LEVEL-1 HALF BATH
- R320.4: MISC ELECTRICAL APPURTENANCES  
\* ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS AT UPPER LEVEL MUST BE NO HIGHER THAN 48" A.F.F.  
\* ALL OUTLETS AND RECEPTACLES AT UPPER LEVEL MUST BE 15" A.F.F.
- R320.5: VISIBILITY ROUTE  
\* SEE PLAN FOR GRAPHIC INFO THIS ELEMENT (KEYNOTE-01.1)
- R320.6: VISITABLE DWELLING ENTRANCE  
\* DOOR THRESHOLD AT ENTRANCE ALONG VISITABLE ROUTE PER R320.5  
SHALL HAVE A 0.5" MAX HIGH THRESHOLD AS SHOWN BELOW  
\* CONC ALONG VISITABLE ROUTE SHALL HAVE A MAX CROSS-SLOPE OF 2% MAX & 5% MAX  
IN DIRECTION OF TRAVEL  
\* CONC EDGES ALONG VISITABLE ROUTE SHALL NOT HAVE VERTICAL EDGES:  
VERIFY WITH FOUNDATION DRAWINGS & CONCRETE SUBCONTRACTOR
- R320.7: EXTERIOR VISITABLE ROUTE  
\* BUILDING-1: THE PDU WILL HAVE A VISITABLE ENTRANCE THROUGH THE MAIN ENTRY  
\* BUILDING-2: THE ADU IS AN EXISTING STRUCTURE TO BE REMODELED  
VISIBILITY NOT APPLICABLE
- ADA-COMPLIANT  
ALUMINUM THRESHOLD
- FLAT CONC  
THRESHOLD DETAIL @ VISITABLE ENTRY
- CONCRETE OUTSIDE VISITABLE ENTRY DOOR-  
SLOPE SHALL NOT EXCEED 2% IN DIRECTION OF TRAVEL  
(NO CROSS SLOPE / NO VERTICAL EDGE)

314 WEST 34th STREET  
AUSTIN TX 78705

TWO-FAMILY PROJECT:  
PDU: NEW CONSTRUCTION  
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

**BOREN**  
ARCHITECTS  
512.554.5474

DRAWING TITLE:  
BUILDING-1  
FLOOR PLAN-1  
FLOOR PLAN-2

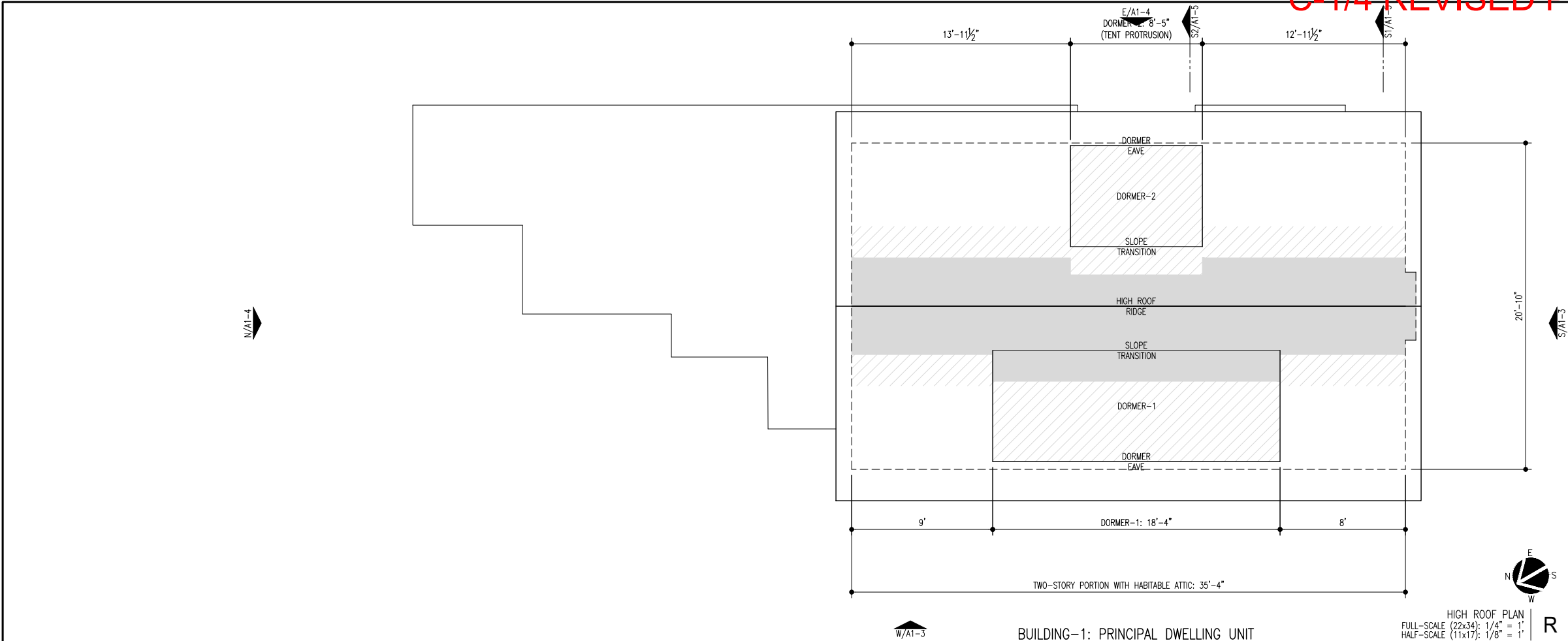
DATE: AS NOTED

PROJECT: 1910: 314

SCALE: AS NOTED

DRAWN: DPB

SHEET: 514



KEYNOTES LEGEND	
KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT: SEE OUTLINE SPECIFICATIONS THIS PACKAGE FOR ADDL INFO	
01.1 VISIBILITY: INTERIOR ROUTE OF TRAVEL	01.2 VISIBILITY: 30 x 30 REQD CLEAR FLOOR AREA * SEE VISIBILITY NOTES FOR ADDL INFO THIS ROOM
02.0 EXISTING GRADE TO REMAIN OR BE MODIFIED WHERE NOTED	
02.1 NEW PAVEMENT: SLOPE TO DRAIN @ 2% MIN. OR AS NOTED	02.2 NEW FINISH GRADING: SLOPE TO DRAIN @ 2% MIN.
03.1 CONC FOUNDATION PER STRUCTL	
03.2 CONC FOUNDATION PER STRUCTL: SLOPE TO DRAIN AS NOTED	03.3 CONC FOUNDATION PER STRUCTL: SPECIAL FEATURE AS NOTED
03.4 CONC FOUNDATION SLOPE TRANSITION: NO VERTICAL EDGE	
03.5 CONC FOUNDATION STEMMALL: 4-IN. W. x 6-IN. H.	04.0 EXISTING CONCRETE MASONRY UNIT WALL
05.1 STEEL LINTEL AT NEW WALL OPENING AT EXISTING CMU WALL	
06.0 EXISTING WOOD FRAMING ELEMENT	06.1 WOOD FLOOR OR ROOF FRAMING PER STRUCTL
06.2 EDGE OF FRAMING	
06.3 LOWER CEILING OR FURR DOWN: DEPTH PER PLAN OR SECTION	06.4 2x6 MIN. BLOCKING IN STUD WALL CENTERED AS NOTED
06.5 PARTIAL-HEIGHT FRAMING: 40-IN. H. NOM. WITH DIVISION-09 CAP TRIM	
06.6 INTERIOR PLATFORM: AS NOTED WITH DIVISION-09 CAP TRIM	06.7 STAINED WOOD HANDRAIL
07.0 EXISTING SIDING TO REMAIN: REFURBISH AS REQUIRED	
07.1 SIDING TYPE-1: PLANKS WITH 10.75-IN. EXPOSURE TYP U.N.O.	07.2 SIDING TYPE-2: PLANKS WITH 4-IN. EXPOSURE
07.3 ROOF EDGE: 2x8 NOM @ TYPE-1 & 1x6 NOM @ TYPE-2	
07.4 EXTERIOR TRIM AS SCHEDULED	07.5 EXTERIOR CEILING AS SCHEDULED
07.6 NEW SIDING TO MATCH EXISTING AT WINDOW OR DOOR INFILL	
08.0 EXISTING DOOR OR WINDOW PER REMODEL PLAN NOTES	08.1 SCHEDULED DOOR
08.2 SCHEDULED WINDOW	
12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION	15.1 HVAC EQUIPMENT OR ACCESSORY
15.2 PLUMBING EQUIPMENT OR ACCESSORY	
16.1 ELECTRICAL APPURTENANCE OR ACCESSORY	

DATE: 11.04.20

REVISION DESCRIPTION

ADDENDA-2: PERMIT REVISION

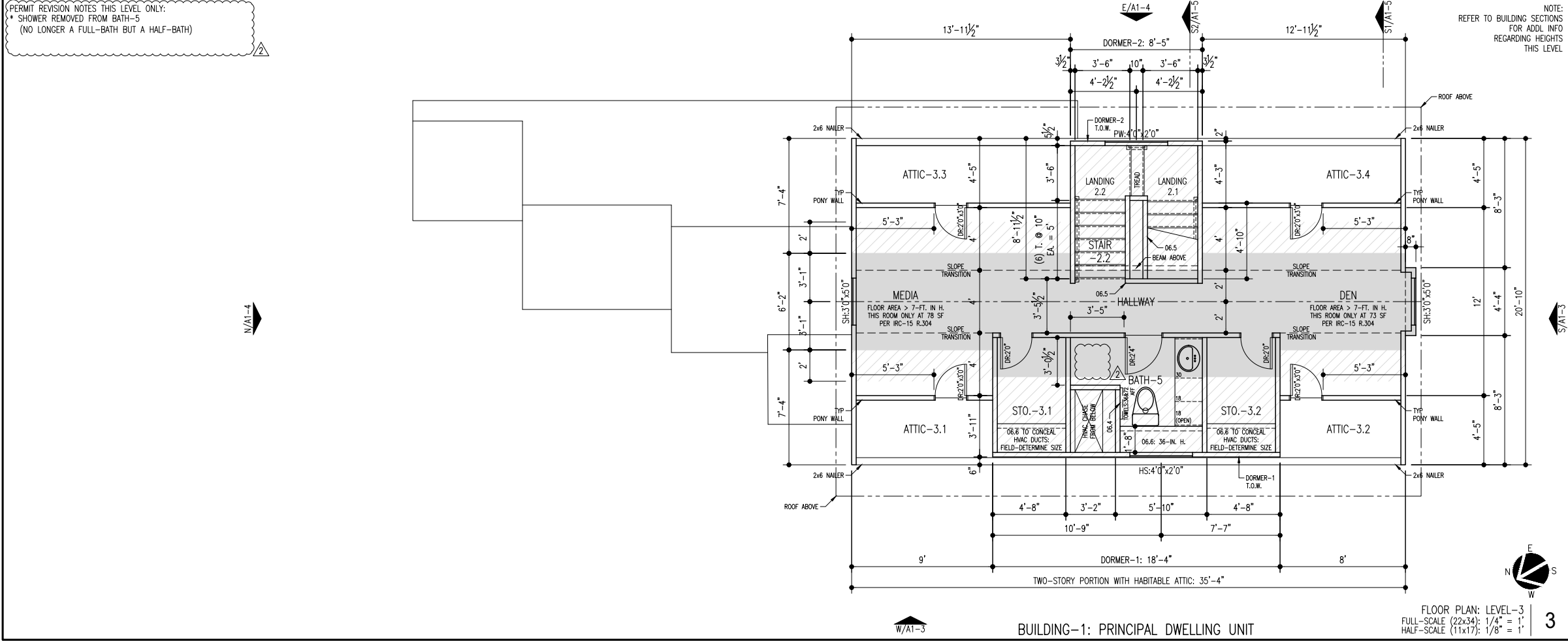
REVISION DESCRIPTION

ADDENDA-2: PERMIT REVISION

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PERMIT REVISION NOTES THIS LEVEL ONLY:  
\* SHOWER REMOVED FROM BATH-5  
(NO LONGER A FULL-BATH BUT A HALF-BATH)



FLOOR PLAN NOTES: NEW CONSTRUCTION	
1. NEW 2x6 STUD WALLS HATCHED FOR CLARITY: ALL OTHERS 2x4	
2. ALL DIMENSIONS FROM EDGE OF WALL OR FLOOR FRAMING OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP	
3. WINDOWS ARE SIZED ON PLANS IN WIDTH x HEIGHT FORMAT: SEE EXTERIOR ELEVATIONS FOR ADDL INFO	
4. DOORS SHALL BE 6'-FT. 8-IN. HIGH U.N.O. ON PLAN	
5. COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS WITH MNFR REQD	
6. SMOKE & CARBON MONOXIDE ALARMS TO BE INSTALLED IN FULL COMPLIANCE WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE R314	
HABITABLE ATTIC DATA	
FLOOR AREA WITH A CEILING HEIGHT ≥ 7'-FT. IN HEIGHT: (SHADED AREA) 243 SF	
FLOOR AREA WITH A CEILING HEIGHT BETWEEN 5'-FT. & 7'-FT. IN HEIGHT: (CROSS HATCHED AREA) 251 SF	
CONCLUSION: 251 SF IS > THAN 243 SF THIS HABITABLE ATTIC MEETS THE EXCEPTION OF SUBCHAPTER F	
REFER TO BUILDING SECTIONS FOR ADDITIONAL GRAPHIC INFORMATION	

314 WEST 34th STREET  
AUSTIN TX 78705

TWO-FAMILY PROJECT:  
PDU: NEW CONSTRUCTION  
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

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DRAWING TITLE:  
BUILDING-1  
FLOOR PLAN-3  
HIGH ROOF PLAN

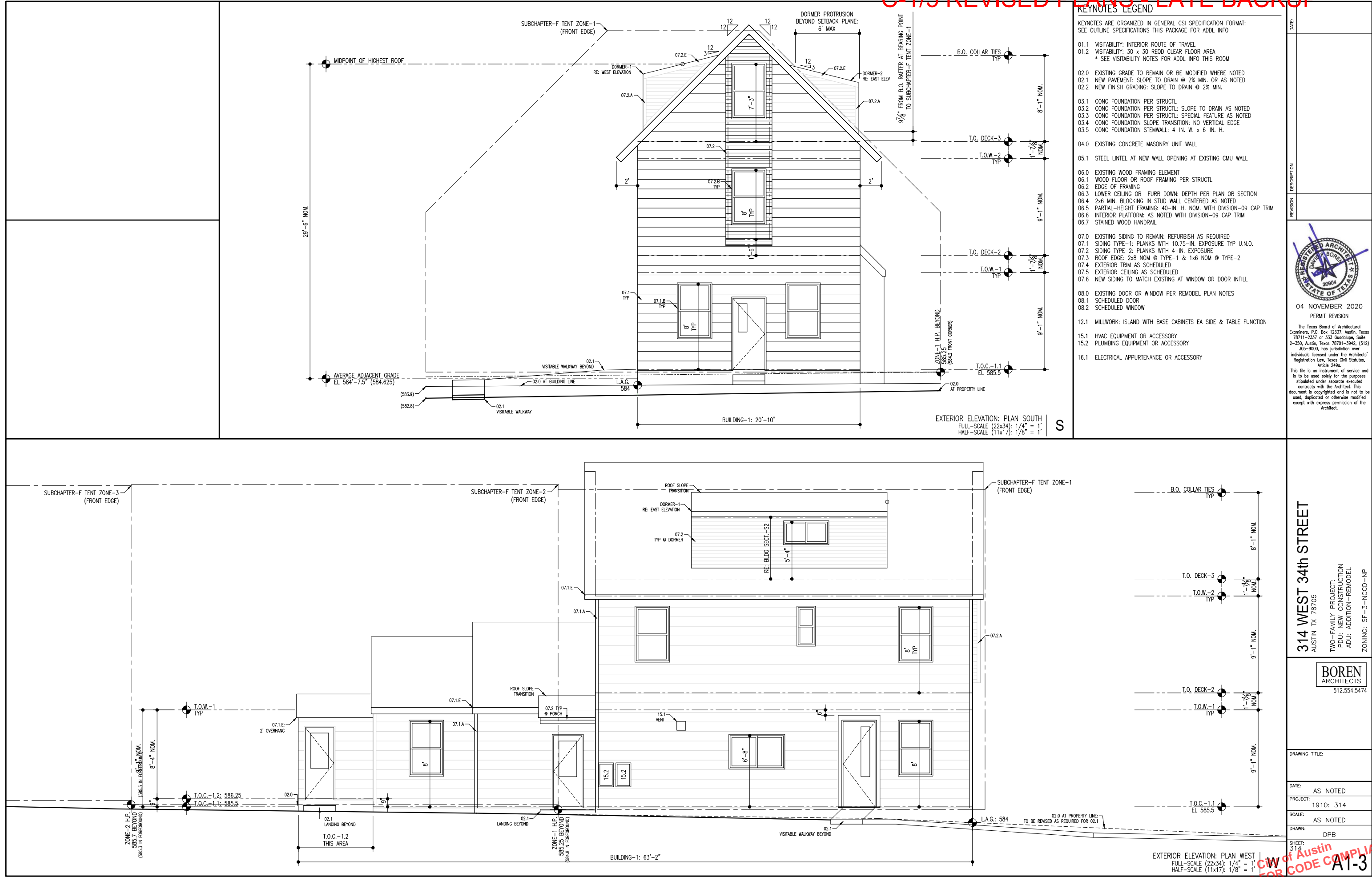
DATE:  
AS NOTED

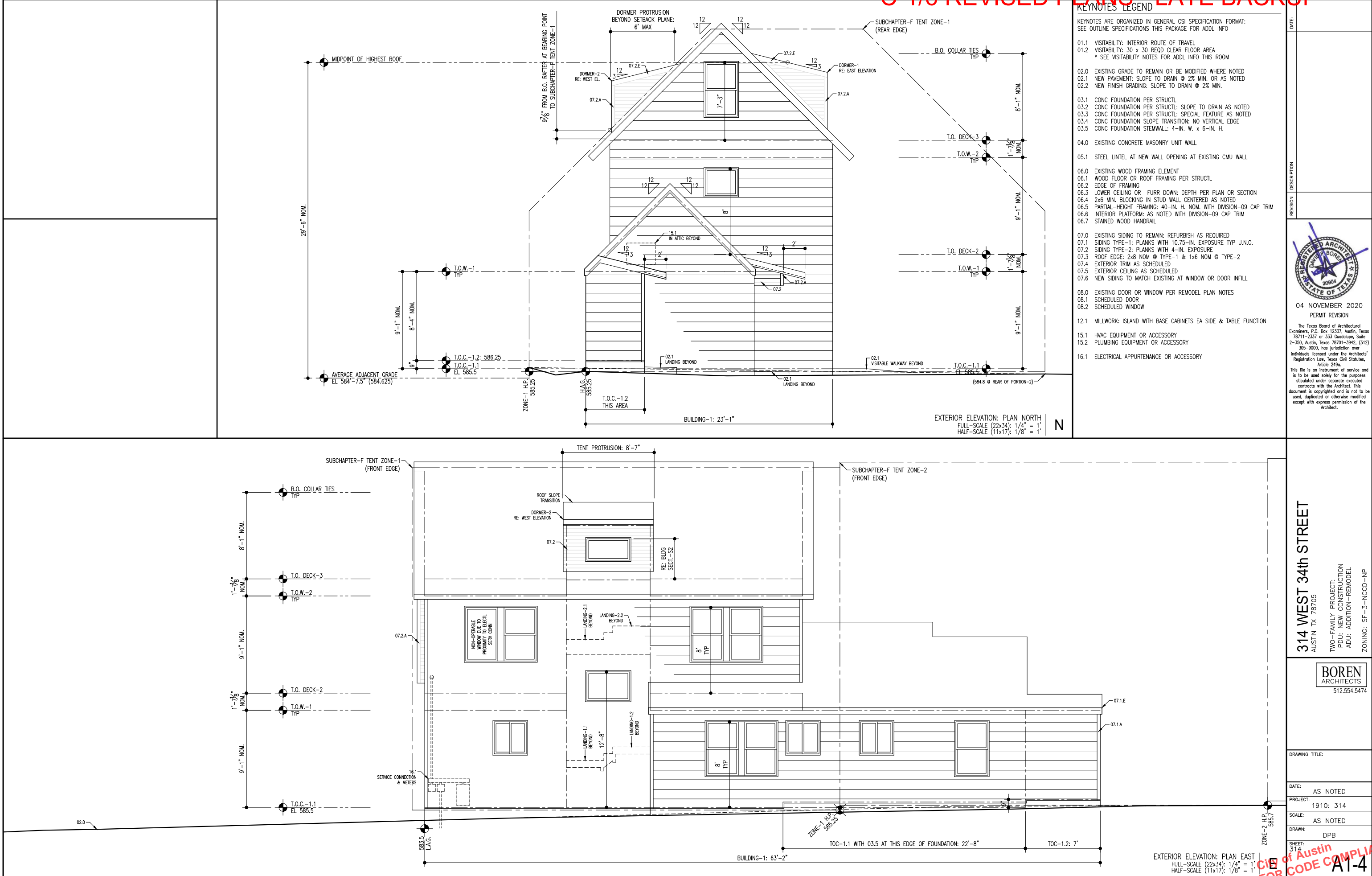
PROJECT:  
1910: 314

SCALE:  
AS NOTED

DRAWN:  
DPB

SHEET:  
314





KEYNOTES LEGEND

KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT:  
SEE OUTLINE SPECIFICATIONS THIS PACKAGE FOR ADDL INFO

- 01.1 VISIBILITY: INTERIOR ROUTE OF TRAVEL
- 01.2 VISIBILITY: 30 x 30 REQD CLEAR FLOOR AREA  
\* SEE VISIBILITY NOTES FOR ADDL INFO THIS ROOM
- 02.0 EXISTING GRADE TO REMAIN OR BE MODIFIED WHERE NOTED
- 02.1 NEW PAVEMENT: SLOPE TO DRAIN @ 2% MIN. OR AS NOTED
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- 03.2 CONC FOUNDATION PER STRUCTL: SLOPE TO DRAIN AS NOTED
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314 WEST 34th STREET  
AUSTIN TX 78705

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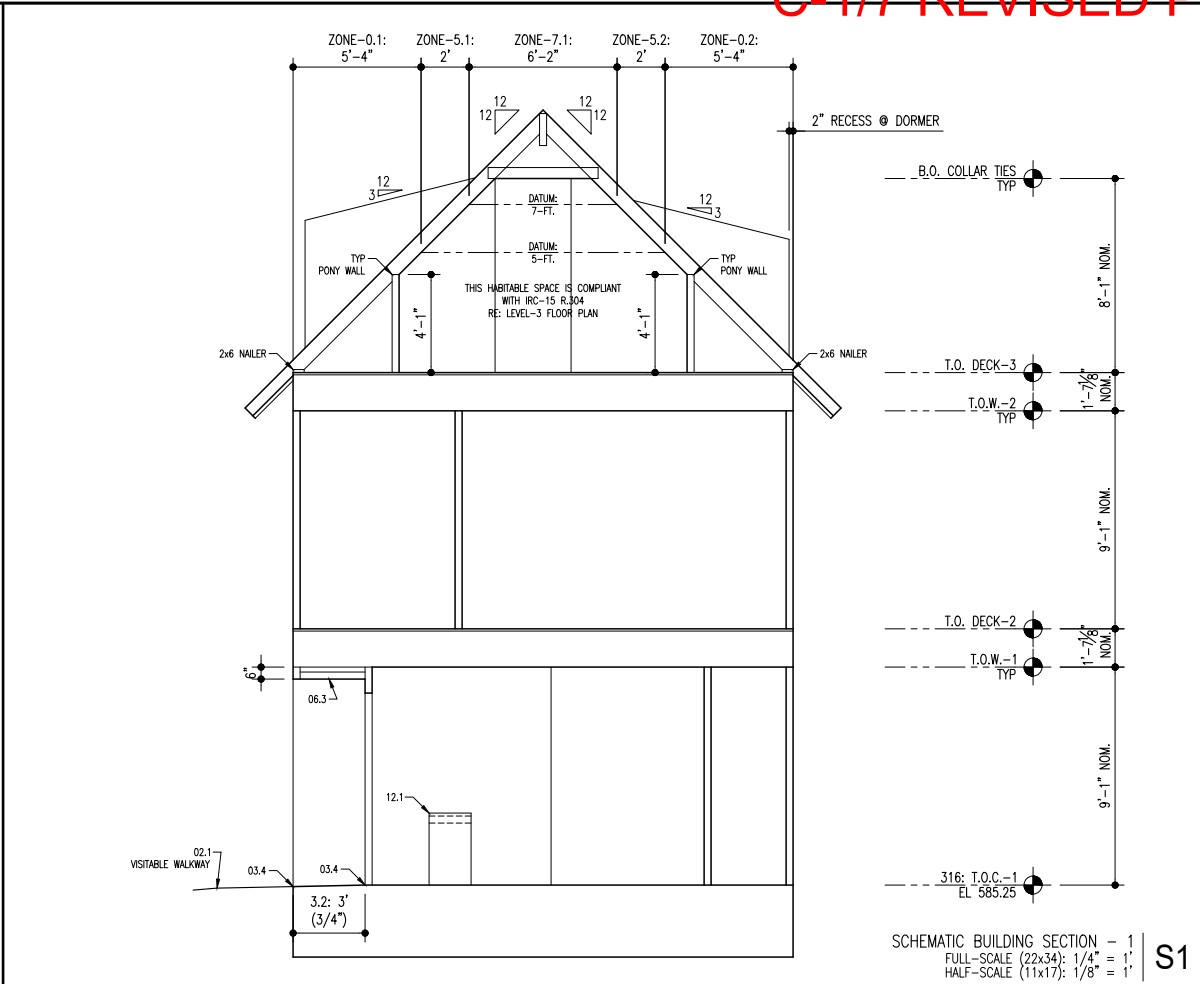
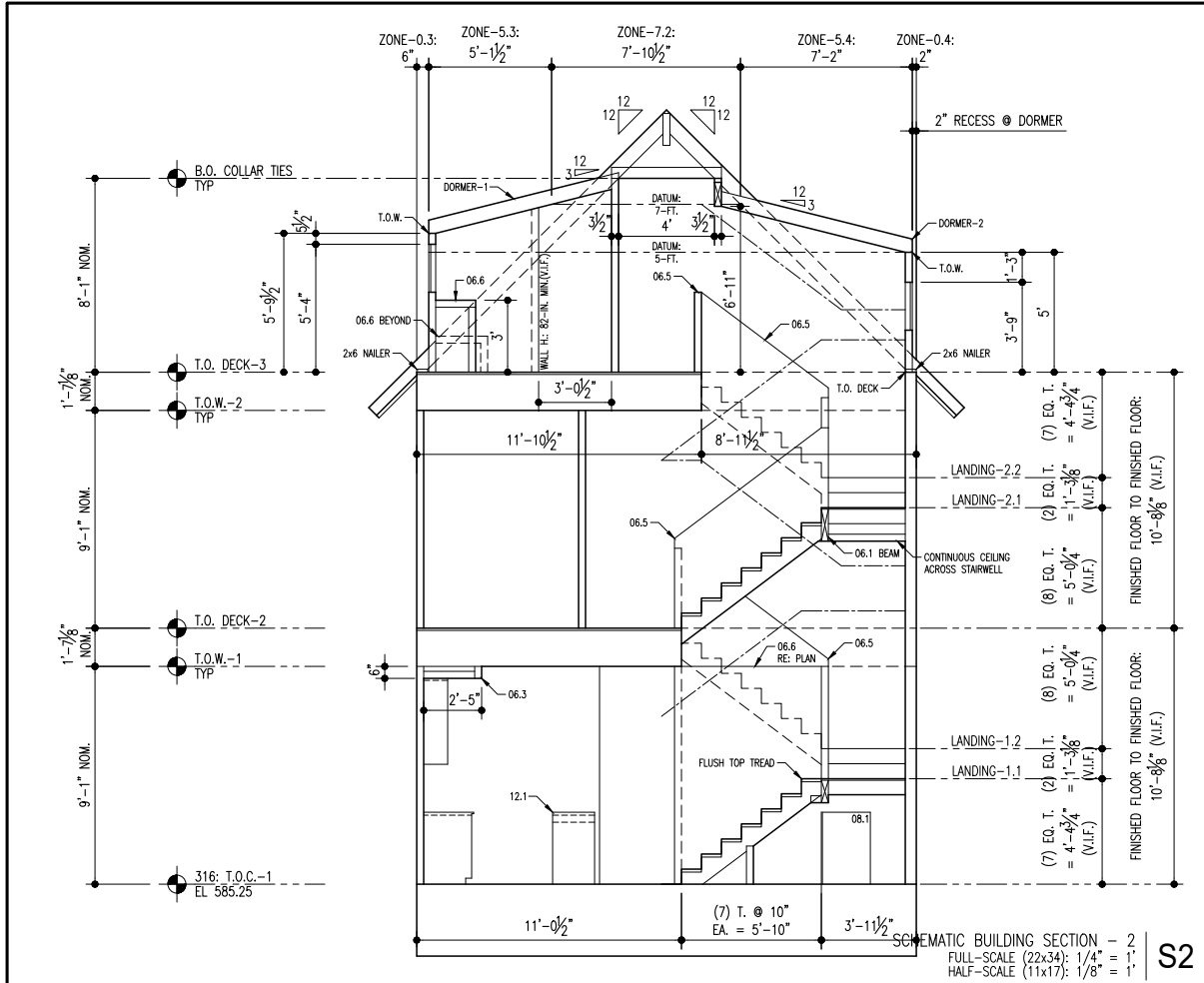
DRAWING TITLE:

DATE: AS NOTED  
PROJECT: 1910: 314  
SCALE: AS NOTED  
DRAWN: DPB  
SHEET: 314

EXTERIOR ELEVATION: PLAN EAST  
FULL-SCALE (22x34): 1/4" = 1'  
HALF-SCALE (11x17): 1/8" = 1'

City of Austin  
REVIEWED FOR CODE COMPLIANCE  
A1-4





KEYNOTES LEGEND	
KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT: SEE OUTLINE SPECIFICATIONS THIS PACKAGE FOR ADDL INFO	
01.1 VISIBILITY: INTERIOR ROUTE OF TRAVEL	01.2 VISIBILITY: 30 x 30 REQD CLEAR FLOOR AREA * SEE VISIBILITY NOTES FOR ADDL INFO THIS ROOM
02.0 EXISTING GRADE TO REMAIN OR BE MODIFIED WHERE NOTED	
02.1 NEW PAVEMENT: SLOPE TO DRAIN @ 2% MIN. OR AS NOTED	
02.2 NEW FINISH GRADING: SLOPE TO DRAIN @ 2% MIN.	03.1 CONC FOUNDATION PER STRUCTL
03.2 CONC FOUNDATION PER STRUCTL: SLOPE TO DRAIN AS NOTED	
03.3 CONC FOUNDATION PER STRUCTL: SPECIAL FEATURE AS NOTED	
03.4 CONC FOUNDATION SLOPE TRANSITION: NO VERTICAL EDGE	03.5 CONC FOUNDATION STEMMALL: 4-IN. W. x 6-IN. H.
04.0 EXISTING CONCRETE MASONRY UNIT WALL	
05.1 STEEL LINTEL AT NEW WALL OPENING AT EXISTING CMU WALL	06.0 EXISTING WOOD FRAMING ELEMENT
06.1 WOOD FLOOR OR ROOF FRAMING PER STRUCTL	
06.2 EDGE OF FRAMING	
06.3 LOWER CEILING OR FURR DOWN: DEPTH PER PLAN OR SECTION	06.4 2x6 MIN. BLOCKING IN STUD WALL CENTERED AS NOTED
06.5 PARTIAL-HEIGHT FRAMING: 40-IN. H. NOM. WITH DIVISION-09 CAP TRIM	
06.6 INTERIOR PLATFORM: AS NOTED WITH DIVISION-09 CAP TRIM	06.7 STAINED WOOD HANDRAIL
07.0 EXISTING SIDING TO REMAIN: REFURBISH AS REQUIRED	
07.1 SIDING TYPE-1: PLANKS WITH 10.75-IN. EXPOSURE TYP U.N.O.	07.2 SIDING TYPE-2: PLANKS WITH 4-IN. EXPOSURE
07.3 ROOF EDGE: 2x8 NOM @ TYPE-1 & 1x6 NOM @ TYPE-2	
07.4 EXTERIOR TRIM AS SCHEDULED	07.5 EXTERIOR CEILING AS SCHEDULED
07.6 NEW SIDING TO MATCH EXISTING AT WINDOW OR DOOR INFILL	
08.0 EXISTING DOOR OR WINDOW PER REMODEL PLAN NOTES	08.1 SCHEDULED DOOR
08.2 SCHEDULED WINDOW	
12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION	15.1 HVAC EQUIPMENT OR ACCESSORY
15.2 PLUMBING EQUIPMENT OR ACCESSORY	
16.1 ELECTRICAL APPURTENANCE OR ACCESSORY	

DATE: 09.11.20

REVISION DESCRIPTION

ADDENDUM-1: REVISION FOR CONSTRUCTION SET

04 NOVEMBER 2020

PERMIT REVISION

The Texas Board of Architectural  
Examiners, P.O. Box 12337, Austin, Texas  
78711-2337 or 333 Guadalupe, Suite  
2-350, Austin, Texas 78701-3942, (512)  
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INTERIOR FINISH SCHEDULE	
LEVEL: ROOM	FINISHES
LEVEL-1: LIVING KITCHEN BEDRMS CLOSETS STAIRS HALLS	CEILING: PAINTED GWB WALLS: PAINTED GWB FLOORS: PLANK FLOORING - VINYL OR ENGINEERED WOOD (T.B.D.) TYPICAL UNLESS NOTED OTHERWISE * 314: FLOORING SHALL BE CARPET AT LEVEL-2 & LEVEL-3 & STAIRS
LEVEL-2: BEDRMS CLOSETS STAIRS	CEILING: PAINTED GWB - MILDEW RESISTANT PAINT WALLS: PAINTED GWB - MILDEW RESISTANT PAINT FLOORS: CERAMIC TILE PER INTERIORS PACKAGE SHOWERS: PREFAB SHOWER BASE SIZED PER PLAN & WALLS TO MATCH BY SAME MNFR.
LEVEL-3: MEDIA DEN STO. RMS. HALL STAIRS	CEILING: PAINTED GWB - MILDEW RESISTANT PAINT WALLS: PAINTED GWB - MILDEW RESISTANT PAINT FLOORS: SHEET VINYL PER INTERIORS PACKAGE
BATHROOMS (ALL AS APPLICABLE)	CEILING: PAINTED GWB - MILDEW RESISTANT PAINT WALLS: PAINTED GWB - MILDEW RESISTANT PAINT FLOORS: CERAMIC TILE PER INTERIORS PACKAGE SHOWERS: PREFAB SHOWER BASE SIZED PER PLAN & WALLS TO MATCH BY SAME MNFR.
UTILITY SPACES: LAUNDRY MECH	CEILING: PAINTED GWB - MILDEW RESISTANT PAINT WALLS: PAINTED GWB - MILDEW RESISTANT PAINT FLOORS: SHEET VINYL PER INTERIORS PACKAGE
MISC EXTERIOR: * PORCH-1 * PORCH-2 * REAR COVERED PATIO	CEILING: STAINED WOOD PER OUTLINE SPECS WALLS: * PORCHES: PAINTED EXTERIOR SIDING * RE: OUTLINE SPECIFICATIONS FOR ADDL INFO FLOORS: * BROOM-FINISHED CONC
UTILITY SPACES: L1: STO. ALCOVE	CEILING: PAINTED GWB - MILDEW RESISTANT PAINT WALLS: PAINTED GWB - MILDEW RESISTANT PAINT FLOORS: CONCRETE - UNFINISHED

INSULATION SCHEDULE	
ROOF INSULATION AT ALL ROOFS: * SPRAY FOAM INSULATION BETWEEN RAFTERS * R-38 EQUIVALENT: ASSUMED THICKNESS 6-IN.; CONFIRM * ROOF SHALL BE THERMAL ENVELOPE CONSTRUCTION	
EXTERIOR WALLS: * OPTION-1: SPRAY FOAM INSULATION * OPTION-2: BLOWN-IN-CELLULOSE-INSULATION * OPTION-3: FIBERGLASS-BATTS-FULL-HEIGHT-TYPICAL --- IN A THICKNESS-FULL-DEPTH-OF-WALL-CAVITY --- (R-13 TYP WITH R-19 @ 2x6 WALLS)	
THESE PLANS ARE ISSUED AS A "BUILDER'S SET". SUBCONTRACTORS SHALL COORDINATE ALL SCOPES OF WORK WITH GENERAL CONTRACTOR PRIOR TO BID	
FLOORS (TRUSSED AREA ONLY): * R-13 FIBERGLASS BATTS BETWEEN TRUSSES (SOUND CONTROL)	
INTERIOR WALLS FOR ACOUSTIC PRIVACY: * R-13 FIBERGLASS BATTS SEPARATING BATHROOMS, PLUMBING FIXTURES & LINES, FROM ALL ADJACENT SPACES, & AROUND BEDROOMS	
NOTE: SPRAY FOAM INSULATION REFERS TO ICYNENE OR EQUAL FIELD-APPLIED BY A CERTIFIED INSTALLER	
UTILITY NOTES	
THE FOLLOWING APPLIANCES OR EQUIP. SHALL BE PROVIDED NATURAL GAS: * H.V.A.C. FURNACES * HOT WATER HEATERS * CLOTHES DRYERS * KITCHEN STOVE WITH OVEN	
THE FOLLOWING APPLIANCES OR EQUIP. SHALL BE ELECTRIC: * H.V.A.C. FURNACES * CLOTHES DRYERS	
REFER TO OUTLINE SPECIFICATIONS THIS SHEET & OWNER-SELECTED EQUIPMENT & APPLIANCES FOR ADDL INFO	
VERIFY ABOVE INFORMATION WITH OWNER / GENERAL CONTRACTOR PRIOR TO BID	

GENERAL NOTES	
THE CONTRACTOR & SUBCONTRACTORS SHALL NOTE IN THEIR BID ALL DEVIATIONS FROM THESE DRAWINGS & SCHEDULES	
THE CONTRACTOR & SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK	
THE CONTRACTOR & SUBCONTRACTORS SHALL VERIFY SIZES AND LOCATIONS OF ALL APPLIANCES, FIXTURES AND RELATED COMPONENTS PRIOR TO INSTALLATION	
THESE PLANS ARE ISSUED AS A "BUILDER'S SET". SUBCONTRACTORS SHALL COORDINATE ALL SCOPES OF WORK WITH GENERAL CONTRACTOR PRIOR TO BID	
PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS	
ALL WATER LINES TO BE PEX	
ALL WASTE PIPING TO BE SCHEDULE 40 PVC	
PROVIDE THRESHOLDS @ ALL EXTERIOR DOORS	
FRAMING - BLOCKING REQUIREMENTS	
1. ALL SHEATHING EDGES SHALL BE FULLY-BLOCKED	
2. ALL FRAMING SHALL BE FULLY FIRE-BLOCKED AS REQUIRED TO MEET OR EXCEED CODE REQUIREMENTS	
3. ALL WALL FRAMING SHALL HAVE 2x4 MIN. DEAD-WOOD FOR GWB INSTALLATION	
4. ALL PLAN LOCATIONS INDICATING BASE & WALL CABINETS SHALL BE BLOCKED FOR CASEWORK INSTALLATION	
5. ALL VERTICAL & HORIZONTAL JOINTS BETWEEN TILE & GWB FINISH SHALL BE BLOCKED	
6. ALL BATHROOMS SHALL BE 2x BLOCKED AS REQUIRED FOR ALL MISCELLANEOUS ACCESSORIES: COORDINATE WITH OWNER	
7. ALL GROUND FLOOR BATHROOMS SHALL BE 2x BLOCKED AS REQUIRED TO MEET THE CITY OF AUSTIN VISIBILITY ORDINANCE	
8. ALL CLOSETS SHALL BE BLOCKED AS REQUIRED FOR INSTALLATION OF CLOSET SYSTEM: COORDINATE WITH OWNER	
9. PROVIDE PRESSURE TREATED SILL PLATES AT ALL LOCATIONS IN CONTACT WITH CONCRETE	
10. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION	

OUTLINE SPECIFICATIONS	
DIVISION-2: SITE CONSTRUCTION	
LANDSCAPING: * BY OWNER * FINISHED GRADING SHALL SLOPE AWAY FROM BUILDING @ 2% MINIMUM	
DIVISION-3: CONCRETE	
* CONCRETE FOUNDATION PER STRUCTURAL * EXPOSED CONCRETE SIDEWALLS > 8" H. SHALL BE PARGED * NEW CONCRETE FOUNDATIONS SHALL BE PER STRUCTURAL * PROVIDE CONTROL & EXPANSION JOINTS AS REQUIRED ON CONC DRIVES, WALKWAYS & PATIOS * COORDINATE CONCRETE WITH CITY OF AUSTIN VISIBILITY REQUIREMENTS, INCLUDING WIDTH & TEXTURE, SLOPE & CROSS-SLOPE	
DIVISION-4: MASONRY	
* NOT APPLICABLE	
DIVISION-6: WOOD & PLASTICS	
FLOOR FRAMING (WHERE APPLICABLE): * FLOOR TRUSSES PER ENGINEERED SHOP DRAWINGS: 18" MINIMUM DEPTH * RE: STRUCTL FOR ADDL INFO SUB FLOORING (WHERE APPLICABLE): * 1.125" TONGUE & GROOVE (T&G) PLYWOOD, NAIL & GLUE * RE: STRUCTL FOR ADDL INFO WALL FRAMING: * 2x4 NOM. @ 16" MAX. O.C. TYPICAL; 2x6 NOM. WHERE NOTED ON PLAN WALL SHEATHING: * OPTION-1: ZIP WALL SHEATHING RATED FOR SPAN - VERIFY W/ STRUCTL * OPTION-2: PER STRUCTL * ALL EDGES SHALL BE FULLY BLOCKED * RE: STRUCTL FOR ADDL INFO ROOF FRAMING: * PER STRUCTL ROOF SHEATHING: * SHEATHING PER STRUCTL RATED FOR SPAN * PROVIDE CLIPS AT MID-SPAN OF ALL JOINTS EXTERIOR WOOD FRAMING: * ALL EXTERIOR WOOD FRAMING MATERIALS SHALL BE TREATED * ALL CONNECTORS SHALL BE RATED FOR APPLICATION MISC WOOD FRAMING: * FRAMER TO INSTALL BLOCKING AS REQUIRED FOR ALL INTERIOR APPURTENANCES & ACCESSORIES NOTED OR SHOWN ON PLAN	
DIVISION-7: THERMAL & MOISTURE PROTECTION	
MOISTURE PROTECTION: * N/A IF ZIP WALL SHEATHING SYSTEM IS SELECTED: SEE ABOVE * TYPED OR EQUAL HOUSEWRAP IF OSB OR PLYWOOD SHEATHING EXTERIOR SIDING & TRIM: * EXTERIOR CEMENT FIBER BOARD "PLANK" SYSTEM BY JAMES HARDIE COMPANY OR EQUAL: TYPE-1: 10.75-IN. EXPOSURE, SMOOTH TYPE-2: 4-IN. EXPOSURE, SMOOTH * A CORNER TRIM: 1x HARDIE-TRIM, ONE SIDE ONLY AS SHOWN TYP * B OPENING TRIM: 2x2 "REAL TRIM" ALL FOUR SIDES AS SHOWN * C OPENING TRIM - WINDOW INFILL: HARDIE-PANEL OVER FURR-STRIPS	

OUTLINE SPECIFICATIONS	
DIVISION-8: DOORS & WINDOWS	
SCHEDULED EXTERIOR DOORS: * RECOMMENDED: THERMATRU FIBERGLASS OR EQUAL DOOR HARDWARE: * AS RECOMMENDED BY MNFR WITH OWNER REVIEW INTERIOR DOORS: * RECOMMENDED: SOLID CORE WOOD VENEER - FLUSH SCHEDULED WINDOWS: * STYLE & MATERIAL BY OWNER * ALL WINDOWS SHALL HAVE INSULATED, LOW-E, DOUBLE-PANE GLAZING * SUPPLIER SHALL VERIFY CODE REQUIREMENTS & OPERATIONS * PRIOR TO ORDER * SUPPLIER SHALL REVIEW PLANS WITH ELEVATIONS & NOTIFY ARCHITECT OF POSSIBLE DISCREPANCIES PRIOR TO ORDER	
DIVISION-9: FINISHES	
GYPSUM WALLBOARD (GWB): * GWB, 0.5-IN. AT WALLS & 0.625-IN. AT CEILINGS * TAPE & FLOAT; TEXTURE & PAINT * COORDINATE TEXTURE WITH OWNER * CORNERS SHALL BE SQUARE * USE MOISTURE-RESISTANT GWB AT ALL "WET" AREAS * USE ONLY CEMENTITIOUS BACKING BEHIND ALL TILE 316 REAR COVERED PATIO & 314 LAUNDRY ROOM ONLY: * USE EXTERIOR-RATED GWB AT CEILING, WITH JOINT COMPOUND * TEXTURE FOR INTERIOR SPACES INTERIOR TRIM RECOMMENDATIONS FOR OWNER VERIFICATION: * BASE BOARDS: PAINTED MDF 1x6 WITH EASED TOP EDGE TYP * DOOR TRIM: PAINTED MDF 1x4 WITH EASED EDGES * WINDOW SILL: PAINTED MDF 1x WITH EASED EDGES; DOUBLE-THICK AT PROJECTING SILL * WINDOW TRIM: PAINTED GWB RETURNS @ JAMBS & HEAD * 06.5 CAP: SAME AS WINDOW SILL * 06.6 CAP: SAME AS WINDOW SILL BUT HOWD TO RESIST CUPPING; INSTALL OVER 0.75-IN. THICK PLYWOOD	

OUTLINE SPECIFICATIONS	
DIVISION-10: SPECIALTIES	
TOILET & BATH ACCESSORIES: * TBD WITH INTERIOR DESIGNER (PER SEPARATE AGREEMENT) * TOWEL BARS: 24-IN. W. AT HEIGHTS NOTED CLOSET SYSTEMS: * TBD WITH INTERIOR DESIGNER (PER SEPARATE AGREEMENT)	
DIVISION-11: EQUIPMENT	
APPLIANCES: * AS NOTED ON PLANS WITH SELECTIONS PER OWNER	
DIVISION-12: FURNISHINGS	
CASEWORK & COUNTERTOPS: * TBD WITH INTERIOR DESIGNER (PER SEPARATE AGREEMENT)	
DIVISION-13: SPECIAL CONSTRUCTION	
NOT APPLICABLE	
DIVISION-15: MECHANICAL	
HVAC WORK SHALL BE DESIGN-BUILD BY LICENSED SUBCONTRACTOR BUILDING-1: * LEVEL-1: AHU-1 WITH GAS FURNACE IN ATTIC BELOW LOW ROOF * LEVEL-2: AHU-2 UPFLOW TYPE AT LEVEL-2 * LEVEL-3: SAME AS LEVEL-2 * REFER TO UTILITY NOTES THIS SHEET FOR ADDITIONAL INFORMATION BUILDING-2: * EXISTING / MODIFIED IN CONJUNCTION WITH LICENSED SUBCONTRACTOR PLUMBING WORK SHALL BE DESIGN-BUILD BY LICENSED SUBCONTRACTOR * PLUMBING FIXTURES AS INDICATED ON PLAN & SELECTED BY OWNER * WASTEWATER LINES: ASSUMED SCHEDULE 40 PVC * WATER LINES - INTERIOR: ASSUMED PEX BUILDING-1: * TWO GAS-FIRED TANKLESS-TYPE WATER HEATERS CONCEALED IN WALLS WITH EXTERIOR WALL ACCESS: SEE LEVEL-1 PLAN FOR LOCATION BUILDING-2: * EXISTING / MODIFIED IN CONJUNCTION WITH LICENSED SUBCONTRACTOR DIVISION-16: ELECTRICAL ELECTRICAL WORK SHALL BE DESIGN-BUILD BY LICENSED SUBCONTRACTOR * FIXTURES: PER ELECTRICAL DRAWINGS & OWNER * SWITCHES: ROCKER TYPE PER ELECTRICAL DRAWINGS & OWNER * TELECOMMUNICATIONS AND ENTERTAINMENT SYSTEMS: BY OTHERS * ELECTRICAL SUBCONTRACTOR SHALL VERIFY ELECTL PLAN IS COMPLIANT WITH ALL PERTINENT CODES: NOTIFY G.C. OF ANY DISCREPANCIES PHOTOVOLTAIC COLLECTORS (SOLAR PANELS): * 314: NOT APPLICABLE * 316: IN COORDINATION WITH SPECIALTY SUBCONTRACTOR	

DATE: AS NOTED

PROJECT: 1910: 314

SCALE: AS NOTED

DRAWN: DPB

SHEET: 514

314 WEST 34th STREET

AUSTIN TX 78705

TWO-FAMILY PROJECT:  
PDU: NEW CONSTRUCTION  
ADU: ADDITION-REMODEL

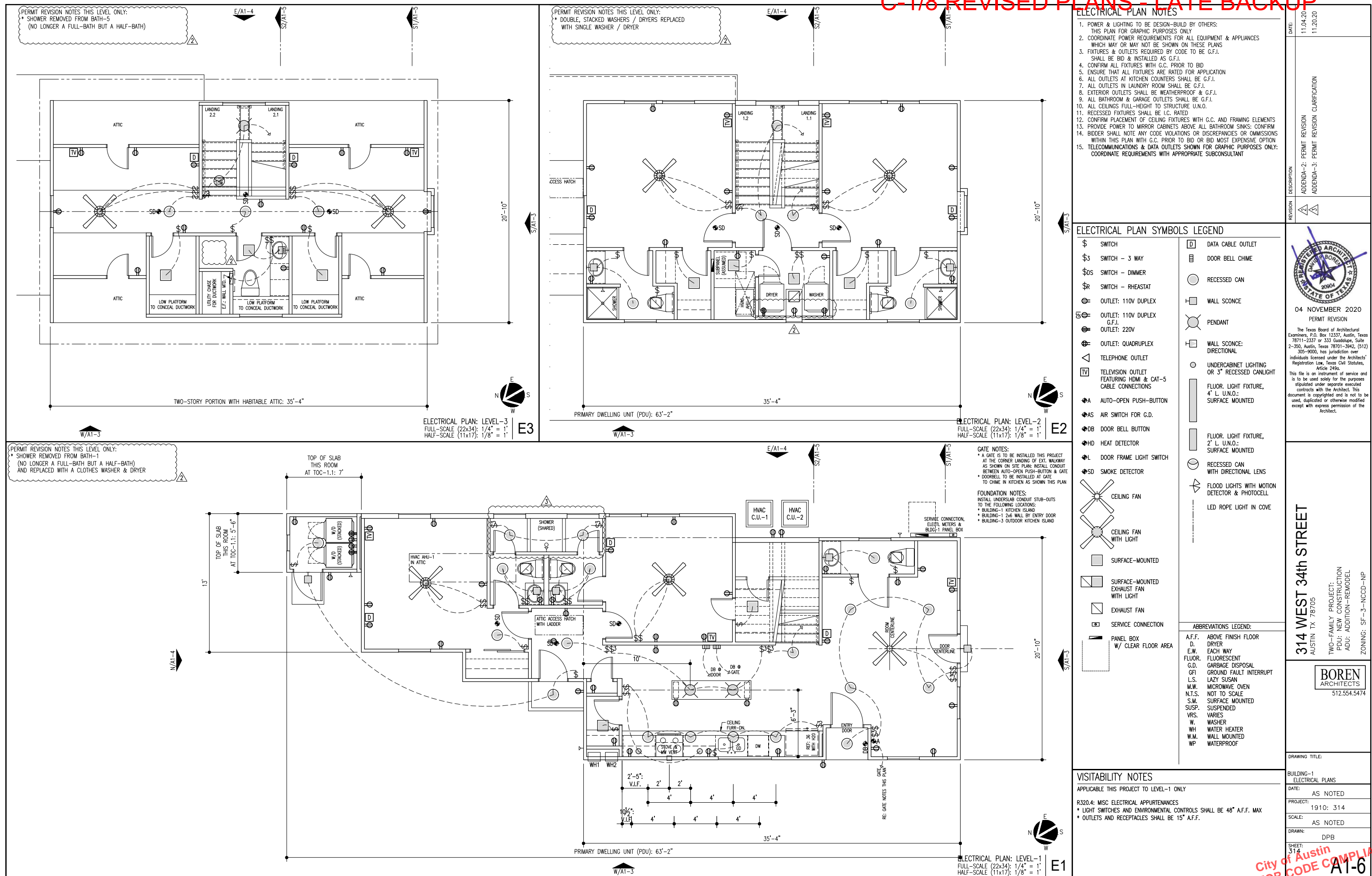
ZONING: SF-3-NCCD-NP

BOREN

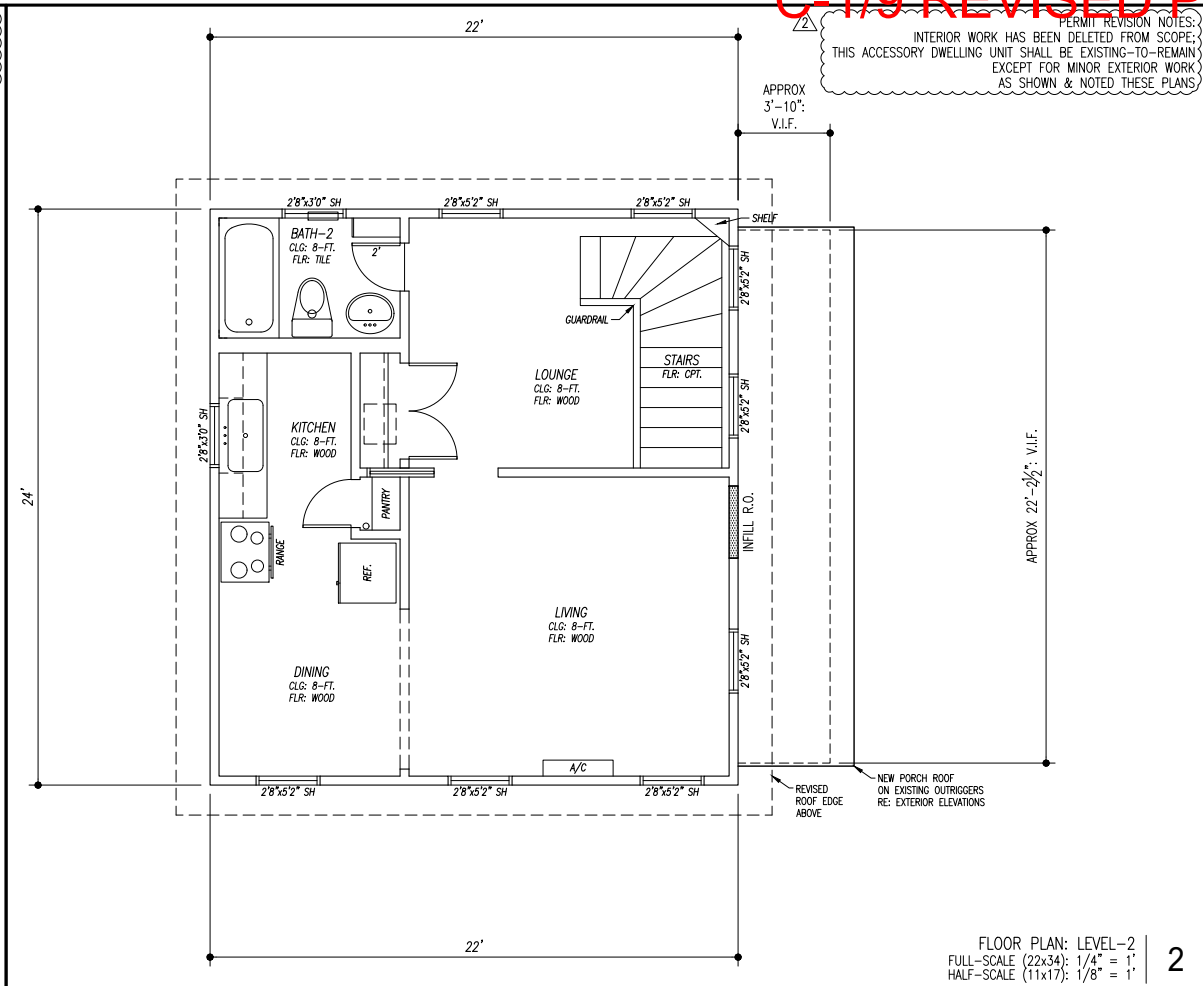
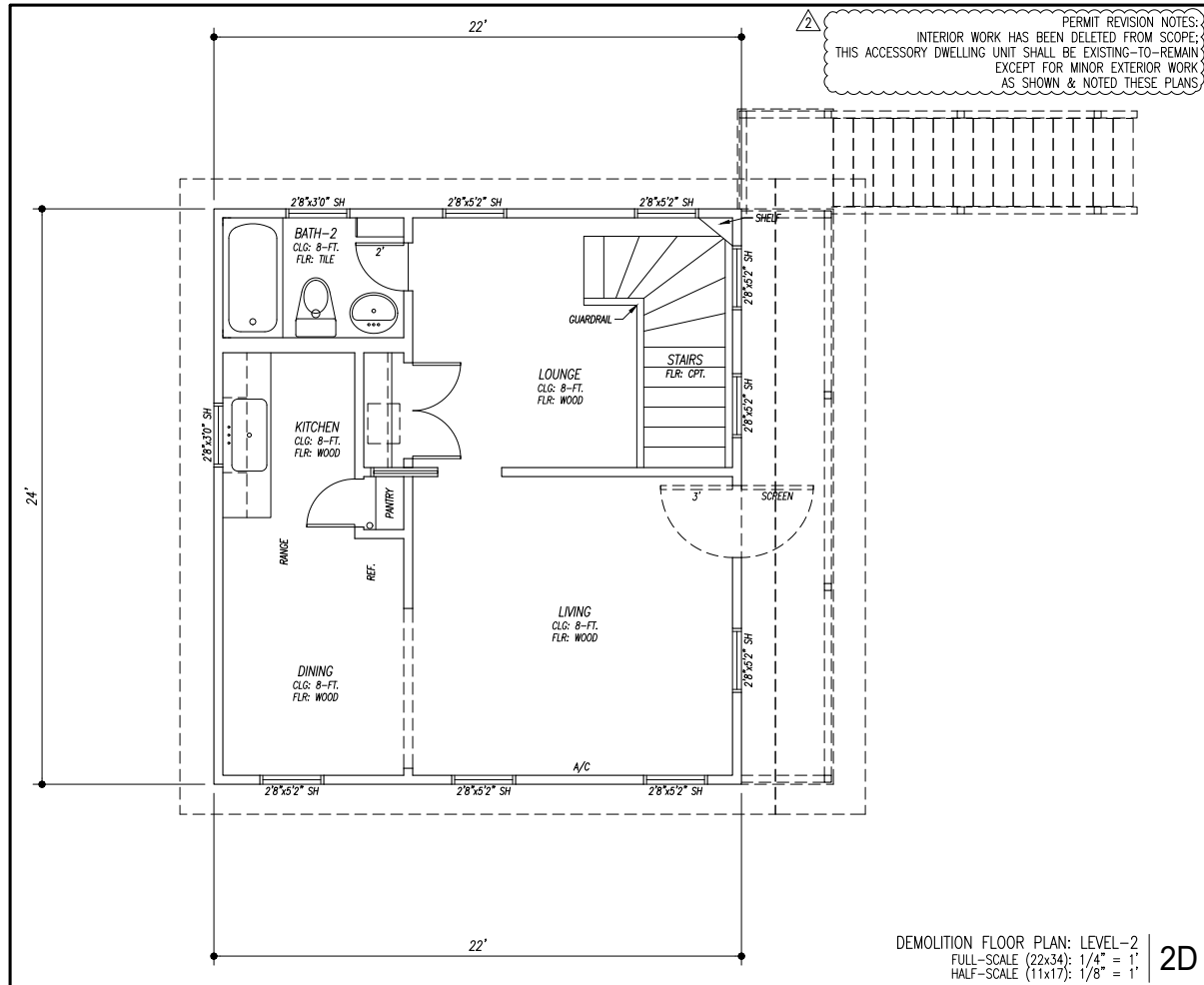
ARCHITECTS

512.554.5474

DPB	
SHEET: 314	
A1-6	







- KEYNOTES LEGEND
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  - 07.4 EXTERIOR TRIM AS SCHEDULED
  - 07.5 EXTERIOR CEILING AS SCHEDULED
  - 07.6 NEW SIDING TO MATCH EXISTING AT WINDOW OR DOOR INFILL
  - 08.0 EXISTING DOOR OR WINDOW PER REMODEL PLAN NOTES
  - 08.1 SCHEDULED DOOR
  - 08.2 SCHEDULED WINDOW
  - 12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION
  - 15.1 HVAC EQUIPMENT OR ACCESSORY
  - 15.2 PLUMBING EQUIPMENT OR ACCESSORY
  - 16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

DATE: 09.11.20  
11.04.20

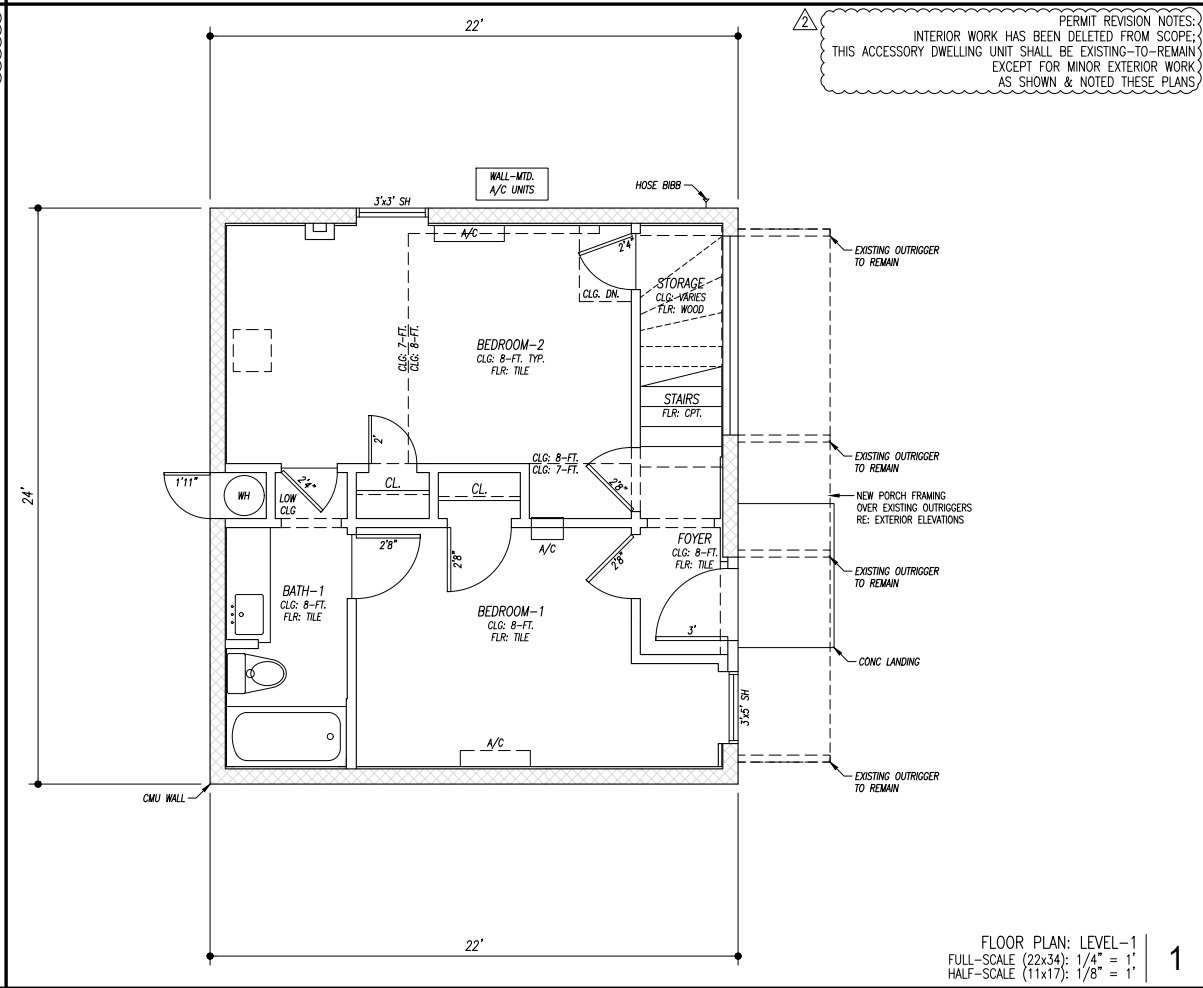
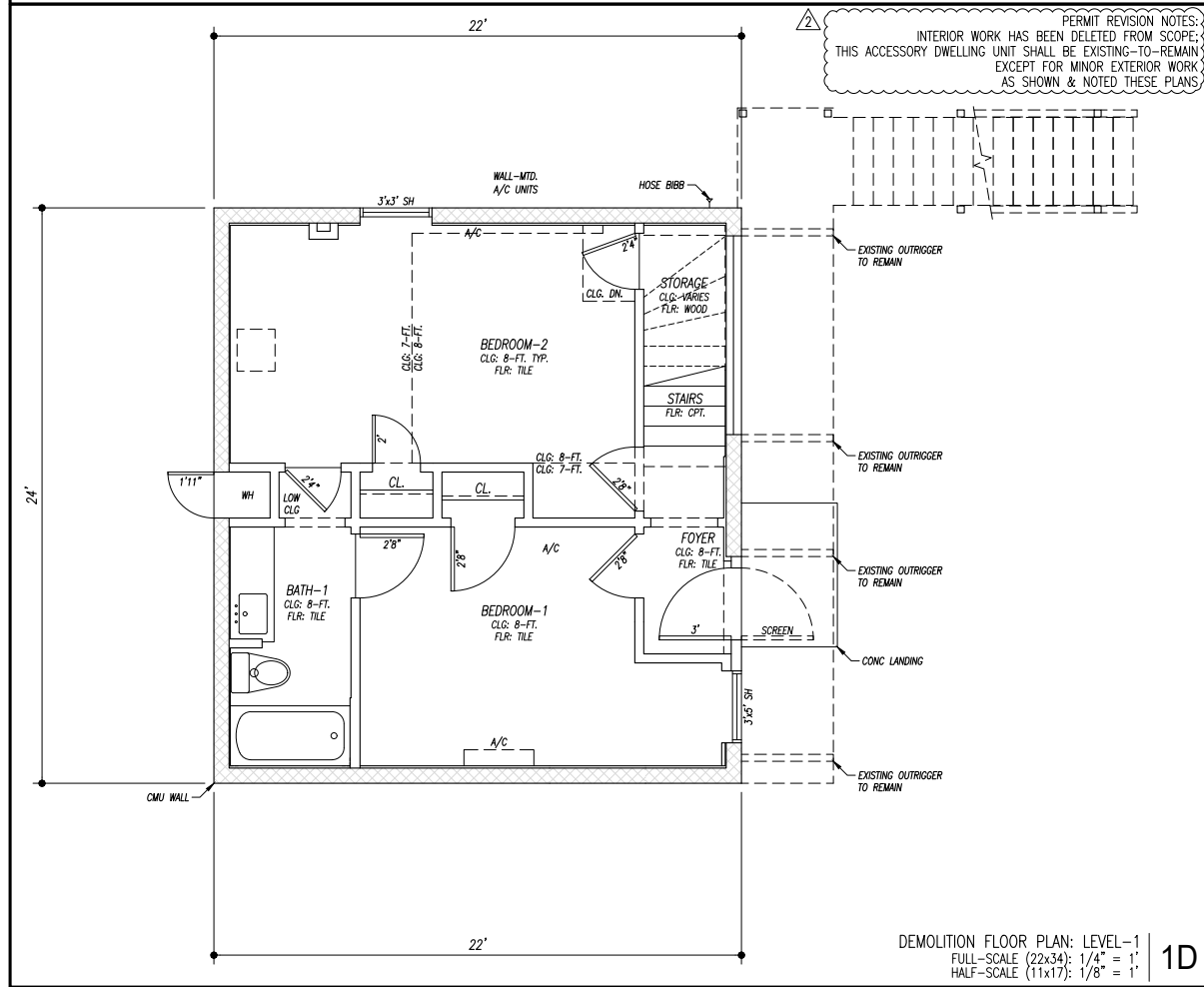
REVISION DESCRIPTION

ADDENDA-1: REVISION FOR CONSTRUCTION SET  
ADDENDA-2: PERMIT REVISION

04 NOVEMBER 2020  
PERMIT REVISION

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- FLOOR PLAN NOTES: REMODEL
1. ITALICIZED TEXT DENOTES AN EXISTING ELEMENT: CONFIRM EXISTING SIZES
  2. NEW WALLS HATCHED FOR CLARITY: ALL OTHERS EXISTING U.N.O.
  3. ALL DIMENSIONS FROM EDGE OF EXISTING FINISHED EDGE  
OR EDGE OF NEW WALL OR FLOOR FRAMING  
OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP
  4. WINDOWS ARE SIZED ON PLANS IN WIDTH x HEIGHT FORMAT:  
\* BASE BID: REPLACE ALL EXISTING WINDOWS IN-KIND THIS CONTRACT  
\* ALT. BID: REFURBISH ALL EXISTING WINDOWS
  5. DOORS SHALL BE 6'-FT. 8'-IN. HIGH U.N.O. ON PLAN:  
\* BASE BID: REPLACE ALL EXISTING DOORS IN-KIND THIS CONTRACT  
\* ALT. BID: REFURBISH ALL EXISTING DOORS
  6. COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS WITH MNFR REQ
  7. REFER TO OUTLINE SPECIFICATIONS INCLUDED WITH BLDG-1 & BLDG-3 DWGS  
FOR ADDITIONAL INFORMATION
  8. INTERIOR FLOOR FINISHES TO BE DETERMINED DURING CONSTRUCTION:  
INCLUDE BID ALLOWANCE
  9. SMOKE & CARBON MONOXIDE ALARMS TO BE INSTALLED IN FULL COMPLIANCE  
WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE R314
- MEP NOTES: REMODEL
1. IT IS ASSUMED THAT ALL ELECTRICAL & PLUMBING ACCESSORIES  
& APPURTENANCES WILL BE REPLACED THIS CONTRACT
  2. EXISTING HVAC SYSTEMS TO BE RE-UTILIZED: SUBCONTRACTOR TO CONFIRM  
UPGRADES TO EXISTING SYSTEMS TO MEET NEW PLAN REQUIREMENTS

314 WEST 34th STREET  
AUSTIN TX 78705

TWO-FAMILY PROJECT:  
PDU: NEW CONSTRUCTION  
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

BOREN  
ARCHITECTS  
512.554.5474

DRAWING TITLE:  
BUILDING-2 (ADU)  
(EXISTING / REMODEL)  
FLOOR PLANS

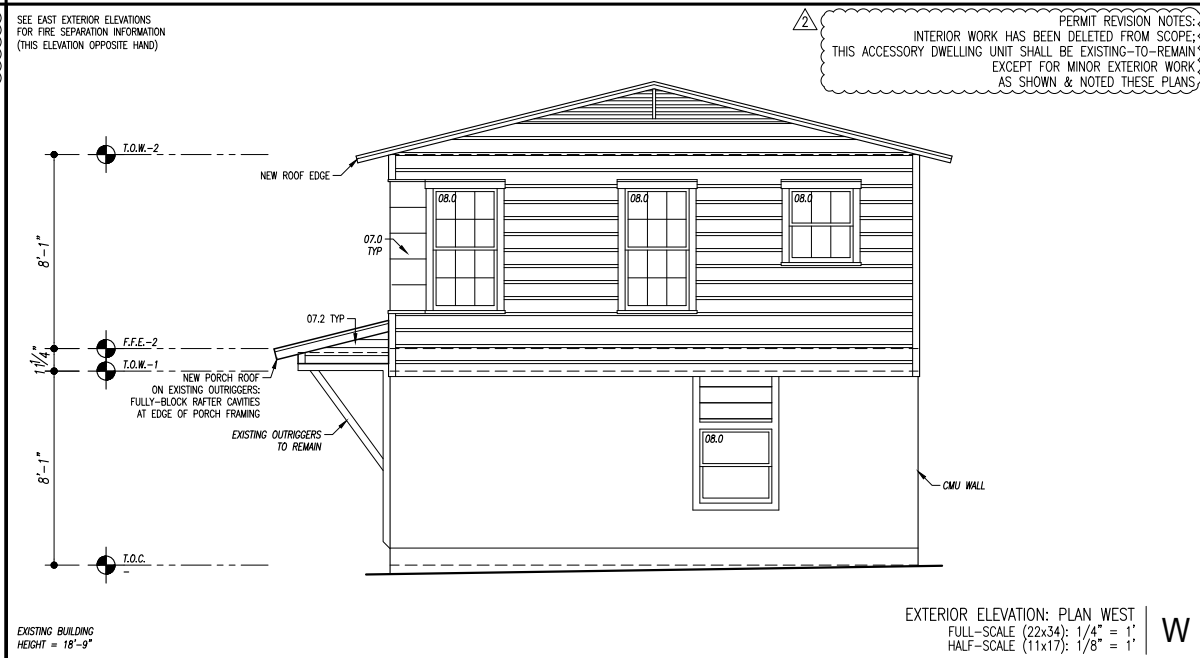
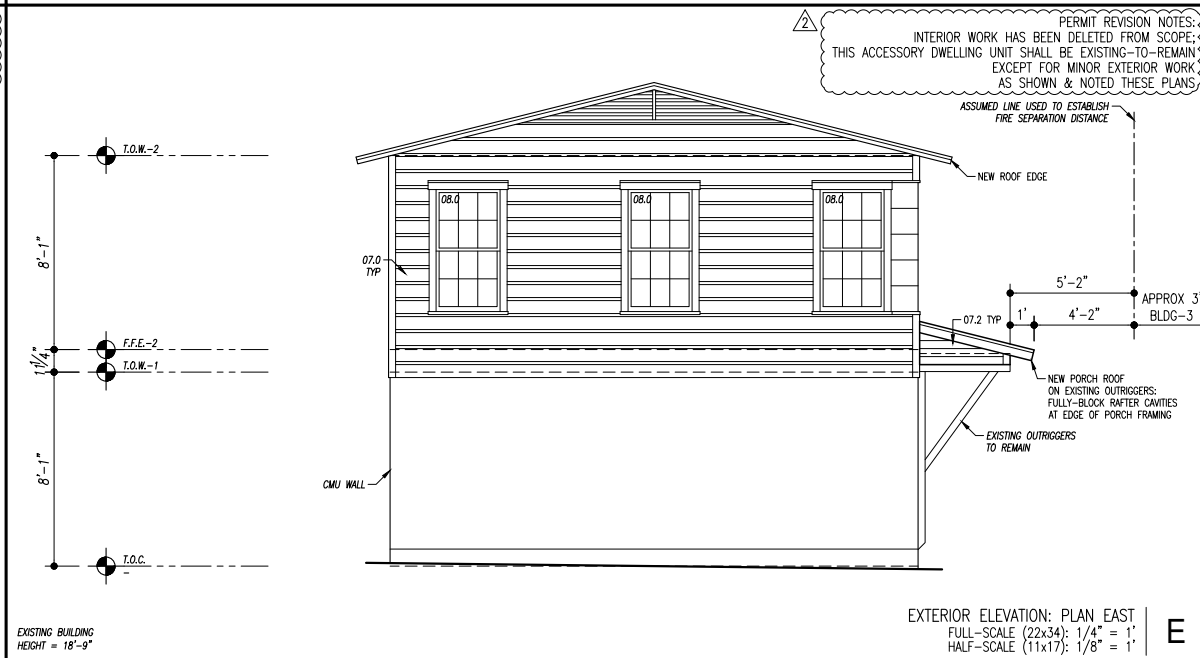
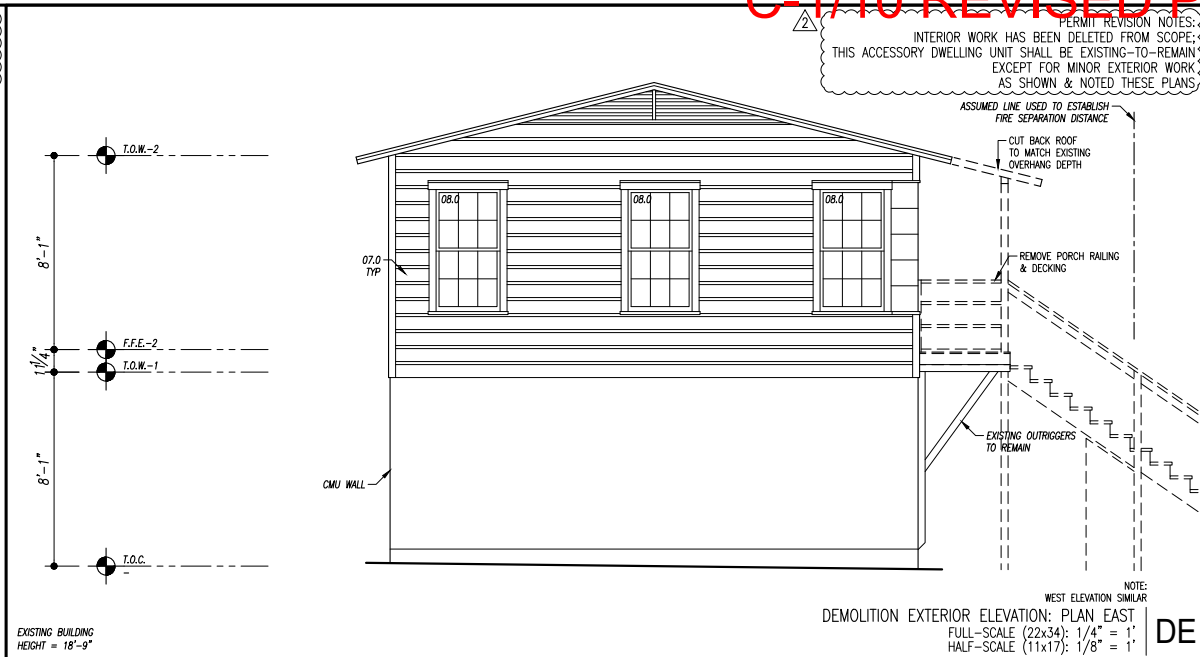
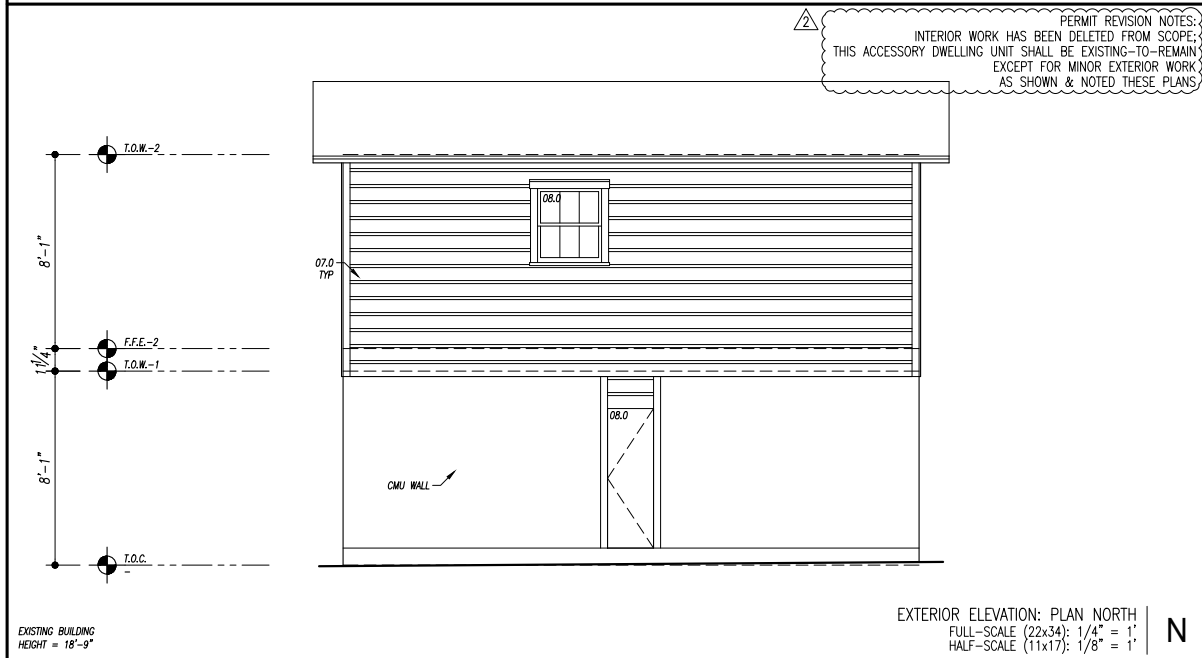
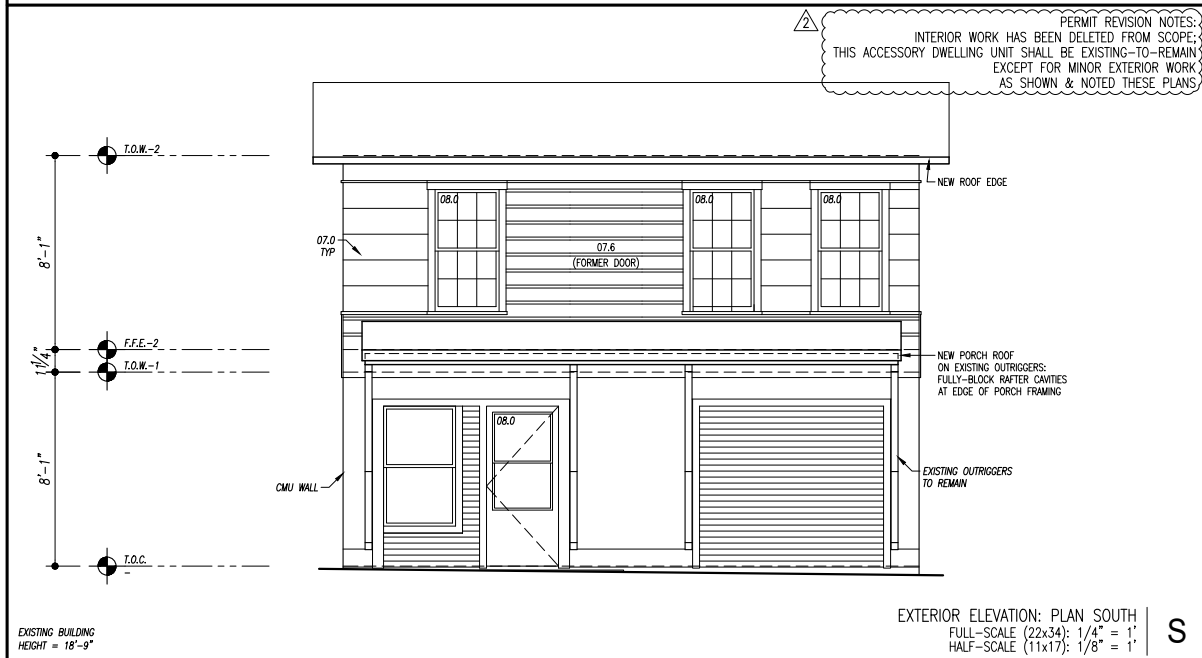
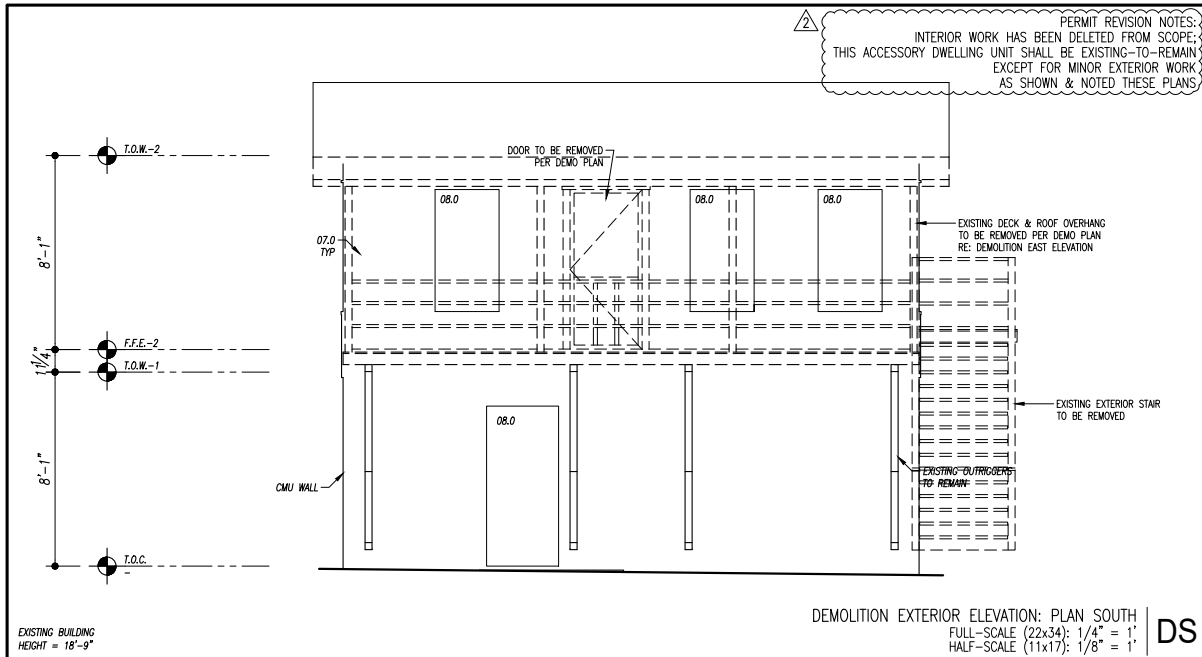
DATE: AS NOTED

PROJECT: 1910: 314

SCALE: AS NOTED

DRAWN: DPB

SHEET: 514



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  - 07.1 SIDING TYPE-1: PLANKS WITH 10.75-IN. EXPOSURE TYP U.N.O.
  - 07.2 SIDING TYPE-2: PLANKS WITH 4-IN. EXPOSURE
  - 07.3 ROOF EDGE: 2x8 NOM @ TYPE-1 & 1x6 NOM @ TYPE-2
  - 07.4 EXTERIOR TRIM AS SCHEDULED
  - 07.5 EXTERIOR CEILING AS SCHEDULED
  - 07.6 NEW SIDING TO MATCH EXISTING AT WINDOW OR DOOR INFILL
  - 08.0 EXISTING DOOR OR WINDOW PER REMODEL PLAN NOTES
  - 08.1 SCHEDULED DOOR
  - 08.2 SCHEDULED WINDOW
  - 12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION
  - 15.1 HVAC EQUIPMENT OR ACCESSORY
  - 15.2 PLUMBING EQUIPMENT OR ACCESSORY
  - 16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

- FLOOR PLAN NOTES: REMODEL
- 1. ITALICIZED TEXT DENOTES AN EXISTING ELEMENT: CONFIRM EXISTING SIZES
  - 2. NEW WALLS HATCHED FOR CLARITY: ALL OTHERS EXISTING U.N.O.
  - 3. ALL DIMENSIONS FROM EDGE OF EXISTING FINISHED EDGE OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP
  - 4. WINDOWS ARE SIZED ON PLANS IN WIDTH x HEIGHT FORMAT:  
\* BASE BID: REPLACE ALL EXISTING WINDOWS IN-KIND THIS CONTRACT  
\* ALT. BID: REFURBISH ALL EXISTING WINDOWS
  - 5. DOORS SHALL BE 6'-0" HIGH U.N.O. ON PLAN:  
\* BASE BID: REPLACE ALL EXISTING DOORS IN-KIND THIS CONTRACT  
\* ALT. BID: REFURBISH ALL EXISTING DOORS
  - 6. COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS WITH MNFR REQ
  - 7. REFER TO OUTLINE SPECIFICATIONS INCLUDED WITH BLDG-1 & BLDG-3 DWGS FOR ADDITIONAL INFORMATION
  - 8. INTERIOR FLOOR FINISHES TO BE DETERMINED DURING CONSTRUCTION: INCLUDE BID ALLOWANCE
  - 9. SMOKE & CARBON MONOXIDE ALARMS TO BE INSTALLED IN FULL COMPLIANCE WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE R314

- MEP NOTES: REMODEL
- 1. IT IS ASSUMED THAT ALL ELECTRICAL & PLUMBING ACCESSORIES & APPURTENANCES WILL BE REPLACED THIS CONTRACT
  - 2. EXISTING HVAC SYSTEMS TO BE RE-UTILIZED: SUBCONTRACTOR TO CONFIRM UPGRADES TO EXISTING SYSTEMS TO MEET NEW PLAN REQUIREMENTS

DATE: 09.11.20  
11.04.20

DESCRIPTION: ADDENDA-1: REVISION FOR CONSTRUCTION SET  
ADDENDA-2: PERMIT REVISION

REVISION: A, B

04 NOVEMBER 2020  
PERMIT REVISION

The Texas Board of Architectural  
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314 WEST 34th STREET  
AUSTIN TX 78705

TWO-FAMILY PROJECT:  
PDU: NEW CONSTRUCTION  
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

BOREN  
ARCHITECTS  
512.554.5474

DRAWING TITLE:  
BUILDING-2 (ADU)  
(EXISTING / REMODEL)  
EXTERIOR ELEVATIONS

DATE: AS NOTED

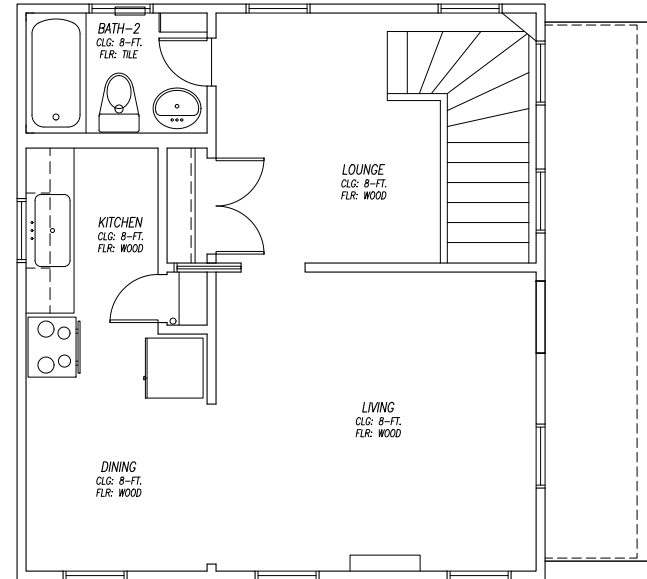
PROJECT: 1910: 314

SCALE: AS NOTED

DRAWN: DPB

SHEET: 314





2 PERMIT REVISION NOTES - ELECTRICAL ONLY:  
ELECTRICAL WORK HAS BEEN DELETED FROM SCOPE-OF-WORK  
EXCEPT WORK FIELD-DETERMINED BY A LICENSED ELECTRICIAN  
AND/OR CITY OF AUSTIN INSPECTOR TO BE REQUIRED.

ELECTRICAL PLAN NOTES

1. POWER & LIGHTING TO BE DESIGN-BUILD BY OTHERS:  
THIS PLAN FOR GRAPHIC PURPOSES ONLY
2. COORDINATE POWER REQUIREMENTS FOR ALL EQUIPMENT & APPLIANCES  
WHICH MAY OR MAY NOT BE SHOWN ON THESE PLANS
3. FIXTURES & OUTLETS REQUIRED BY CODE TO BE G.F.I.  
SHALL BE BID & INSTALLED AS G.F.I.
4. CONFIRM ALL FIXTURES WITH G.C. PRIOR TO BID
5. ENSURE THAT ALL FIXTURES ARE RATED FOR APPLICATION
6. ALL OUTLETS AT KITCHEN COUNTERS SHALL BE G.F.I.
7. ALL OUTLETS IN LAUNDRY ROOM SHALL BE G.F.I.
8. EXTERIOR OUTLETS SHALL BE WEATHERPROOF & G.F.I.
9. ALL BATHROOM & GARAGE OUTLETS SHALL BE G.F.I.
10. ALL CEILINGS FULL-HEIGHT TO STRUCTURE U.N.O.
11. RECESSED FIXTURES SHALL BE I.C. RATED
12. CONFIRM PLACEMENT OF CEILING FIXTURES WITH G.C. AND FRAMING ELEMENTS
13. PROVIDE POWER TO MIRROR CABINETS ABOVE ALL BATHROOM SINKS; CONFIRM
14. BIDDER SHALL NOTE ANY CODE VIOLATIONS OR DISCREPANCIES OR OMISSIONS  
WITHIN THIS PLAN WITH G.C. PRIOR TO BID OR BID MOST EXPENSIVE OPTION
15. TELECOMMUNICATIONS & DATA OUTLETS SHOWN FOR GRAPHIC PURPOSES ONLY:  
COORDINATE REQUIREMENTS WITH APPROPRIATE SUBCONSULTANT

DATE: 09.11.20 11.04.20

ADDENDA-1: REVISION FOR CONSTRUCTION SET  
ADDENDA-2: PERMIT REVISION



04 NOVEMBER 2020  
PERMIT REVISION

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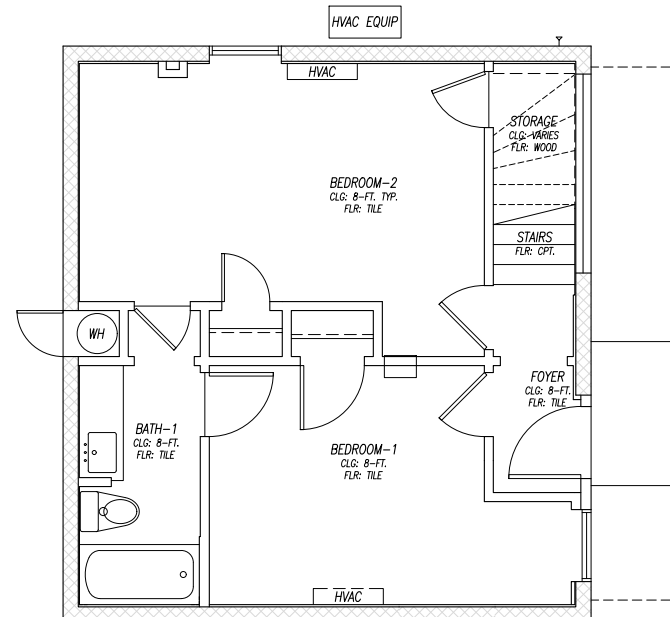
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314 WEST 34th STREET  
AUSTIN TX 78705

**BOREN**  
ARCHITECTS  
512.554.5474

DRAWING TITLE:  
BUILDING-2 (ADU)  
EXISTING / REMODEL  
ELECTRICAL & ROOF PLANS

DATE:	AS NOTED
PROJECT:	1910: 314
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	31.4
































PERMIT REVISION NOTES - ELECTRICAL ONLY:  
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EXCEPT WORK FIELD-DETERMINED BY A LICENSED ELECTRICIAN  
AND/OR CITY OF AUSTIN INSPECTOR TO BE REQUIRED

ELECTRICAL PLAN: LEVEL-2 | 2E

2E



- |                                                                                       |                                                                  |                                                                                       |                                                           |
|---------------------------------------------------------------------------------------|------------------------------------------------------------------|---------------------------------------------------------------------------------------|-----------------------------------------------------------|
|    | SWITCH                                                           |    | DATA CABLE OUTLET                                         |
|    | SWITCH - 3 WAY                                                   |    | DOOR BELL CHIME                                           |
|    | SWITCH - DIMMER                                                  |    | RECESSED CAN                                              |
|    | SWITCH - RHEASTAT                                                |    | WALL SCONCE                                               |
|    | OUTLET: 110V DUPLEX                                              |    | PENDANT                                                   |
|    | OUTLET: 110V DUPLEX<br>G.F.I.                                    |    | WALL SCONCE:<br>DIRECTIONAL                               |
|    | OUTLET: 220V                                                     |    | UNDERCABINET LIGHTING<br>OR 3" RECESSED CANLIGHT          |
|    | OUTLET: QUADRUPLX                                                |    | FLUOR. LIGHT FIXTURE,<br>4' L. U.N.O.:<br>SURFACE MOUNTED |
|    | TELEPHONE OUTLET                                                 |   | FLUOR. LIGHT FIXTURE,<br>2' L. U.N.O.:<br>SURFACE MOUNTED |
|    | TELEVISION OUTLET<br>FEATURING HDMI & CAT-5<br>CABLE CONNECTIONS |  | RECESSED CAN<br>WITH DIRECTIONAL LENS                     |
|    | AUTO-OPEN PUSH-BUTTON                                            |  | FLOOD LIGHTS WITH MOTION<br>DETECTOR & PHOTOCELL          |
|    | AIR SWITCH FOR G.D.                                              |  | LED ROPE LIGHT IN COVE                                    |
|    | DOOR BELL BUTTON                                                 |                                                                                       |                                                           |
|   | HEAT DETECTOR                                                    |                                                                                       |                                                           |
|  | DOOR FRAME LIGHT SWITCH                                          |                                                                                       |                                                           |
|  | SMOKE DETECTOR                                                   |                                                                                       |                                                           |
|  | CEILING FAN                                                      |                                                                                       |                                                           |

ABBREVIATIONS LEGEND:

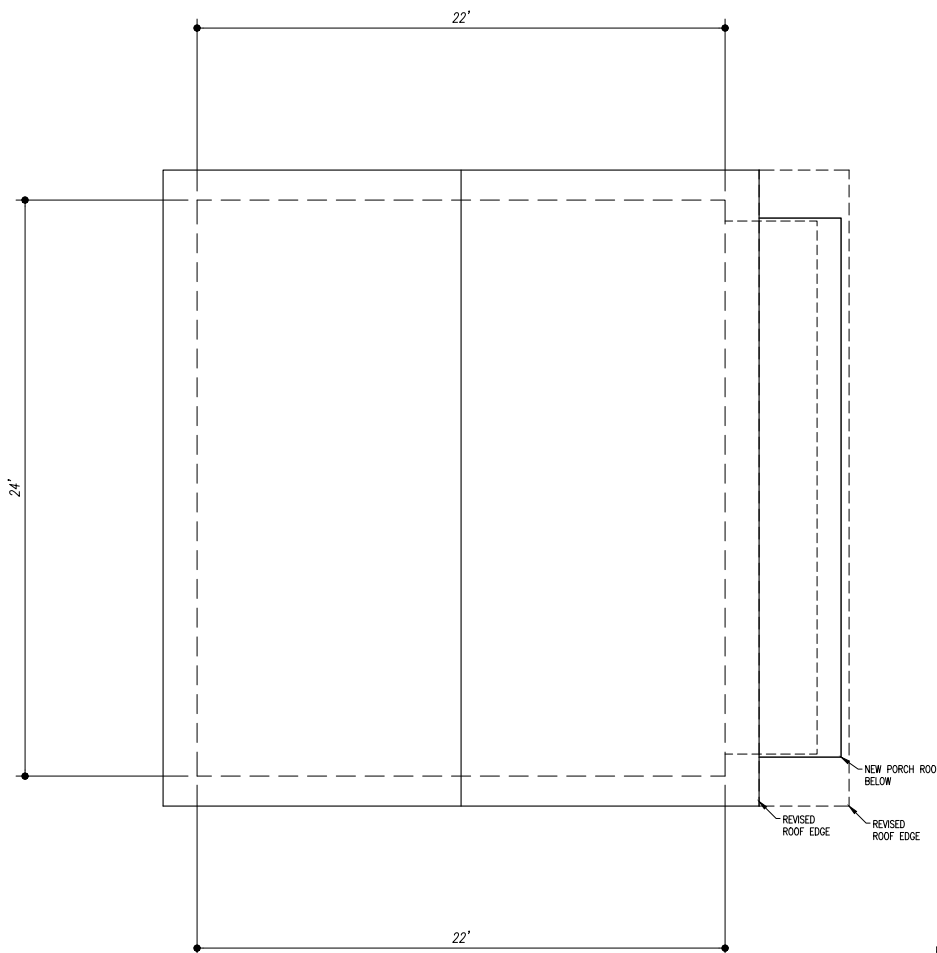
A.F.F.	ABOVE FINISH FLOOR
D.	DRYER
E.W.	EACH WAY
FLOOR.	FLOURESCENT
G.D.	GARBAGE DISPOSAL
GFI	GROUND FAULT INTERRUPT
L.S.	LAZY SUSAN
M.W.	MICROWAVE OVEN
N.T.S.	NOT TO SCALE
S.M.	SURFACE MOUNTED
SUSP.	SUSPENDED
VRS.	VARIABLE
W.	WASHER
WH	WATER HEATER
W.M.	WALL MOUNTED
WP	WATERPROOF

REMODEL NOTES

ELECTRICIAN SHALL FIELD-VERIFY EXISTING CONDITIONS PRIOR TO BID  
TO ESTABLISH SCOPE-OF-WORK

SOME RECESSED CANS MAY REQUIRE LOW-PROFILE KITS DUE TO EXISTING FRAMING CONDITIONS: V.I.F.

COORDINATE WITH HVAC & PLUMBING SUBCONTRACTORS FOR ADDL WORK  
NOT NECESSARILY SHOWN THIS PLAN



ROOF PLAN  
FULL-SCALE (22x34): 1/4" = 1'  
HALF-SCALE (11x17): 1/8" = 1'

R

ELECTRICAL PLAN: LEVEL-1  
FULL-SCALE (22x34): 1/4" = 1'  
HALF-SCALE (11x17): 1/8" = 1'

1E