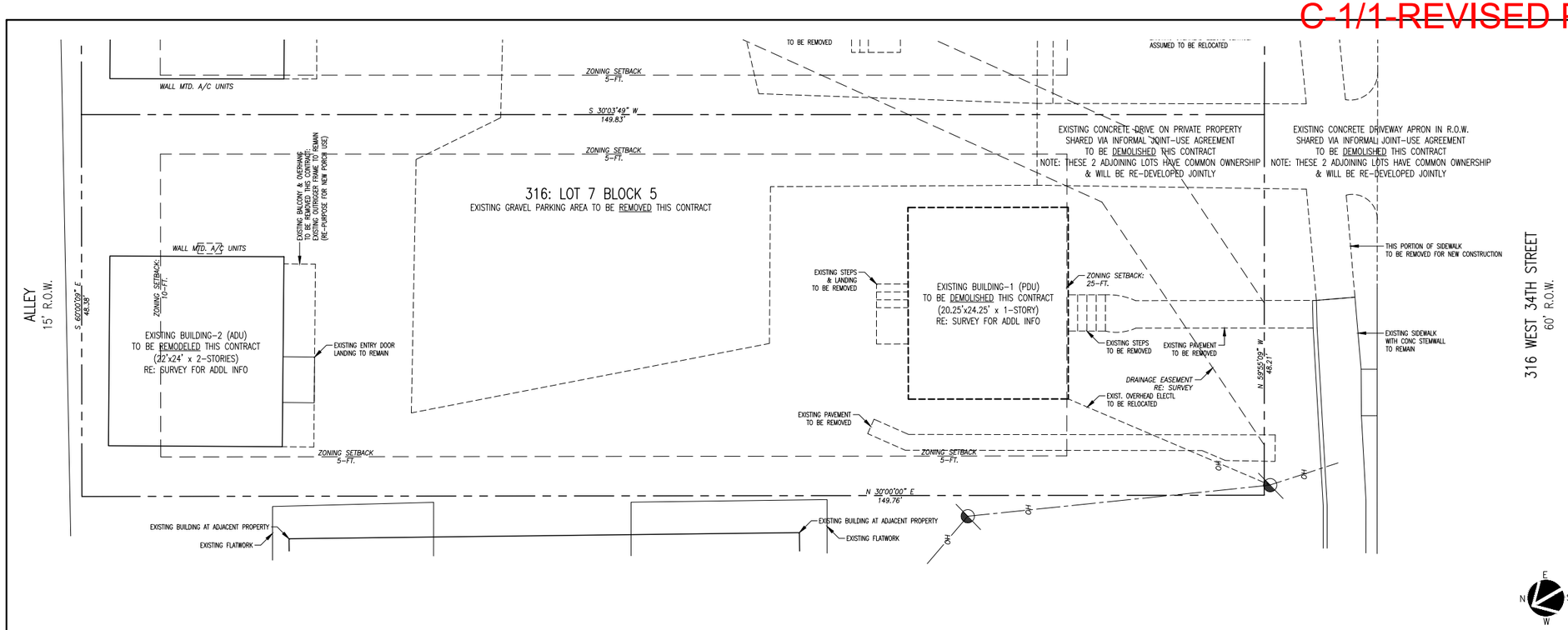
C-1/1-REVISED PLANS - LATE BACKUP



DEMOLITION SITE PLAN
FULL-SCALE (22x34): 1/8" = 1'
HALF-SCALE (11x17): 1/16" = 1'

0

LIST OF DRAWINGS

1910 SITE PLAN: DEMOLITION
SITE PLAN: NEW
GENERAL NOTES

BUILDINGS 1: NEW CONSTRUCTION

A1-1 FLOOR PLANS: LEVEL-1
FLOOR PLANS: LEVEL-2

A1-2 FLOOR PLAN: HABITABLE ATTIC
HIGH ROOF PLAN

A1-3 EXTERIOR ELEVATIONS: PLAN EAST
PLAN SOUTH

A1-4 EXTERIOR ELEVATIONS: PLAN WEST
PLAN NORTH

A1-5 BUILDING SECTIONS
OUTLINE SPECIFICATIONS
MISC SCHEDULES

A1-6 ELECTRICAL PLANS LEVEL-1
LEVEL-2
LEVEL-3

BUILDING 2: EXISTING-REMODEL

A2-1 FLOOR PLANS: LEVEL-1
FLOOR PLANS: LEVEL-2

A2-2 EXTERIOR ELEVATIONS

A2-3 ELECTRICAL PLANS
ROOF PLAN

JOINT USE ACCESS AGREEMENT NOTE

PER RESEARCH BY ARTHUR WALSTON OF THE CITY OF AUSTIN OFFICE OF REAL ESTATE SERVICES, AS DESCRIBED IN EMAILS ON OR AROUND 01.13.20, THE ACCESS EASEMENT REFERENCED IN THE PROPERTY DEEDS WERE NOT FORMALLY RECORDED WITH THE CITY OF AUSTIN, SO IT IS NOT NECESSARY TO SUBMIT OR OBTAIN AN EASEMENT RELEASE APPLICATION TO THE OFFICE OF REAL ESTATE SERVICES

REVISION	DESCRIPTION	DATE:

REGISTERED ARCHITECT JAMES P. BOREN 20904 STATE OF TEXAS

04 NOVEMBER 2020
PERMIT REVISION

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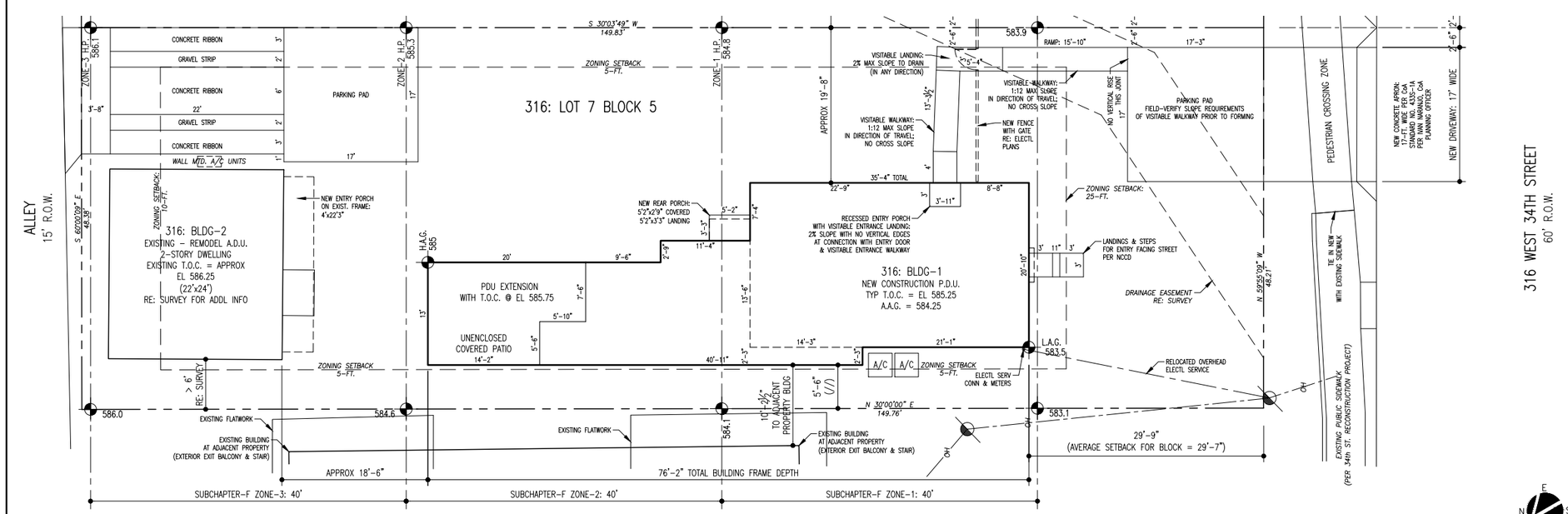

SITE PLAN
FULL-SCALE (22x34): 1/8" = 1'
HALF-SCALE (11x17): 1/16" = 1'

1

GENERAL NOTES

ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AS MANDATED BY ALL GOVERNING JURISDICTIONS

DRAWINGS AND DOCUMENTS ARE GENERAL IN NATURE AND DO NOT INCLUDE OR ANTICIPATE EVERY CONDITION POSSIBLE

CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THESE DRAWINGS AND MAKE A DETAILED SITE VISIT TO REVIEW FIELD CONDITIONS: REPORT DISCREPANCIES.

WRITTEN DIMENSIONS GOVERN: DO NOT SCALE DRAWINGS

MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE MANUFACTURER PUBLISHED INSTRUCTIONS AND-OR RECOMMENDATIONS

THESE DRAWINGS AND SPECIFICATIONS WHEN ISSUED ARE THE PROPERTY OF THE DESIGN COMPANY AND-OR ARCHITECT FOR THIS SPECIFIC ADDRESS

SITE PLAN IS BASED ON SURVEY INFORMATION PROVIDED BY OWNER AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION BY GENERAL CONTRACTOR

PROJECT MAY BE SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, OR OTHER LIMITATIONS, OF WHICH THE DESIGN COMPANY AND-OR ARCHITECT HAS NOT BEEN INFORMED: OWNER TO VERIFY

TREES SHALL BE PROTECTED IN ACCORDANCE WITH REGULATING AUTHORITY'S RULES AND REGULATIONS

FAILURE TO ABIDE BY THE ABOVE INFORMATION, AND-OR FAILURE TO ABIDE BY COMMONLY ACCEPTED PRACTICES, SHALL ALLEVIATE THE DESIGN COMPANY AND-OR ARCHITECT FROM LIABILITY

REFER TO SITE DEVELOPMENT INFORMATION (SEPARATE DOCUMENT) FOR PROJECT DATA

ABBREVIATIONS:

AVERAGE ADJACENT GRADE	A.A.G.
HIGH ADJACENT GRADE	H.A.G.
LOW ADJACENT GRADE	L.A.G.
TOP OF CONCRETE	T.O.C.

316 WEST 34th STREET

AUSTIN TX 78705

TWO-FAMILY PROJECT:
PDU: NEW CONSTRUCTION
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

BOREN ARCHITECTS
512.554.5474

DRAWING TITLE:

DATE:	AS NOTED
PROJECT:	1910: 316
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	316

1910

City of Austin
REVIEWED FOR CODE COMPLIANCE

C-1/2-REVISED PLANS - LATE BACKUP

DATA FOR 316 WEST 34th STREET

DATA THIS SHEET TAKEN FROM FIELD-MEASUREMENTS

LISTED DATA BELOW ORGANIZED FROM PROPERTIES WEST TO EAST

1. 28'-0"
2. 27'-6"
3. 21'-0"
4. 27'-0"
5. 27'-0"
6. APT BLDG — NOT APPLICABLE
7. ~~24'-9"~~ — SUBJECT TRACT – NOT INCLUDED IN DATA
8. 34'-3"
9. 29'-0"
10. 39'-0"
11. 26'-0"
12. 36'-2"
13. 30'-0"
14. 29'-0"
15. 31'-0"

TOTALS:
384'-11" — DIVIDED BY 13 APPLICABLE LOTS

AVERAGE SETBACK FOR BLOCK:
29'-7"

DATA FOR 314 WEST 34th STREET

DATA THIS SHEET TAKEN FROM FIELD-MEASUREMENTS

LISTED DA[illegible] ORGANIZED FROM PROPERTIES WEST TO EA[illegible]

1. 28'-0[illegible]
2. 27'-6"
3. 21'-0"
4. 27'-0"
5. 27'-0"
6. APT BLDG — NOT A[illegible]
7. 24'-9"
8. ~~34'-3"~~ — SUBJECT TR[illegible]UDED IN DATA
9. 29'-0"
10. 39'-0"
11. 26'-0"
12. 36'-2"
13. 30'-0"
14. 29'-0"
15. 31'-0"

TOTALS:
375'[illegible] — DIVIDED BY 13 APPLICABLE LOTS

AVERAGE SETBACK FOR BLOCK:
28'-7"

REVISION	DESCRIPTION	DATE:

REGISTERED ARCHITECT — DAVID P. BOREN — 20904 — STATE OF TEXAS

04 NOVEMBER 2020

PERMIT REVISION

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316 WEST 34th STREET

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ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

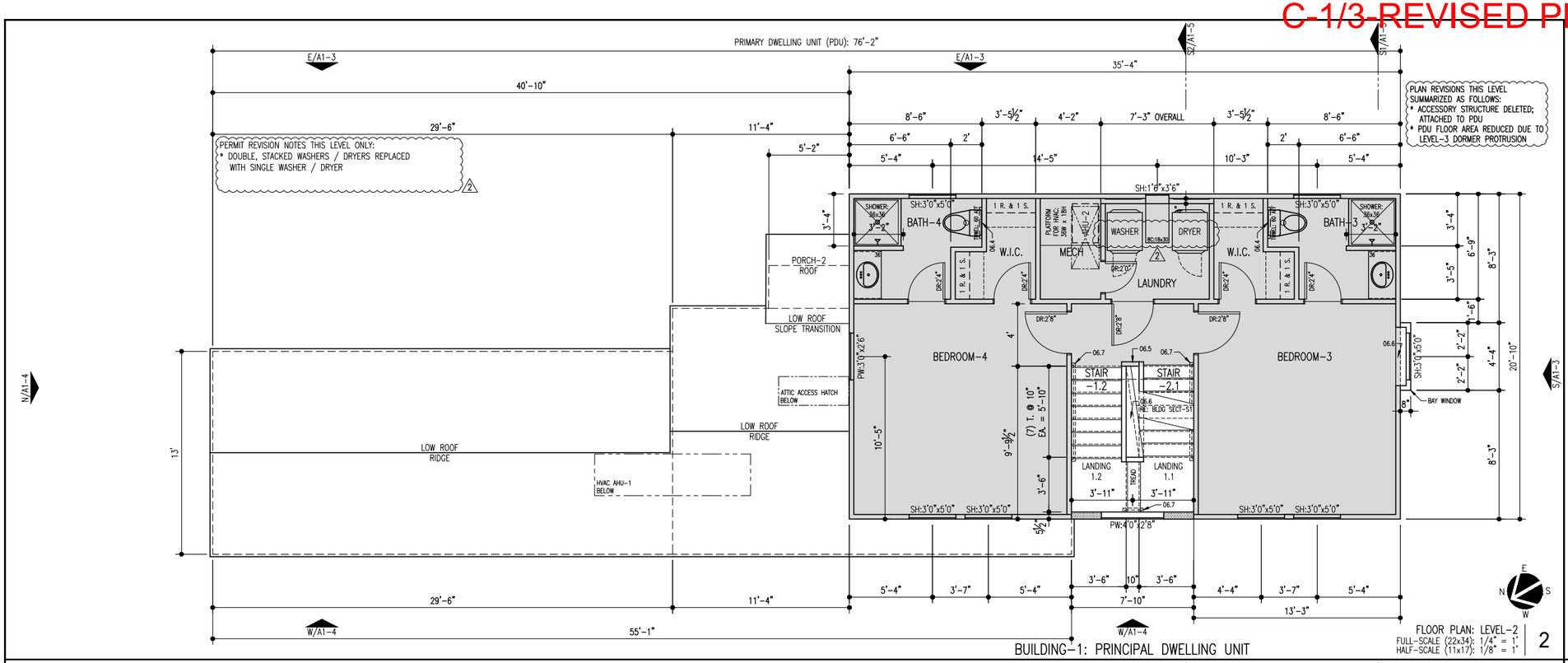
BOREN ARCHITECTS
512.554.5474

DRAWING TITLE:

DATE:	AS NOTED
PROJECT:	1910: 316
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	A0-1

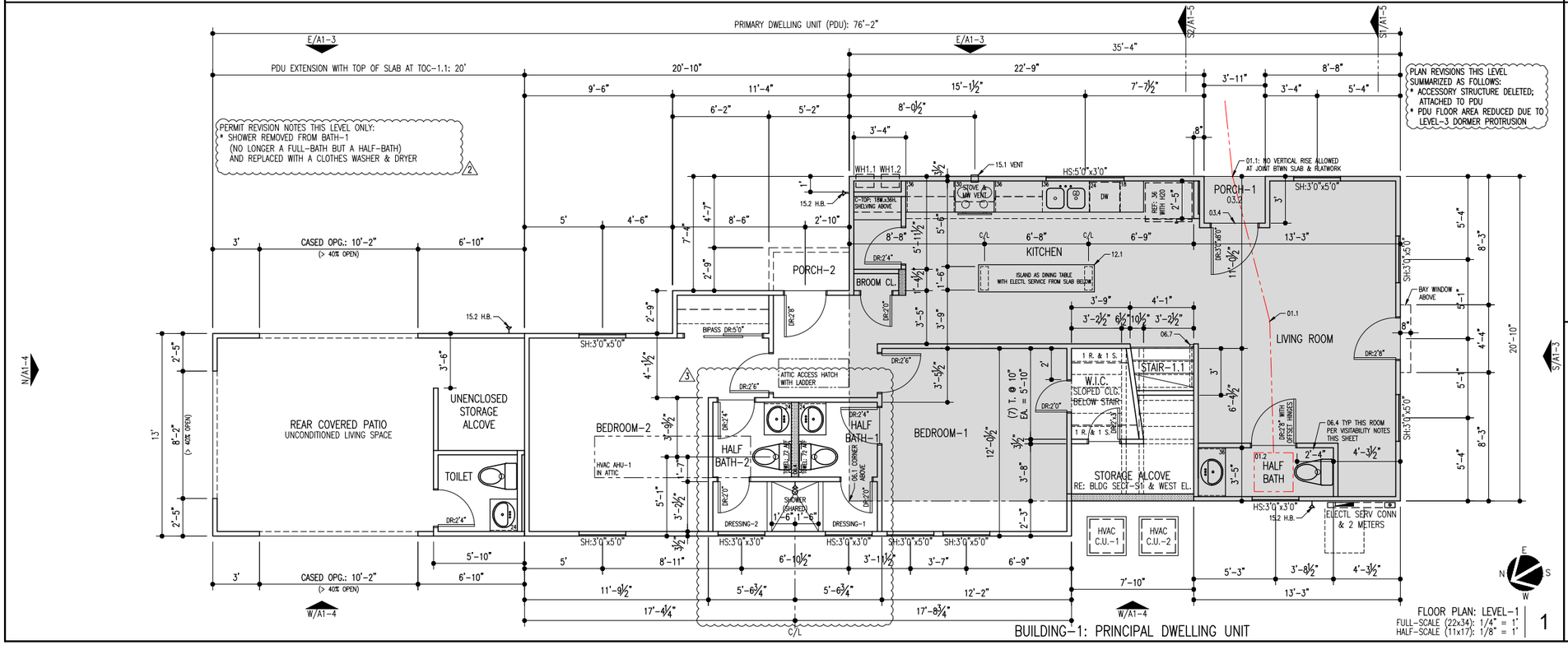
City of Austin
REVIEWED FOR CODE COMPLIANCE

C-1/3-REVISED PLANS - LATE BACKUP



BUILDING-1: PRINCIPAL DWELLING UNIT

FLOOR PLAN: LEVEL-2
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
2



BUILDING-1: PRINCIPAL DWELLING UNIT

FLOOR PLAN: LEVEL-1
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
1

KEYNOTES LEGEND

KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT:
SEE OUTLINE SPECIFICATIONS THIS PACKAGE FOR ADDL INFO

01.1 VISITABILITY: INTERIOR ROUTE OF TRAVEL
01.2 VISITABILITY: 30 x 30 REQD CLEAR FLOOR AREA
* SEE VISITABILITY NOTES FOR ADDL INFO THIS ROOM

02.0 EXISTING GRADE TO REMAIN OR BE MODIFIED WHERE NOTED
02.1 NEW PAVEMENT: SLOPE TO DRAIN @ 2% MIN. OR AS NOTED
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03.2 CONC FOUNDATION PER STRUCTL: SLOPE TO DRAIN AS NOTED
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06.5 PARTIAL-HEIGHT FRAMING: 40-IN. H. NOM. WITH DIVISION-09 CAP TRIM
06.6 INTERIOR PLATFORM: AS NOTED WITH DIVISION-09 CAP TRIM
06.7 STAINED WOOD HANDRAIL

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07.1 SIDING TYPE-1: PLANKS WITH 10.75-IN. EXPOSURE TYP U.N.O.
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07.5 EXTERIOR CEILING AS SCHEDULED
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08.1 SCHEDULED DOOR
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12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION

15.1 HVAC EQUIPMENT OR ACCESSORY
15.2 PLUMBING EQUIPMENT OR ACCESSORY

16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

FLOOR PLAN NOTES: NEW CONSTRUCTION

1. NEW 2x6 STUD WALLS HATCHED FOR CLARITY: ALL OTHERS 2x4
2. ALL DIMENSIONS FROM EDGE OF WALL OR FLOOR FRAMING OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP
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4. DOORS SHALL BE SHALL BE 6-FT. 8-IN. HIGH U.N.O. ON PLAN
5. COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS WITH MNFR REQS
6. SMOKE & CARBON MONOXIDE ALARMS TO BE INSTALLED IN FULL COMPLIANCE WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE R314

VISITABILITY NOTES

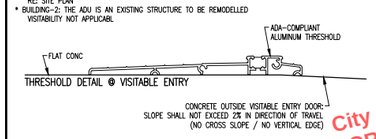
R320.3: VISITABLE BATHROOM (HALF BATH LEVEL-1) (KEYNOTE-01.2)
* DOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 32"
* LATERAL 2x6 BLOCKING SHALL BE INSTALLED CENTERED @ 34" A.F.F. FLUSH WITH STUD EDGES OF WALL ALL 3-SIDES OF TOILET AT LEVEL-1 HALF BATH

R320.4: MISC. ELECTRICAL APPURTENANCES
* ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS AT UPPER LEVEL MUST BE NO HIGHER THAN 48" A.F.F.
* ALL OUTLETS AND RECEPTACLES AT UPPER LEVEL MUST BE 15" A.F.F.

R320.5: VISITABILITY ROUTE
* SEE PLAN FOR GRAPHIC INFO THIS ELEMENT (KEYNOTE-01.1)

R320.6: VISITABLE DWELLING ENTRANCE
* DOOR THRESHOLD AT ENTRANCE ALONG VISITABLE ROUTE PER R320.5 SHALL HAVE A 0.5" MAX HIGH THRESHOLD AS SHOWN BELOW
* CONC ALONG VISITABLE ROUTE SHALL HAVE A MAX CROSS-SLOPE OF 2% MAX & 5% MAX IN DIRECTION OF TRAVEL
* CONC EDGES ALONG VISITABLE ROUTE SHALL NOT HAVE VERTICAL EDGES: VERIFY WITH FOUNDATION DRAWINGS & CONCRETE SUBCONTRACTOR

R320.7: EXTERIOR VISITABLE ROUTE
* BUILDING-1: THE PDU WILL HAVE A VISITABLE ENTRANCE THROUGH THE MAIN ENTRY RE: SITE PLAN
* BUILDING-2: THE ADU IS AN EXISTING STRUCTURE TO BE REMODELLED VISITABILITY NOT APPLICABL



REVISION	DESCRIPTION	DATE
2	ADDENDA-2: PERMIT REVISION	11.04.20
3	ADDENDA-3: PERMIT REVISION CLARIFICATION	11.20.20

04 NOVEMBER 2020
PERMIT REVISION

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316 WEST 34th STREET
AUSTIN TX 78705

TWO-FAMILY PROJECT:
PDU: NEW CONSTRUCTION
ADU: ADDITION-REMODEL

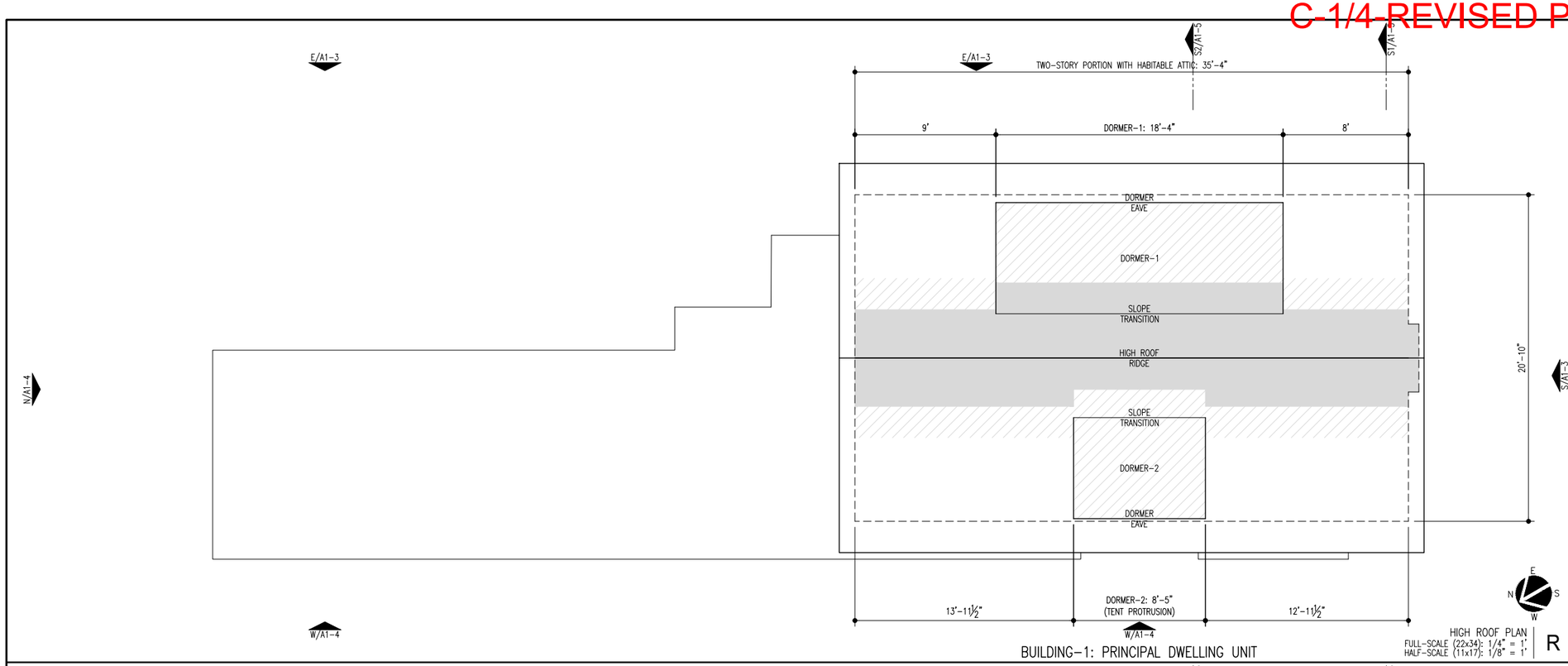
ZONING: SF-3-NCCD-NP

BOREN ARCHITECTS
512.554.5474

DRAWING TITLE: BUILDINGS-1 & -3 FLOOR PLAN-1 FLOOR PLAN-2
DATE: AS NOTED
PROJECT: 1910: 316
SCALE: AS NOTED
DRAWN: DPB
SHEET: 316 A1-1

REVIEWED FOR CODE COMPLIANCE City of Austin

C-1/4-REVISED PLANS - LATE BACKUP



HIGH ROOF PLAN
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

R

BUILDING-1: PRINCIPAL DWELLING UNIT

KEYNOTES LEGEND

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15.1 HVAC EQUIPMENT OR ACCESSORY
15.2 PLUMBING EQUIPMENT OR ACCESSORY

16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

REVISION	DESCRIPTION	DATE:
2	ADDENDA-2: PERMIT REVISION	11.04.20

REGISTERED ARCHITECT JAMES BOREN 20904 STATE OF TEXAS

04 NOVEMBER 2020
PERMIT REVISION

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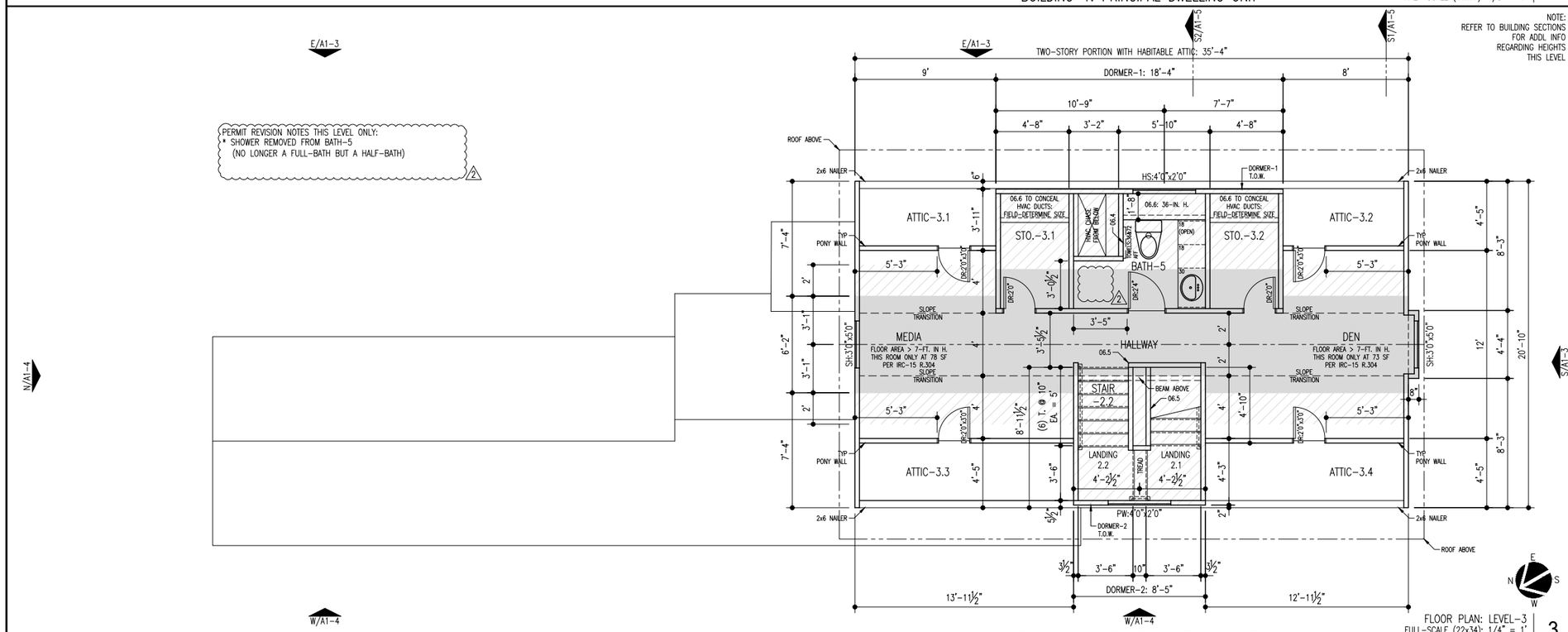

PERMIT REVISION NOTES THIS LEVEL ONLY:
* SHOWER REMOVED FROM BATH-5
(NO LONGER A FULL-BATH BUT A HALF-BATH)

2

NOTE:
REFER TO BUILDING SECTIONS FOR ADDL INFO REGARDING HEIGHTS THIS LEVEL

FLOOR PLAN: LEVEL-3
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

3

BUILDING-1: PRINCIPAL DWELLING UNIT

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HABITABLE ATTIC DATA

FLOOR AREA WITH A CEILING HEIGHT ≥ 7-FT. IN HEIGHT:
(SHADED AREA)
~~249 SF~~ 243 SF

FLOOR AREA WITH A CEILING HEIGHT BETWEEN 5-FT. & 7-FT. IN HEIGHT:
(CROSS HATCHED AREA)
~~255 SF~~ 251 SF

CONCLUSION:
~~255 SF~~ 251 SF IS > THAN ~~249 SF~~ 243 SF
THIS HABITABLE ATTIC MEETS THE EXCEPTION OF SUBCHAPTER F

REFER TO BUILDING SECTIONS FOR ADDITIONAL GRAPHIC INFORMATION

316 WEST 34th STREET

AUSTIN TX 78705

TWO-FAMILY PROJECT:
PDU: NEW CONSTRUCTION
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

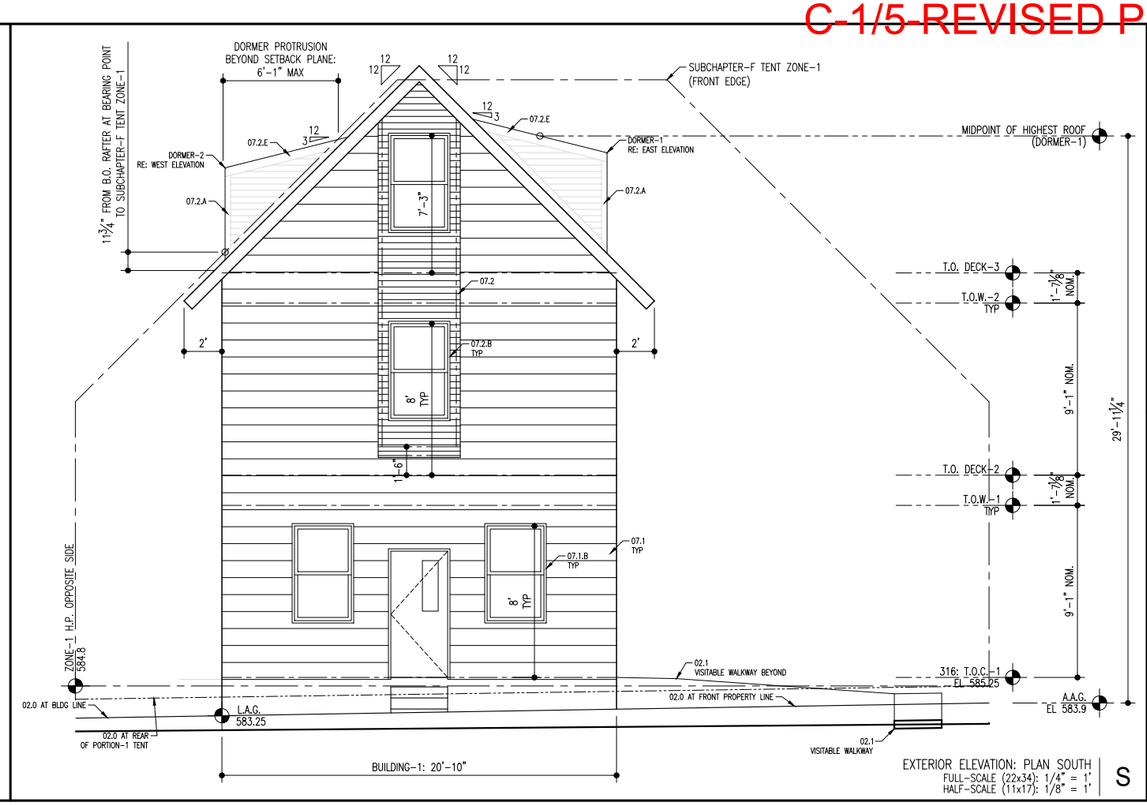
BOREN ARCHITECTS
512.554.5474

DRAWING TITLE:	BUILDINGS-1 & -3 FLOOR PLAN-3 HIGH ROOF PLAN
DATE:	AS NOTED
PROJECT:	1910: 316
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	316

City of Austin
REVIEWED FOR CODE COMPLIANCE

A1-2

C-1/5-REVISED PLANS - LATE BACKUP



EXTERIOR ELEVATION: PLAN SOUTH
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
S

KEYNOTES LEGEND

KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT:
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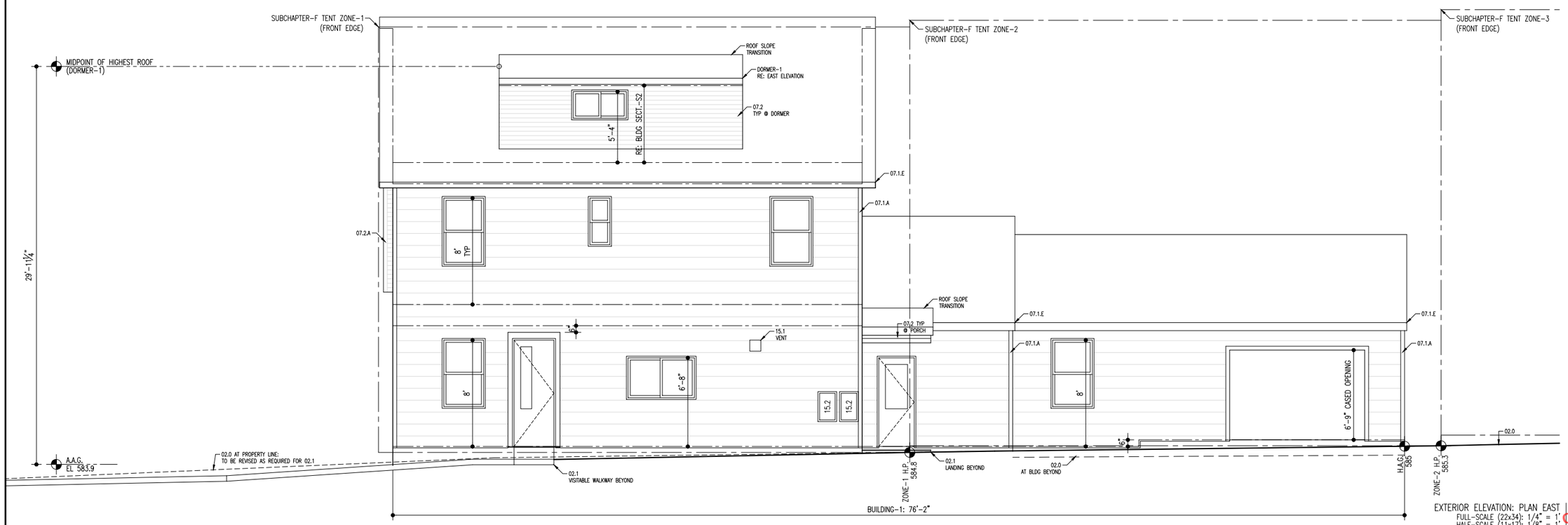


EXTERIOR ELEVATION: PLAN EAST
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
E

316 WEST 34th STREET

AUSTIN TX 78705

TWO-FAMILY PROJECT:
POU: NEW CONSTRUCTION
ADU: ADDITION-REMODEL

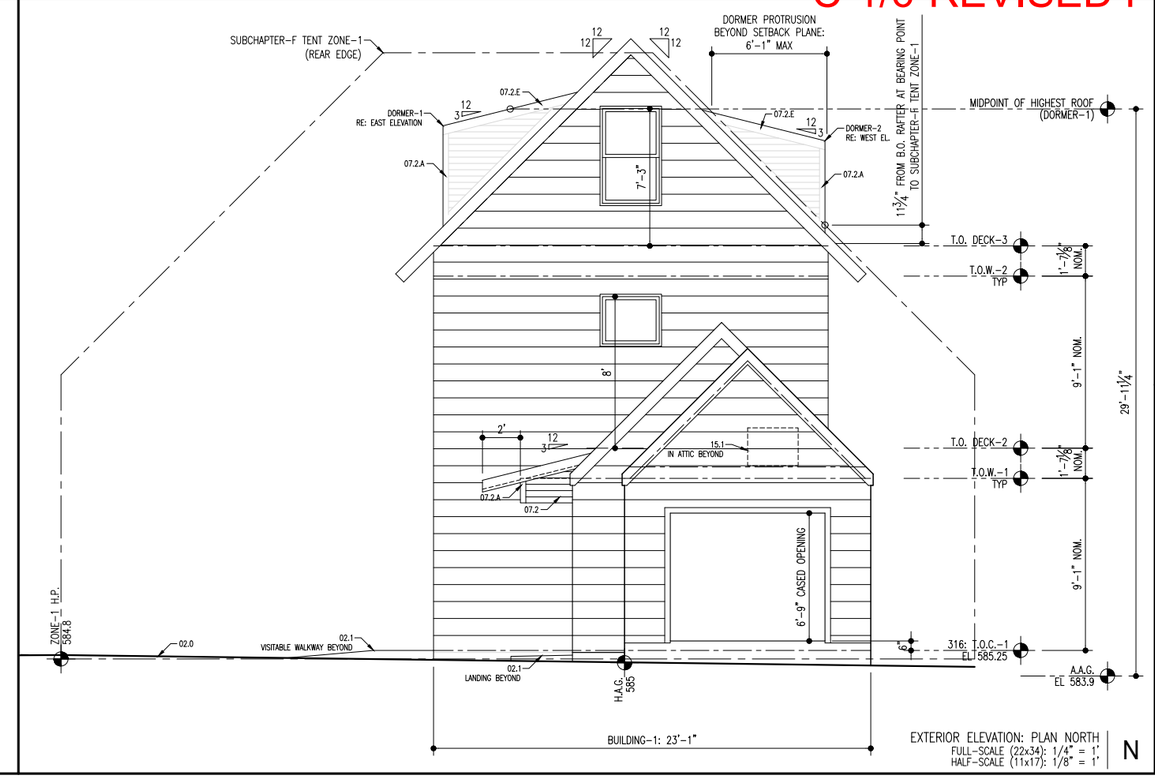
ZONING: SF-3-NCCD-NP

BOREN ARCHITECTS
512.554.5474

DRAWING TITLE:	BUILDINGS-1 & -3 EXTERIOR ELEVATIONS: EAST EXTERIOR ELEVATIONS: SOUTH
DATE:	AS NOTED
PROJECT:	1910: 316
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	316 A1-3

City of Austin
REVIEWED FOR CODE COMPLIANCE

C-1/6-REVISED PLANS - LATE BACKUP



EXTERIOR ELEVATION: PLAN NORTH
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

N

KEYNOTES LEGEND

KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT:
SEE OUTLINE SPECIFICATIONS THIS PACKAGE FOR ADDL INFO

01.1 VISITABILITY: INTERIOR ROUTE OF TRAVEL
01.2 VISITABILITY: 30 x 30 REQD CLEAR FLOOR AREA
* SEE VISITABILITY NOTES FOR ADDL INFO THIS ROOM

02.0 EXISTING GRADE TO REMAIN OR BE MODIFIED WHERE NOTED
02.1 NEW PAVEMENT: SLOPE TO DRAIN @ 2% MIN. OR AS NOTED
02.2 NEW FINISH GRADING: SLOPE TO DRAIN @ 2% MIN.

03.1 CONC FOUNDATION PER STRUCTL
03.2 CONC FOUNDATION PER STRUCTL: SLOPE TO DRAIN AS NOTED
03.3 CONC FOUNDATION PER STRUCTL: SPECIAL FEATURE AS NOTED
03.4 CONC FOUNDATION SLOPE TRANSITION: NO VERTICAL EDGE
03.5 CONC FOUNDATION STEMWALL: 4-IN. W. x 6-IN. H.

04.0 EXISTING CONCRETE MASONRY UNIT WALL

05.1 STEEL LINTEL AT NEW WALL OPENING AT EXISTING CMU WALL

06.0 EXISTING WOOD FRAMING ELEMENT
06.1 WOOD FLOOR OR ROOF FRAMING PER STRUCTL
06.2 EDGE OF FRAMING
06.3 LOWER CEILING OR FURR DOWN: DEPTH PER PLAN OR SECTION
06.4 2x6 MIN. BLOCKING IN STUD WALL CENTERED AS NOTED
06.5 PARTIAL-HEIGHT FRAMING: 40-IN. H. NOM. WITH DIVISION-09 CAP TRIM
06.6 INTERIOR PLATFORM: AS NOTED WITH DIVISION-09 CAP TRIM
06.7 STAINED WOOD HANDRAIL

07.0 EXISTING SIDING TO REMAIN: REFURBISH AS REQUIRED
07.1 SIDING TYPE-1: PLANKS WITH 10.75-IN. EXPOSURE TYP U.N.O.
07.2 SIDING TYPE-2: PLANKS WITH 4-IN. EXPOSURE
07.3 ROOF EDGE: 2x8 NOM @ TYPE-1 & 1x6 NOM @ TYPE-2
07.4 EXTERIOR TRIM AS SCHEDULED
07.5 EXTERIOR CEILING AS SCHEDULED
07.6 NEW SIDING TO MATCH EXISTING AT WINDOW OR DOOR INFILL

08.0 EXISTING DOOR OR WINDOW PER REMODEL PLAN NOTES
08.1 SCHEDULED DOOR
08.2 SCHEDULED WINDOW

12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION

15.1 HVAC EQUIPMENT OR ACCESSORY
15.2 PLUMBING EQUIPMENT OR ACCESSORY

16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

REVISION	DESCRIPTION	DATE:

REGISTERED ARCHITECT
DAVID P. BOREN
20904
STATE OF TEXAS

04 NOVEMBER 2020
PERMIT REVISION

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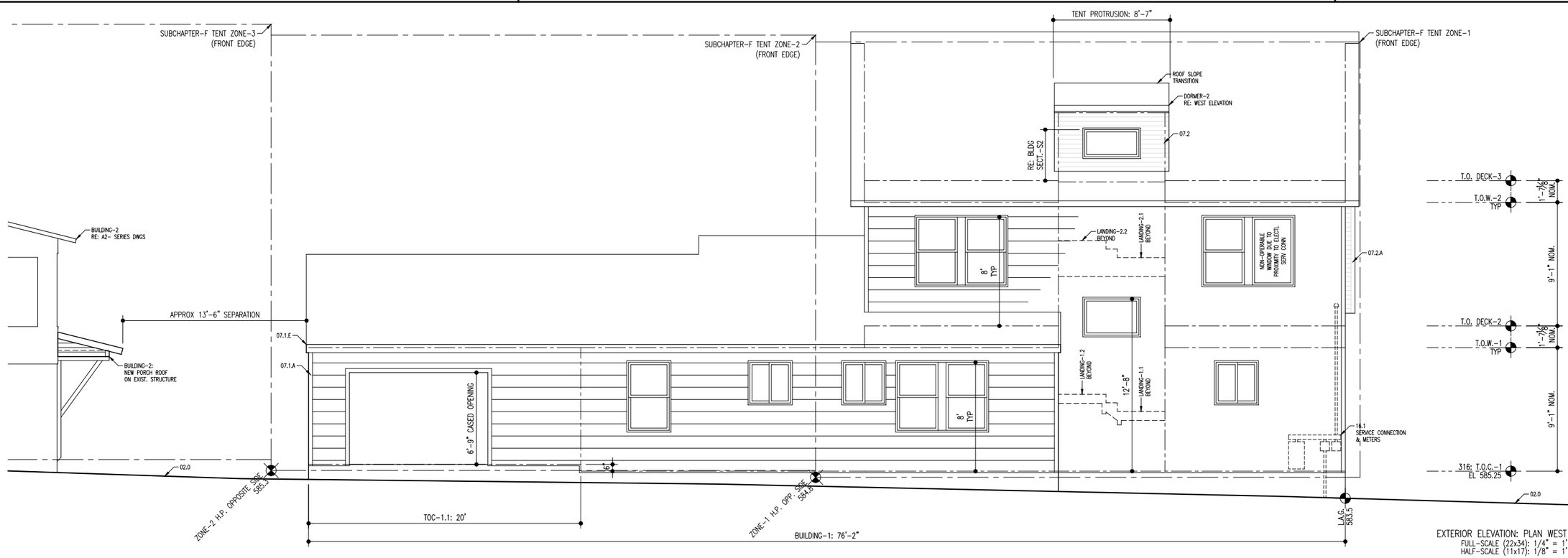


EXTERIOR ELEVATION: PLAN WEST
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

W

316 WEST 34th STREET

AUSTIN TX 78705

TWO-FAMILY PROJECT:
POU: NEW CONSTRUCTION
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

BOREN
ARCHITECTS
512.554.5474

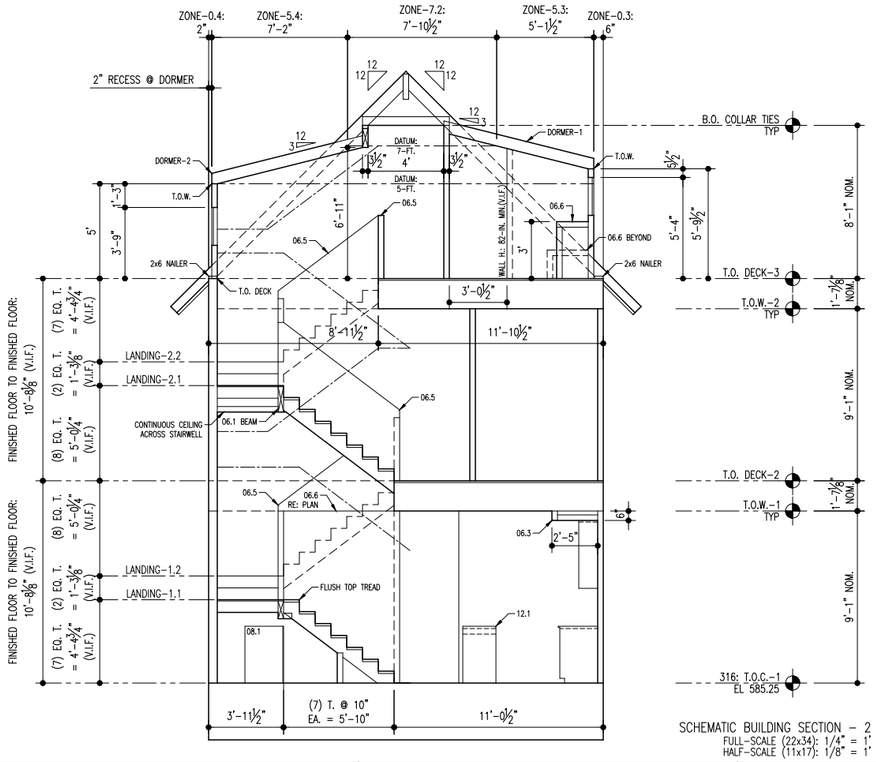
DRAWING TITLE:
BUILDINGS-1 & -3
EXTERIOR ELEVATIONS: WEST
EXTERIOR ELEVATIONS: NORTH

DATE: AS NOTED
PROJECT: 1910: 316
SCALE: AS NOTED
DRAWN: DPB
SHEET: 316

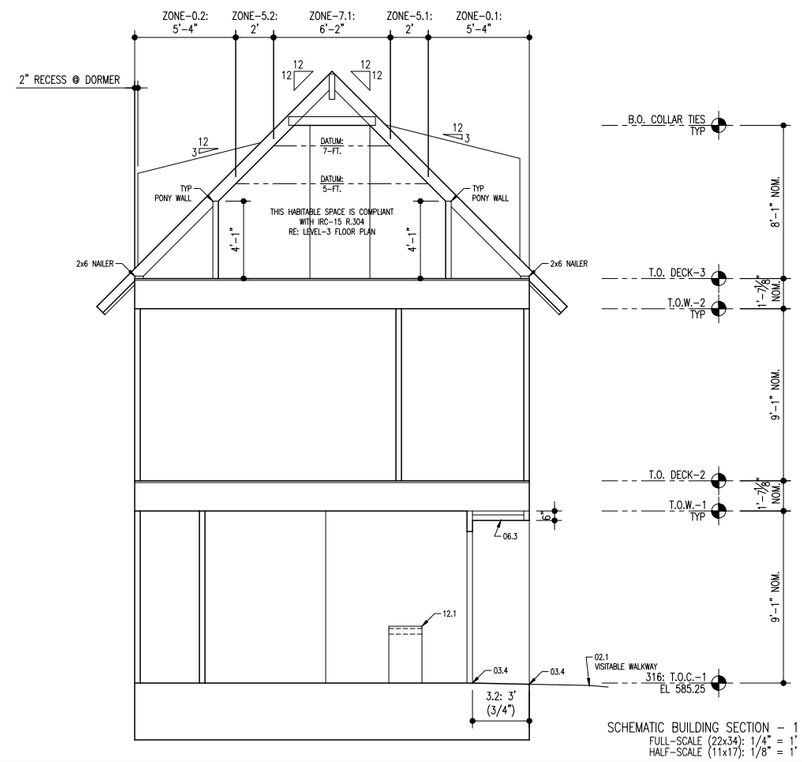
A1-4

REVIEWED FOR CODE COMPLIANCE
City of Austin

C-1/7-REVISED PLANS - LATE BACKUP



SCHEMATIC BUILDING SECTION – 2
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
S2



SCHEMATIC BUILDING SECTION – 1
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
S1

KEYNOTES LEGEND

KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT:
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16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

REVISION	DESCRIPTION	DATE:
1	ADDENDA-1: REVISION FOR CONSTRUCTION SET	09.11.20

REGISTERED ARCHITECT DAVID P. BOREN 20904 STATE OF TEXAS

04 NOVEMBER 2020
PERMIT REVISION

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INTERIOR FINISH SCHEDULE

LEVEL: ROOM	FINISHES
LEVEL-1: LIVING KITCHEN BEDRMS CLOSETS STAIRS HALLS LEVEL-2: BEDRMS CLOSETS STAIRS LEVEL-3: MEDIA DEN STO. RMS. HALL STAIRS	CEILING: PAINTED GWB WALLS: PAINTED GWB FLOORS: PLANK FLOORING – VINYL OR ENGINEERED WOOD (T.B.D.) TYPICAL UNLESS NOTED OTHERWISE * 314: FLOORING SHALL BE CARPET AT LEVEL-2 & LEVEL-3 & STAIRS 1
BATHROOMS (ALL AS APPLICABLE)	CEILING: PAINTED GWB – MILDEW RESISTANT PAINT WALLS: PAINTED GWB – MILDEW RESISTANT PAINT FLOORS: CERAMIC TILE PER INTERIORS PACKAGE SHOWERS: PREFAB SHOWER BASE SIZED PER PLAN & WALLS TO MATCH BY SAME MNFR.
UTILITY SPACES: LAUNDRY MECH	CEILING: PAINTED GWB – MILDEW RESISTANT PAINT WALLS: PAINTED GWB – MILDEW RESISTANT PAINT FLOORS: SHEET VINYL PER INTERIORS PACKAGE
MISC EXTERIOR: * PORCH-1 * PORCH-2 * REAR COVERED PATIO	CEILING: STAINED WOOD PER OUTLINE SPECS WALLS: * PORCHES: PAINTED EXTERIOR SIDING * RE: OUTLINE SPECIFICATIONS FOR ADDL INFO FLOORS: * BROOM-FINISHED CONC
UTILITY SPACES: L1: STO. ALCOVE	CEILING: PAINTED GWB – MILDEW RESISTANT PAINT WALLS: PAINTED GWB – MILDEW RESISTANT PAINT FLOORS: CONCRETE – UNFINISHED

INSULATION SCHEDULE

ROOF INSULATION AT ALL ROOFS:
* SPRAY FOAM INSULATION BETWEEN RAFTERS
* R-38 EQUIVALENT: ASSUMED THICKNESS 6-IN.: CONFIRM
* ROOF SHALL BE THERMAL ENVELOPE CONSTRUCTION

EXTERIOR WALLS:
* OPTION-1: SPRAY FOAM INSULATION
~~* OPTION-2: BLOWN-IN CELLULOSE INSULATION~~
~~* OPTION-3: FIBERGLASS BATTS FULL-HEIGHT TYPICAL IN A THICKNESS FULL DEPTH OF WALL CAVITY (R-13 TYP WITH R-19 @ 2x6 WALLS)~~

FLOORS (TRUSSED AREA ONLY):
* R-13 FIBERGLASS BATTS BETWEEN TRUSSES (SOUND CONTROL)

INTERIOR WALLS FOR ACOUSTIC PRIVACY:
* R-13 FIBERGLASS BATTS SEPARATING BATHROOMS, PLUMBING FIXTURES & LINES, FROM ALL ADJACENT SPACES, & AROUND BEDROOMS

NOTE:
SPRAY FOAM INSULATION REFERS TO ICYNENE OR EQUAL
FIELD-APPLIED BY A CERTIFIED INSTALLER

UTILITY NOTES

THE FOLLOWING APPLIANCES OR EQUIP. SHALL BE PROVIDED NATURAL GAS:
~~* H.V.A.C. FURNACES~~
* HOT WATER HEATERS
~~* CLOTHES DRYERS~~
* KITCHEN STOVE WITH OVEN

THE FOLLOWING APPLIANCES OR EQUIP. SHALL BE ELECTRIC:
* H.V.A.C. FURNACES
* CLOTHES DRYERS

REFER TO OUTLINE SPECIFICATIONS THIS SHEET
& OWNER-SELECTED EQUIPMENT & APPLIANCES FOR ADDL INFO

VERIFY ABOVE INFORMATION WITH OWNER / GENERAL CONTRACTOR
PRIOR TO BID

GENERAL NOTES

THE CONTRACTOR & SUBCONTRACTORS SHALL NOTE IN THEIR BID ALL DEVIATIONS FROM THESE DRAWINGS & SCHEDULES

THE CONTRACTOR & SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK

THE CONTRACTOR & SUBCONTRACTORS SHALL VERIFY SIZES AND LOCATIONS OF ALL APPLIANCES, FIXTURES AND RELATED COMPONENTS PRIOR TO INSTALLATION

THESE PLANS ARE ISSUED AS A "BUILDER'S SET": SUBCONTRACTORS SHALL COORDINATE ALL SCOPES OF WORK WITH GENERAL CONTRACTOR PRIOR TO BID

PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS

ALL WATER LINES TO BE PEX

ALL WASTE PIPING TO BE SCHEDULE 40 PVC

PROVIDE THRESHOLDS @ ALL EXTERIOR DOORS

FRAMING – BLOCKING REQUIREMENTS

1. ALL SHEATHING EDGES SHALL BE FULLY-BLOCKED
2. ALL FRAMING SHALL BE FULLY FIRE-BLOCKED AS REQUIRED TO MEET OR EXCEED CODE REQUIREMENTS
3. ALL WALL FRAMING SHALL HAVE 2x4 MIN. DEAD-WOOD FOR GWB INSTALLATION
4. ALL PLAN LOCATIONS INDICATING BASE & WALL CABINETS SHALL BE BLOCKED FOR CASEWORK INSTALLATION
5. ALL VERTICAL & HORIZONTAL JOINTS BETWEEN TILE & GWB FINISH SHALL BE BLOCKED
6. ALL BATHROOMS SHALL BE 2x BLOCKED AS REQUIRED FOR ALL MISCELLANEOUS ACCESSORIES: COORDINATE WITH OWNER
7. ALL GROUND FLOOR BATHROOMS SHALL BE 2x BLOCKED AS REQUIRED TO MEET THE CITY OF AUSTIN VISITABILITY ORDINANCE
8. ALL CLOSETS SHALL BE BLOCKED AS REQUIRED FOR INSTALLATION OF CLOSET SYSTEM: COORDINATE WITH OWNER
9. PROVIDE PRESSURE TREATED SILL PLATES AT ALL LOCATIONS IN CONTACT WITH CONCRETE
10. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

OUTLINE SPECIFICATIONS

NOTE:
THESE SPECIFICATIONS ARE IN 1995 CSI FORMAT

DIVISION-2: SITE CONSTRUCTION
LANDSCAPING:
* BY OWNER
* FINISHED GRADING SHALL SLOPE AWAY FROM BUILDING @ 2% MINIMUM

DIVISION-3: CONCRETE
* CONCRETE FOUNDATION PER STRUCTURAL
* EXPOSED CONCRETE SIDEWALLS > 8" H. SHALL BE PARGED
* NEW CONCRETE FOUNDATIONS SHALL BE PER STRUCTURAL
* PROVIDE CONTROL & EXPANSION JOINTS AS REQUIRED ON CONC DRIVES, WALKWAYS & PATIOS
* COORDINATE CONCRETE WITH CITY OF AUSTIN VISITABILITY REQUIREMENTS, INCLUDING WIDTH & TEXTURE, SLOPE & CROSS-SLOPE

DIVISION-4: MASONRY
* NOT APPLICABLE

DIVISION-6: WOOD & PLASTICS
FLOOR FRAMING (WHERE APPLICABLE):
* FLOOR TRUSSES PER ENGINEERED SHOP DRAWINGS: 18" MINIMUM DEPTH
* RE: STRUCTL FOR ADDL INFO
SUB FLOORING (WHERE APPLICABLE):
* 1.125" TONGUE & GROOVE (T&G) PLYWOOD, NAIL & GLUE
* RE: STRUCTL FOR ADDL INFO
WALL FRAMING:
* 2x4 NOM. @ 16" MAX. O.C. TYPICAL; 2x6 NOM. WHERE NOTED ON PLAN
WALL SHEATHING:
* OPTION-1: ZIP WALL SHEATHING RATED FOR SPAN – VERIFY W/ STRUCTL
* OPTION-2: PER STRUCTL
* ALL EDGES SHALL BE FULLY BLOCKED
* RE: STRUCTL FOR ADDL INFO
ROOF FRAMING:
* PER STRUCTL
ROOF SHEATHING:
* SHEATHING PER STRUCTL RATED FOR SPAN
* PROVIDE CLIPS AT MID-SPAN OF ALL JOINTS
EXTERIOR WOOD FRAMING:
* ALL EXTERIOR WOOD FRAMING MATERIALS SHALL BE TREATED
* ALL CONNECTORS SHALL BE RATED FOR APPLICATION
MISC WOOD FRAMING:
* FRAMER TO INSTALL BLOCKING AS REQUIRED FOR ALL INTERIOR APPURTENANCES & ACCESSORIES NOTED OR SHOWN ON PLAN

DIVISION-7: THERMAL & MOISTURE PROTECTION
MOISTURE PROTECTION:
* N/A IF ZIP WALL SHEATHING SYSTEM IS SELECTED: SEE ABOVE
* TYVEK OR EQUAL HOUSEWRAP IF OSB OR PLYWOOD SHEATHING
EXTERIOR SIDING & TRIM:
* EXTERIOR CEMENT FIBER BOARD "PLANK" SYSTEM BY JAMES HARDIE COMPANY OR EQUAL:
TYPE-1: 10.75-IN. EXPOSURE, SMOOTH
TYPE-2: 4-IN. EXPOSURE, SMOOTH
* .A CORNER TRIM: 1x HARDIE-TRIM, ONE SIDE ONLY AS SHOWN TYP
* .B OPENING TRIM: 2x2 "REAL TRIM" ALL FOUR SIDES AS SHOWN
* .C OPENING TRIM – WINDOW INFILL: HARDIE-PANEL OVER FURR-STRIPS
* .D CASED OPENING TRIM: 1x HARDIE-TRIM FULL DEPTH
* .E ROOF EDGE TRIM:
AT TYPE-1 SIDING: 2x8 AS SHOWN
AT TYPE-2 SIDING: 1x6 AS SHOWN
EXTERIOR CEILINGS OR SOFFIT:
* NON-VENTED HARDIE-SOFFIT TYPICAL WITH VINYL JOINTS, TYP U.N.O.
* STAINED PINE T. & G. BEAD BOARD AT ALL GROUND FLOOR PORCH AND PATIO CEILINGS

ROOFING FOR 314 WEST 34th STREET:
* ASPHALT COMPOSITION SHINGLES OVER TITANIUM ROOF UNDERLAYMENT

ROOFING FOR 316 WEST 34th STREET:
* CONCEALED FASTENER GALVALUME METAL ROOF SYSTEM OVER TITANIUM ROOF UNDERLAYMENT
* SYSTEM MUST BE COMPATIBLE WITH S-5 PRODUCT CLAMPS
* ASSUMED CTMRS SHURLOC OR SPANLOC SYSTEM: VERIFY WITH CTMRS OR APPROVED EQUAL 1

BUILDING INSULATION:
* SEE INSULATION SCHEDULE, THIS SHEET

DIVISION-8: DOORS & WINDOWS
SCHEDULED EXTERIOR DOORS:
* RECOMMENDED: THERMATRU FIBERGLASS OR EQUAL
DOOR HARDWARE:
* AS RECOMMENDED BY MNFR WITH OWNER REVIEW
INTERIOR DOORS:
* RECOMMENDED: SOLID CORE WOOD VENEER – FLUSH
SCHEDULED WINDOWS:
* STYLE & MATERIAL BY OWNER
* ALL WINDOWS SHALL HAVE INSULATED, LOW-E, DOUBLE-PANE GLAZING
* SUPPLIER SHALL VERIFY CODE REQUIREMENTS & OPERATIONS PRIOR TO ORDER
* SUPPLIER SHALL REVIEW PLANS WITH ELEVATIONS & NOTIFY ARCHITECT OF POSSIBLE DISCREPANCIES PRIOR TO ORDER

DIVISION-9: FINISHES
GYPSUM WALLBOARD (GWB):
* GWB, 0.5-IN. AT WALLS & 0.625-IN. AT CEILINGS
* TAPE & FLOAT; TEXTURE & PAINT
* COORDINATE TEXTURE WITH OWNER
* CORNERS SHALL BE SQUARE
* USE MOISTURE-RESISTANT GWB AT ALL "WET" AREAS
* USE ONLY CEMENTITIOUS BACKING BEHIND ALL TILE
316 REAR COVERED PATIO & 314 LAUNDRY ROOM ONLY:
* USE EXTERIOR-RATED GWB AT CEILING, WITH JOINT COMPOUND & TEXTURE FOR INTERIOR SPACES
INTERIOR TRIM RECOMMENDATIONS FOR OWNER VERIFICATION:
* BASE BOARDS: PAINTED MDF 1x6 WITH EASED TOP EDGE TYP
* DOOR TRIM: PAINTED MDF 1x4 WITH EASED EDGES
* WINDOW SILL: PAINTED MDF 1x WITH EASED EDGES; DOUBLE-THICK AT PROJECTING SILL
* WINDOW TRIM: PAINTED GWB RETURNS @ JAMBS & HEAD
* 06.5 CAP: SAME AS WINDOW SILL
* 06.6 CAP: SAME AS WINDOW SILL BUT HDWD TO RESIST CUPPING: INSTALL OVER 0.75-IN. THICK PLYWOOD

DIVISION-10: SPECIALTIES
TOILET & BATH ACCESSORIES:
* TBD WITH INTERIOR DESIGNER (PER SEPARATE AGREEMENT)
* TOWEL BARS: 24-IN. W. AT HEIGHTS NOTED
CLOSET SYSTEMS:
* TBD WITH INTERIOR DESIGNER (PER SEPARATE AGREEMENT)

DIVISION-11: EQUIPMENT
APPLIANCES:
* AS NOTED ON PLANS WITH SELECTIONS PER OWNER

DIVISION-12: FURNISHINGS
CASEWORK & COUNTERTOPS:
* TBD WITH INTERIOR DESIGNER (PER SEPARATE AGREEMENT)

DIVISION-13: SPECIAL CONSTRUCTION
NOT APPLICABLE

DIVISION-15: MECHANICAL
HVAC WORK SHALL BE DESIGN-BUILD BY LICENSED SUBCONTRACTOR
BUILDING-1:
1 * LEVEL-1: AHU-1 WITH GAS FURNACE IN ATTIC BELOW LOW ROOF
* LEVEL-2: AHU-2 UPFLOW TYPE AT LEVEL-2
* LEVEL-3: SAME AS LEVEL-2
1 * REFER TO UTILITY NOTES THIS SHEET FOR ADDITIONAL INFORMATION

BUILDING-2:
* EXISTING / MODIFIED IN CONJUNCTION WITH LICENSED SUBCONTRACTOR

PLUMBING WORK SHALL BE DESIGN-BUILD BY LICENSED SUBCONTRACTOR
* PLUMBING FIXTURES AS INDICATED ON PLAN & SELECTED BY OWNER
* WASTEWATER LINES: ASSUMED SCHEDULE 40 PVC
* WATER LINES – INTERIOR: ASSUMED PEX
BUILDING-1:
* TWO GAS-FIRED TANKLESS-TYPE WATER HEATERS CONCEALED IN WALLS WITH EXTERIOR WALL ACCESS: SEE LEVEL-1 PLAN FOR LOCATION
BUILDING-2:
* EXISTING / MODIFIED IN CONJUNCTION WITH LICENSED SUBCONTRACTOR

DIVISION-16: ELECTRICAL
ELECTRICAL WORK SHALL BE DESIGN-BUILD BY LICENSED SUBCONTRACTOR
* FIXTURES: PER ELECTRICAL DRAWINGS & OWNER
* SWITCHES: ROCKER TYPE PER ELECTRICAL DRAWINGS & OWNER
* TELECOMMUNICATIONS AND ENTERTAINMENT SYSTEMS: BY OTHERS
* ELECTRICAL SUBCONTRACTOR SHALL VERIFY ELECTL PLAN IS COMPLIANT WITH ALL PERTINENT CODES: NOTIFY G.C. OF ANY DISCREPANCIES

PHOTOVOLTAIC COLLECTORS (SOLAR PANELS):
* 314: NOT APPLICABLE
* 316: IN COORDINATION WITH SPECIALTY SUBCONTRACTOR 1

316 WEST 34th STREET
AUSTIN TX 78705

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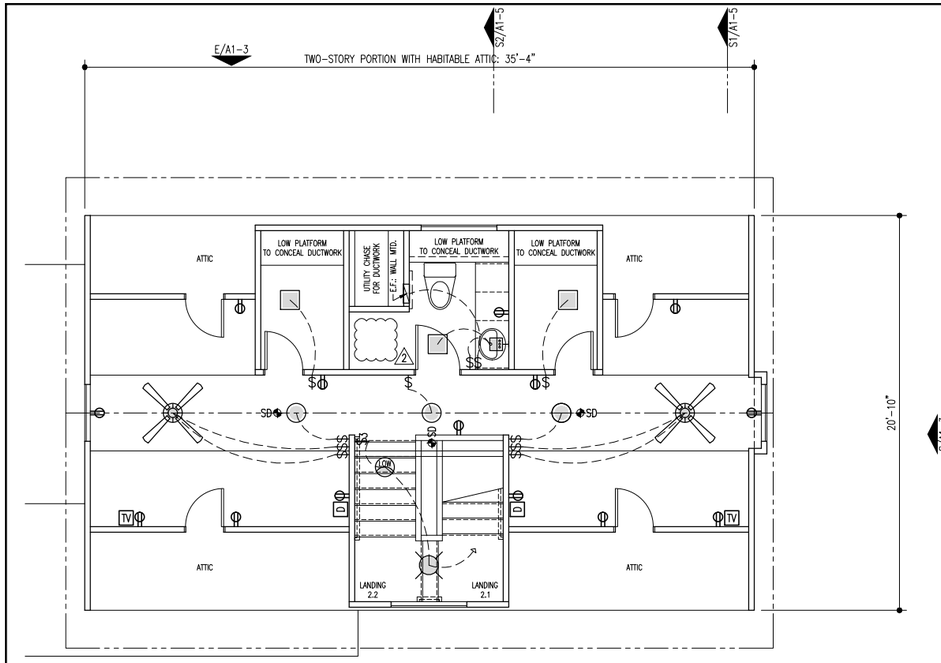
512.554.5474

DRAWING TITLE:	BUILDINGS-1 & -3 BUILDING SECTIONS SPECS & SCHEDULES
DATE:	AS NOTED
PROJECT:	1910: 316
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	316

City of Austin
REVIEWED FOR CODE COMPLIANCE

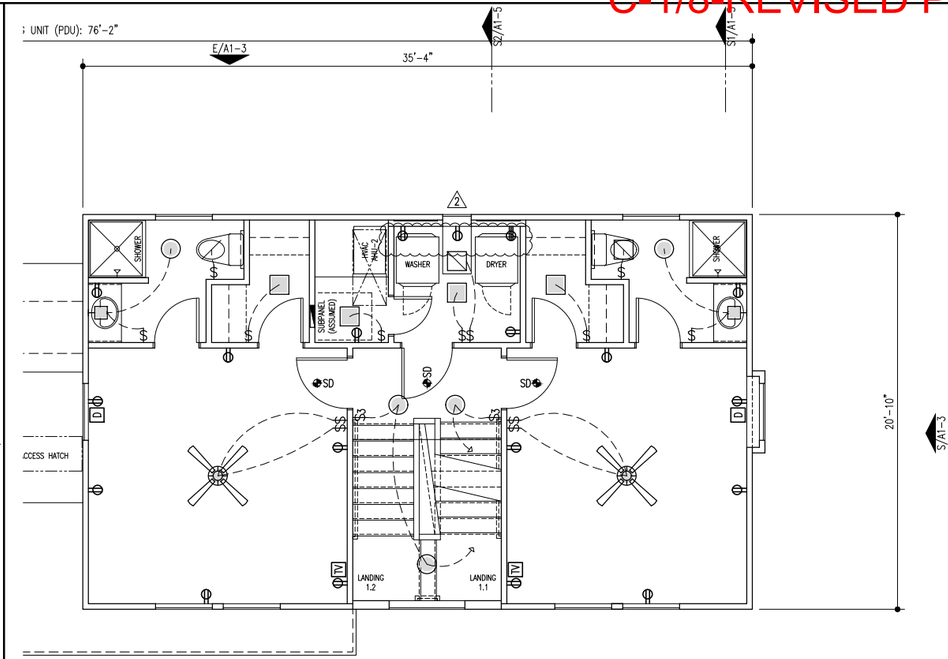
A1-5

C-1/8-REVISED PLANS - LATE BACKUP



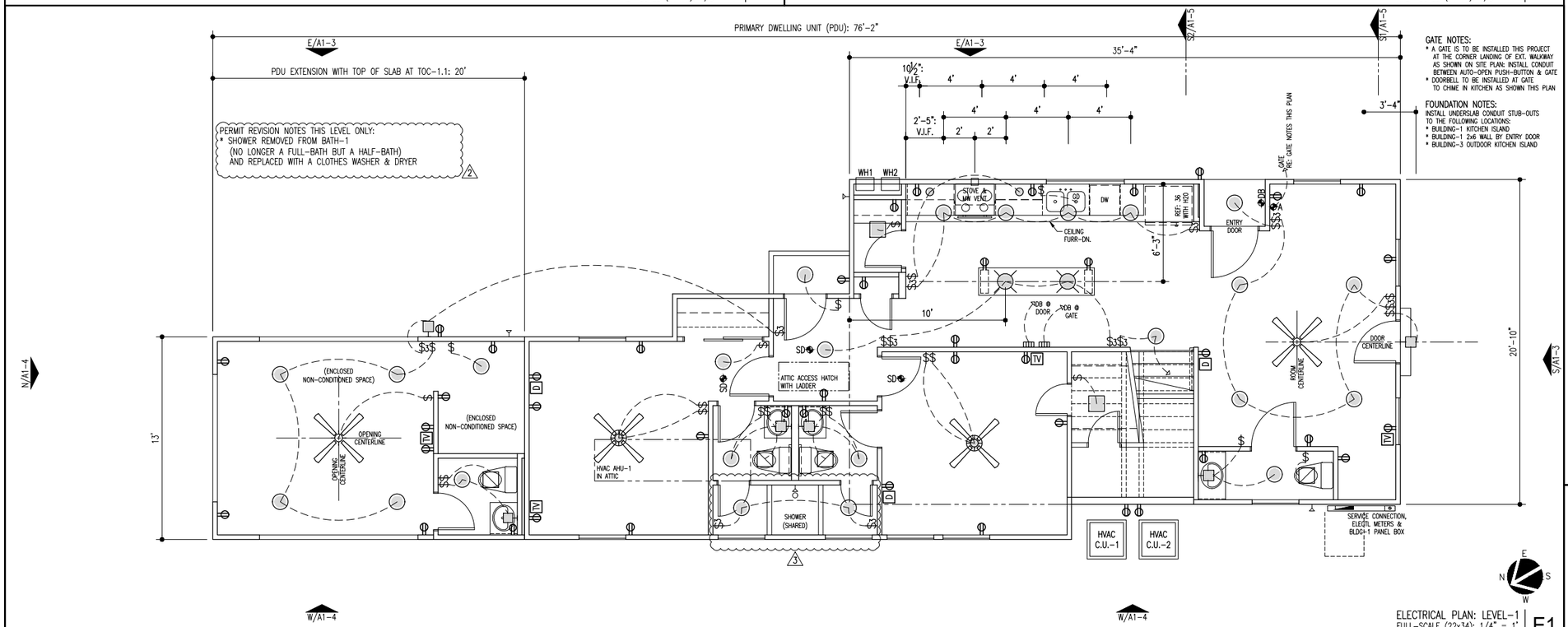
PERMIT REVISION NOTES THIS LEVEL ONLY:
* SHOWER REMOVED FROM BATH-5
(NO LONGER A FULL-BATH BUT A HALF-BATH)

ELECTRICAL PLAN: LEVEL-3
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
E3



PERMIT REVISION NOTES THIS LEVEL ONLY:
* DOUBLE, STACKED WASHERS / DRYERS REPLACED
WITH SINGLE WASHER / DRYER

ELECTRICAL PLAN: LEVEL-2
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
E2



PERMIT REVISION NOTES THIS LEVEL ONLY:
* SHOWER REMOVED FROM BATH-1
(NO LONGER A FULL-BATH BUT A HALF-BATH)
AND REPLACED WITH A CLOTHES WASHER & DRYER

GATE NOTES:
* A GATE IS TO BE INSTALLED THIS PROJECT AT THE CORNER LANDING OF EXT. WALKWAY AS SHOWN ON SITE PLAN: INSTALL CONDUIT BETWEEN AUTO-OPEN PUSH-BUTTON & GATE
* DOORBELL TO BE INSTALLED AT GATE TO CHIME IN KITCHEN AS SHOWN THIS PLAN

FOUNDATION NOTES:
INSTALL UNDERSLAB CONDUIT STUB-OUTS TO THE FOLLOWING LOCATIONS:
* BUILDING-1 KITCHEN ISLAND
* BUILDING-1 2x6 WALL BY ENTRY DOOR
* BUILDING-3 OUTDOOR KITCHEN ISLAND

ELECTRICAL PLAN: LEVEL-1
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
E1

ELECTRICAL PLAN NOTES

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2. COORDINATE POWER REQUIREMENTS FOR ALL EQUIPMENT & APPLIANCES WHICH MAY OR MAY NOT BE SHOWN ON THESE PLANS
3. FIXTURES & OUTLETS REQUIRED BY CODE TO BE G.F.I. SHALL BE BID & INSTALLED AS G.F.I.
4. CONFIRM ALL FIXTURES WITH G.C. PRIOR TO BID
5. ENSURE THAT ALL FIXTURES ARE RATED FOR APPLICATION
6. ALL OUTLETS AT KITCHEN COUNTERS SHALL BE G.F.I.
7. ALL OUTLETS IN LAUNDRY ROOM SHALL BE G.F.I.
8. EXTERIOR OUTLETS SHALL BE WEATHERPROOF & G.F.I.
9. ALL BATHROOM & GARAGE OUTLETS SHALL BE G.F.I.
10. ALL CEILINGS FULL-HEIGHT TO STRUCTURE U.N.O.
11. RECESSED FIXTURES SHALL BE I.C. RATED
12. CONFIRM PLACEMENT OF CEILING FIXTURES WITH G.C. AND FRAMING ELEMENTS
13. PROVIDE POWER TO MIRROR CABINETS ABOVE ALL BATHROOM SINKS: CONFIRM
14. BIDDER SHALL NOTE ANY CODE VIOLATIONS OR DISCREPANCIES OR OMMISSIONS WITHIN THIS PLAN WITH G.C. PRIOR TO BID OR BID MOST EXPENSIVE OPTION
15. TELECOMMUNICATIONS & DATA OUTLETS SHOWN FOR GRAPHIC PURPOSES ONLY: COORDINATE REQUIREMENTS WITH APPROPRIATE SUBCONSULTANT

REVISION	DESCRIPTION	DATE
2	ADDENDA-2: PERMIT REVISION	11.04.20
3	ADDENDA-3: PERMIT REVISION CLARIFICATION	11.20.20

ELECTRICAL PLAN SYMBOLS LEGEND

- $ SWITCH
- $3 SWITCH – 3 WAY
- $DS SWITCH – DIMMER
- $R SWITCH – RHEASTAT
- OUTLET: 110V DUPLEX
- SD OUTLET: 110V DUPLEX G.F.I.
- OUTLET: 220V
- OUTLET: QUADRUPLEX
- TELEPHONE OUTLET
- TV TELEVISION OUTLET FEATURING HDMI & CAT-5 CABLE CONNECTIONS
- A AUTO-OPEN PUSH-BUTTON
- AS AIR SWITCH FOR G.D.
- DB DOOR BELL BUTTON
- HD HEAT DETECTOR
- L DOOR FRAME LIGHT SWITCH
- SD SMOKE DETECTOR
- CEILING FAN
- CEILING FAN WITH LIGHT
- SURFACE-MOUNTED
- SURFACE-MOUNTED EXHAUST FAN WITH LIGHT
- EXHAUST FAN
- SERVICE CONNECTION
- PANEL BOX W/ CLEAR FLOOR AREA
- D DATA CABLE OUTLET
- DOOR BELL CHIME
- RECESSED CAN
- WALL SCONCE
- PENDANT
- WALL SCONCE: DIRECTIONAL
- UNDERCABINET LIGHTING OR 3" RECESSED CANLIGHT
- FLUOR. LIGHT FIXTURE, 4' L. U.N.O.: SURFACE MOUNTED
- FLUOR. LIGHT FIXTURE, 2' L. U.N.O.: SURFACE MOUNTED
- RECESSED CAN WITH DIRECTIONAL LENS
- FLOOD LIGHTS WITH MOTION DETECTOR & PHOTOCELL
- LED ROPE LIGHT IN COVE

ABBREVIATIONS LEGEND:

A.F.F.	ABOVE FINISH FLOOR
D.	DRYER
E.W.	EACH WAY
FLUOR.	FLUORESCENT
G.D.	GARBAGE DISPOSAL
GFI	GROUND FAULT INTERRUPT
L.S.	LAZY SUSAN
M.W.	MICROWAVE OVEN
N.T.S.	NOT TO SCALE
S.M.	SURFACE MOUNTED
SUSP.	SUSPENDED
VRS.	VARIES
W.	WASHER
WH	WATER HEATER
W.M.	WALL MOUNTED
WP	WATERPROOF

VISITABILITY NOTES

APPLICABLE THIS PROJECT TO LEVEL-1 ONLY

R320.4: MISC ELECTRICAL APPURTENANCES
* LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS SHALL BE 48" A.F.F. MAX
* OUTLETS AND RECEPTACLES SHALL BE 15" A.F.F.

REGISTERED ARCHITECT DAVID PORBOREN 20904 STATE OF TEXAS

04 NOVEMBER 2020
PERMIT REVISION

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316 WEST 34th STREET

AUSTIN TX 78705

TWO-FAMILY PROJECT:
PDU: NEW CONSTRUCTION
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

BOREN ARCHITECTS
512.554.5474

DRAWING TITLE: BUILDINGS-1 & -3 ELECTRICAL PLANS

DATE: AS NOTED

PROJECT: 1910: 316

SCALE: AS NOTED

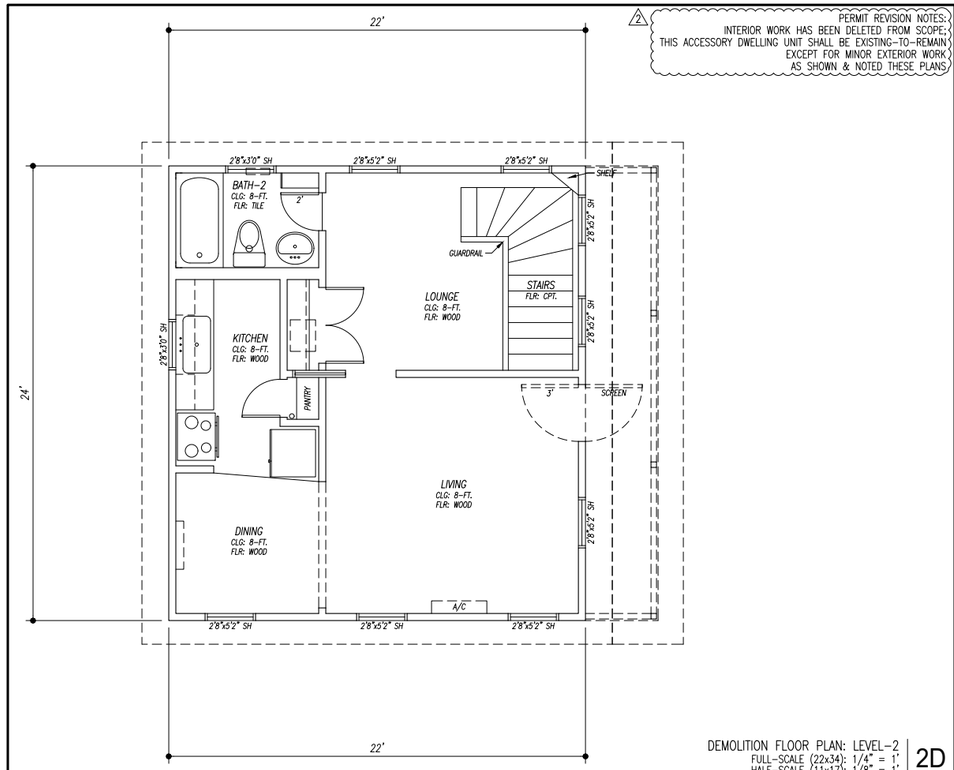
DRAWN: DPB

SHEET: 316

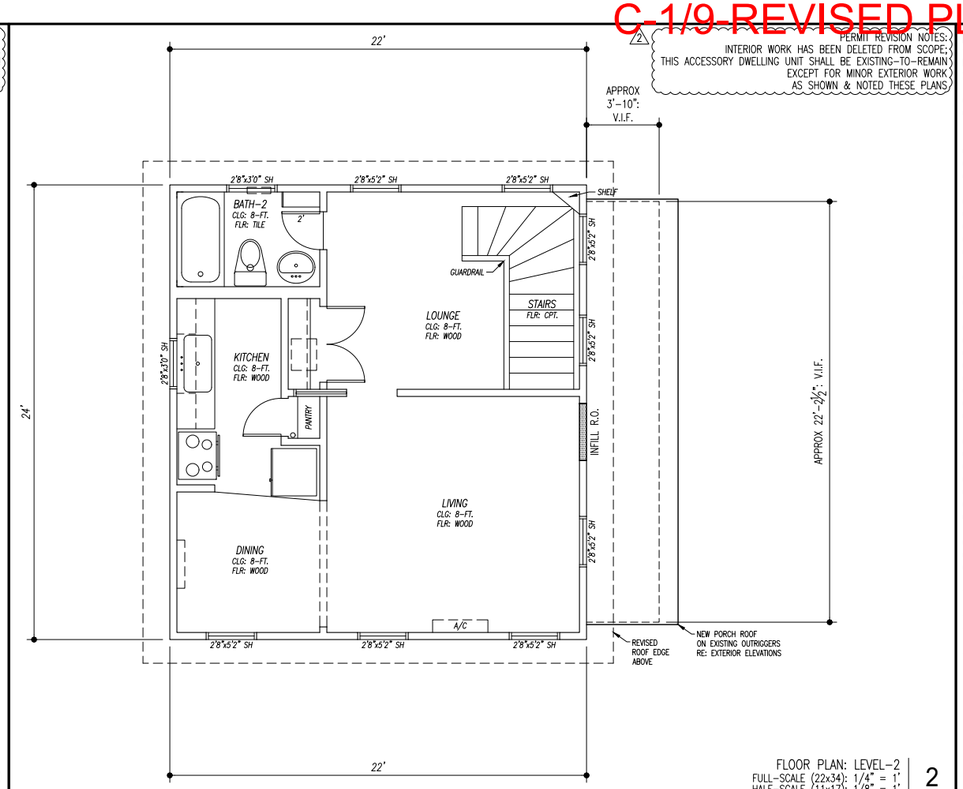
A1-6

City of Austin
REVIEWED FOR CODE COMPLIANCE

C-1/9-REVISED PLANS - LATE BACKUP



DEMOLITION FLOOR PLAN: LEVEL-2
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
2D



FLOOR PLAN: LEVEL-2
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2

KEYNOTES LEGEND

KEYNOTES ARE ORGANIZED IN GENERAL CSI SPECIFICATION FORMAT:
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01.2 VISITABILITY: 30 x 30 REQD CLEAR FLOOR AREA
* SEE VISITABILITY NOTES FOR ADDL INFO THIS ROOM

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03.1 CONC FOUNDATION PER STRUCTL
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06.4 2x6 MIN. BLOCKING IN STUD WALL CENTERED AS NOTED
06.5 PARTIAL-HEIGHT FRAMING: 40-IN. H. NOM. WITH DIVISION-09 CAP TRIM
06.6 INTERIOR PLATFORM: AS NOTED WITH DIVISION-09 CAP TRIM
06.7 STAINED WOOD HANDRAIL

07.0 EXISTING SIDING TO REMAIN: REFURBISH AS REQUIRED
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07.3 ROOF EDGE: 2x8 NOM @ TYPE-1 & 1x6 NOM @ TYPE-2
07.4 EXTERIOR TRIM AS SCHEDULED
07.5 EXTERIOR CEILING AS SCHEDULED
07.6 NEW SIDING TO MATCH EXISTING AT WINDOW OR DOOR INFILL

08.0 EXISTING DOOR OR WINDOW PER REMODEL PLAN NOTES
08.1 SCHEDULED DOOR
08.2 SCHEDULED WINDOW

12.1 MILLWORK: ISLAND WITH BASE CABINETS EA SIDE & TABLE FUNCTION

15.1 HVAC EQUIPMENT OR ACCESSORY
15.2 PLUMBING EQUIPMENT OR ACCESSORY

16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

REVISION	DESCRIPTION	DATE:
1	ADDENDA-1: REVISION FOR CONSTRUCTION SET	09.11.20
2	ADDENDA-2: PERMIT REVISION	11.04.20

REGISTERED ARCHITECT DAVID P. BOREN 20904 STATE OF TEXAS

04 NOVEMBER 2020
PERMIT REVISION

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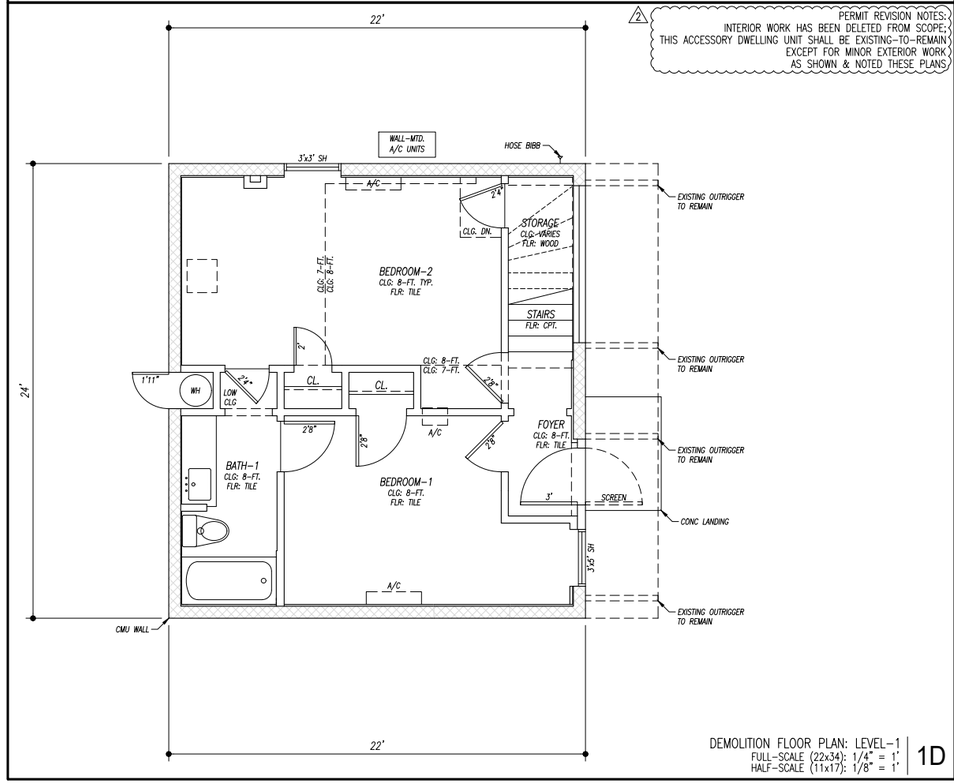

DEMOLITION FLOOR PLAN: LEVEL-1
FULL-SCALE (22x34): 1/4" = 1'
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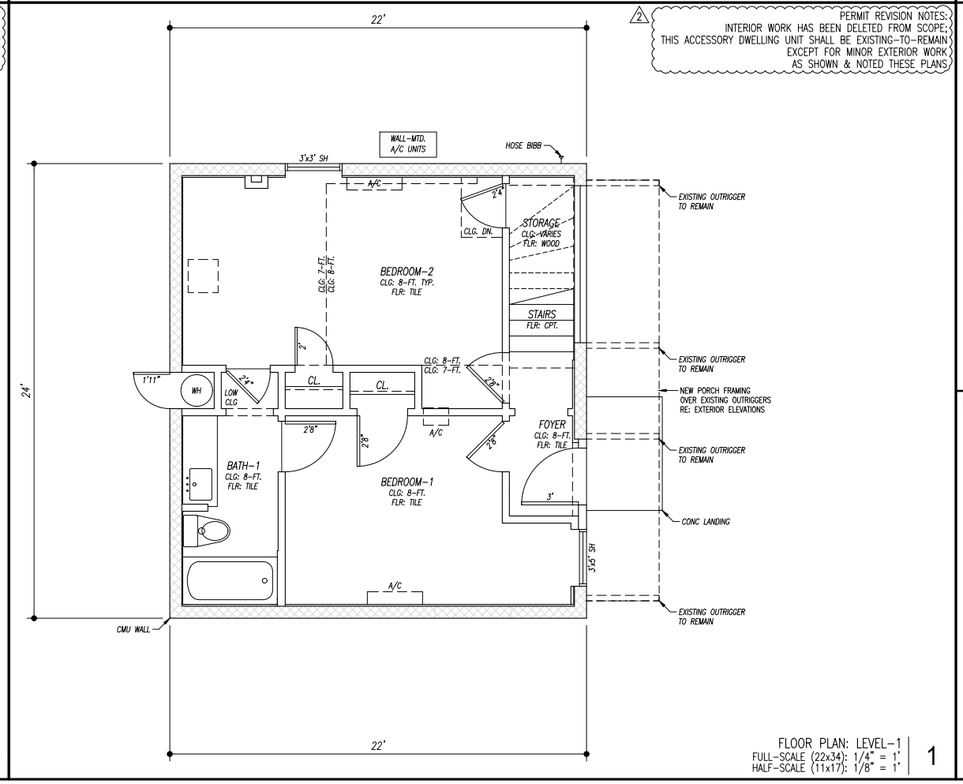
1D



FLOOR PLAN: LEVEL-1
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HALF-SCALE (11x17): 1/8" = 1'
1

FLOOR PLAN NOTES: *REMODEL*

1. ITALICIZED TEXT DENOTES AN EXISTING ELEMENT: CONFIRM EXISTING SIZES
2. NEW WALLS HATCHED FOR CLARITY: ALL OTHERS EXISTING U.N.O.
3. ALL DIMENSIONS FROM EDGE OF EXISTING FINISHED EDGE
   OR EDGE OF NEW WALL OR FLOOR FRAMING
   OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP
4. WINDOWS ARE SIZED ON PLANS IN WIDTH x HEIGHT FORMAT:
   * BASE BID: REPLACE ALL EXISTING WINDOWS IN-KIND THIS CONTRACT
   * ALT. BID: REFURBISH ALL EXISTING WINDOWS
5. DOORS SHALL BE SHALL BE 6-FT. 8-IN. HIGH U.N.O. ON PLAN:
   * BASE BID: REPLACE ALL EXISTING DOORS IN-KIND THIS CONTRACT
   * ALT. BID: REFURBISH ALL EXISTING DOORS
6. COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS WITH MNFR REQS
7. REFER TO OUTLINE SPECIFICATIONS INCLUDED WITH BLDG-1 & BLDG-3 DWGS
   FOR ADDITIONAL INFORMATION
8. INTERIOR FLOOR FINISHES TO BE DETERMINED DURING CONSTRUCTION:
   INCLUDE BID ALLOWANCE
9. SMOKE & CARBON MONOXIDE ALARMS TO BE INSTALLED IN FULL COMPLIANCE
   WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE R314

MEP NOTES: *REMODEL*

1. IT IS ASSUMED THAT ALL ELECTRICAL & PLUMBING ACCESSORIES
   & APPURTENANCES WILL BE REPLACED THIS CONTRACT

2. EXISTING HVAC SYSTEMS TO BE RE-UTILIZED: SUBCONTRACTOR TO CONFIRM
   UPGRADES TO EXISTING SYSTEMS TO MEET NEW PLAN REQUIREMENTS

316 WEST 34th STREET

AUSTIN TX 78705

TWO-FAMILY PROJECT:
PDU: NEW CONSTRUCTION
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

BOREN ARCHITECTS
512.554.5474

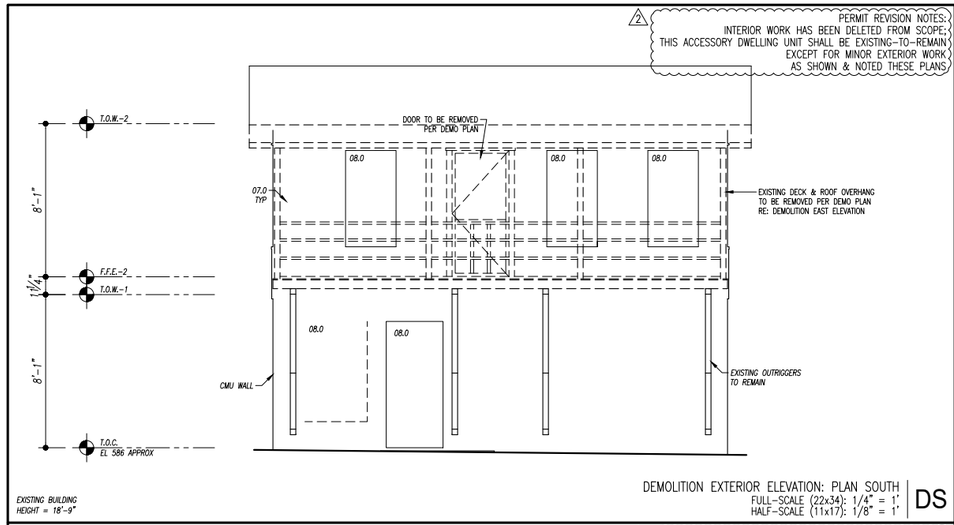
DRAWING TITLE:
BUILDING-2 (ADU)
(EXISTING / REMODEL)
FLOOR PLANS

DATE:	AS NOTED
PROJECT:	1910: 316
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	316

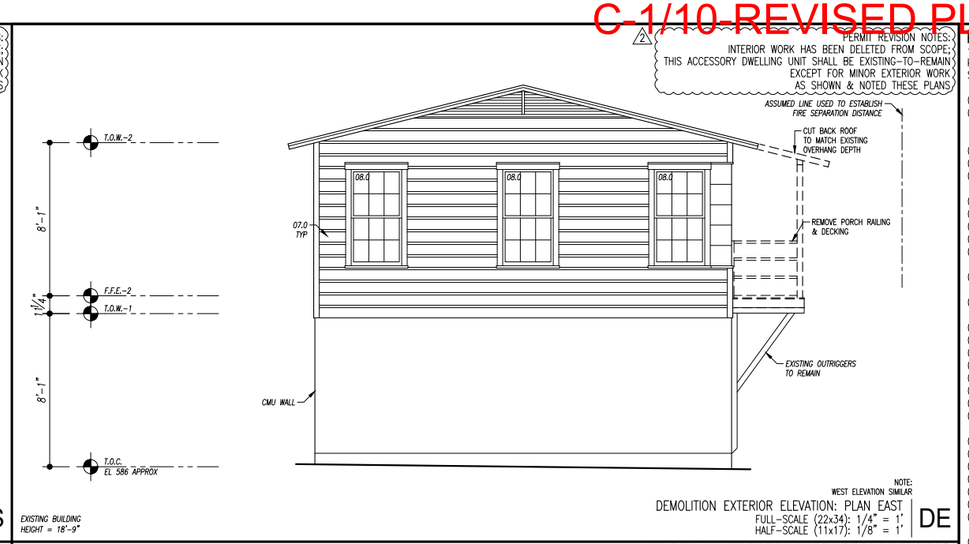
A2-1

City of Austin
REVIEWED FOR CODE COMPLIANCE

C-1/10-REVISED PLANS - LATE BACKUP

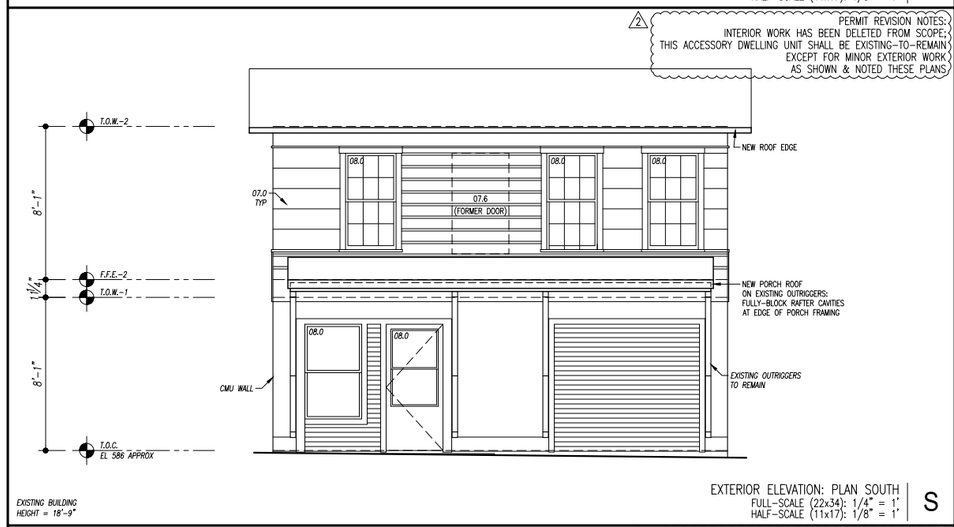


DEMOLITION EXTERIOR ELEVATION: PLAN SOUTH
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
DS



NOTE:
WEST ELEVATION SIMILAR

DEMOLITION EXTERIOR ELEVATION: PLAN EAST
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
DE



EXTERIOR ELEVATION: PLAN SOUTH
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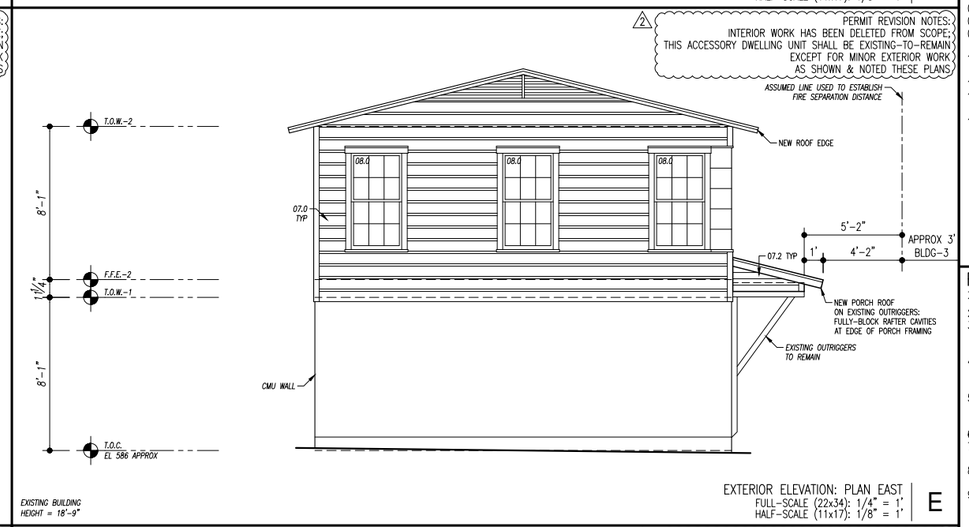
S



EXTERIOR ELEVATION: PLAN EAST
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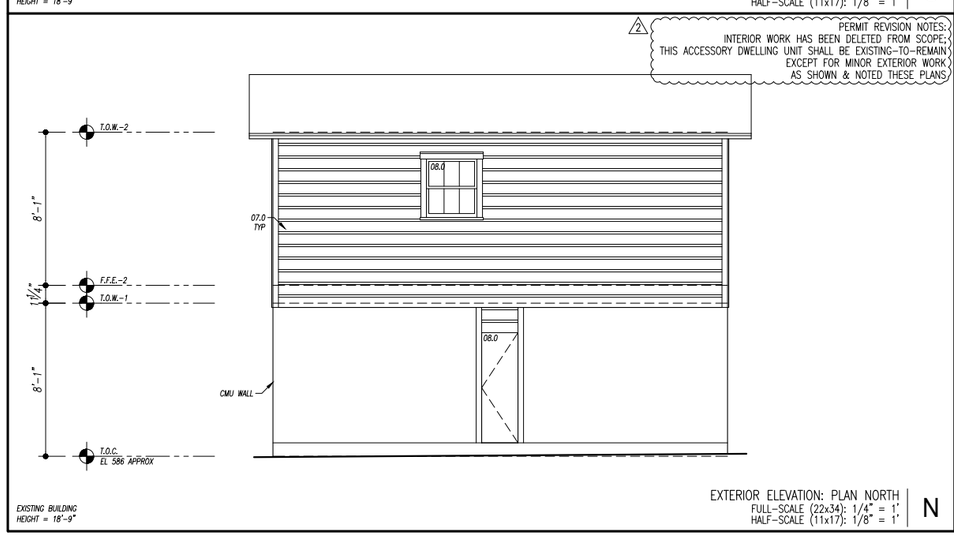
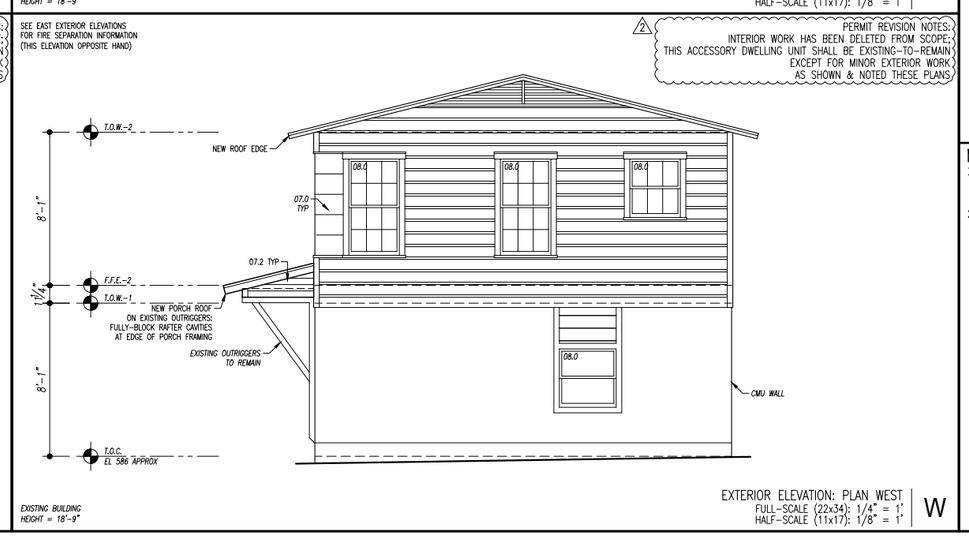


EXTERIOR ELEVATION: PLAN NORTH
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
N



EXTERIOR ELEVATION: PLAN WEST
FULL-SCALE (22x34): 1/4" = 1'
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W

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REVISION	DESCRIPTION	DATE:
1	ADDENDA-1: REVISION FOR CONSTRUCTION SET	09.11.20
2	ADDENDA-2: PERMIT REVISION	11.04.20

REGISTERED ARCHITECT
DAVID P. BOREN
20904
STATE OF TEXAS

04 NOVEMBER 2020
PERMIT REVISION

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BOREN ARCHITECTS
512.554.5474

DRAWING TITLE:
BUILDING-2 (ADU)
(EXISTING / REMODEL)
EXTERIOR ELEVATIONS

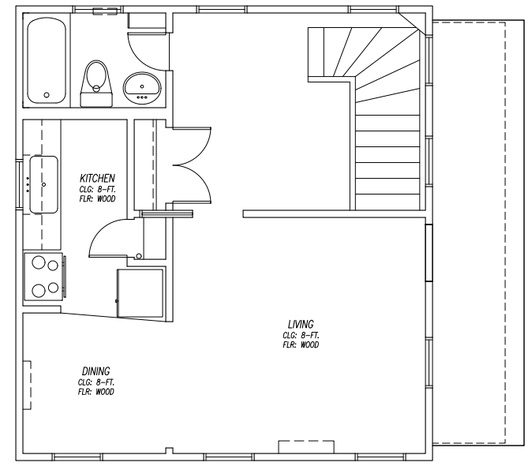
DATE: AS NOTED
PROJECT: 1910: 316
SCALE: AS NOTED
DRAWN: DPB
SHEET: 316

City of Austin
REVIEWED FOR CODE COMPLIANCE

A2-2

C-1/11-REVISED PLANS - LATE BACKUP

PERMIT REVISION NOTES – ELECTRICAL ONLY:
ELECTRICAL WORK HAS BEEN DELETED FROM SCOPE-OF-WORK
EXCEPT WORK FIELD-DETERMINED BY A LICENSED ELECTRICIAN
AND-OR CITY OF AUSTIN INSPECTOR TO BE REQUIRED



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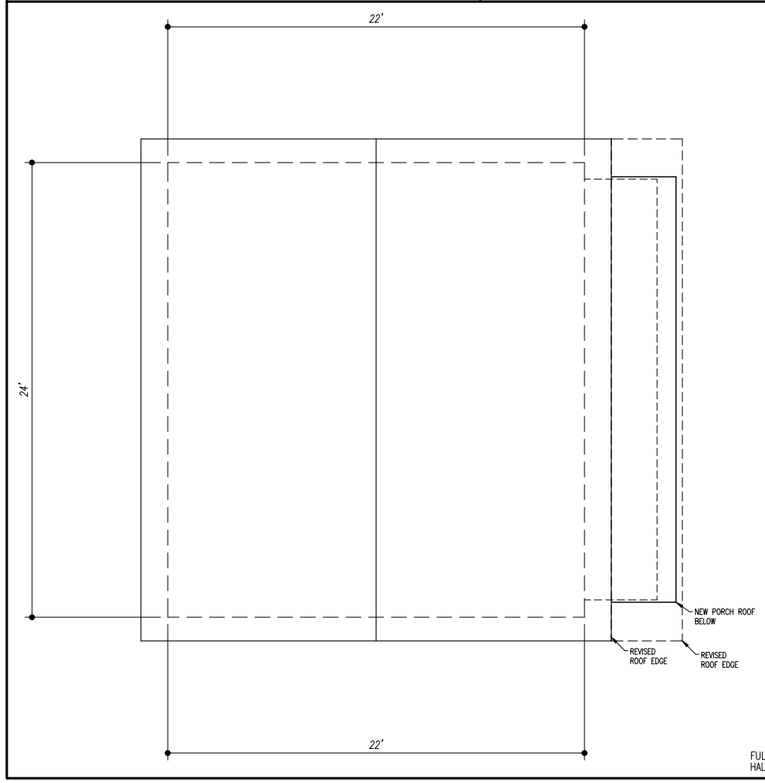
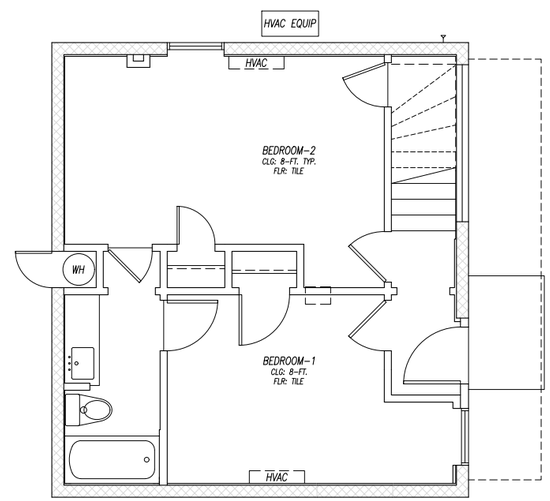
14. BIDDER SHALL NOTE ANY CODE VIOLATIONS OR DISCREPANCIES OR OMMISSIONS WITHIN THIS PLAN WITH G.C. PRIOR TO BID OR BID MOST EXPENSIVE OPTION
15. TELECOMMUNICATIONS & DATA OUTLETS SHOWN FOR GRAPHIC PURPOSES ONLY: COORDINATE REQUIREMENTS WITH APPROPRIATE SUBCONSULTANT

REVISION	DESCRIPTION	DATE:
1	ADDENDA-1: REVISION FOR CONSTRUCTION SET	09.11.20
2	ADDENDA-2: PERMIT REVISION	11.04.20



ROOF PLAN
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
R

PERMIT REVISION NOTES – ELECTRICAL ONLY:
ELECTRICAL WORK HAS BEEN DELETED FROM SCOPE-OF-WORK
EXCEPT WORK FIELD-DETERMINED BY A LICENSED ELECTRICIAN
AND-OR CITY OF AUSTIN INSPECTOR TO BE REQUIRED



ELECTRICAL PLAN: LEVEL-1
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'
1E

ELECTRICAL PLAN SYMBOLS LEGEND

- $ SWITCH
- $3 SWITCH – 3 WAY
- $DS SWITCH – DIMMER
- $R SWITCH – RHEASTAT
- OUTLET: 110V DUPLEX
- GFI OUTLET: 110V DUPLEX G.F.I.
- OUTLET: 220V
- OUTLET: QUADRUPLEX
- TELEPHONE OUTLET
- TV TELEVISION OUTLET FEATURING HDMI & CAT-5 CABLE CONNECTIONS
- A AUTO-OPEN PUSH-BUTTON
- AS AIR SWITCH FOR G.D.
- DB DOOR BELL BUTTON
- HD HEAT DETECTOR
- L DOOR FRAME LIGHT SWITCH
- SD SMOKE DETECTOR
- CEILING FAN
- CEILING FAN WITH LIGHT
- SURFACE-MOUNTED
- SURFACE-MOUNTED EXHAUST FAN WITH LIGHT
- EXHAUST FAN
- SERVICE CONNECTION
- PANEL BOX W/ CLEAR FLOOR AREA
- D DATA CABLE OUTLET
- DOOR BELL CHIME
- RECESSED CAN
- WALL SCONCE
- PENDANT
- WALL SCONCE: DIRECTIONAL
- UNDERCABINET LIGHTING OR 3" RECESSED CANLIGHT
- FLUOR. LIGHT FIXTURE, 4' L. U.N.O.: SURFACE MOUNTED
- FLUOR. LIGHT FIXTURE, 2' L. U.N.O.: SURFACE MOUNTED
- RECESSED CAN WITH DIRECTIONAL LENS
- FLOOD LIGHTS WITH MOTION DETECTOR & PHOTOCELL
- LED ROPE LIGHT IN COVE

ABBREVIATIONS LEGEND:

A.F.F.	ABOVE FINISH FLOOR
D.	DRYER
E.W.	EACH WAY
FLUOR.	FLUORESCENT
G.D.	GARBAGE DISPOSAL
GFI	GROUND FAULT INTERRUPT
L.S.	LAZY SUSAN
M.W.	MICROWAVE OVEN
N.T.S.	NOT TO SCALE
S.M.	SURFACE MOUNTED
SUSP.	SUSPENDED
VRS.	VARIES
W.	WASHER
WH	WATER HEATER
W.M.	WALL MOUNTED
WP	WATERPROOF

REMODEL NOTES

ELECTRICIAN SHALL FIELD-VERIFY EXISTING CONDITIONS PRIOR TO BID TO ESTABLISH SCOPE-OF-WORK

SOME RECESSED CANS MAY REQUIRE LOW-PROFILE KITS DUE TO EXISTING FRAMING CONDITIONS: V.I.F.

COORDINATE WITH HVAC & PLUMBING SUBCONTRACTORS FOR ADDL WORK NOT NECESSARILY SHOWN THIS PLAN

REGISTERED ARCHITECT DAVID P. BOREN 20904 STATE OF TEXAS

04 NOVEMBER 2020
PERMIT REVISION

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316 WEST 34th STREET
AUSTIN TX 78705

TWO-FAMILY PROJECT:
PDU: NEW CONSTRUCTION
ADU: ADDITION-REMODEL

ZONING: SF-3-NCCD-NP

BOREN ARCHITECTS
512.554.5474

DRAWING TITLE:
BUILDING-2 (ADU)
(EXISTING / REMODEL)
ELECTRICAL & ROOF PLANS

DATE: AS NOTED
PROJECT: 1910: 316
SCALE: AS NOTED
DRAWN: DPB
SHEET: 316 A2-3

City of Austin
REVIEWED FOR CODE COMPLIANCE