



# Residential New Construction and Addition Permit Application

[DevelopmentATX.com](http://DevelopmentATX.com) | Phone: 311 (or 512-974-2000 outside Austin)  
For submittal and fee information, see [austintexas.gov/digitaldevelopment](http://austintexas.gov/digitaldevelopment)

*Download application before entering information.*

Property Information				
Project Address:		Tax Parcel ID:		
Legal Description:				
Zoning District:		Lot Area (sq ft):		
Neighborhood Plan Area (if applicable):		Historic District (if applicable):		
Required Reviews				
Is project participating in <b>S.M.A.R.T. Housing</b> ? Y N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)		Does project have a <b>Green Building</b> requirement? Y N (If yes, attach signed conditional approval letter from Austin Energy Green Building)		
Is this site within an <b>Airport Overlay Zone</b> ? Y N (If yes, approval through Aviation is required)		Does this site have a <b>septic system</b> ? Y N (If yes, submit a copy of approved septic permit. <b>OSSF review</b> required)		
Does the structure <b>exceed 3,600 square feet</b> total under roof? Y N		we did a fire flow test Ref #13853153 and Marvin Lewis said fire flow calculation is 5937 gpm (If yes, <b>Fire review</b> is required)		
Is this property within 200 feet of a <b>hazardous pipeline</b> ? Y N		(If yes, <b>Fire review</b> is required)		
Is this site located within an <b>Erosion Hazard Zone</b> ? Y N (If yes, <b>EHZ review</b> is required)		Is this property within 100 feet of the <b>100-year floodplain</b> ? Y N (Proximity to floodplain may require additional review time.)		
Are there trees <b>19" or greater in diameter on/adjacent</b> to the property? Y N <b>If yes</b> , how many? ____ (Provide plans with a tree survey, <b>tree review</b> required.)				
Was there a pre-development consultation for the Tree Review? Y N		Proposed impacts to trees: (Check all that apply) Root zone Canopy Removal None/Uncertain		
Is this site in the <b>Capital View Corridor</b> ? Y N (If yes, a preliminary review through land use is needed to determine if full view corridor review is required.)		Is this site within the <b>Residential Design and Compatibility Standards Ordinance Boundary Area</b> ? (LDC 25-2 Subchapter F) Y N		
Does this site currently have: water availability? Y N wastewater availability? Y N		(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)		
Does this site have or will it have an auxiliary water source? Y N (If yes, submit approved auxiliary and potable plumbing plans.) (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)				
Does this site require a <b>cut or fill</b> in excess of four (4) feet? Y N (If yes, contact the Development Assistance Center for a Site Plan Exemption) <i>Glenn Rhoades said we don't need a site plan exemption for the basement and it just goes through residential review</i>				
Is this site within the Waterfront Overlay? Y N (LDC 25-2 Subchapter C Article 3)		Is this site within the Lake Austin Overlay? Y N (LDC 25-2-180, 25-2-647)		
Does this site front a paved street? Y N (If no, contact Development Assistance Center for Site Plan requirements.)		Is this site adjacent to a paved alley? Y N (Public Works approval required to take access from a public alley.)		
Does this site have a <b>Board of Adjustment (BOA)</b> variance? Y N Case # _____ (if applicable) (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)				
Description of Work				
Is Total New/Added Building Area > 5,000 sq. Ft.? Y N (If yes, construction material recycling is required per LDC 25-11-39)				
Existing Use:	vacant	single-family residential	duplex residential	two-family residential other: _____
Proposed Use:	vacant	single-family residential	duplex residential	two-family residential other: _____
Project Type:	new construction	addition	addition/remodel	other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y N (Notes: Removal of all or part of a structure requires a Demolition Permit Application per LDC 25-11-37. A demo permit is not required for the removal of all or part of an interior wall, floor or ceiling)				
# existing bedrooms:	# bedrooms upon completion:		# baths existing:	# baths upon completion:
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) _____ _____				
Trade Permits Required (Check as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)				



## Subchapter F

### Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

		Existing sq. ft. to remain	New/Added sq. ft.	Proposed Exemption (check article utilized)	Applied Exemption sq. ft.	Total sq. ft.
1 <sup>st</sup> Floor						
2 <sup>nd</sup> Floor						
3 <sup>rd</sup> Floor						
Area w/ ceilings > 15'				Must follow article 3.3.5		
Ground Floor Porch <sup>1</sup> (check article utilized)				<input type="checkbox"/> Full Porch sq. ft. (3.3.3.A) <input type="checkbox"/> 200 sq. ft. (3.3.3 A 2)		
Basement <sup>4</sup>				Must follow article 3.3.3B, see note below		
Attic <sup>5</sup>				Must follow article 3.3.3C, see note below		
Garage <sup>2</sup> (check article utilized)	Attached			<input type="checkbox"/> 200 sq. ft. (3.3.2 B 1)		
	Detached			<input type="checkbox"/> 450 sq. ft. (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq. ft. (3.3.2 B 2a / 2b)		
Carport <sup>2</sup> : (check article utilized)	Attached			<input type="checkbox"/> 450 sq. ft. (3.3.2 A 3) <input type="checkbox"/> 200 sq. ft. (3.3.2 B 1) <sup>3</sup>		
	Detached			<input type="checkbox"/> 450 sq. ft. (3.3.2 A 1)		
Accessory Building(s) (detached)						
Totals				TOTAL GROSS FLOOR AREA		

(Total Gross Floor Area ÷ Lot Area) x 100 = \_\_\_\_\_ Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project?      Y      N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")?      Y      N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**1 Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**2 Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

3Ordinance article 3.3.2 B 1 is 200 sq. ft. exemption may be combined with a 450 sq. ft. exemption. Otherwise only one 450 exemption or one 200 sq. ft. exemption may be taken.

**4 Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**5 Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area over 5 feet has a ceiling height of seven feet or less.



# Demolition Permit Application

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## For Office Use Only – Permit Information

BP- \_\_\_\_\_ PR- \_\_\_\_\_ Historic Review: \_\_\_\_\_ Year Built: \_\_\_\_\_

Referred By: \_\_\_\_\_ Historic District Name: \_\_\_\_\_

☐ Release permit

\_\_\_\_\_  
Historic Preservation Office

\_\_\_\_\_  
Date

**IMPORTANT:** Inspections are required for all demolition projects. If you do not schedule a final inspection, the permit will expire after twelve (12) months from the date of application. To close an expired permit, applicants must submit a NEW application for the project and associated fees for the project.

### DO NOT LET YOUR PERMIT EXPIRE!

**HISTORIC LANDMARKS AND HISTORIC DISTRICTS:** If this property is a historic landmark or a contributing property in a local or National Register Historic District, additional applications and fees apply. Visit the Historic Preservation Office website at [www.austintexas.gov/departments/historic-preservation](http://www.austintexas.gov/departments/historic-preservation) for more information.

## Submittal Requirements

- ☒ 1. Owner authorization/signature, **notarized** at the bottom of the next page, **OR** a **notarized** letter of authorization from the owner giving the applicant permission to apply. Electronically notarized applications are preferred; otherwise, a hard copy of the original notarized application must be mailed for City records to, City of Austin – DSD, Attn: Residential Review, PO Box 1088, Austin, TX 78767
- ☒ 2. Dimensioned site plans or survey that shows all existing structures and the structures to be demolished
- ☒ 3. Certified tax certificate(s) from the Travis County Tax Assessor (5501 Airport Boulevard, 512-854-9473)
- ☒ 4. Photos of each side of structure. One photo must show the entire elevation visible from the street. Photos must be two megapixels (1200 x 1600 pixels) or larger.
- ☒ 5. Tree survey with all trees 19" or greater shown on plans
- ☒ 6. Review Fee (see [fee schedule](#) for applicable fees)

### Additional requirements for commercial demolitions:

- ☐ 7. Approved/Red-stamped Site Plan OR an approved Site Plan Exemption Form
- ☐ 8. Texas Department of Health Asbestos Notification Form completed by a licensed inspector or contractor

## Property Information

Address: 1008 E 9th St

City: Austin Zip: 78702

Current Use: Single Family Residential

## Demolition Type

☐ Total ☒ Partial: identify the exterior wall(s), roof, or portion of wall(s) and roof to be demolished:

Only the rear non-historic portions of the structure will be demolished as indicated on the photos

## Demolition Contractor Information

Company: Hatch Works

Address: 1004 E 9th St

City: Austin Zip: 78702

Phone: 512-300-5987

## Structural Information

Square Feet: 1361 (current) --> 1158 (post demo)

Building Materials: wood

Foundation Type: pier and beam

Estimated Cost of Demolition: \$2500



9. Approved permits may be obtained from the Permit Center. Any additional fees will be assessed at that time.

I, the undersigned, hereby swear or affirm that the information provided in this application is true and correct to the best of my knowledge and is an accurate reflection of my intentions for the above structure and/or property. I understand that any omission or incorrect information herein will render this application and any permit obtained invalid.

☒ **As owner(s) of the property described in this application, I/we hereby authorize the Applicant listed on this application to act on my/our behalf during the processing and presentation of this request. They shall be the principal contact with the City in processing this application.**

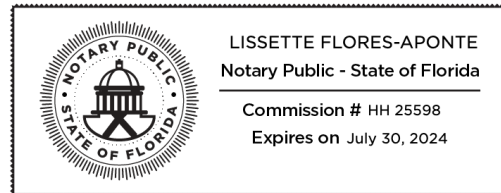
**Signature of Applicant** (if different than owner): Adam Talianchick **Date:** 01/18/21

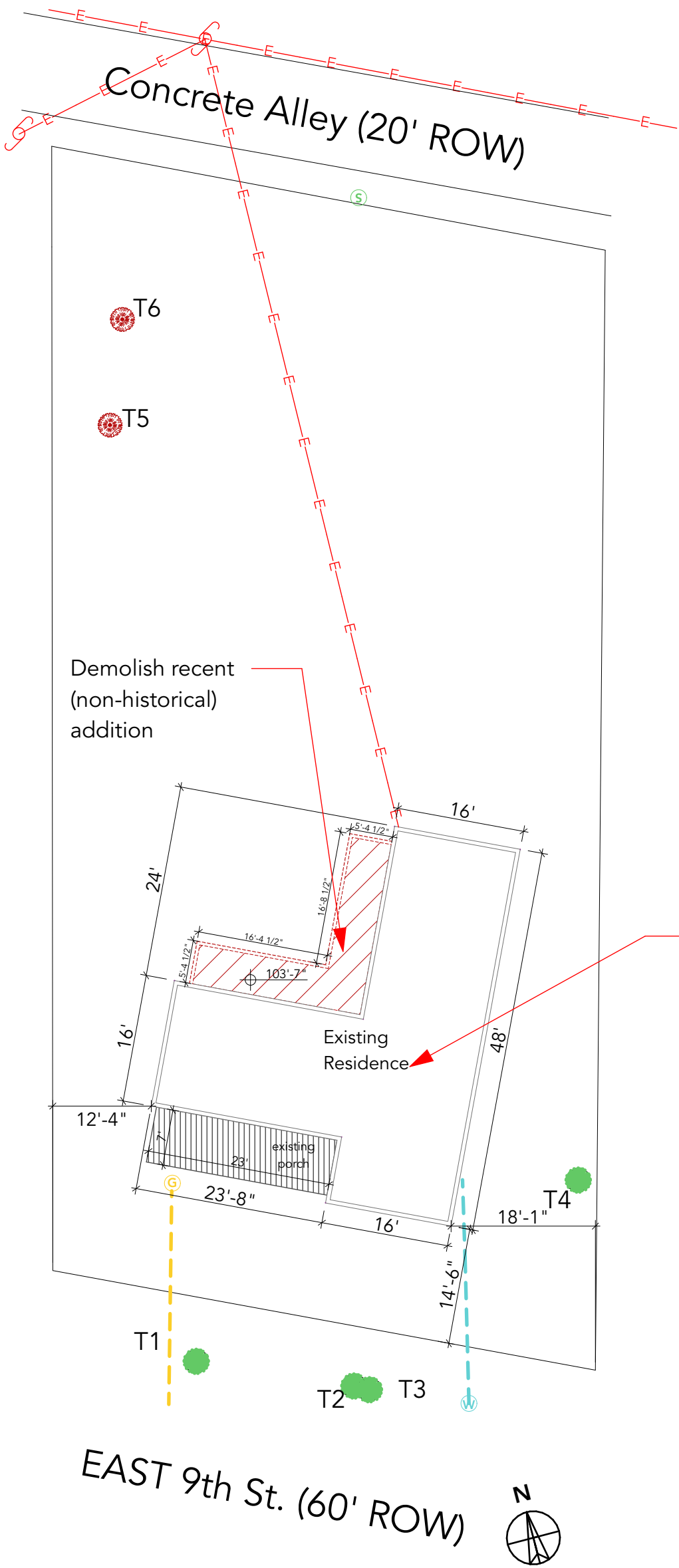
**Signature of Owner:** Adam Morgan **Date:** 01/19/2021

Sworn and subscribed before me this 19th day of January, **2021**

Signature of Public Notary: Lissette Flores Aponte My commission expires: 07/30/2024  
Notary Public in and for the State of Florida

Notarized online using audio-video communication





TREES	
T1 - 13"	Crape Myrtle (One large trunk, measured at 14" up)
T2 - 9"	Crape Myrtle (multitrunk 4"/4"/4"/2")
T3 - 8.5"	Crape Myrtle (multitrunk 4"/3"/3"/1"/1"/1")
T4 - 21"	Elm
T5 - 9.5"	Pecan
T6 - 43.75"	Chinaberry (multitrunk) to be removed



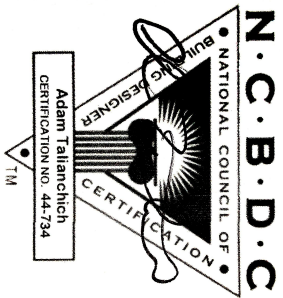
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Contact Information:

Adam Tallanchich, C.P.B.D.  
1004 E. 9th St.  
Austin, TX 78702  
512.300.5987

Project Name & Location:

Ramshackle  
1008 E 9th St  
Austin, TX 78702



Existing Site Plan

SCALE  
1/16" = 1'-0"

AS-001

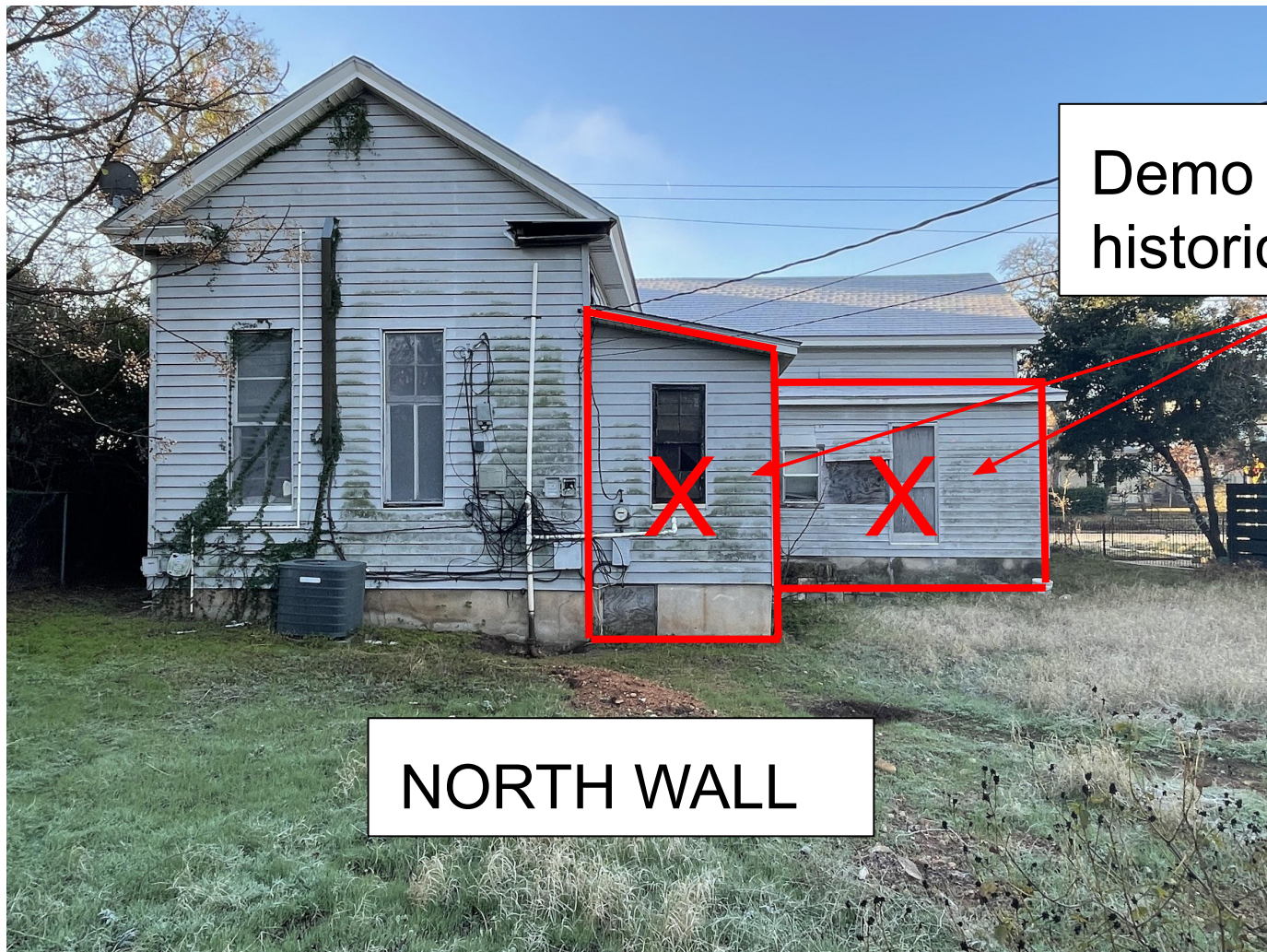




SOUTH WALL

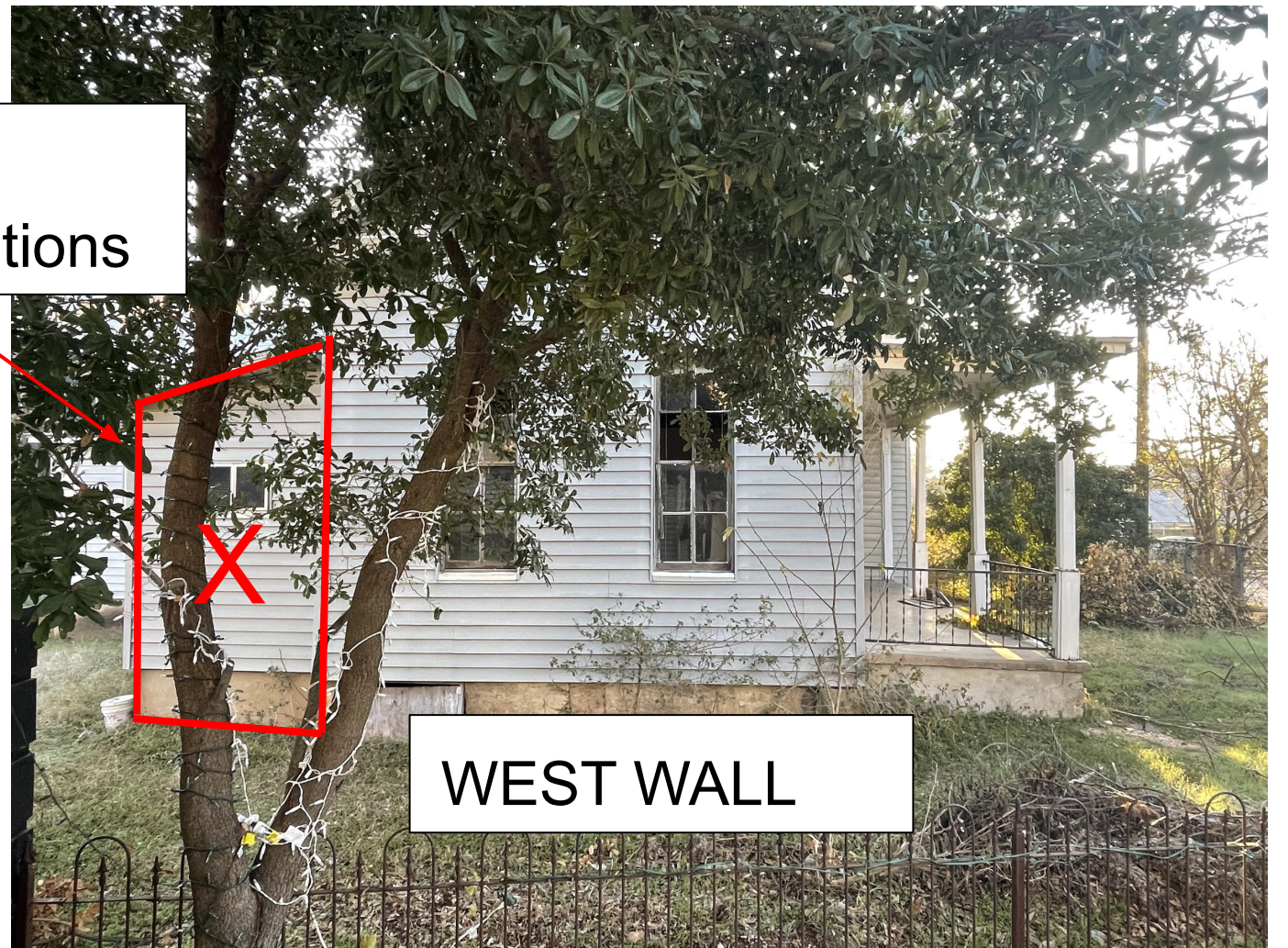


EAST WALL



NORTH WALL

Demo non  
historic  
additions



WEST WALL



McMansion					
Status	Name	Area	McMansion Area	FAR %	McMansion
Existing					
	Existing Foundation	1,157.64	1,157.64	11.98	Enclosed Floor Area > 5' High
	Existing Front Porch	156.96	---	---	Ground Floor Porch Fully Exempt
New					
	Addition - First Floor Bath	143.01	143.01	1.48	Enclosed Floor Area > 5' High
	Addition - First Floor Primary	1,359.32	1,359.32	14.07	Enclosed Floor Area > 5' High
	Addition - Second Floor	572.92	572.92	5.93	Enclosed Floor Area > 5' High
	Back Porch	96.45	0.00	0.00	Ground Floor Porch 200sf Exempt
	Ceiling Vault - Front Bedroom	65.61	65.61	0.68	Enclosed Floor Area > 15' High
	Ceiling Vault - Primary Bedroom	81.39	81.39	0.84	Enclosed Floor Area > 15' High
	Ceiling Vault - Super Vault	129.41	129.41	1.34	Enclosed Floor Area > 15' High
	Garage & Workshop	776.58	326.58	3.37	Detached Parking up to 450sf Exempt
	Garage Apartment	652.53	---	---	Fully Exempt Attic
			<b>3,835.88 sq ft</b>	<b>39.69</b>	

Impervious Cover					
Status	Name	Area	Impervious Area	Impervious (%)	Impervious Cover
Existing					
	Existing Foundation	1,157.64	1,157.64	11.98	100 Percent
	Existing Front Porch	156.96	156.96	1.62	100 Percent
New					
	AC Pad	6.00	6.00	0.06	100 Percent
	AC Pad	6.00	6.00	0.06	100 Percent
	AC Pad	9.00	9.00	0.09	100 Percent
	AC Pad	9.00	9.00	0.09	100 Percent
	Addition - First Floor Bath	143.01	143.01	1.48	100 Percent
	Addition - First Floor Primary	1,359.32	1,359.32	14.07	100 Percent
	Apartment Porch / Landing	16.00	16.00	0.17	100 Percent
	Back Deck	82.89	41.44	0.43	50 Percent
	Back Porch	96.45	96.45	1.00	100 Percent
	Driveway	159.70	159.70	1.65	100 Percent
	First Floor Addition - Eave > 2'	15.18	15.18	0.16	100 Percent
	Garage & Workshop	776.58	776.58	8.01	100 Percent
	New Front Steps	20.00	20.00	0.21	100 Percent
	Pool Coping	2.78	2.78	0.03	100 Percent
	Pool Coping	8.33	8.33	0.09	100 Percent
	Pool Coping	17.00	17.00	0.18	100 Percent
	Pool Coping	17.00	17.00	0.18	100 Percent
	Pool Equipment	21.00	21.00	0.22	100 Percent
	Stairs to Sunken Garden	44.72	44.72	0.46	100 Percent
	Sunken Garden	146.91	146.91	1.52	100 Percent
	Wood Stairs to Apartment	101.42	50.71	0.52	50 Percent
			4,280.73 sq ft	44.28	

## — COA Setbacks

# TREES

T1 - 13" Crape Myrtle (One large trunk, measured at 14" up)

T2 - 9" Crape Myrtle (multitrunk 4"/4"/4"/2")

T3 - 8.5" Crape Myrtle (multitrunk 4"/3"/3"/1"/1"/1")

T4 - 21" Elm

~~T5 - 9.5" Pecan~~

T6 - 43.75" Chinaberry (multitrunk)  
to be removed

Uncovered Steps and Stoops can project into a required yard up to 3' provided that no step or stoop is greater than 3' above grade as per §25-2-513 (C)

LEGAL DESCRIPTION: E 63.67 Feet  
of LOT 10, BLOCK 5 George L.  
Robertson Subdivision of Outlots 2  
and 3, Division B

SITE PLAN BASIS: Survey Performed  
by All Points Surveying on 2-27-20  
LOT SIZE: 9695.25 sf

## Project Parameters

Project Parameters		
Status	Name	Area
Existing		
	Existing Foundation	1,157.64
	Existing Front Porch	156.96
New		
	Addition - First Floor Bath	143.01
	Addition - First Floor Primary	1,359.32
	Addition - Second Floor	572.92
	Back Porch	94.42
	Ceiling Vault - Front Bedroom	65.61
	Ceiling Vault - Primary Bedroom	81.39
	Ceiling Vault - Super Vault	129.41
	Garage & Workshop	776.58
	Garage Apartment	652.53
Special Parameters		
Status	Name	Area
New		
	Apartment Ceilings > 5' High	575.05
	Apartment Ceilings > 6' High	479.37
	Apartment Ceilings > 7' High	285.84

ALL structures MUST maintain 7' 6" clearance from energized Distribution power lines (this includes eaves and overhangs).  
Enforced by AE and NESC codes.  
This review DOES NOT include Transmission lines.

**APPROVED**  
By diazj at 12:57 pm, Jan 08, 2021

AS-002

$$1/16" = 1'-0"$$

## Proposed Site Plan



**Ramshackle**  
1008 E 9th St  
Austin, TX 78702

Project Name &amp; Location

Adam Tallanchich, C.P.B.D.  
1004 E. 9th St  
Austin, TX, 78702  
512.300.5987

### Contact Information

BE REMOVED OR MODIFIED.

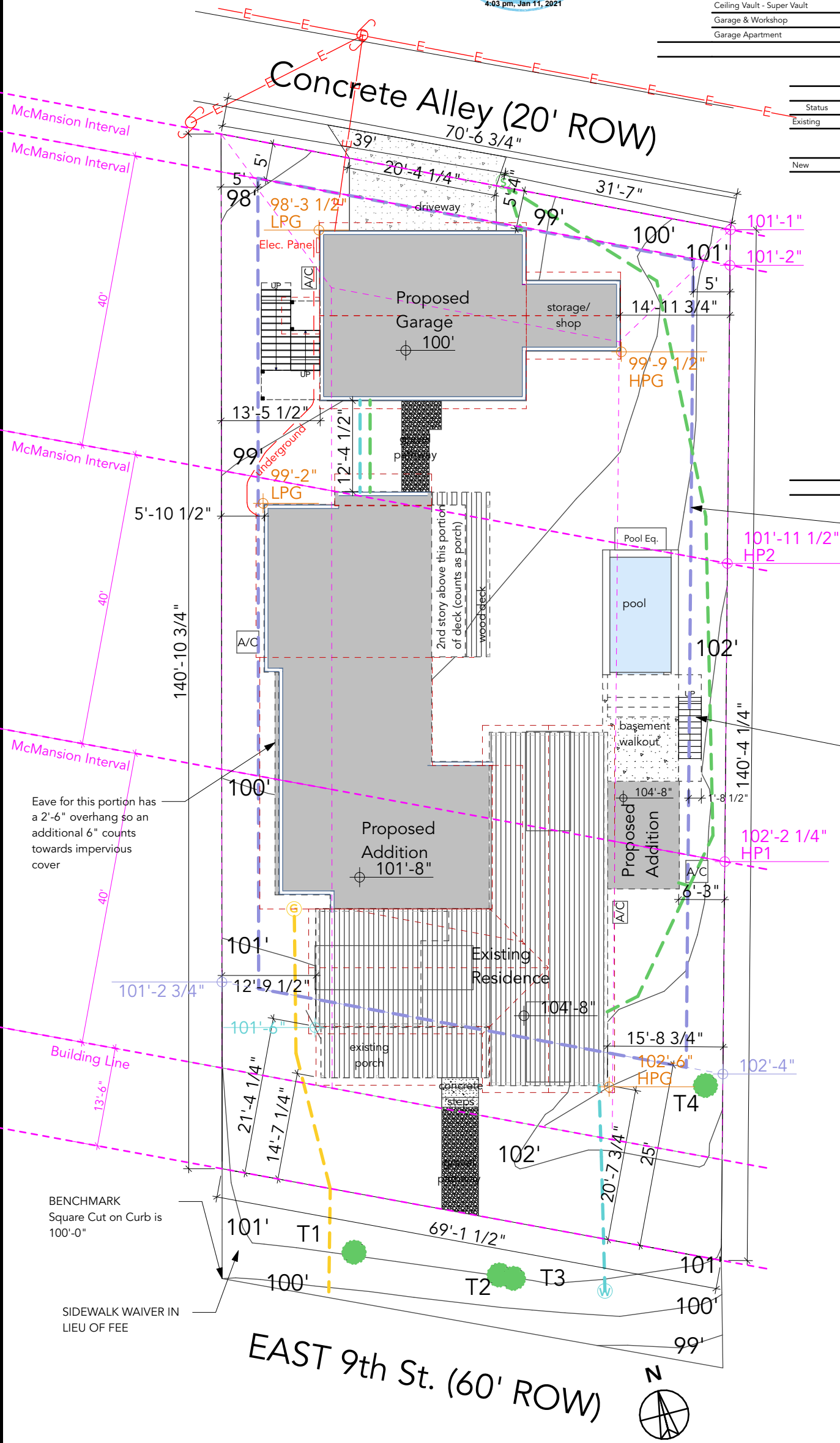


Building Cover			
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	Garage & Workshop	776.58	8.01
		3,689.96 sq ft	38.16



McMansion					
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SCALE

1/16" = 1'-0"

AS-002

Proposed Site Plan

N.C.B.D.C. NATIONAL COUNCIL OF BUILDING DESIGNERS

Adam Tallanchich CERTIFICATION NO. 44-734

Project Name & Location:

Ramshackle

1008 E 9th St Austin, TX 78702

512.300.5987

Contact Information:

Adam Tallanchich, C.P.B.D. 1004 E. 9th St. Austin, TX 78702 512.300.5987

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HATCH WORKS



# Historic Review Application

For Office Use Only

Date of Submission: \_\_\_\_\_

Plan Review #: \_\_\_\_\_

Property Address: \_\_\_\_\_

Historic Landmark

Local Historic District

National Register Historic District

Historic Landmark Name or

Historic District Name: \_\_\_\_\_  
Hatch Works (Adam Talianchich)

Applicant Name: \_\_\_\_\_ Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

Applicant Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

*Please describe all proposed exterior changes with location and materials. If you need more space, attach an additional sheet.*

PROPOSED CHANGE(S)	LOCATION OF PROPOSED CHANGE(S)	PROPOSED MATERIAL(S)
1) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____
2) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____
3) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____

## Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing *and* proposed conditions for alterations and additions.

Site Plan

Elevations

Floor Plan

Roof Plan

2. Color photographs of building and site:

Elevation(s) proposed to be modified

Detailed view of each area proposed to be modified

Applicant Signature: \_\_\_\_\_ *Adam Talianchich*

Date: \_\_\_\_\_



## Robertson/Stuart Mair Design Standards and Requirements

### Introduction:

For the proposed project located at the above referenced address, We, the owner (Adam Morgan), the designer (Hatch Works), and the builder (Hatch Works) pledge to abide by the required design standards for this neighborhood. Below, the required design standards are outlined and our responses of how we are addressing each requirement is listed in [blue](#).

### Design Standards and Requirements

#### 1.1.2.1. Work requiring a Certificate of Appropriates:

- Additions to existing contributing buildings [Yes](#)
- Exterior alterations and additions to contributing buildings that are (a) within 15 feet of the front of the building [Yes](#)
- Construction of new buildings [Yes](#)

[A certificate is required for our project.](#)

#### 1.2.2.1. Front exterior walls Requirements

- Retain and repair the historic exterior materials on front walls, as well as side walls and roofs within 15 feet of the front of the building.
- If replacement of historic exterior wall materials is necessary, choose a material identical in dimensions, profile, reveal, and texture to the historic material, and install the new materials so that they maintain the spatial relationships (including depth and dimension) and joint patterns as existed historically relative to window frames, door frames, and other exterior features
- Maintain and repair historic exterior walls according to accepted preservation techniques (as shown in Section 2 of this appendix, Resources for Property Owners)

[The existing siding is vinyl siding. Underneath the vinyl is the original wood lap siding. We plan to remove all vinyl siding, clean and paint the original wood siding. Any damaged / rotten wood siding will be replaced with new wood siding. Since the original siding has a profile no longer in production, we will custom mill any new replacement wood siding to match the profile of the original siding.](#)

Historic Building Requirements  
1008 E 9th St  
Austin, TX 78702

#### 1.2.2.2. Doors and door openings Requirements

- Do not enlarge, alter or relocate doorways, or add new door openings on front and side walls within 15 feet of the front of the building
- Retain and repair historic doors and door frames according to accepted preservation techniques (see Section 2 of this appendix, Resources for Property Owners), unless Historic Preservation Office (HPO) staff and/or the Historic Landmark Commission (HLC) agree that deterioration is beyond repair
- Retain and repair door glazing (window or glass) in its historic configuration
- In cases where a historic entry door is missing or deteriorated beyond repair, choose a replacement door that is similar in terms of design and appearance with the historic character of the building
- If a new door or door frame is required, install the new components so that they maintain the spatial relationships (including depth and dimension) and joint patterns as existed historically relative to door frames, exterior wall planes, and other exterior features

The existing doorway location and size will remain the same. The current entry door is not the original door. We will construct a new wood entry door and door frame that is historically in keeping with the homes of this age and found within this neighborhood.

#### 1.2.2.3. Windows and window openings Requirements

- Do not enlarge, alter or relocate window openings, or add new window openings on front walls, side walls, or roofs within 15 feet of the front of the building
- Retain and repair all components of existing historic windows unless Historic Preservation Office (HPO) staff and/or the Historic Landmark Commission (HLC) agree that the individual component is deteriorated beyond repair
- If replacement of historic windows is necessary, use windows that are the same size and match the dimensions, profile, and configuration of the historic windows
- Substitute materials are appropriate if they maintain the profile and finish appearance of the historic window; extruded aluminum and wood-clad aluminum are acceptable replacement materials; vinyl is not an acceptable material
- If replacement windows are required, install the new windows so that they maintain the same spatial relationships (including depth and dimension) and joint patterns as existed historically relative to window frames, exterior wall planes, and other exterior features
- Maintain and repair historic windows according to accepted preservation techniques (see Section 2 of this appendix, Resources for Property Owners for more information)

All original windows within 15 feet of the front of the building will be preserved and remain in their current location and configuration. We have signed a contract and paid a deposit with Jacob Wreden Fine Woodworking to restore these windows. We will not need to replace any windows within 15 feet of the front of the building.

Historic Building Requirements  
1008 E 9th St  
Austin, TX 78702

#### 1.2.2.4. Roofs and roof features Requirements

- Retain the original roof shape, including pitches, profiles, and eave heights
- Retain historic dormers, gable/attic vents, roof brackets and chimneys unless they are deteriorated beyond repair
- Maintain and repair historic roof materials and features according to accepted preservation techniques (see Section 2 of this appendix, Resources for Property Owners)

#### Recommendations

- If replacing roof materials and features that are deteriorated beyond repair, first consider using the original material, then the use of a product that resembles the size and matches the dimensions, profile, appearance, and configuration of the historic material; standing-seam metal roofs are also acceptable for all roof forms

The original roof shape and gables will remain intact. Any necessary repairs will preserve these features.

We will, however, install a new standing seam metal roof as allowed under these guidelines. Metal roofs are incredibly energy efficient and durable, helping to preserve this structure for decades to come.

#### 1.2.2.5. Porches Requirements

- Retain and repair the historic front porch materials and features unless Historic Preservation Office (HPO) staff and/or the Historic Landmark Commission (HLC) agree that they are deteriorated beyond repair
- If replacing deteriorated historic porch materials or features, use materials that are the same size and match the dimensions, profile, texture, and configuration of existing historic porch features
- If enclosing front porch, use materials that do not visually detract from the historic character of the building—like non-reflective screening or glass—and install the enclosure in a reversible manner that does not damage historic features
- Maintain and repair historic porches according to accepted preservation techniques (see Section 2 of this appendix, Resources for Property Owners)

The current front porch shape and profile will remain intact. However, the current front porch floor is concrete that is not original to the structure. We will remove the concrete porch floor and replace it with a wood decked front porch on piers in keeping with the materials and style that would have been used historically.

### 1.3. Additions to Contributing Buildings

The design standards require that new additions to contributing buildings within the district must be “differentiated but compatible” with the historic building. Essentially, this means that new additions must reflect the form of the existing historic buildings, but they should not be so similar as to be mistaken for historic or original to the building.

#### Requirements

- New additions should be compatible with the historic building by reflecting the scale, massing, and/or materials of the historic building, but differentiated enough so that they are not confused as historic or original to the building. [Our additions will not be confused with the original building.](#)
- If designing an addition in a contemporary style, reflect the scale, massing, and/or materials of the historic building; if designing an addition in a style that reflects the style of the historic building, differentiate the scale, massing, and/or materials, at least slightly [The massing and materials of the primary addition will be different from the original house. The cladding for the primary addition will be stucco.](#)
- Design new additions that are subordinate to and do not overpower the historic building. [The new addition will not overpower the historic building. When standing in the street in front of the house, barely any of the new addition, if anything, will be visible. The bulk of the addition is single story. There is a small two story part of the addition that is at the very back of the addition and the wall height for the second story is only 7'-4 1/2" tall. We are using a vaulted ceiling into the attic space to make the second story feel large, yet smaller in stature from the exterior.](#)
- Construct additions that avoid the removal or obstruction of any historic exterior features on the front of the building or the sides within 15 feet of the front. [The new addition starts 24 feet from the front of the original structure. The joint between the addition and the original structure is inset 2 feet such that the two will feel separate from one another. The forest visible portion of the addition is 26 feet from the front of the original structure.](#)
- Set back a new ground-level addition a minimum of 15 feet measured from the front wall of the building (excluding the porch) A new basement addition may extend to the front of the building [The new ground level addition starts 24 feet from the front of the original structure. The joint between the addition and the original structure is inset 2 feet such that the two will feel separate from one another. The forest visible portion of the addition is 26 feet from the front of the original structure.](#)

[A new basement will be added below the original structure and will be in line with the front of the building.](#)

- Design basement additions so that they do not raise the floor level of the building, or so that the new floor level of the building is not higher than either the average of the contributing buildings on the same block face, or the average of the adjacent buildings if contributing

## Historic Building Requirements

1008 E 9th St

Austin, TX 78702

The basement will raise the floor level of the building by 1'-1". Currently, the Southeast corner of the beams for the original structure sits at 4" above grade (the finished floor is higher as it sits on the beams, but the beams are awfully low). Having a wood structure so close to grade invites termites and carpenter ants into the structure. Part of the benefit to adding the basement is that we will install a bullet proof, incredibly stable foundation to support this house for years to come. At the same time, we plan to raise the grade of the first floor to get it further from insects that cause wood decay.

We met with the Historic Commission on March 9, 2020 and it was determined at this meeting that the proper approach to determine the average heights is to measure the heights of contributing buildings at their front facades, not the heights from the sides or the backs of these contributing structures. We conducted a survey of contributing properties on the North side of the 1000 Block of E 9th St to measure their average heights. Listed below are the results of the survey:

	Address	Left Front	Right Front	Average
	1000 E 9th St	18"	12"	15"
	1002 E 9th St	39 ½"	37 ⅛"	38 5/16"
	1012 E 9th St	35 ¼"	34"	34 ⅝"
	1014 E 9th St	38 ⅝"	43 ¾"	41 3/16"
			<b>Combined Avg.</b>	<b>32 9/32"</b>
<u>Our Project</u>	<u>1008 E 9th St</u>	<u>38"</u>	<u>26"</u>	<u>32"</u>

- Modern materials such as fiber-cement siding are appropriate for additions, provided that the overall design is compatible with the historic building City of Austin Local Historic District Application Robertson/Stuart & Mair Historic District Appendix D – Preservation Plan, page D-9

Understood. Fiber cement siding will be used sparingly.

## Historic Building Requirements

1008 E 9th St  
Austin, TX 78702

### 1.4 New Construction

#### Requirements

- New construction shall have the same street-front orientation and distance from adjacent buildings as the contributing buildings in the same block
- Setbacks for new construction shall be consistent with setbacks of the district's contributing buildings by taking the average of the existing setbacks of contributing buildings on the same block face, or by aligning with the setback of one adjacent contributing building; this may allow setbacks that are shallower than the base zoning
- Design new buildings so that they are compatible with and differentiated from historic buildings in the district
- If designing an addition in a contemporary style, reflect the scale, massing, and/or materials of the historic building; if designing an addition in a style that reflects a style borrowed from surrounding historic buildings, differentiate the scale, massing, and/or materials

The garage and apartment constitutes new construction on this site. It will be located near the rear alleyway and will not be visible from the street. The roof pitch of this structure is 12:12 in keeping with many other buildings in this neighborhood. It will be finished with stucco.

- New construction should have floor-to-floor heights and roof heights that are the same or similar to those on contributing buildings throughout the district

The garage and apartment consists of a first floor garage and a habitable attic for the apartment, making it essentially a 1 ½ story structure, similar to many other homes in this neighborhood.

- Select materials for new construction that are the same as or similar to those found on contributing buildings existing in the district
- For new buildings, a garage shall not be located less than 15 feet from the front wall of the building (excluding the porch) or one-third of the depth of the building from the front wall of the building, whichever is greater; both attached and detached garages are permitted if set back accordingly

The garage and apartment will be located at the back of the property and will be very very far from the front wall of the contributing building

- Front porches shall be present on new principal residential buildings and must be at least 6 feet deep, with an area of at least 70 square feet

The garage and apartment is not a principal residential building.



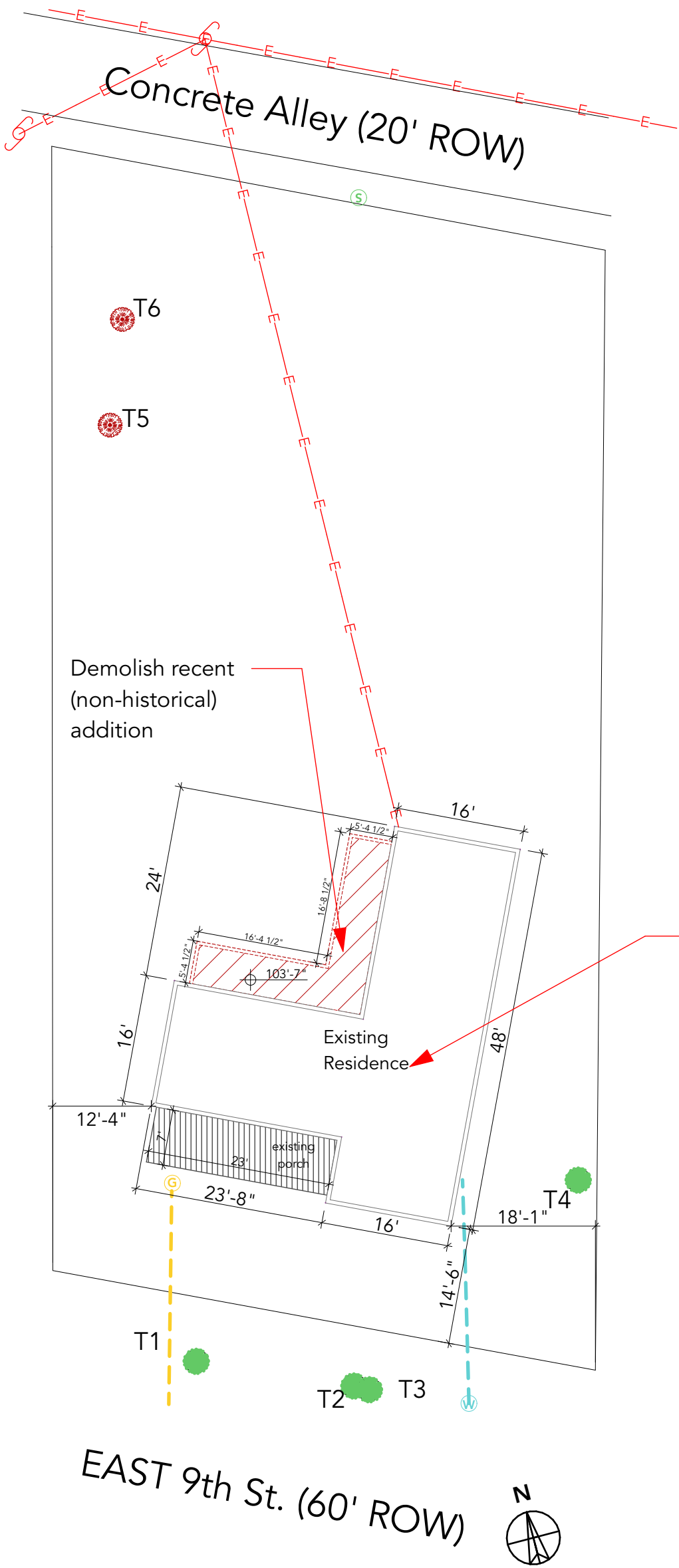
## Historic Building Requirements

1008 E 9th St

Austin, TX 78702

- Protect large trees and other significant site features from damage during construction and from delayed damage due to construction activities

All trees will be protected in accordance with City of Austin tree preservation standards.



#### TREES

- T1 - 13" Crape Myrtle (One large trunk, measured at 14" up)
- T2 - 9" Crape Myrtle (multitrunk 4"/4"/4"/2")
- T3 - 8.5" Crape Myrtle (multitrunk 4"/3"/3"/1"/1"/1")
- T4 - 21" Elm
- T5 - 9.5" Pecan
- T6 - 43.75" Chinaberry (multitrunk)  
to be removed



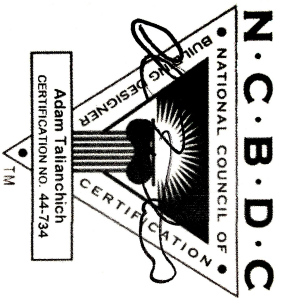
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#### Contact Information:

Adam Tallanchich, C.P.B.D.  
1004 E. 9th St.  
Austin, TX 78702  
512.300.5987

#### Project Name & Location:

Ramshackle  
1008 E 9th St  
Austin, TX 78702



## Existing Site Plan

#### SCALE

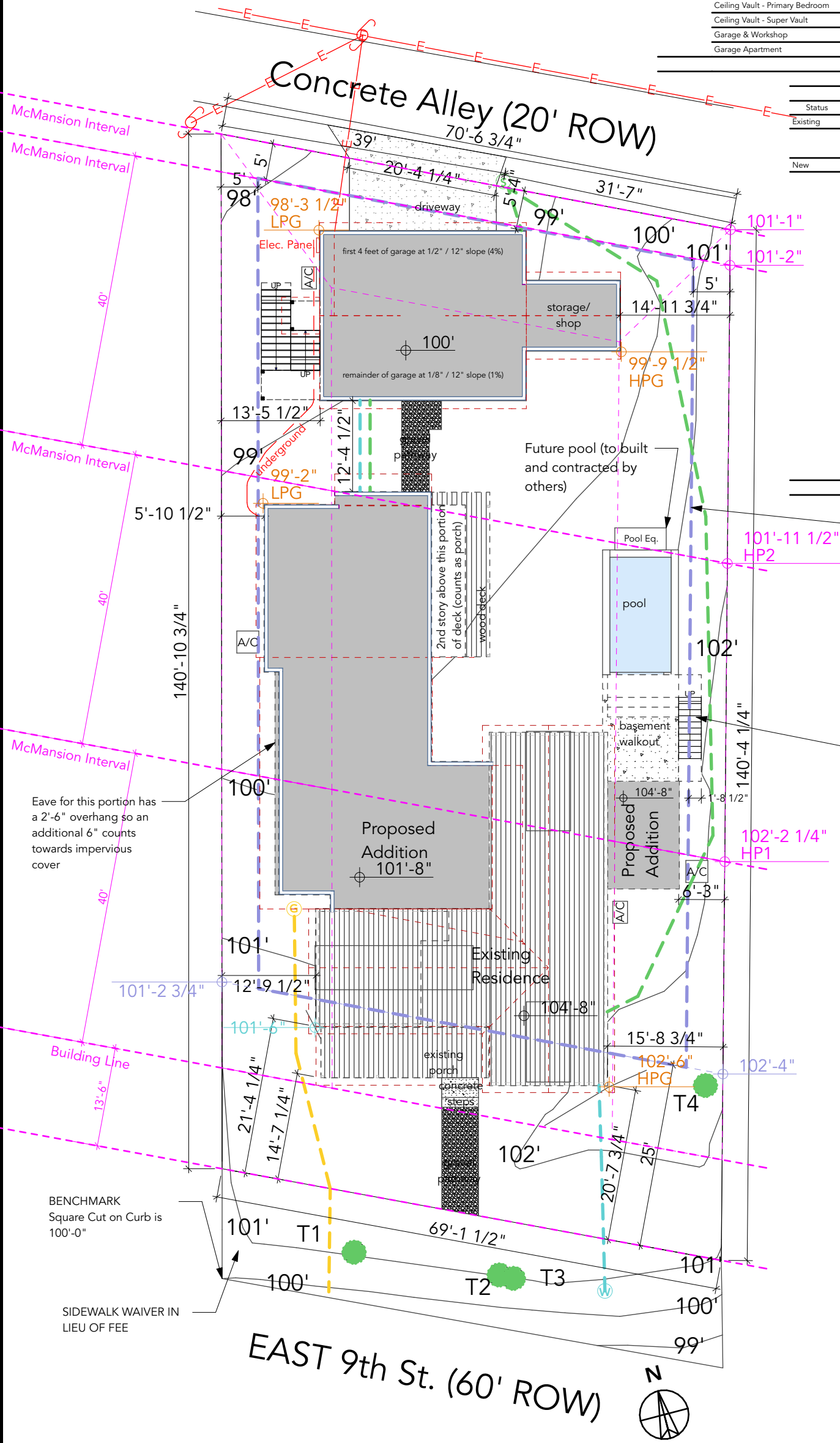
1/16" = 1'-0"

AS-001

Building Cover			
Status	Name	Area	Building Coverage (%)
Existing			
	Existing Foundation	1,157.64	11.98
	Existing Front Porch	156.96	1.62
New			
	Addition - First Floor Bath	143.01	1.48
	Addition - First Floor Primary	1,359.32	14.07
	Back Porch	96.45	1.00
	Garage & Workshop	776.58	8.04
		3,689.96 sq ft	38.19

McMansion					
Status	Name	Area	McMansion Area	FAR %	McMansion
Existing					
	Existing Foundation	1,157.64	1,157.64	11.98	Enclosed Floor Area > 5' High
	Existing Front Porch	156.96	---	---	Ground Floor Porch Fully Exempt
New					
	Addition - First Floor Bath	143.01	143.01	1.48	Enclosed Floor Area > 5' High
	Addition - First Floor Primary	1,359.32	1,359.32	14.07	Enclosed Floor Area > 5' High
	Addition - Second Floor	572.92	572.92	5.93	Enclosed Floor Area > 5' High
	Back Porch	96.45	0.00	0.00	Ground Floor Porch 200sf Exempt
	Basement	1,298.36	---	---	Exempt Basement
	Ceiling Vault - Front Bedroom	65.61	65.61	0.68	Enclosed Floor Area > 15' High
	Ceiling Vault - Primary Bedroom	81.39	81.39	0.84	Enclosed Floor Area > 15' High
	Ceiling Vault - Super Vault	129.41	129.41	1.34	Enclosed Floor Area > 15' High
	Garage & Workshop	776.58	326.58	3.38	Detached Parking up to 450sf Exempt
	Garage Apartment	652.53	---	---	Fully Exempt Attic
		3,835.88 sq ft	39.70		

Impervious Cover					
Status	Name	Area	Impervious Area	Impervious (%)	Impervious Cover
Existing					
	Existing Foundation	1,157.64	1,157.64	11.98	100 Percent
	Existing Front Porch	156.96	156.96	1.62	100 Percent
New					
	AC Pad	6.00	6.00	0.06	100 Percent
	AC Pad	6.00	6.00	0.06	100 Percent
	AC Pad	9.00	9.00	0.09	100 Percent
	AC Pad	9.00	9.00	0.09	100 Percent
	Addition - First Floor Bath	143.01	143.01	1.48	100 Percent
	Addition - First Floor Primary	1,359.32	1,359.32	14.07	100 Percent
	Apartment Porch / Landing	16.00	16.00	0.17	100 Percent
	Back Deck	82.89	41.44	0.43	50 Percent
	Back Porch	96.45	96.45	1.00	100 Percent
	Driveway	159.70	159.70	1.65	100 Percent
	First Floor Addition - Eave > 2'	15.18	15.18	0.16	100 Percent
	Garage & Workshop	776.58	776.58	8.04	100 Percent
	New Front Steps	20.00	20.00	0.21	100 Percent
	Pool Coping	2.78	2.78	0.03	100 Percent
	Pool Coping	8.33	8.33	0.09	100 Percent
	Pool Coping	17.00	17.00	0.18	100 Percent
	Pool Coping	17.00	17.00	0.18	100 Percent
	Pool Equipment	21.00	21.00	0.22	100 Percent
	Stairs to Sunken Garden	44.72	44.72	0.46	100 Percent
	Sunken Garden	146.91	146.91	1.52	100 Percent
	Wood Stairs to Apartment	101.42	50.71	0.52	50 Percent
		4,280.73 sq ft	44.31		



TREES

T1 - 13" Crape Myrtle (One large trunk, measured at 14" up)

T2 - 9" Crape Myrtle (multitrunk 4"/4"/4"/2")

T3 - 8.5" Crape Myrtle (multitrunk 4"/3"/1"/1"/1")

T4 - 21" Elm

T5 - 9.5" Pecan

T6 - 43.75" Chinaberry (multitrunk)

to be removed

Uncovered Steps and Stoops can project into a required yard up to 3' provided that no step or stoop is greater than 3' above grade as per §25-2-513 (C)

Land Parameters

LEGAL DESCRIPTION: E 63.67 Feet of LOT 10, BLOCK 5 George L. Robertson Subdivision of Outlots 2 and 3, Division B

SITE PLAN BASIS: Survey Performed by All Points Surveying on 2-27-20  
LOT SIZE: 9663.99 sf

Project Parameters

Project Parameters		
Status	Name	Area
Existing		
	Existing Foundation	1,157.64
	Existing Front Porch	156.96
New		
	Addition - First Floor Bath	143.01
	Addition - First Floor Primary	1,359.32
	Addition - Second Floor	572.92
	Back Porch	96.45
	Basement	1,298.36
	Ceiling Vault - Front Bedroom	65.61
	Ceiling Vault - Primary Bedroom	81.39
	Ceiling Vault - Super Vault	129.41
	Garage & Workshop	776.58
	Garage Apartment	652.53
Special Parameters		
Status	Name	Area
New		
	Apartment Ceilings > 5' High	575.05
	Apartment Ceilings > 6' High	479.37
	Apartment Ceilings > 7' High	285.84

SCALE

1/16" = 1'-0"

Proposed Site Plan

AS-002

N.C.B.D.C. NATIONAL COUNCIL OF BUILDING DESIGNERS

Adam Tallanchich CERTIFICATION NO. 44-734

Project Name & Location:

Ramshackle

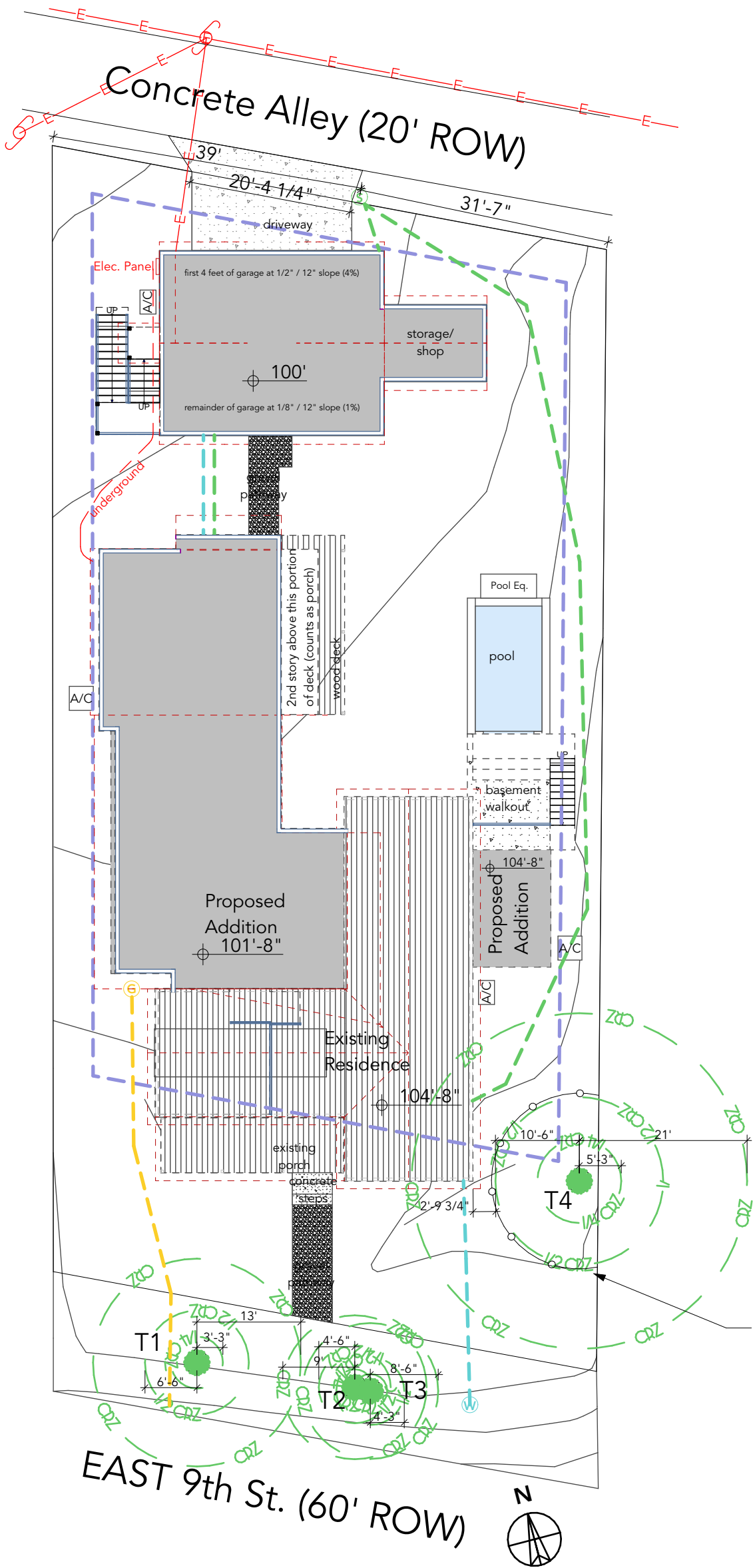
1008 E 9th St Austin, TX 78702

Adam Tallanchich, C.P.B.D. 1004 E. 9th St. Austin, TX 78702 512.300.5987

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Contact Information:





TREE PROTECTION NOTES

(Taken from Environmental Criteria Manual 3.5.2 - Tree Preservation Criteria)

- A minimum of 50 percent of the critical root zone must be preserved at natural grade, with natural ground cover.
- No cut or fill greater than four (4) inches will be located closer to the tree trunk than 1/2 the CRZ radius distance.
- No cut or fill within the distance from the tree which is three (3) times the trunk diameter (also can be determined by calculating the 1/4 CRZ). For example, no cut is allowed within 60-inches of a tree which has a 20-inch diameter trunk.
- This standard requires that construction impacts associated with various design features be considered. For example, the installation of a curb typically requires excavation of two (2) feet behind the back of curb. In such a case, the line of impact on the CRZ will be two (2) feet behind the curb line shown on the plan.
- Tree protection fencing is required for all protected/heritage trees within the limits of construction. Fencing should be indicated to protect the entire critical root zone (CRZ) area or as much of the CRZ as is practical. Fencing is required to be chain-link mesh at a minimum height of five feet.
- Tree protection fencing must be on grade (flat post bases weighted down with sand bags if fencing at or inside 1/2 CRZ).
- 8" of mulch will be supplied within the entire Full CRZ outside of the tree protection fencing if the fencing does not encompass entire 1/2 CRZ.
- 2x4 or greater size planks (6' tall minimum) will be strapped securely around tree trunk and root flares if tree protection fencing does not encompass entire 1/2 CRZ.
- Any pruning must be performed by a Certified Arborist and cannot exceed 25%.
- If there is any demolition in 1/4 and 1/2 CRZ of protected trees it must be done with hand tools.

Deviations from Minimum Criteria.

- These criteria represent minimum standards for determining whether or not a tree is "preserved". Greater impacts may be allowed, provided that all design alternatives have been proven unfeasible and that some acceptable form of mitigation such as a remedial care program is negotiated.

TREES

- T1 - 13" Crape Myrtle (One large trunk, measured at 14" up)  
T2 - 9" Crape Myrtle (multitrunk 4"/4"/4"/2")  
T3 - 8.5" Crape Myrtle (multitrunk 4"/3"/3"/1"/1"/1")  
T4 - 21" Elm  
T5 - 9.5" Pecan  
T6 - 43.75" Chinaberry (multitrunk)  
to be removed

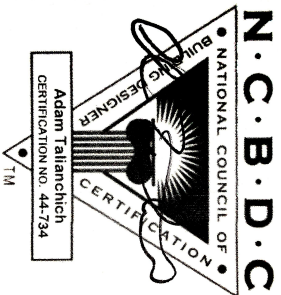
5' High Chainlink Fence  
at or beyond 1/2 CRZ  
(no driven fence stakes at  
or inside 1/2 CRZ)

SCALE

1/16" = 1'-0"

AS-003

Tree  
Protection  
Plan



Ramshackle  
1008 E 9th St  
Austin, TX 78702

Project Name & Location:

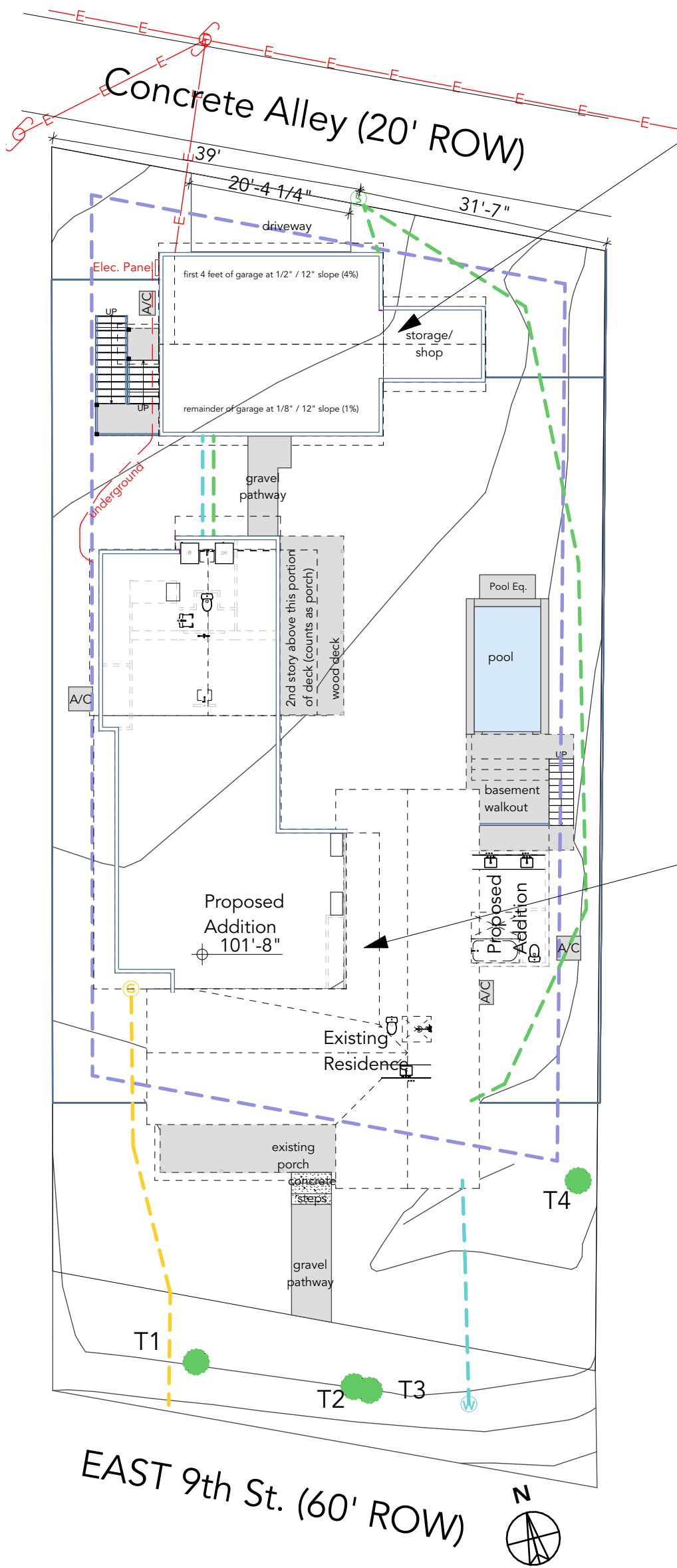
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512.300.5987

Contact Information:

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New Construction Garage & Pool house (1st Floor) with Secondary Dwelling (2nd Floor)

Visitability Ordinance does not apply to this project as it pertains only to New Construction Projects with habitable space on the first floor. There is no first floor habitable space as per IRC 2015 R202 bathrooms are not considered habitable space.

TREES

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- T4 - 21" Elm
- T5 - 9.5" Pecan
- T6 - 43.75" Chinaberry (multitrunk)   
 to be removed

Remodel / Addition of Primary Residence

Visitability Ordinance does not apply to this project as it pertains only to New Construction Projects



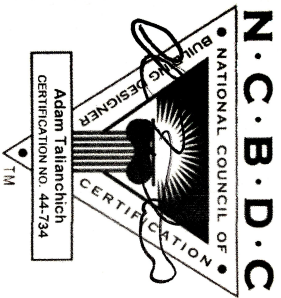
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512.300.5987

Project Name & Location:

Ramshackle  
1008 E 9th St  
Austin, TX 78702



Visitability Plan

SCALE

1/16" = 1'-0"

AS-004

1

# North Wall Elevation

SCALE: 1/8" = 1'-0"

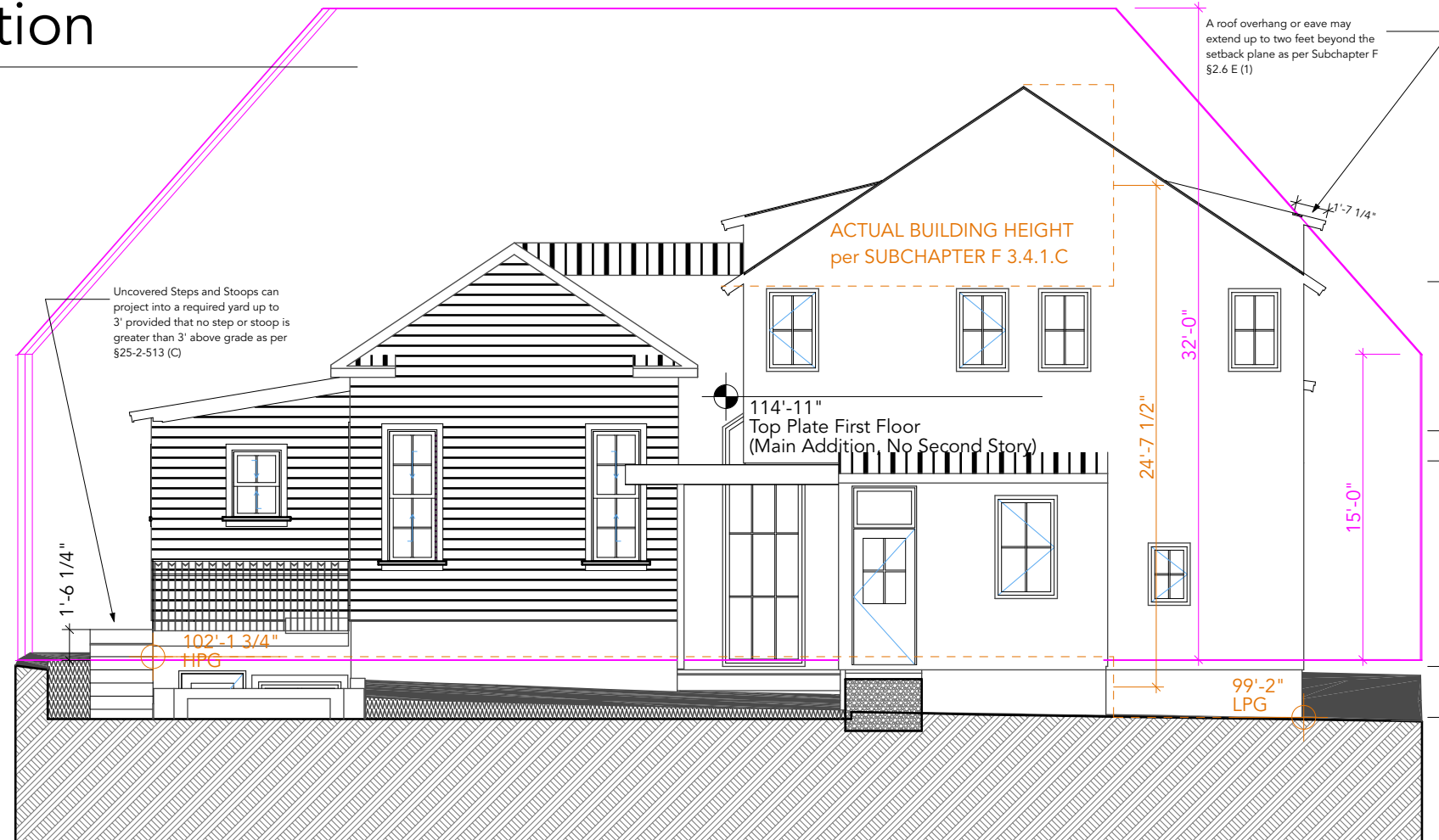
116'-3 3/8"  
Top Plate First Floor  
(Existing)

113'-8 1/2"  
Top Plate First Floor  
(Bath Addition)

104'-8"  
FFE First Floor  
(Existing and Bath Addition)

103'-2 1/8"  
Foundation First Floor  
(5/8" Finished Floor +  
3/4" Subfloor + True 2x8  
+ 5" Air Gap + 2x4)

94'-2 5/8"  
FFE Basement  
(Existing and Bath Addition)



120'-6 3/4"  
Top Plate Second Floor  
(Main Addition)

113'-2 7/8"  
FFE Second Floor  
(Main Addition)

111'-9 1/8"  
Top Plate First Floor  
(Below Second Story)

101'-8"  
FFE First Floor  
(Main Addition)

99'-2"  
Foundation First Floor  
(Main Addition)

2

# South Wall Elevation

SCALE: 1/8" = 1'-0"

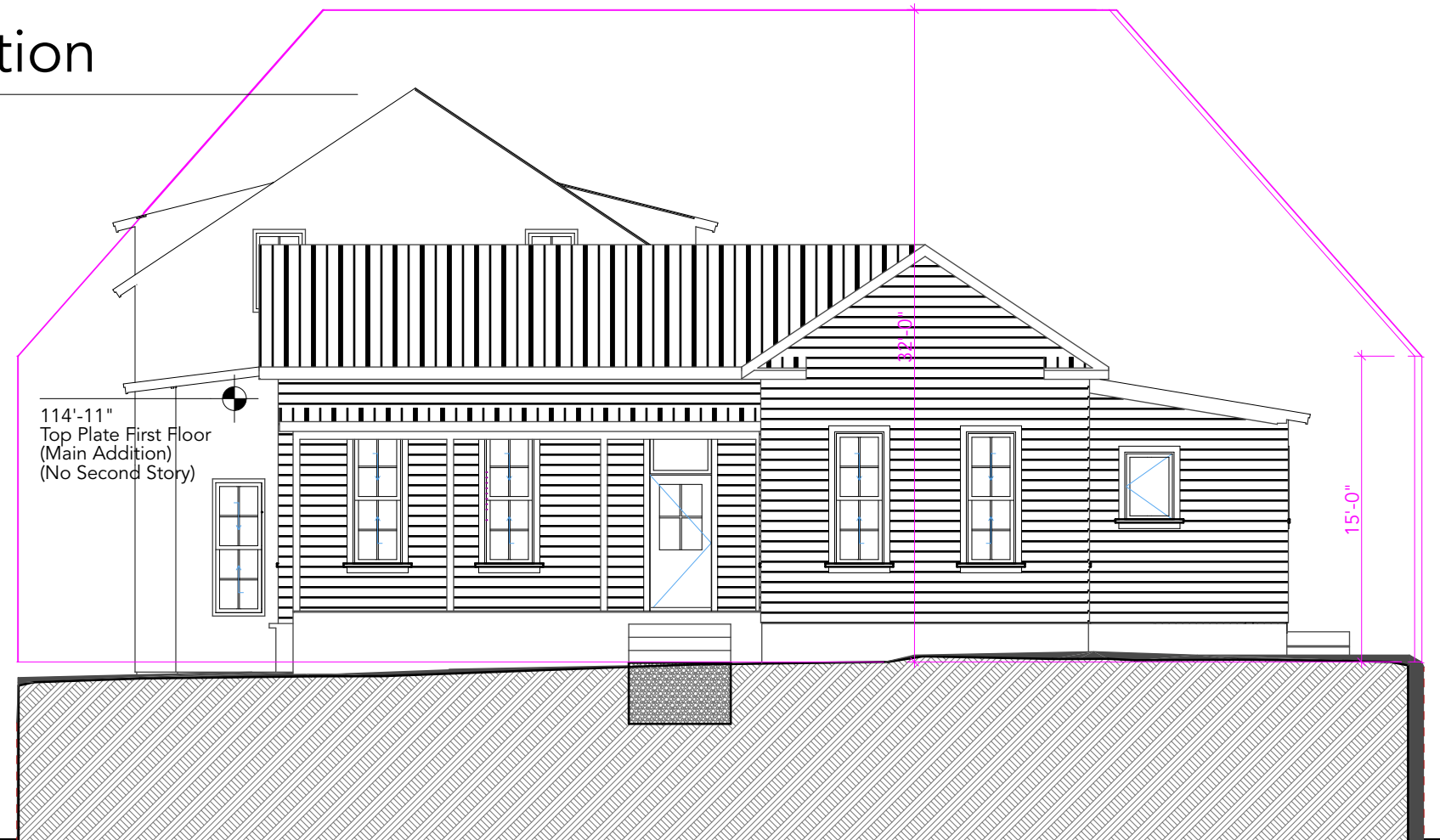
120'-6 3/4"  
Top Plate Second Floor  
(Main Addition)

113'-2 7/8"  
FFE Second Floor  
(Main Addition)

111'-9 1/8"  
Top Plate First Floor  
(Below Second Story)

101'-8"  
FFE First Floor  
(Main Addition)

99'-2"  
Foundation First Floor  
(Main Addition)



116'-3 3/8"  
Top Plate First Floor  
(Existing)

113'-8 1/2"  
Top Plate First Floor  
(Bath Addition)

104'-8"  
FFE First Floor  
(Existing and Bath Addition)

103'-2 1/8"  
Foundation First Floor  
(5/8" Finished Floor +  
3/4" Subfloor + True 2x8  
+ 5" Air Gap + 2x4)

94'-2 5/8"  
FFE Basement  
(Existing and Bath Addition)



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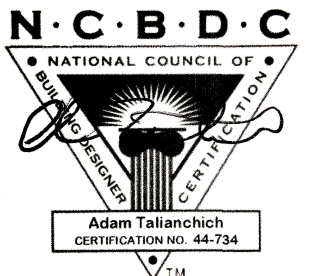
## Contact Information:

Adam Taliachich, C.P.B.D.  
1004 E. 9th St.  
Austin, TX, 78702  
512.300.5987

## Project Name & Location:

Ramshackle

1008 E 9th St  
Austin, TX 78702



# Exterior Elevations

SCALE

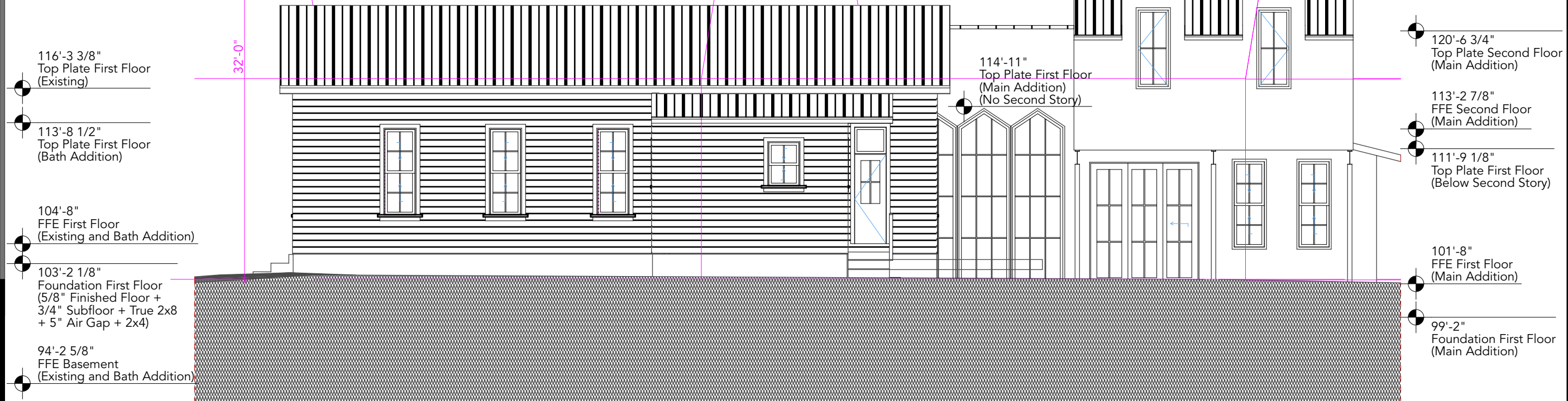
A 1.1



2

# East Wall Elevation

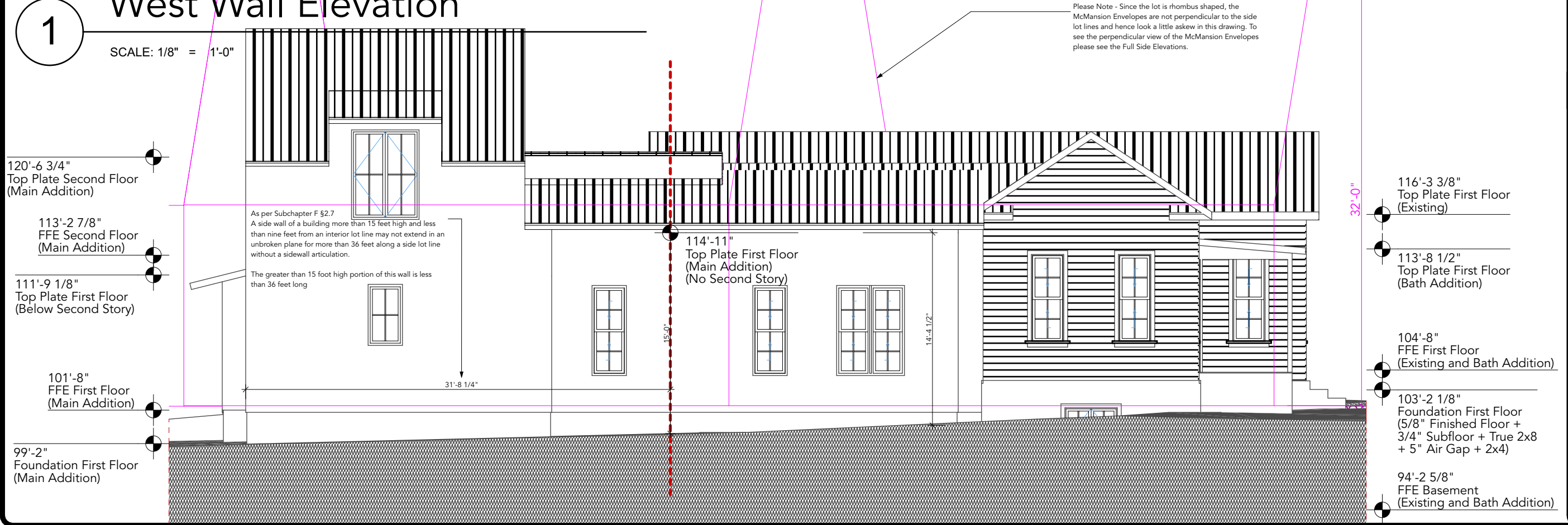
SCALE: 1/8" = 1'-0"



1

# West Wall Elevation

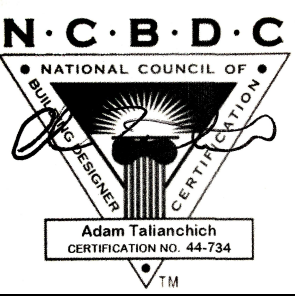
SCALE: 1/8" = 1'-0"



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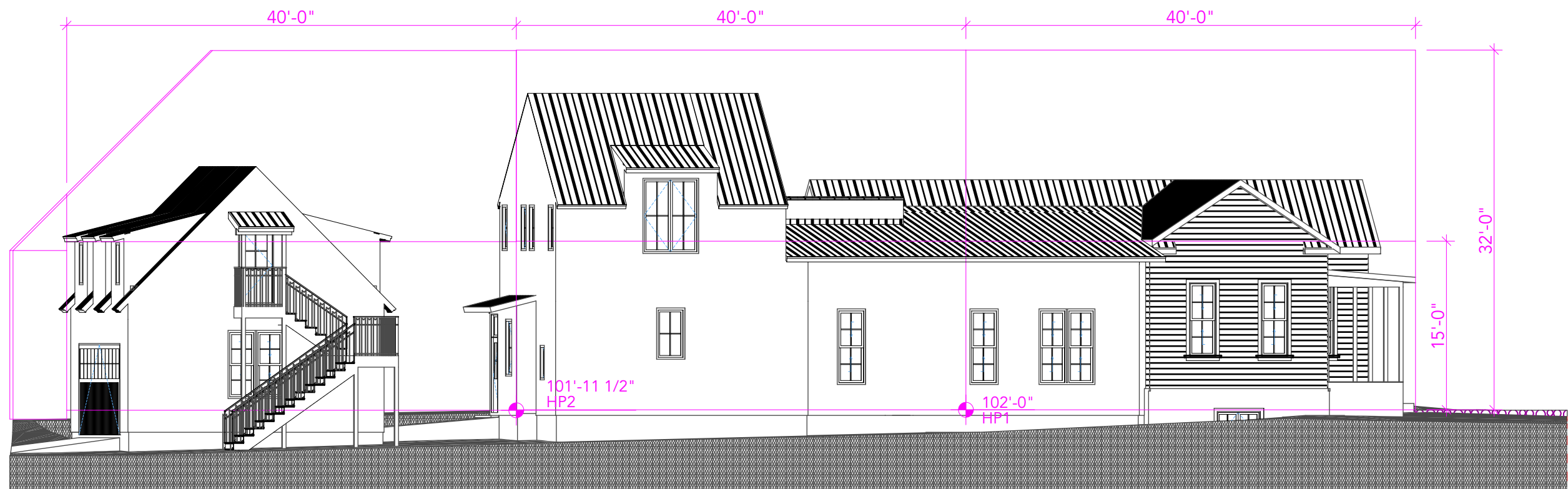
Project Name & Location:  
  
Ramshackle  
  
1008 E 9th St  
Austin, TX 78702



## Exterior Elevations

SCALE

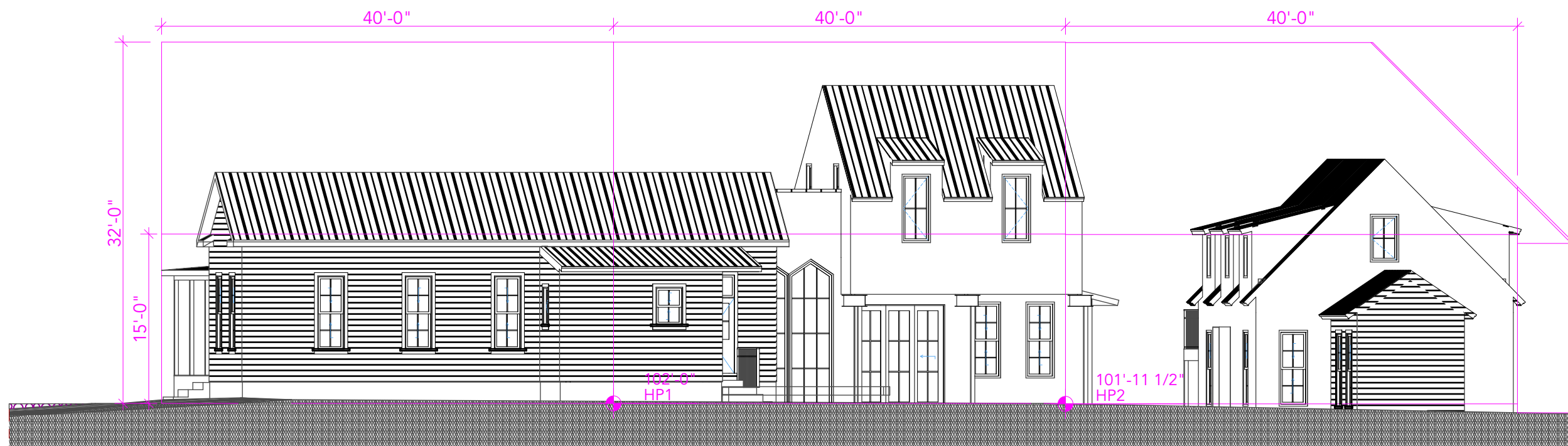
A 1.2



1

## West Wall Elevation - Full Side

SCALE: 3/32" = 1'-0"



2

## East Wall Elevation - Full Side

SCALE: 3/32" = 1'-0"



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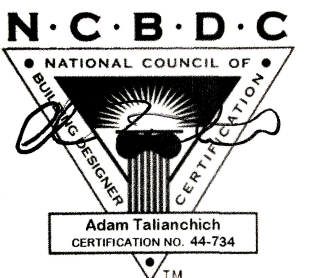
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### Project Name & Location:

Ramshackle

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Austin, TX 78702



Exterior  
Elevations

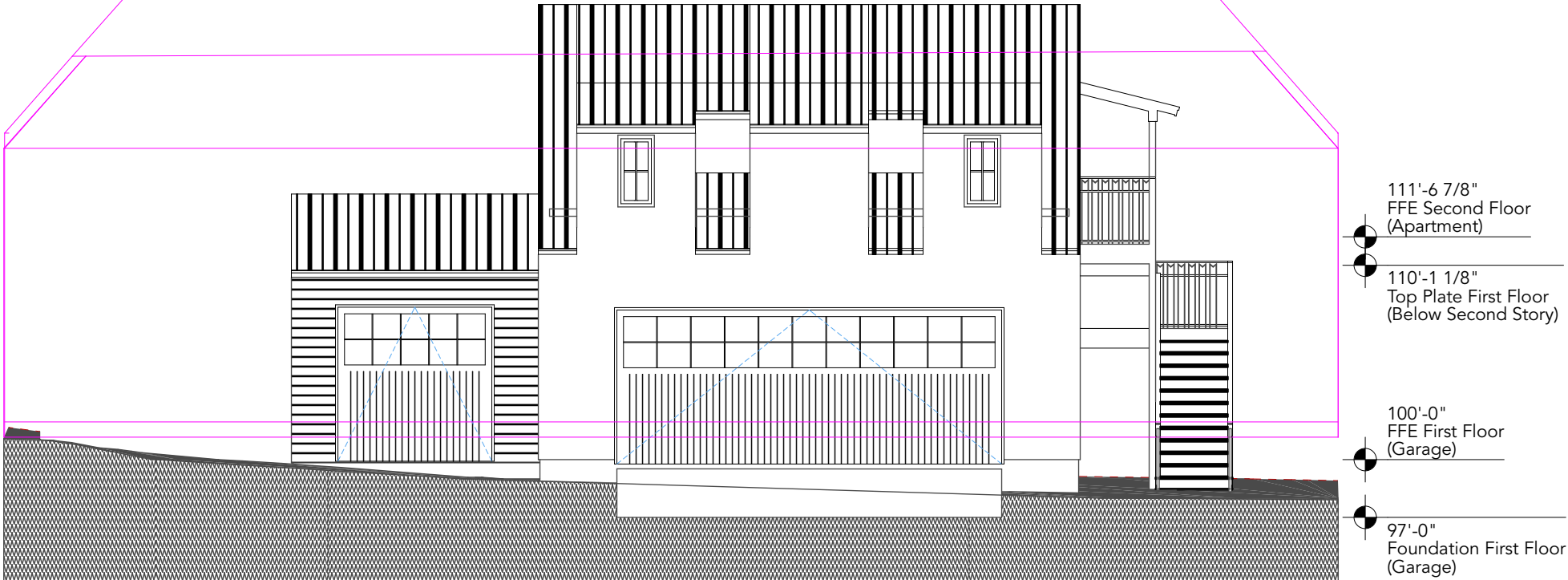
SCALE

A 1.3

1

# North Wall Elevation - Garage & Apartment

SCALE: 1/8" = 1'-0"



2

# South Wall Elevation - Garage & Apartment

SCALE: 1/8" = 1'-0"



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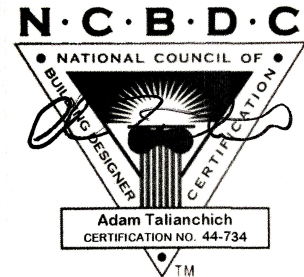
## Contact Information:

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## Project Name & Location:

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Exterior  
Elevations

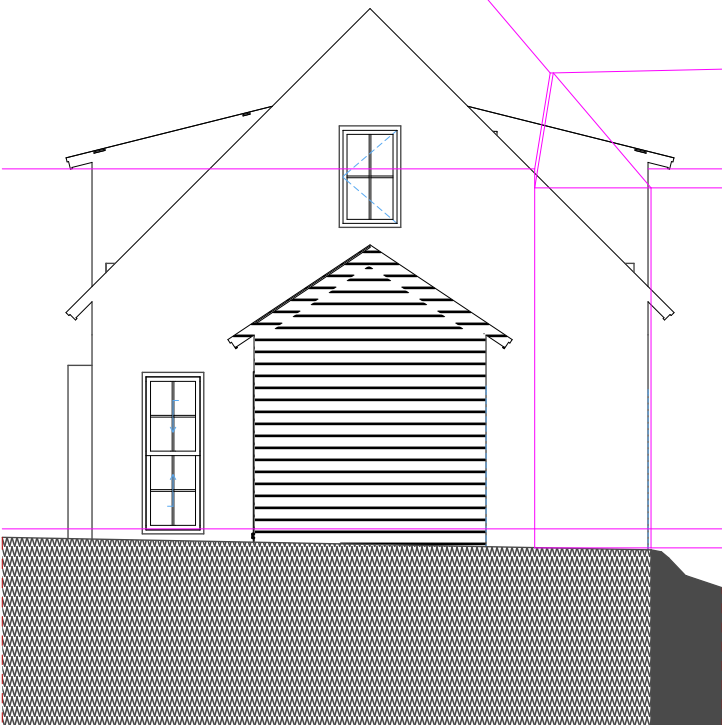
SCALE

A 1.4

1

# East Elevation Garage & Apartment

SCALE: 1/8" = 1'-0"

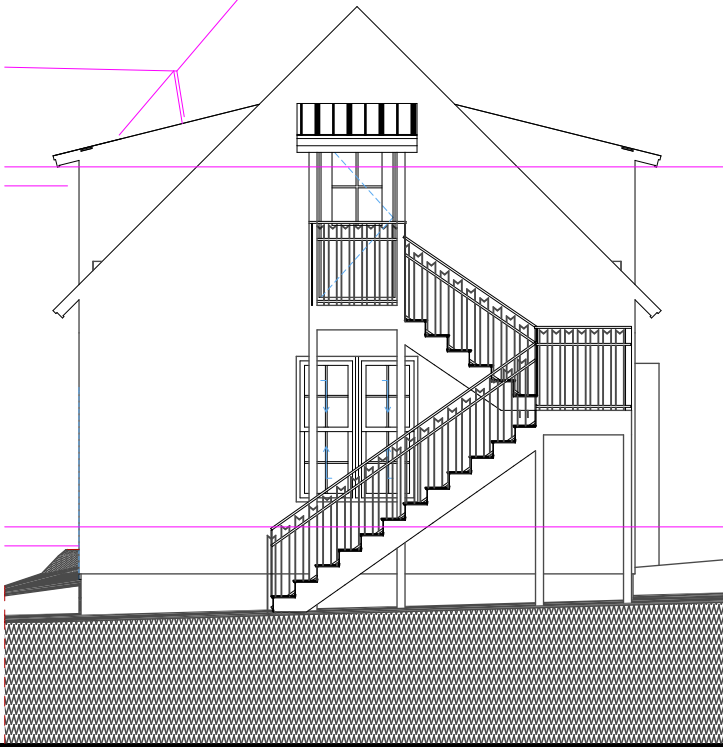


- 111'-6 7/8"  
FFE Second Floor  
(Apartment)
- 110'-1 1/8"  
Top Plate First Floor  
(Below Second Story)
- 100'-0"  
FFE First Floor  
(Garage)
- 97'-0"  
Foundation First Floor  
(Garage)

2

# West Elevation Garage & Apartment

SCALE: 1/8" = 1'-0"



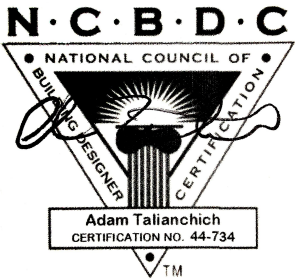
- 111'-6 7/8"  
FFE Second Floor  
(Apartment)
- 110'-1 1/8"  
Top Plate First Floor  
(Below Second Story)
- 100'-0"  
FFE First Floor  
(Garage)
- 97'-0"  
Foundation First Floor  
(Garage)



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Project Name & Location:  
  
Ramshackle  
  
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Austin, TX 78702



Exterior  
Elevations

SCALE

A 1.5

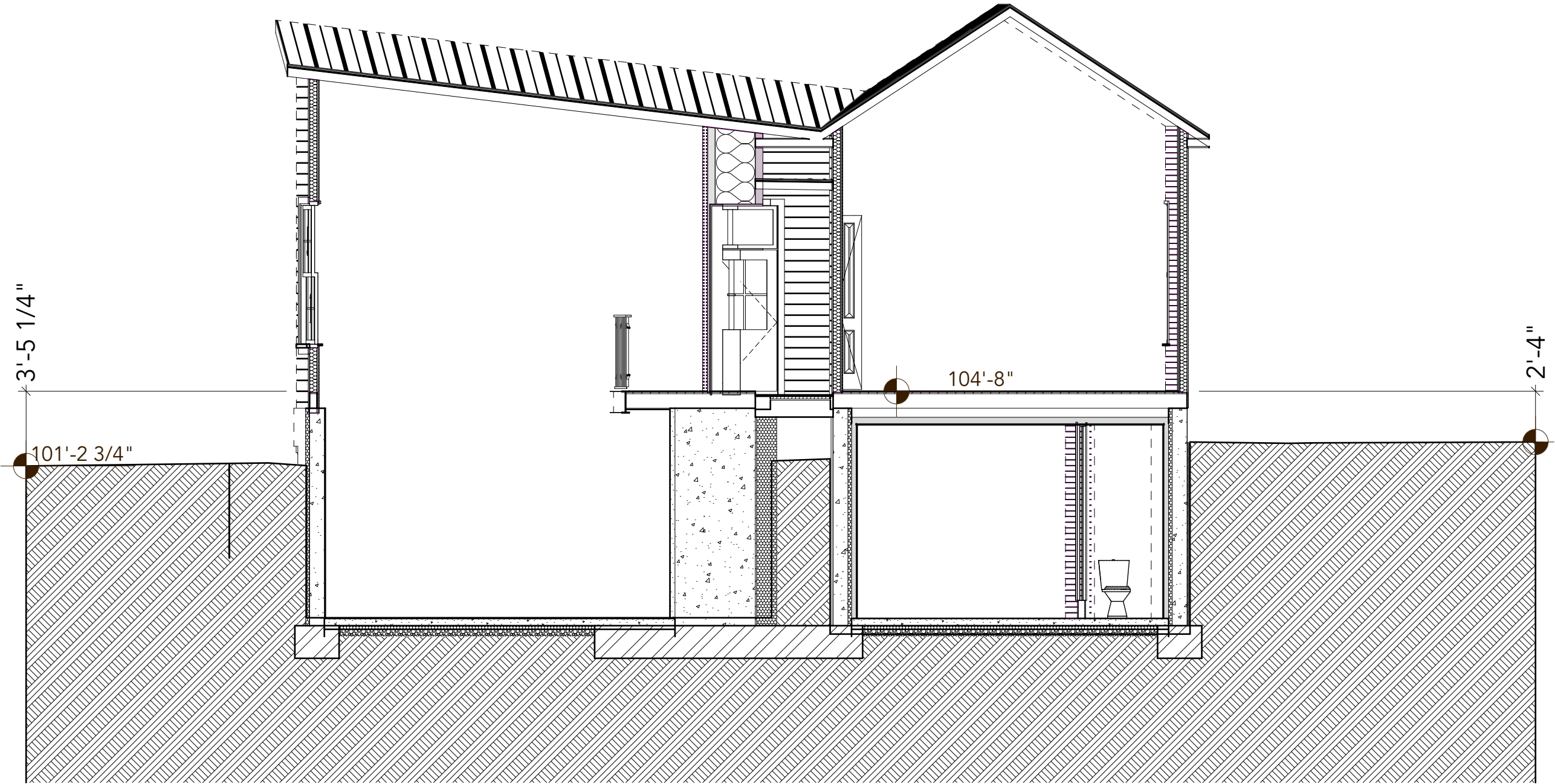


Subchapter F §3.3.3 B (2) Requires that the finished floor of the first story can not be more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines to qualify for an exempt Basement

First Floor FFE at West Property Line at 25' Setback = 3'-5 1/4"

First Floor FFE at East Property Line at 25' Setback = 2'-4"

**First Floor FFE to Average of Property Line Intersections = 2'-10 5/8"**



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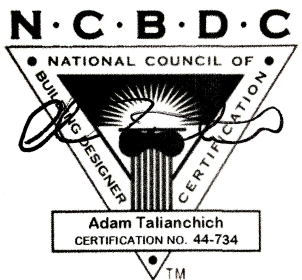
Contact Information:

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Project Name & Location:

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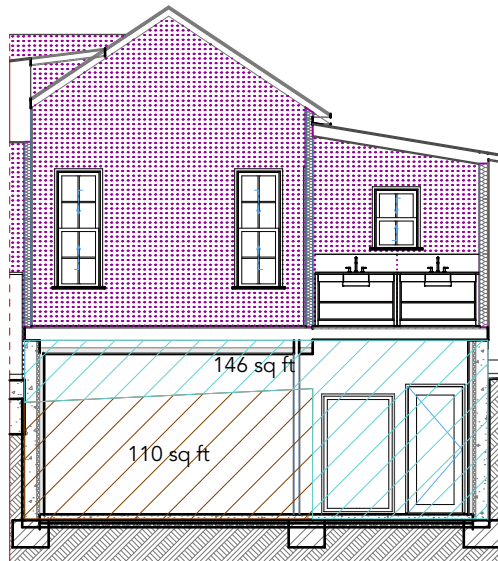


Basement  
Sections

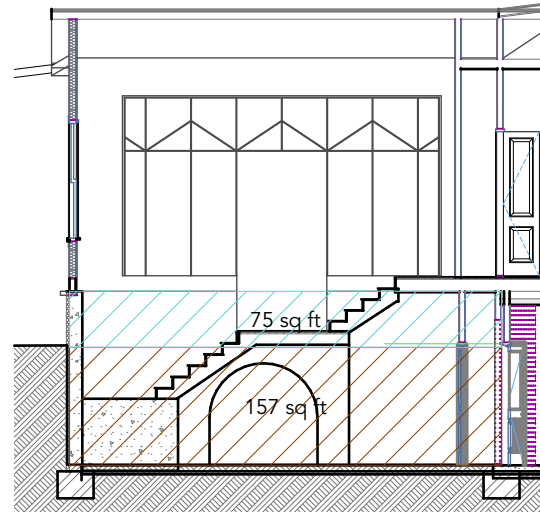
SCALE

3/16" = 1'-0"

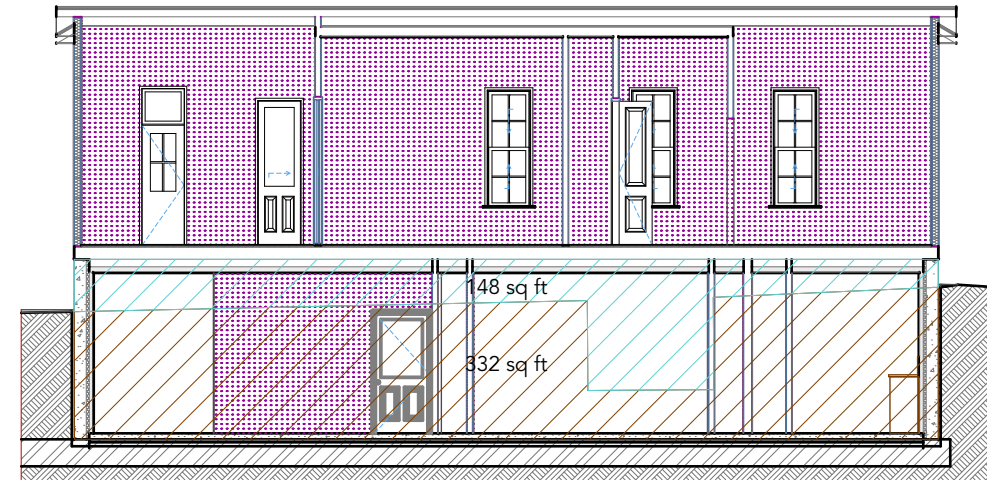
A 3.1



1 Basement North Wall 1  
SCALE: 3/32" = 1'-0"



2 Basement North Wall 2  
SCALE: 3/32" = 1'-0"



3 Basement East Wall 1  
SCALE: 3/32" = 1'-0"

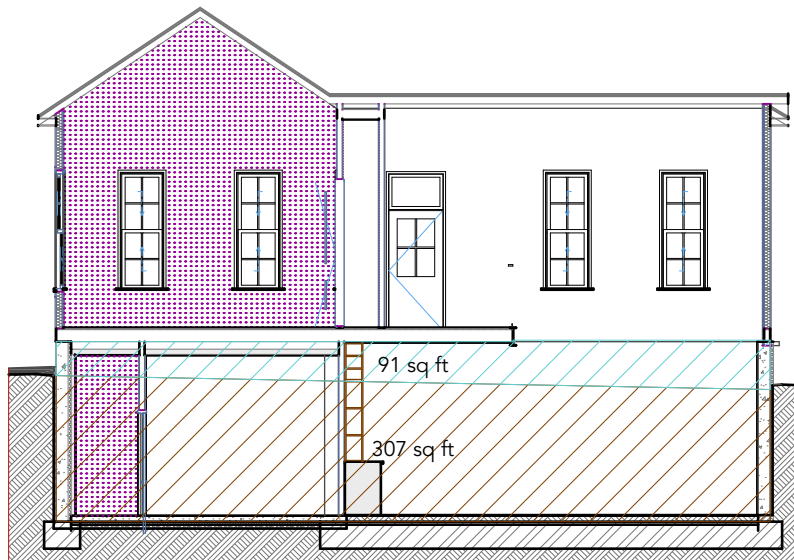
Subchapter F §3.3.3 B (1) Requires that the habitable portion does not extend beyond the first-story footprint and is surrounded by natural grade for at least 50% of its perimeter wall area to qualify for an exempt Basement

Perimeter Wall Area Above Natural Grade = 646sf

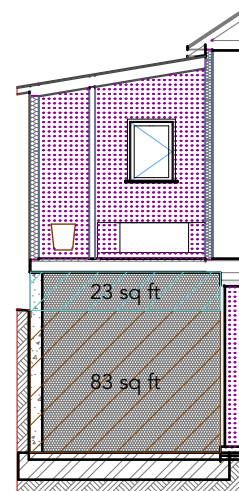
Perimeter Wall Area Below Natural Grade = 1316sf

Total Perimeter Wall Area = 1962sf

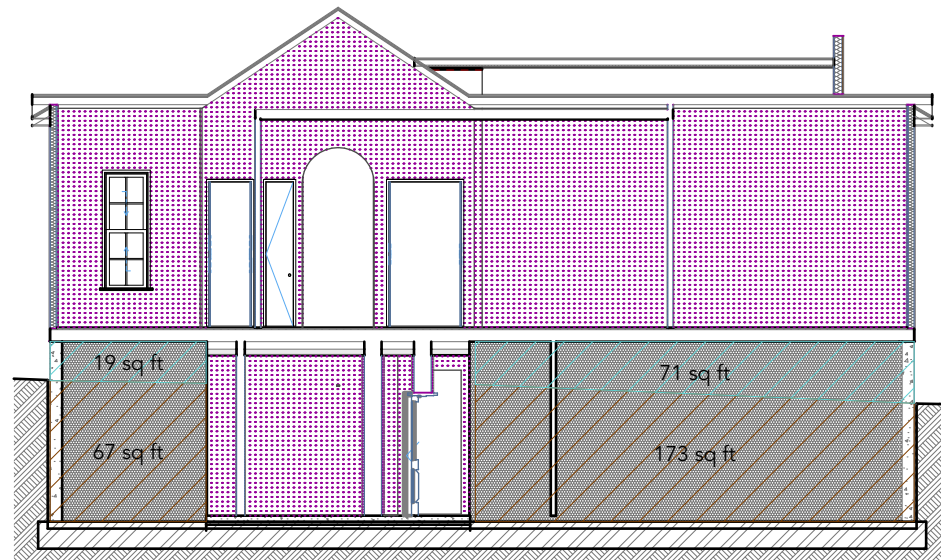
Percentage of Wall Area Below Natural Grade =  $1316 / 1962 = 67.1\%$



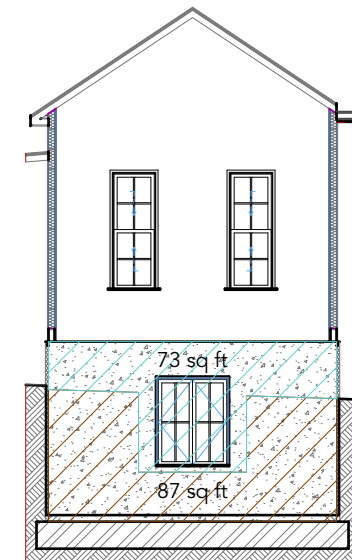
4 Basement South Wall 1  
SCALE: 3/32" = 1'-0"



5 Basement South Wall 2  
SCALE: 3/32" = 1'-0"



6 Basement West Wall 1  
SCALE: 3/32" = 1'-0"



7 Basement West Wall 2  
SCALE: 3/32" = 1'-0"



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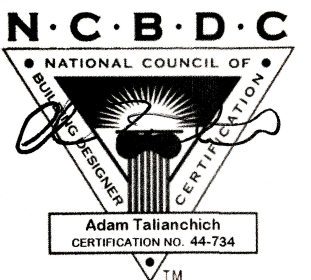
Contact Information:

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512.300.5987

Project Name & Location:

Ramshackle

1008 E 9th St  
Austin, TX 78702



Basement  
Sections 2

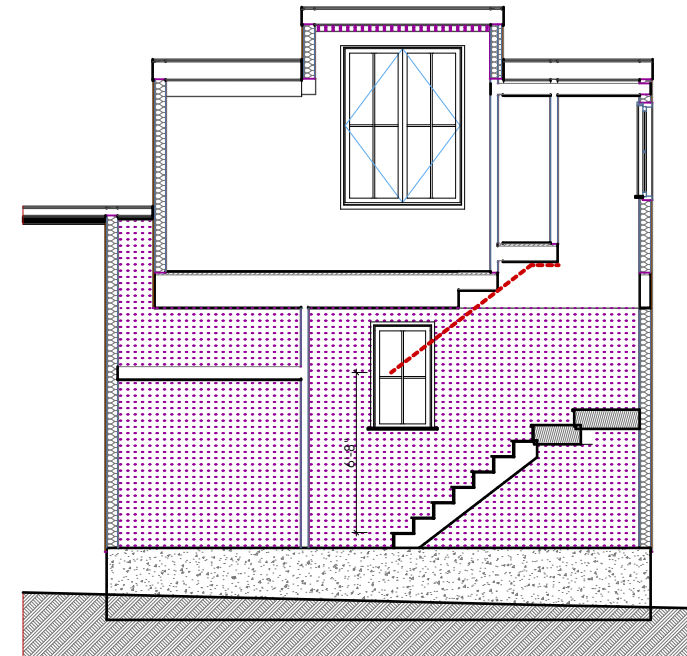
SCALE

A 3.2





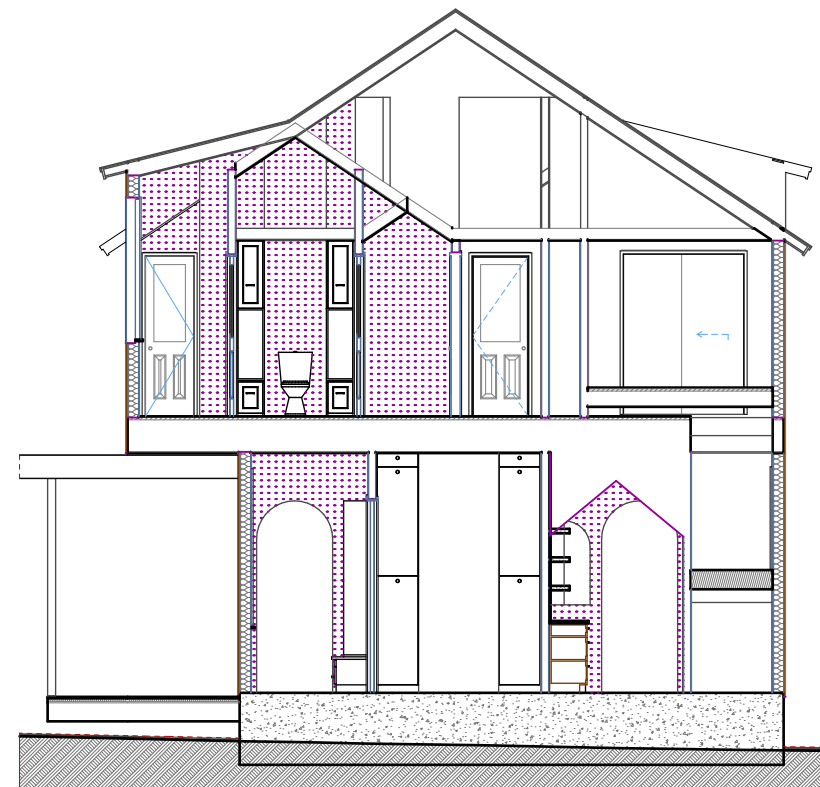
1 New Addition 1st and 2nd North Wall  
SCALE: 1/8" = 1'-0"



2 New Addition 1st and 2nd West Wall  
SCALE: 1/8" = 1'-0"



3 New Addition 1st and 2nd South Wall  
SCALE: 1/8" = 1'-0"



4 New Addition 1st and 2nd Middle  
SCALE: 1/8" = 1'-0"



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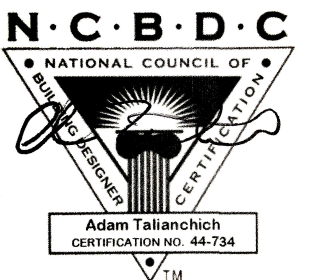
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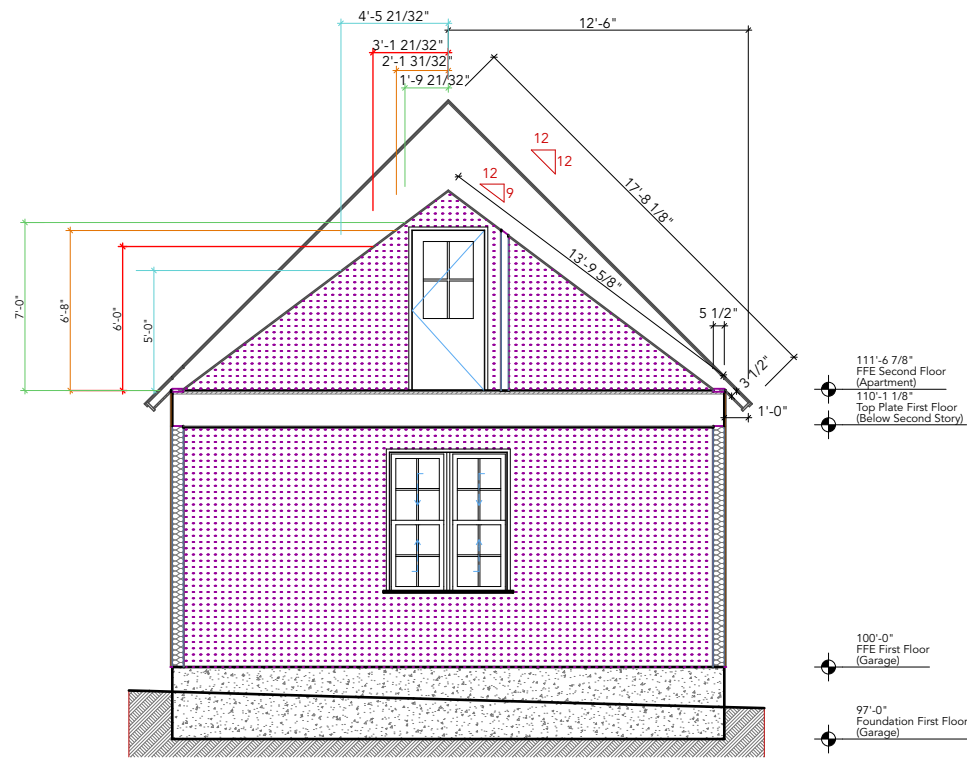
1008 E 9th St  
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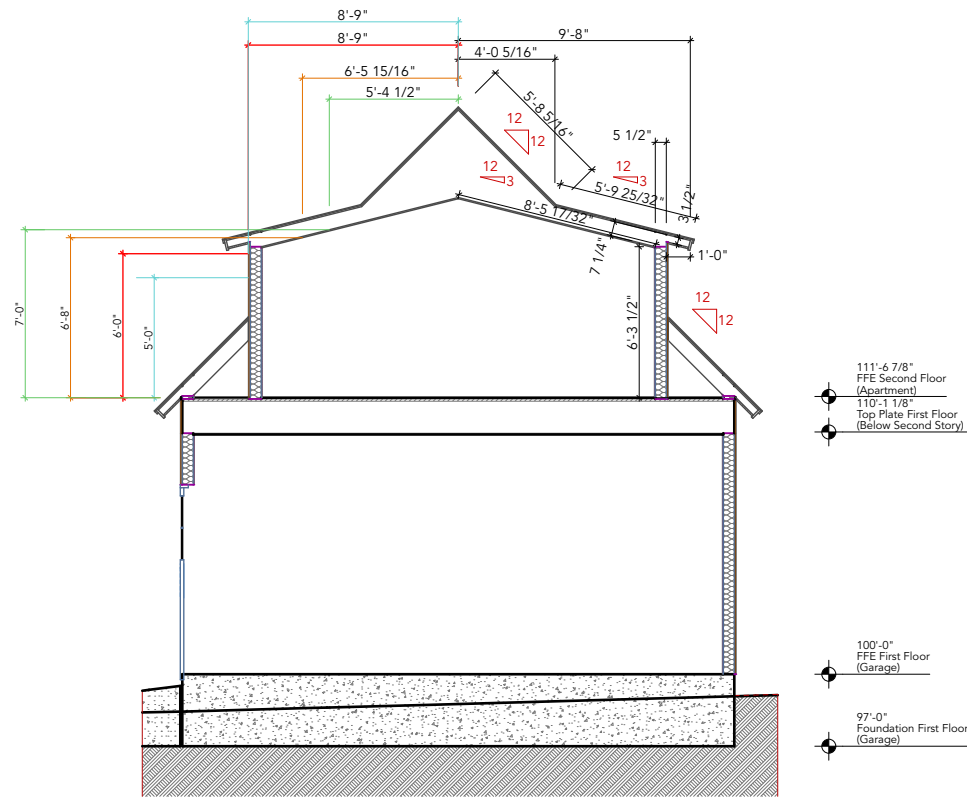
New Addition  
Sections

SCALE

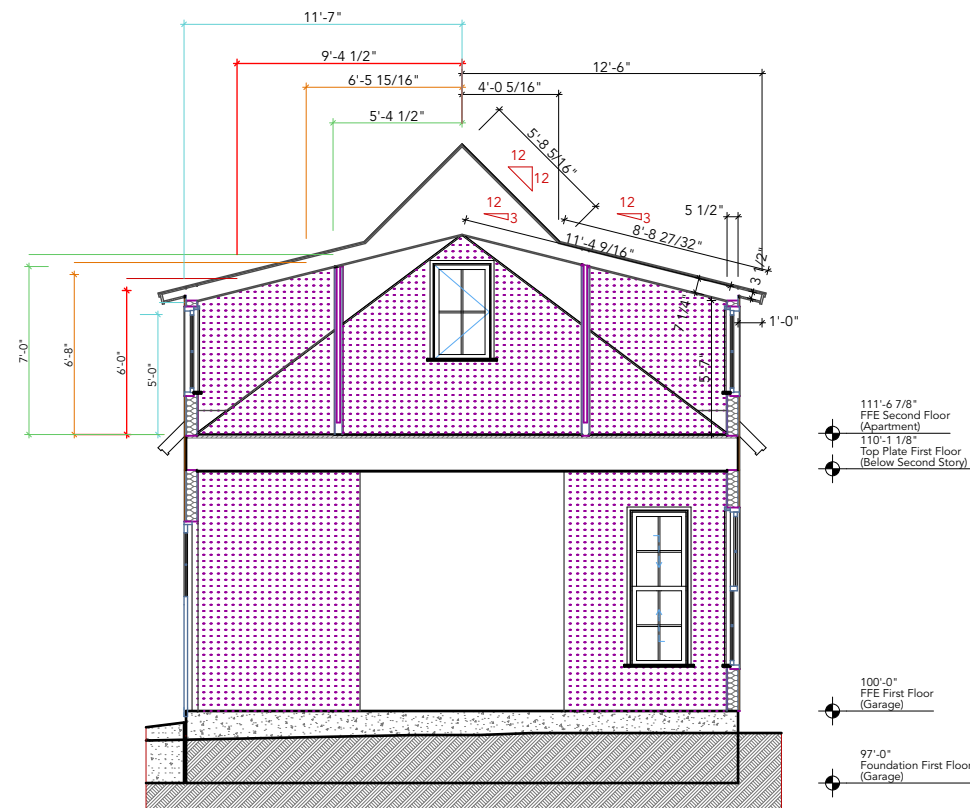
A 3.3



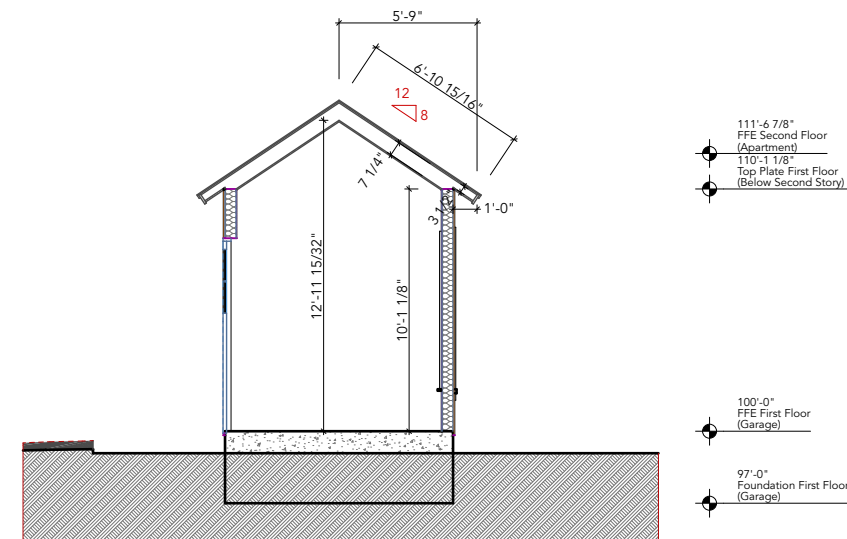
1 Apartment Main Roof  
SCALE: 1/8" = 1'-0"



3 Apartment Corto Dormer  
SCALE: 1/8" = 1'-0"



2 Apartment Full Dormer  
SCALE: 1/8" = 1'-0"



4 Garage Shop  
SCALE: 1/8" = 1'-0"



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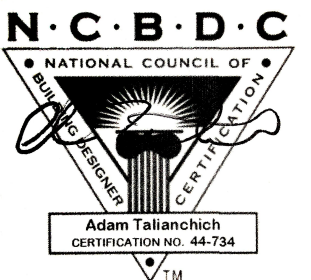
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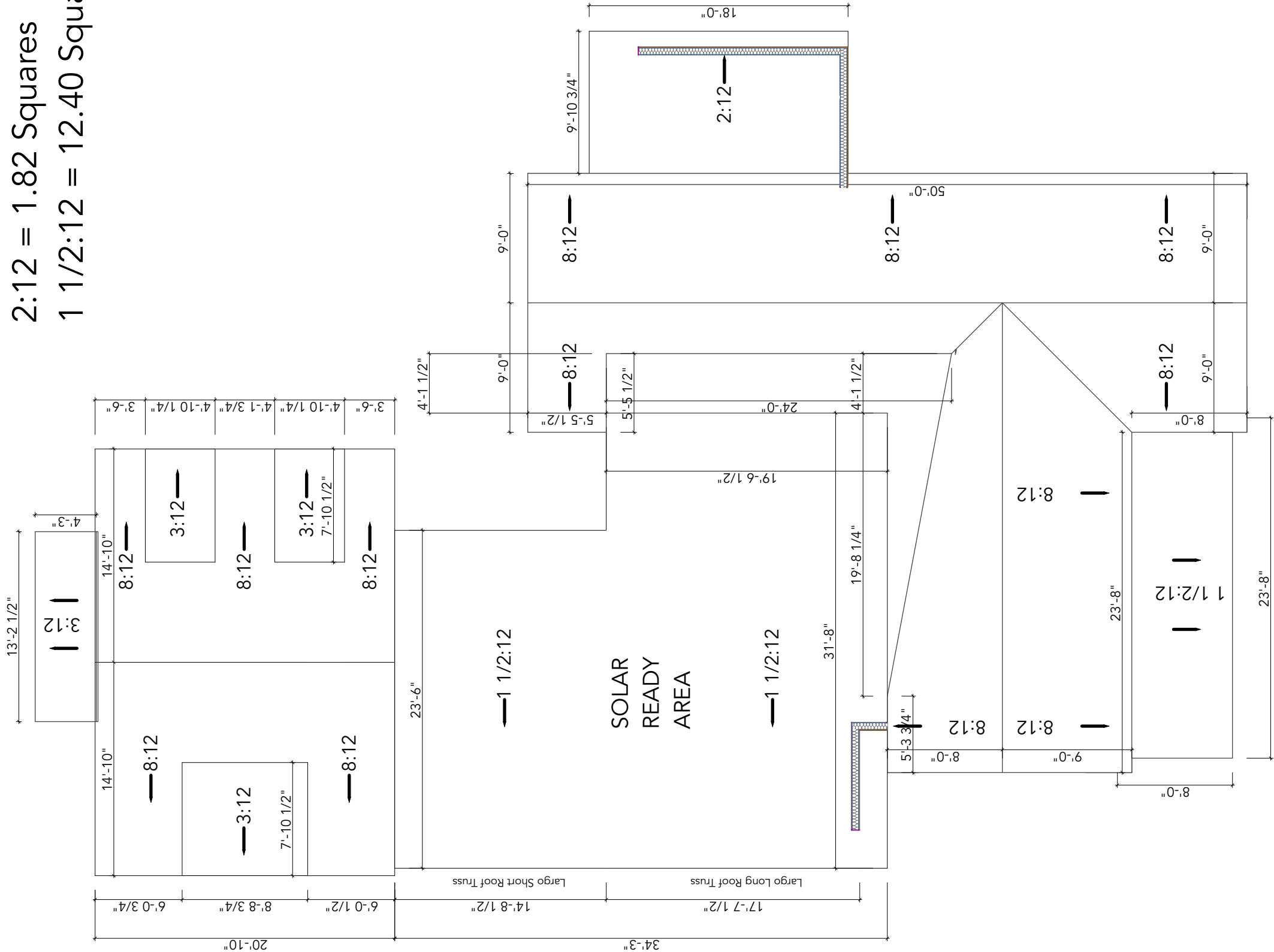


Garage  
Apartment  
Sections

SCALE

A 3.5

Natural Galvalume  
No Striations  
Double Lock  
8:12 = 20.05 Squares  
3:12 = 2.11 Squares  
2:12 = 1.82 Squares  
1 1/2:12 = 12.40 Squares



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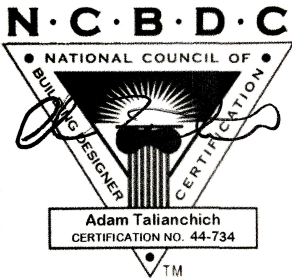
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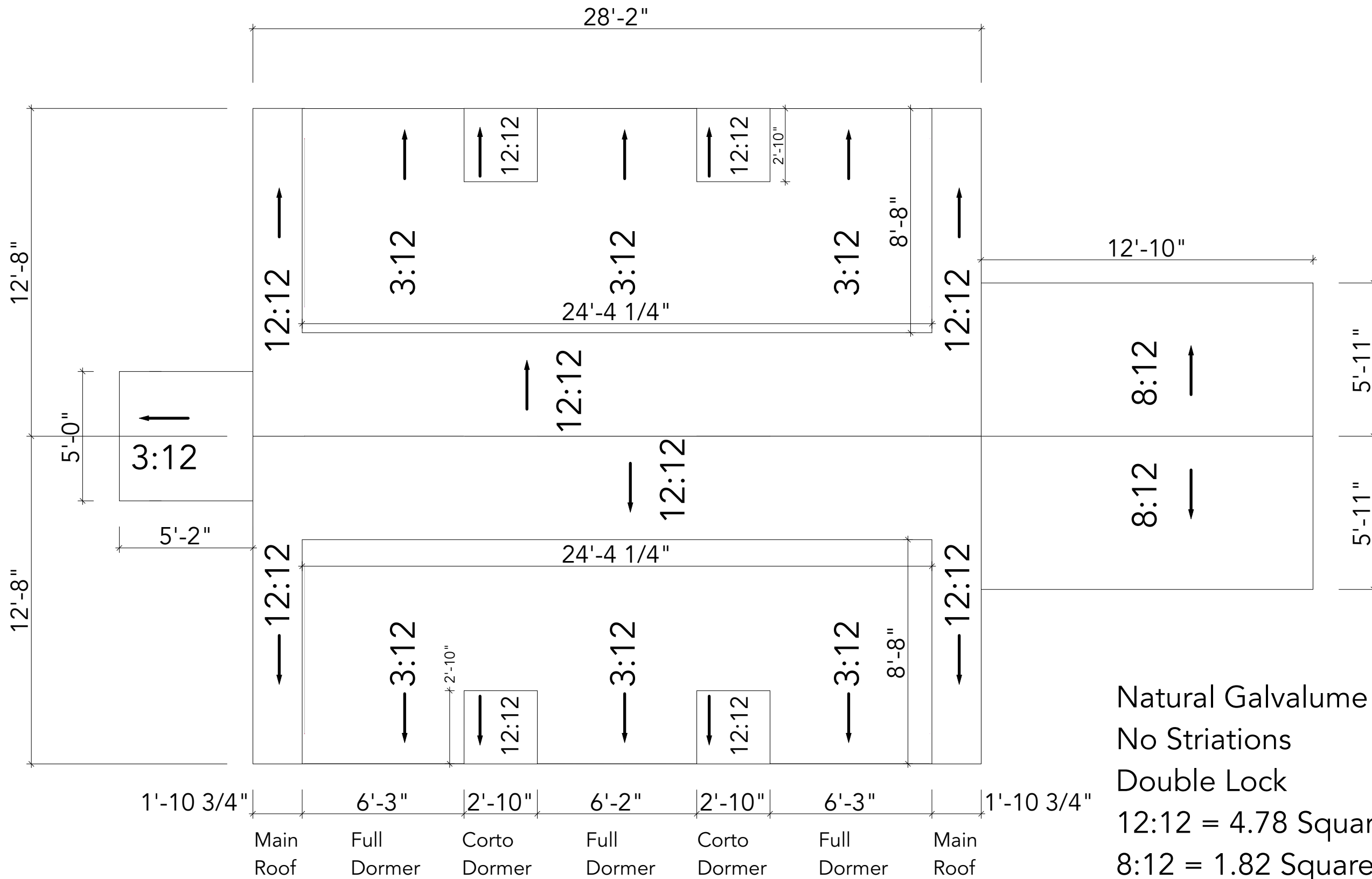


Roof Plan -  
Main House

SCALE

1/8 " = 1'-0"

A 5.1



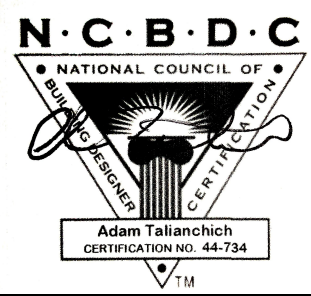
Natural Galvalume  
No Striations  
Double Lock  
12:12 = 4.78 Squares  
8:12 = 1.82 Squares  
3:12 = 4.29 Squares



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



















Project Name & Location:  
  
Ramshackle  
  
1008 E 9th St  
Austin, TX 78702




























# Roof Plan - Garage / Apartment

SCALE  
1/4" = 1'-0"



Home Story Name	WINDOW SCHEDULE												View from Outside
	ID	Room Name	Header Height	Window Size		Type	Tempered	Frame Material	Hardware Set	U-Value	SHCG		
				Nominal Width	Nominal Height								
Basement	W0-1		8'-0"	4'-0"	5'-0"	Casement	☐			0.28	0.19		
	W0-2		7'-0"	4'-0"	6'-8"	Fixed	☐			0.28	0.19		
First Floor	H1-1	Garage (2 Car) (10'H)	8'-5"	2'-6"	6'-8"	Fixed	☐			0.28	0.19		
	H1-2	Garage (2 Car) (10'H)	9'-0"	5'-0"	6'-0"	Fixed	☐			0.28	0.19		
	H1-3	Workshop (10'H)	8'-5"	2'-6"	6'-8"	Fixed	☐			0.28	0.19		
	H1-4	Workshop (10'H)	8'-5"	2'-6"	6'-8"	Fixed	☐			0.28	0.19		
	H1-5	Garage (2 Car) (10'H)	8'-5"	2'-6"	6'-8"	Fixed	☐			0.28	0.19		
	H1-6	Garage (2 Car) (10'H)	8'-5"	2'-6"	6'-8"	Fixed	☐			0.28	0.19		
	W1-1	Great Room (13'-3"H)	9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19		
	W1-2	Great Room (13'-3"H)	9'-5"	5'-0"	6'-8"	Double Hung	☐			0.28	0.19		
	W1-3	Great Room (13'-3"H)	9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19		
	W1-4	Great Room (13'-3"H)	9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19		
	W1-5		9'-6"	2'-6"	4'-6"	Fixed	☒			0.28	0.19		
	W1-6	Pantry (10' H)	6'-2"	2'-0"	3'-0"	Casement	☐			0.28	0.19		
	W1-7	Laundry (10'H)	8'-6"	3'-0"	5'-0"	Casement	☐			0.28	0.19		
	W1-8		9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19		
	W1-9		9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19		
	W1-10	Kitchen (10'H)	13'-3"	4'-0"	13'-1"	Fixed	☒			0.28	0.19		
	W1-11	Great Room (13'-3"H)	13'-3"	4'-0"	13'-1"	Fixed	☒			0.28	0.19		
W1-12	Great Room (13'-3"H)	13'-3"	4'-0"	13'-1"	Fixed	☒			0.28	0.19			
W1-13	Great Room (13'-3"H)	13'-3"	4'-0"	13'-1"	Fixed	☒			0.28	0.19			
W1-14	Primary Bedroom (17'-3" MaxH)	9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19			
W1-15	Primary Bedroom (17'-3" MaxH)	9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19			
W1-16	Primary Bathroom (9'H)	8'-5"	2'-6"	3'-6"	Double Hung	☐			0.28	0.19			
W1-17	Primary Bathroom (9'H)	8'-5"	2'-6"	3'-6"	Double Hung	☐			0.28	0.19			

Home Story Name	WINDOW SCHEDULE											
	ID	Room Name	Header Height	WINDOW SIZE		Type	Tempered	Frame Material	Hardware Set	U-Value	SHCG	View from Outside
				Nominal Width	Nominal Height							
	W1-18	Primary Bathroom (9'H)	8'-5"	2'-6"	3'-6"	Casement	☒			0.28	0.19	
	W1-19	Primary Closet (11'-8"H)	9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
	W-02	Front Bedroom (17'-3" MaxH)	9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
	W-02	Front Bedroom (17'-3" MaxH)	9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
	W-02	Super Vault (17'-3" MaxH)	9'-8"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
	W-02	Super Vault (17'-3" MaxH)	9'-8"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
	W-02	Super Vault (17'-3" MaxH)	9'-8"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
	W-02	Super Vault (17'-3" MaxH)	9'-8"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
	W-02	Super Vault (17'-3" MaxH)	9'-8"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
	W-03	Front Bedroom (17'-3" MaxH)	9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
	W-05		9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
	W-05	Front Bedroom (17'-3" MaxH)	9'-5"	2'-6"	6'-8"	Double Hung	☐			0.28	0.19	
Second Floor												
	H2-1		6'-9"	1'-10"	3'-8"	Fixed	☐			0.28	0.19	
	H2-2		6'-9"	1'-10"	3'-8"	Fixed	☐			0.28	0.19	
	H2-3		8'-7 3/4"	2'-6"	4'-2"	Casement	☐			0.28	0.19	
	H2-4		6'-9"	1'-10"	3'-8"	Fixed	☐			0.28	0.19	
	H2-5		6'-9"	1'-10"	3'-8"	Fixed	☐			0.28	0.19	
	H2-6		6'-9"	1'-10"	3'-8"	Fixed	☐			0.28	0.19	
	W2-1		10'-11"	5'-0"	6'-8"	Casement	☐			0.28	0.19	
	W2-2		8'-6"	2'-6"	4'-0"	Fixed	☐			0.28	0.19	
	W2-3		8'-6"	2'-6"	4'-0"	Fixed	☐			0.28	0.19	
	W2-4		8'-6"	2'-6"	4'-0"	Casement	☐			0.28	0.19	
	W2-5		8'-6"	2'-6"	4'-0"	Casement	☐			0.28	0.19	
	W2-6		10'-7"	2'-6"	6'-0"	Fixed	☐			0.28	0.19	
	W2-7		10'-7"	2'-6"	6'-0"	Casement	☐			0.28	0.19	
	W2-8		11'-6"	2'-6"	4'-0"	Fixed	☐			0.28	0.19	
	W2-9		11'-6"	2'-6"	4'-0"	Fixed	☐			0.28	0.19	



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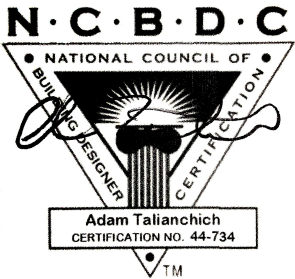
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Project Name & Location:

Ramshackle

1008 E 9th St  
Austin, TX 78702



Window  
Schedule

SCALE

A 6.1