



## Residential New Construction and Addition Permit Application

### Property Information

|                                         |                                    |
|-----------------------------------------|------------------------------------|
| Project Address:                        | Tax Parcel ID:                     |
| Legal Description:                      |                                    |
| Zoning District:                        | Lot Area (sq ft):                  |
| Neighborhood Plan Area (if applicable): | Historic District (if applicable): |

### Required Reviews

|                                                                                                                                                                                                                                                  |                                                                                                                                                     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|
| Is project participating in <b>S.M.A.R.T. Housing</b> ? Y N<br>(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)                                                  | Does project have a <b>Green Building</b> requirement? Y N<br>(If yes, attach signed conditional approval letter from Austin Energy Green Building) |
| Is this site within an <b>Airport Overlay Zone</b> ? Y N<br>(If yes, approval through Aviation is required)                                                                                                                                      | Does this site have a <b>septic system</b> ? Y N<br>(If yes, submit a copy of approved septic permit. <b>OSSF review</b> required)                  |
| Does the structure <b>exceed 3,600 square feet</b> total under roof? Y N (If yes, Fire review is required)                                                                                                                                       | Is this property within 200 feet of a <b>hazardous pipeline</b> ? Y N (If yes, Fire review is required)                                             |
| Is this site located within an <b>Erosion Hazard Zone</b> ? Y N (If yes, EHZ review is required)                                                                                                                                                 | Is this property within 100 feet of the <b>100-year floodplain</b> ? Y N (Proximity to floodplain may require additional review time.)              |
| Are there trees <b>19" or greater in diameter on/adjacent</b> to the property? Y N<br>If yes, how many? ____ (Provide plans with a tree survey, <b>tree review</b> required.)                                                                    |                                                                                                                                                     |
| Was there a pre-development consultation for the Tree Review? Y N<br>Proposed impacts to trees: (Check all that apply)<br>Root zone Canopy Removal None/Uncertain                                                                                |                                                                                                                                                     |
| Is this site in the <b>Capital View Corridor</b> ? Y N<br>(If yes, a preliminary review through land use is needed to determine if full view corridor review is required.)                                                                       | Is this site within the <b>Residential Design and Compatibility Standards Ordinance Boundary Area</b> ? (LDC 25-2 Subchapter F) Y N                 |
| Does this site currently have: water availability? Y N<br>wastewater availability? Y N                                                                                                                                                           | (If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)                                          |
| Does this site have or will it have an auxiliary water source? Y N (If yes, submit approved auxiliary and potable plumbing plans.)<br>(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.) |                                                                                                                                                     |
| Does this site require a <b>cut or fill</b> in excess of four (4) feet? Y N (If yes, contact the Development Assistance Center for a Site Plan Exemption)                                                                                        |                                                                                                                                                     |
| Is this site within the Waterfront Overlay? Y N<br>(LDC 25-2 Subchapter C Article 3)                                                                                                                                                             | Is this site within the Lake Austin Overlay? Y N<br>(LDC 25-2-180, 25-2-647)                                                                        |
| Does this site front a paved street? Y N<br>(If no, contact Development Assistance Center for Site Plan requirements.)                                                                                                                           | Is this site adjacent to a paved alley? Y N<br>(Public Works approval required to take access from a public alley.)                                 |
| Does this site have a <b>Board of Adjustment (BOA)</b> variance? Y N Case # _____ (if applicable)<br>(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)            |                                                                                                                                                     |

### Description of Work

|                                                                                                                                                                                                                                                                                                                          |                                                                                         |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------|
| Is Total New/Added Building Area > 5,000 sq. Ft.? Y N (If yes, construction material recycling is required per LDC 25-11-39)                                                                                                                                                                                             |                                                                                         |
| Existing Use:                                                                                                                                                                                                                                                                                                            | vacant single-family residential duplex residential two-family residential other: _____ |
| Proposed Use:                                                                                                                                                                                                                                                                                                            | vacant single-family residential duplex residential two-family residential other: _____ |
| Project Type:                                                                                                                                                                                                                                                                                                            | new construction addition addition/remodel other: _____                                 |
| Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y N<br>(Notes: Removal of all or part of a structure requires a Demolition Permit Application per LDC 25-11-37. A demo permit is not required for the removal of all or part of an interior wall, floor or ceiling) |                                                                                         |
| # existing bedrooms:                                                                                                                                                                                                                                                                                                     | # bedrooms upon completion:                                                             |
| # baths existing:                                                                                                                                                                                                                                                                                                        | # baths upon completion:                                                                |
| Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)<br>_____<br>_____<br>_____                                                                                                                                                                            |                                                                                         |
| Trades Permits Required (Check as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)                                                                                                                                                                                                                     |                                                                                         |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|---------------------------------------------------------|----------------|----------------------|----------------|
| <b>Total Remodeled Floor Area (if applicable)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| _____ sq ft. (work within existing habitable square footage)                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| <b>Job Valuation – For Properties in a Floodplian Only</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| Total Job Valuation: \$ _____<br><br>Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.                                                                                                                                                                                                                                                                                                                                                  |  |  | Amount for Primary Structure: \$ _____<br>Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N   |                |                                                         |                |                      |                |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |  | Amount for Accessory Structure: \$ _____<br>Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N |                |                                                         |                |                      |                |
| <b>Site Development Information</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| <b>Area Description</b><br>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.                                                                                                                                                                                                                                                                                                                                           |  |  | <b>Existing sq. ft. to Remain</b>                                                                                                                                                                                                    |                | <b>New/Added sq. ft.</b>                                |                | <b>Total sq. ft.</b> |                |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |  | <b>Bldg. 1</b>                                                                                                                                                                                                                       | <b>Bldg. 2</b> | <b>Bldg. 1</b>                                          | <b>Bldg. 2</b> | <b>Bldg. 1</b>       | <b>Bldg. 2</b> |
| a) 1 <sup>st</sup> Floor conditioned area                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| b) 2 <sup>nd</sup> Floor conditioned area                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| c) 3 <sup>rd</sup> Floor conditioned area                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| d) Basement                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| e) Covered parking (garage or carport)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| f) Covered patio, deck, porch, and/or balcony area(s)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| g) Other covered or roofed area                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| h) Uncovered wood decks                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| <b>Total Building Area</b> (total a through h)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| i) Pool                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| j) Spa                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| k) Remodeled Floor Area, excluding Addition / New Construction                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| <b>The Calculation Aid on page 7 is to be used to complete the following calculations and to provide additional information.</b>                                                                                                                                                                                                                                                                                                                                                                                                       |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| <b>Building Coverage Information</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)                                                                                                                                                                                                                       |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| Total Building Coverage (sq ft): _____ % of lot size: _____                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| <b>Impervious Cover Information</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| Note: Impervious cover is the total horizontal area of covered spaces including building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23) |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| Total Impervious Cover (sq ft): _____ % of lot size: _____                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| <b>Setbacks</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492)                                                                                                                                                                                                                                                                                                                                                                                                                 |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      | Y    N         |
| Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)                                                                                                                                                                                                                                                                                                                                                                                                                                |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      | Y    N         |
| Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778)                                                                                                                                                                                                                                                                                                                                                                                                                        |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      | Y    N         |
| <b>Height Information</b> (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |                                                                                                                                                                                                                                      |                | <b>Parking</b> (LDC 25-6 Appendix A & 25-6-478)         |                |                      |                |
| Building Height: _____ ft ____ in    Number of Floors: _____                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  |  |                                                                                                                                                                                                                                      |                | # of spaces required: _____ # of spaces provided: _____ |                |                      |                |
| <b>Right-of-Way Information</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| Is a sidewalk required for the proposed construction? (LDC 25-6-353)                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      | Y    N         |
| *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.                                                                                                                                                                                                                                                                                                         |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project?                                                                                                                                                                                                                                                                                                                                                                                                                                  |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      | Y    N         |
| Width of approach (measured at property line): _____ ft      Distance from intersection (for corner lots only): _____ ft                                                                                                                                                                                                                                                                                                                                                                                                               |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |
| Are <b>storm sewer inlets</b> located along the property or within ten (10) feet of the boundaries of the property?                                                                                                                                                                                                                                                                                                                                                                                                                    |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      | Y    N         |
| (If driveway is located within 10 feet of driveway, Drainage review is required)                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |  |                                                                                                                                                                                                                                      |                |                                                         |                |                      |                |

## Subchapter F

### Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

|                                                             |          | Existing sq. ft.<br>to remain | New/Added<br>sq. ft. | Proposed Exemption<br>(check article utilized)                                                                    | Applied<br>Exemption sq. ft. | Total sq. ft. |
|-------------------------------------------------------------|----------|-------------------------------|----------------------|-------------------------------------------------------------------------------------------------------------------|------------------------------|---------------|
| 1 <sup>st</sup> Floor                                       |          |                               |                      |                                                                                                                   |                              |               |
| 2 <sup>nd</sup> Floor                                       |          |                               |                      |                                                                                                                   |                              |               |
| 3 <sup>rd</sup> Floor                                       |          |                               |                      |                                                                                                                   |                              |               |
| Area w/ ceilings > 15'                                      |          |                               |                      | Must follow article 3.3.5                                                                                         |                              |               |
| Ground Floor Porch <sup>1</sup><br>(check article utilized) |          |                               |                      | <input type="checkbox"/> Full Porch sq. ft. (3.3.3.A)<br><input type="checkbox"/> 200 sq. ft. (3.3.3 A 2)         |                              |               |
| Basement <sup>4</sup>                                       |          |                               |                      | Must follow article 3.3.3B,<br>see note below                                                                     |                              |               |
| Attic <sup>5</sup>                                          |          |                               |                      | Must follow article 3.3.3C,<br>see note below                                                                     |                              |               |
| Garage <sup>2</sup><br>(check<br>article<br>utilized)       | Attached |                               |                      | <input type="checkbox"/> 200 sq. ft. (3.3.2 B 1)                                                                  |                              |               |
|                                                             | Detached |                               |                      | <input type="checkbox"/> 450 sq. ft. (3.3.2 A 1 / 2a)<br><input type="checkbox"/> 200 sq. ft. (3.3.2 B 2a / 2b)   |                              |               |
| Carport <sup>2</sup> :<br>(check<br>article<br>utilized)    | Attached |                               |                      | <input type="checkbox"/> 450 sq. ft. (3.3.2 A 3)<br><input type="checkbox"/> 200 sq. ft. (3.3.2 B 1) <sup>3</sup> |                              |               |
|                                                             | Detached |                               |                      | <input type="checkbox"/> 450 sq. ft. (3.3.2 A 1)                                                                  |                              |               |
| Accessory Building(s)<br>(detached)                         |          |                               |                      |                                                                                                                   |                              |               |
| Totals                                                      |          |                               |                      | TOTAL GROSS FLOOR AREA                                                                                            |                              |               |

(Total Gross Floor Area ÷ Lot Area) x 100 = \_\_\_\_\_ Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project?      Y      N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")?      Y      N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**1 Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**2 Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

**3 Ordinance article 3.3.2 B 1** is 200 sq. ft. exemption may be combined with a 450 sq. ft. exemption. Otherwise only one 450 exemption or one 200 sq. ft. exemption may be taken.

**4 Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**5 Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area over 5 feet has a ceiling height of seven feet or less.

## Calculation Aid

| Area Description                                                                                                                                                  | Existing Sq Ft | New/Added Sq Ft | Total Sq Ft |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|-----------------|-------------|
| Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall. |                |                 |             |
| a) 1 <sup>st</sup> floor conditioned area                                                                                                                         |                |                 |             |
| b) 2 <sup>nd</sup> floor conditioned area                                                                                                                         |                |                 |             |
| c) 3 <sup>rd</sup> floor conditioned area                                                                                                                         |                |                 |             |
| d) Basement                                                                                                                                                       |                |                 |             |
| e) Attached Covered Parking (garage or carport)                                                                                                                   |                |                 |             |
| f) Detached Covered Parking (garage or carport)                                                                                                                   |                |                 |             |
| g) Covered Wood Decks (counted at 100%)                                                                                                                           |                |                 |             |
| h) Covered Patio                                                                                                                                                  |                |                 |             |
| i) Covered Porch                                                                                                                                                  |                |                 |             |
| j) Balcony                                                                                                                                                        |                |                 |             |
| k) Other – Specify:                                                                                                                                               |                |                 |             |
| <b>Total Building Area (TBA)</b> (add: a through k)                                                                                                               |                |                 |             |
| <b>Total Building Coverage (TBC)</b><br>(from TBA subtract, if applicable: b, c, d, and j)                                                                        | <b>(A)</b>     |                 | <b>(B)</b>  |
| l) Driveway                                                                                                                                                       |                |                 |             |
| m) Sidewalks                                                                                                                                                      |                |                 |             |
| n) Uncovered Patio                                                                                                                                                |                |                 |             |
| o) Uncovered Wood Decks (counted at 50%)                                                                                                                          |                |                 |             |
| p) AC pads and other concrete flatwork                                                                                                                            |                |                 |             |
| q) Other (Pool Coping, Retaining Walls)                                                                                                                           |                |                 |             |
| <b>Total Site Impervious Coverage</b> (add: TBC and l through q)                                                                                                  | <b>(C)</b>     |                 | <b>(D)</b>  |
| r) Pool                                                                                                                                                           |                |                 |             |
| s) Spa                                                                                                                                                            |                |                 |             |

### Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

**Lot Area** (sq. ft.): \_\_\_\_\_

**Existing Building Coverage** (see above **A**, sq. ft.): \_\_\_\_\_

Existing Coverage % of lot (**A** ÷ **Lot Area**) x 100 : \_\_\_\_\_ %

**Final Building Coverage** (see above **B**, sq. ft.): \_\_\_\_\_

Final Coverage % of lot (**B** ÷ **Lot Area**) x 100 : \_\_\_\_\_ %

### Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces including all building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

**Existing Impervious Coverage** (see above **C**, sq. ft.): \_\_\_\_\_

Existing coverage % of lot (**C** ÷ **Lot Area**) x 100 : \_\_\_\_\_ %

**Final Impervious Coverage** (see above **D**, sq. ft.): \_\_\_\_\_

Final coverage % of lot (**D** ÷ **Lot Area**) x 100 : \_\_\_\_\_ %

[illegible]

## A map of the area around 1510 West 24th Street. The map shows a grid of streets including W 24th St, W 25th St, N Lamar Blvd, and Shoal Creek. A red pin marks the location of 1510 West 24th Street. Other landmarks include the Shoal Creek Trail, Pemberton Pkwy, and the Caswell Tennis Center. The map is oriented with North at the top.

EXECUTIVE OFFICE  
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ROOM NAME & NUMBER REFERENCE

REFLECTION REFERENCE - SEE REFLECTION SCHEDULE IN  
TITLED LOCK OF THE SHEET WHERE REFERENCE IS  
INDICATED

DIMENSION POINT SYMBOL - DIMENSIONS INDICATED  
IN PLANS AND SECTION DRAWINGS REFERENCE EXACT  
LOCATIONS INDICATED BY DIMENSION POINT  
SYMBOLS, S WHEN USED IN DETAIL DRAWINGS

10/01/010



|                                                                                       |                                                                                                                                                                                                          |
|---------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | <p>WORK POINT SYMBOL - DIMENSIONS INDICATED IN PLAN AND SECTION DRAWINGS REFERENCE EXACT LOCATION SELECTED BY WORK POINT SYMBOLS WHEN USED IN DETAIL DRAWINGS</p>                                        |
|  | <p>FINISH START POINT SYMBOL - LOCATION INDICATES A SEPARATION POINT OF TWO FINISHES OR AN ORIGIN POINT FOR ONE FINISH WHERE A FULL FORMAT PATTERN STARTS AND PROCEEDS IN THE DIRECTION OF THE ARROW</p> |
|  | <p>DIRECTION SYMBOL - ARROWS INDICATE DIRECTION OF GRAIN, PLANK, OR SPAN</p>                                                                                                                             |
|  | <p>ELEVATION SYMBOL</p>                                                                                                                                                                                  |
|  | <p>SPOT ELEVATION SYMBOL</p>                                                                                                                                                                             |
|  | <p>ELEVATION CHANGE SYMBOL</p>                                                                                                                                                                           |
|  | <p>EXTERIOR ELEVATION REFERENCE</p>                                                                                                                                                                      |
|  | <p>BUILDING SECTION REFERENCE</p>                                                                                                                                                                        |
|  | <p>WALL SECTION REFERENCE</p>                                                                                                                                                                            |
|  | <p>MATCHLINE REFERENCE</p>                                                                                                                                                                               |
|  | <p>DETAIL REFERENCE</p>                                                                                                                                                                                  |
|  | <p>DETAIL REFERENCE</p>                                                                                                                                                                                  |
|    | <p>DRAWING TITLE - THE DRAWING NUMBER REFERS TO THE SHEET NUMBER AND THE FIRST TWO DIGITS REFER TO THE SHEET FROM WHICH THE DRAWING IS FIRST REFERENCED</p>                                              |
|    | <p>INTERIOR ELEVATION REFERENCE</p>                                                                                                                                                                      |

# CUTTING AND PATCHING NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, FITTING OR PATCHING ALL AREAS OF CUTTING, FITTING AND PATCHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, FITTING AND PATCHING ALL AREAS REQUIRING CUTTING, FITTING AND PATCHING. ALL AREAS REQUIRING CUTTING, FITTING AND PATCHING SHALL BE RESTORED TO THE CONDITION EXISTING PRIOR TO CUTTING, FITTING AND PATCHING, UNLESS OTHERWISE REQUIRED BY THE CONTRACT DOCUMENTS.
2. PATCH HOLES AND DAMAGED AREAS THAT ARE CREATED BY DEMOLITION ITEMS INDICATED ELSEWHERE.
3. PATCH FINISH MATERIALS WHERE ITEMS ARE REMOVED.
4. PATCH DISAPPEARS WHERE ITEMS ARE REMOVED.
5. PATCH HOLES AND DAMAGED AREAS OF MASONRY, PLASTER AND CONCRETE SHALL BE CREATED BY DEMOLITION OF ITEMS MOUNTED WITH MECHANICAL FASTENERS, ADHESIVES AND SETTING BEDS.
6. REPLACE MASONRY WHERE CUTTING AND DEMOLITION EXPOSES MASONRY CORES.
7. WHERE EXCESSIVE CUTTING CANNOT BE AVOIDED AND PATCHING IS NOT FEASIBLE, REMOVE AND RECONSTRUCT ITEM TO MATCH EXISTING.

1. WALL DIMENSIONS ARE TO THE FACE OF STUD, UNLESS INDICATED OTHERWISE.
2. THIS PROPERTY IS NOT LOCATED IN A FEMA FLOOD HAZARD AREA.

1. THIS PROJECT DOES NOT INCLUDE HABITABLE SPACE ON THE FIRST FLOOR. R30 VISIBILITY IS NOT APPLICABLE TO THIS PROJECT AS STATED IN R30 APPLICABILITY.

GENERAL

G011 TITLE SHEET

ARCHITECTURAL

N/A

A111 TREE & TOPOGRAPHY SURVEY

A121 DEMO SITE PLAN

A131 SITE PLAN

A132 TREE PROTECTION & EROSION CONTROL

A231 SITE DETAILS

A232 FLOOR PLANS

A233 ROOF PLAN

A321 EXTERIOR ELEVATIONS

A322 EXTERIOR ELEVATIONS

A323 EXTERIOR ELEVATIONS

A412 BUILDING SECTIONS

A413 STANDARD DETAILS

A414 SCHEDULE & SCHEDULES

A415 FINISHES & SCHEDULES

A911

A912

STRUCTURAL

1/22/1/20

**REGISTERED ARCHITECT**  
**WOOD**  
**STATE OF TEXAS**

1301 E. 7th Street  
Austin, TX 78702  
P 512.476.0216  
F 512.476.0216  
www.mcdiarmidjones.com

CONTRACT:  
MASON TAYLOR

1. NOT USED

INTERNATIONAL RESIDENTIAL CODE - 2015  
UNIFORM PLUMBING CODE - 2015  
UNIFORM MECHANICAL CODE - 2015  
INTERNATIONAL ENERGY CONSERVATION CODE - 2015  
INTERNATIONAL FIRE CODE - 2015  
NATIONAL ELECTRICAL CODE - 2017



SPRAY FOAM INSULATION

|                                                                                     |                        |
|-------------------------------------------------------------------------------------|------------------------|
|  | STONE                  |
|  | CONCRETE               |
|  | EARTH                  |
|  | JOINT FORMING MATERIAL |

**REGISTERED ARCHITECT**  
WILLIAM T. WOOD  
20465  
STATE OF TEXAS  
12/21/20

**CONTACT:**  
AARON TAYLOR

1301 E. 7th Street  
Austin, TX 78702  
ph: 512 476 0201  
fx: 512 476 0216  
[www.mckenzieyork.com](http://www.mckenzieyork.com)

1510 W 24TH ST,  
AUSTIN, TX 78703



SITE PHOTOGRAPH 07  
NTS | A111



SITE PHOTOGRAPH 05  
NTS | A111



SITE PHOTOGRAPH 06  
NTS | A111



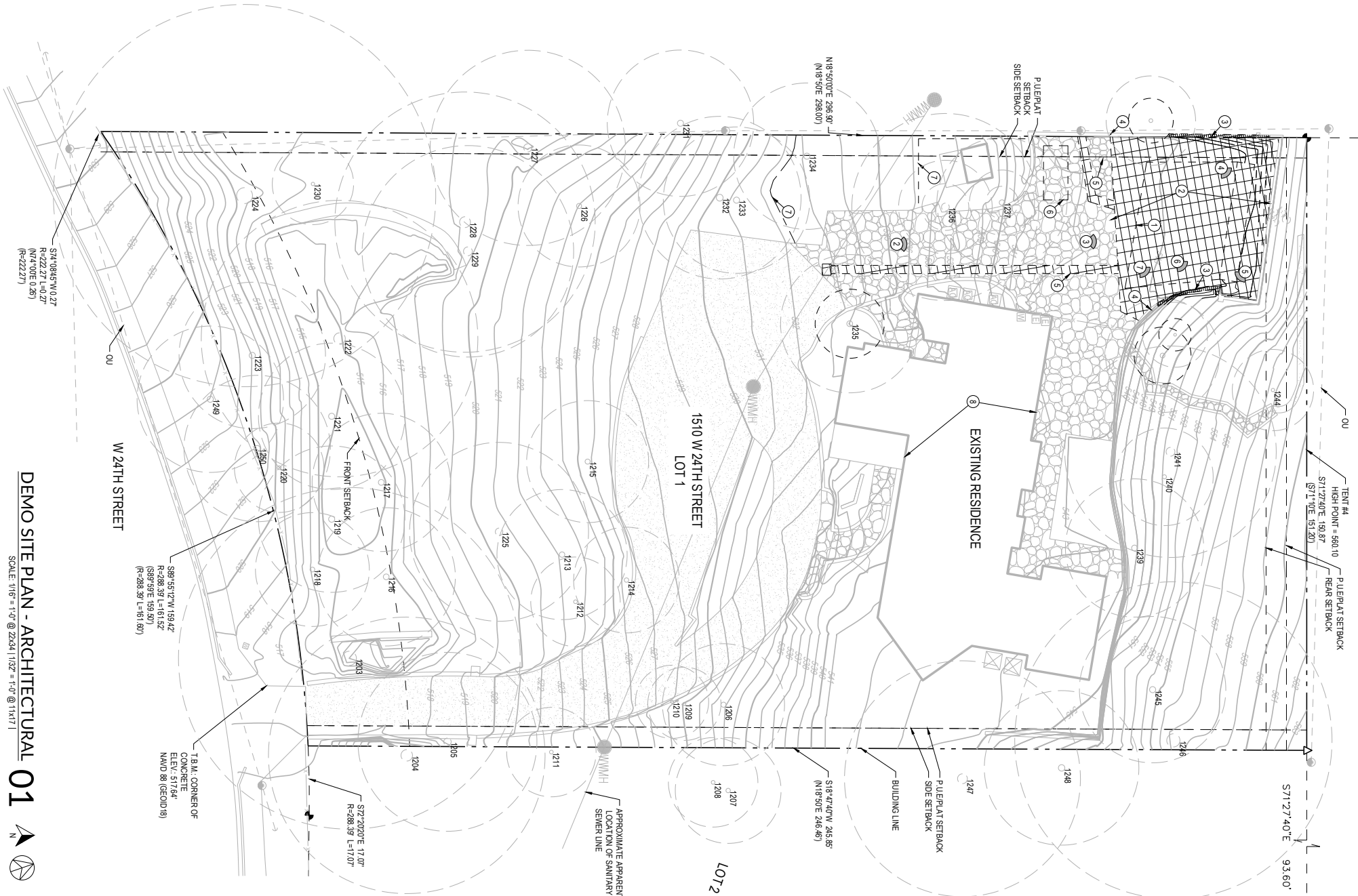
SITE PHOTOGRAPH 04  
NTS | A111



SITE PHOTOGRAPH 03  
NTS | A111



SITE PHOTOGRAPH 02  
NTS | A111



DEMO SITE PLAN - ARCHITECTURAL 01  
SCALE: 1/8" = 1'-0" @ 22x34" | 1/32" = 1'-0" @ 11x17"

## SITE DEMO NOTES

1. REMOVE, REMOVE AND SALVAGE, AND REMOVE AND REINSTALL ITEMS INDICATED GRAPHICALLY ACCORDING TO DEMOLITION LEGEND AND AS INDICATED.
2. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED.
3. REMOVE AND REINSTALL ALL SURFACE MOUNTED ITEMS THAT ARE AFFECTED BY WORK AND NOT SPECIFICALLY INDICATED.
4. WHERE A SEAMLESS PATCH BETWEEN EXISTING AND NEW SURFACES AND ITEMS IS NOT POSSIBLE OR PRACTICAL, REMOVE ITEM BACK TO NEAREST JOINT OR CORNER AND REPLACE WITH NEW TO MATCH.
5. REMOVE ALL ABANDONED ITEMS EXPOSED BY DEMOLITION WORK.
6. WHERE ITEMS ARE INDICATED TO BE REMOVED, DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE.
7. WHERE ITEMS ARE INDICATED TO BE REMOVED AND SALVAGED, CAREFULLY DETACH ITEMS FROM EXISTING CONSTRUCTION TO PREVENT DAMAGE, AND DELIVER TO OWNER READY FOR REUSE.
8. WHERE ITEMS ARE INDICATED TO BE REMOVED AND REINSTALLED, DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE FOR REUSE, AND REINSTALL WHERE INDICATED.
9. NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
10. PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION, FINISHES, AND EARTH TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
11. PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE.
12. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNERS PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.

## SHEET NOTES

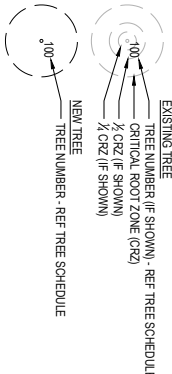
1. NOT USED

## KEY NOTES

1. REMOVE CARPORT AND FOUNDATION.
2. REMOVE AND SALVAGE MASONRY FLAGS TO EXTENT REQUIRED FOR INSTALLATION OF NEW FOUNDATION. STORE MASONRY FLAGS ON SITE FOR REINSTALLATION.
3. REMOVE AND SALVAGE MASONRY RETAINING WALL, STORE MASONRY ON SITE FOR REINSTALLATION. COORDINATE PRECISE EXTENT OF REMOVAL WITH ARCHITECT IN FIELD PRIOR TO START OF WALL DEMOLITION.
4. EXISTING MASONRY & CONCRETE RETAINING WALL TO REMAIN.
5. REMOVE AND SALVAGE MASONRY FLAGS TO EXTENT REQUIRED FOR INSTALLATION OF NEW UTILITIES. MASONRY FLAGS ON SITE FOR REINSTALLATION.
6. LOCATION FOR PORTABLE TOILET, CONCRETE WASH-OUT, AND PAINT WASH-OUT.
7. SILT FENCE
8. EXISTING HOUSE TO REMAIN. NO WORK.

## DEMO SITE LEGEND

|                             |     |
|-----------------------------|-----|
| PROPERTY LINE               | --- |
| EASEMENT                    | --- |
| SETBACK                     | --- |
| GAS LINE                    | --- |
| WATER LINE                  | --- |
| WASTEWATER LINE             | --- |
| OVERHEAD UTILITY            | --- |
| ASPHALT                     | --- |
| GRAVEL                      | --- |
| STONE                       | --- |
| WOOD WALKWAY                | --- |
| G EXISTING GAS METER        | --- |
| W EXISTING WATER METER      | --- |
| S EXISTING SEWER METER      | --- |
| E EXISTING ELECTRICAL PANEL | --- |



## CROOK - LEWIS GARAGE APARTMENT

1510 W 24TH ST,  
AUSTIN, TX 78703



**McKinney York Architects**  
1331 E. 7th Street  
Austin, TX 78702  
PH: 512.478.0201  
K: 512.478.0216  
WWW.MCKINNEYYORK.COM

CONTACT:  
ARON TAYLOR  
STRUCTURAL ENGINEER  
SAM COVEY  
FORT STRUCTURES  
2235 E 5TH STREET,  
SUITE 105  
PH: 512.665.7028

DEMO SITE PLAN  
ARCHITECTURAL  
**A111**

|                |
|----------------|
| TREE<br>NUMBER |
| COMMON<br>NAME |
| CALIPER (IN.)  |
| REMARK         |

|      |             |    |  |
|------|-------------|----|--|
| 1201 | TREE        | 25 |  |
| 1202 | TREE        | 25 |  |
| 1203 | CYPRESS     | 42 |  |
| 1204 | CYPRESS     | 34 |  |
| 1205 | LIVE OAK    | 22 |  |
| 1206 | LIVE OAK    | 15 |  |
| 1207 | ELM         | 13 |  |
| 1208 | ELM         | 11 |  |
| 1209 | ELM         | 9  |  |
| 1210 | LIVE OAK    | 11 |  |
| 1211 | LIVE OAK    | 11 |  |
| 1212 | LIVE OAK    | 11 |  |
| 1213 | ELM         | 16 |  |
| 1214 | PECAN       | 13 |  |
| 1215 | PECAN       | 15 |  |
| 1216 | CYPRESS     | 17 |  |
| 1217 | CYPRESS     | 17 |  |
| 1218 | WALNUT      | 14 |  |
| 1219 | CYPRESS     | 18 |  |
| 1220 | WALNUT      | 11 |  |
| 1221 | CYPRESS     | 18 |  |
| 1222 | CYPRESS     | 34 |  |
| 1223 | CHINA BERRY | 18 |  |
| 1224 | CYPRESS     | 17 |  |
| 1225 | LIVE OAK    | 22 |  |
| 1226 | PECAN       | 15 |  |
| 1227 | CYPRESS     | 24 |  |
| 1228 | CYPRESS     | 32 |  |
| 1229 | PECAN       | 26 |  |
| 1230 | TREE        | 10 |  |
| 1231 | HACKBERRY   | 18 |  |
| 1232 | LIVE OAK    | 20 |  |
| 1233 | LIVE OAK    | 18 |  |
| 1234 | ELM         | 18 |  |
| 1235 | LIVE OAK    | 17 |  |
| 1236 | ELM         | 23 |  |
| 1237 | ELM         | 16 |  |
| 1238 | LIVE OAK    | 11 |  |
| 1239 | ELM         | 17 |  |
| 1240 | CHINA BERRY | 12 |  |
| 1241 | LIVE OAK    | 26 |  |
| 1242 | ELM         | 14 |  |
| 1243 | ELM         | 8  |  |
| 1244 | ELM         | 10 |  |
| 1245 | LIVE OAK    | 18 |  |
| 1246 | ELM         | 39 |  |
| 1247 | LIVE OAK    | 29 |  |
| 1248 | LIVE OAK    | 19 |  |
| 1249 | LIVE OAK    | 18 |  |
| 1250 | LIVE OAK    | 18 |  |

| LOT AREA | DESCRIPTION   |
|----------|---------------|
|          | EXISTING SF   |
|          | NEW/ADDED SF  |
|          | FACTOR        |
| 39,654   | TOTAL SF      |
| 100%     | % OF LOT AREA |

| IMPERVIOUS COVER CALCULATIONS                |  |      |      |      |        |  |  |     |  |
|----------------------------------------------|--|------|------|------|--------|--|--|-----|--|
| TOTAL BILLING COVERAGE                       |  | 5400 | 0    | 1.00 | 5,400  |  |  |     |  |
| DRAINWAY                                     |  | 8693 | 0    | 1.00 | 8,693  |  |  |     |  |
| ASPH/OS OTHER CONCRETE                       |  |      |      |      |        |  |  |     |  |
| FLATROADS                                    |  | 135  | 0    | 1.00 | 135    |  |  |     |  |
| SIDEWALKS                                    |  | 750  | 0    | 1.00 | 750    |  |  |     |  |
| UNCOVERED PAVT                               |  | 943  | 0    | 1.00 | 943    |  |  |     |  |
| RETAINING WALLS                              |  | 164  | 0    | 1.00 | 164    |  |  |     |  |
| TOTAL IMPERVIOUS COVER                       |  |      |      |      |        |  |  |     |  |
| MAXIMUM ALLOWABLE IMPERVIOUS COVER PER LOT   |  |      |      |      | 18061  |  |  | 41% |  |
| 252-492                                      |  |      |      |      | 17,844 |  |  | 45% |  |
| FLOOR AREA                                   |  |      |      |      |        |  |  |     |  |
| LEVEL 1                                      |  | 3560 | 0    | 1.00 | 3,560  |  |  |     |  |
| LEVEL 2                                      |  | 1386 | 0    | 1.00 | 1,386  |  |  |     |  |
| COURT                                        |  | 0    | 1009 | 1.00 | 1,009  |  |  |     |  |
| ACCESSORY BUILDINGS                          |  | 54   | 549  | 1.00 | 603    |  |  |     |  |
| BASEMENT                                     |  | 1015 | 0    | 0.00 | 0      |  |  |     |  |
| TOTAL FLOOR AREA                             |  |      |      |      | 7,565  |  |  | 19% |  |
| MAXIMUM ALLOWABLE FLOOR AREA PER SICHUAPAT-F |  |      |      |      | 15,602 |  |  | 40% |  |

ENLARGED SITE PLAN  
SCALE: 1/8" = 1'-0" @ 22x34 | 1/16" = 1'-0" @ 11x17 | A121

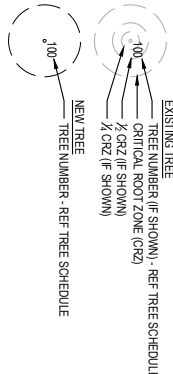
1. NO SLOPES ALONG ACCESSIBLE ROUTES GREATER THAN 1:50 IN THE DIRECTION OF TRAVEL, UNLESS INDICATED OTHERWISE.

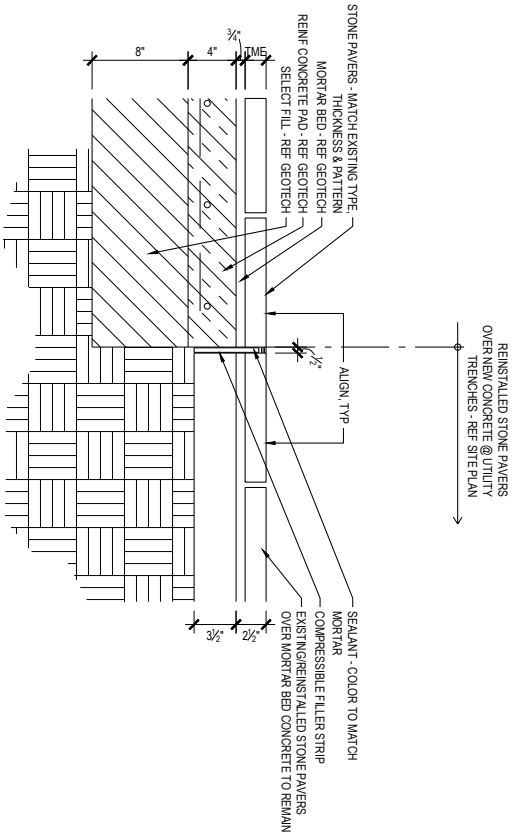
2. PROVIDE TREE PROTECTION FOR ALL TREES WITHIN AREA OF WORK.

1. TREE SCHEDULE INFORMATION BASED ON 2020 SURVEY BY LENZ & ASSOCIATES INC.

1. EXISTING HOUSE 1. TO REMAIN, NO WORK
2. RENEWAL STONE FLAG WHERE REMOVED FOR INSTALLATION OF UTILITIES
3. AND FOUNDATION
4. EXISTING POWER POLE
5. REF SITE PLAN FOR UTILITY CONTINUATION
6. APPROXIMATE ZONE OF PAVEMENT INSTALLATION REQUIRED FOR UTILITY
7. CONNECTION TO EXISTING PAVING SECTION, BODILY NEW CONCRETE
8. EXISTING FEATHER STONE PAVEMENT TO EXISTING PATTERN FOR SEAMLESS APPEARANCE
9. ZONE OF NEW STONE PAVEMENT - REF GEOTECH
10. NEW MASCON ON EXISTING CONCRETE RETAINING WALL
11. NEW RETAINING WALL
12. LINE OF BUILDING ABOVE DASHED
13. EXISTING WALKWAY ABOVE DASHED
14. SUBCHAPTER F TENT LINE
15. EXISTING WATER METER
16. NEW AC
17. NEW ELECTRICAL SERVICE

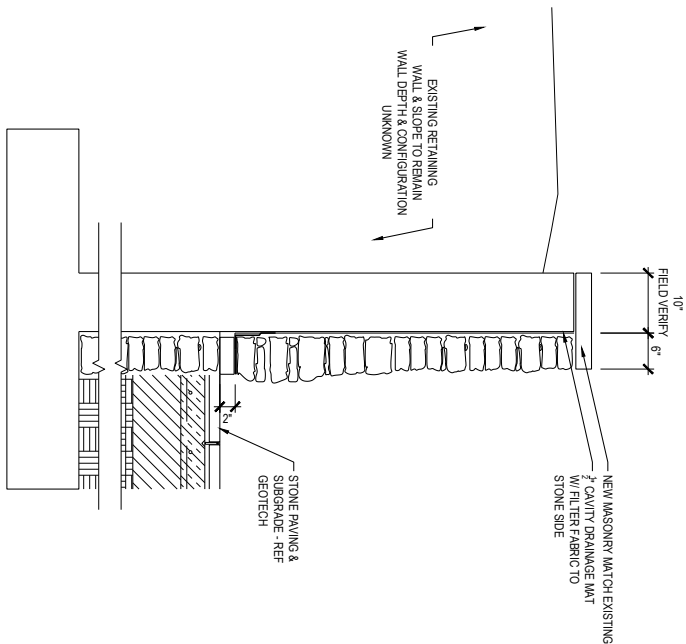
|       |                      |
|-------|----------------------|
| _____ | PROPERTY LINE        |
| _____ | EASEMENT             |
| _____ | SETBACK              |
| _____ | OVERHEAD UTILITY     |
| _____ | UNDERGROUND ELECTRIC |
| _____ | GAS LINE             |
| _____ | WATER LINE           |
| _____ | WASTEWATER LINE      |
| _____ | ASPHALT              |
| _____ | GRAVEL               |
| _____ | STONE                |
| _____ | WOOD WALKWAY         |





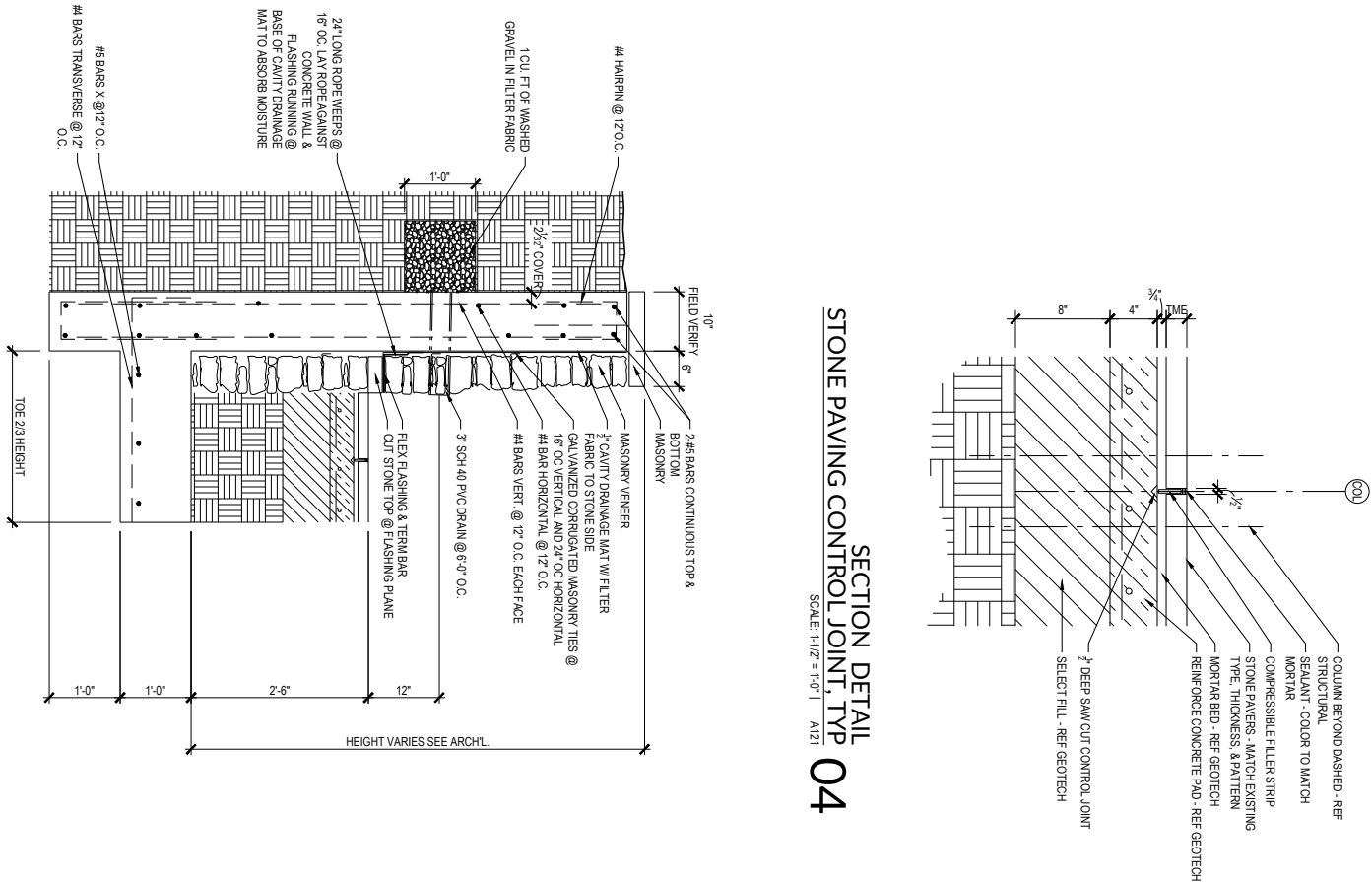
SECTION DETAIL  
STONE PAVING, TYP 03

SCALE: 1/16" = 1'-0" | A121



MASONRY @ EXISTING RETAINING WALL 02

SCALE: 3/4" = 1'-0" | A121



SECTION DETAIL  
STONE PAVING CONTROL JOINT, TYP 04

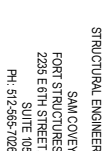
SCALE: 1/16" = 1'-0" | A121

RETAINING WALL 01

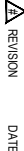
SCALE: 3/4" = 1'-0" | A121

### 1. COORDINATE LOCATION OF PLUMBING VENT PENETRATIONS WITH ARCHITECT

 SLOPE =  $\frac{3}{10}$  PER 1°  
 SLOPE =  $\frac{1}{4}$  PER 1°  
 SLOPE =  $\frac{1}{2}$  PER 1°  
 SLOPE = X:12



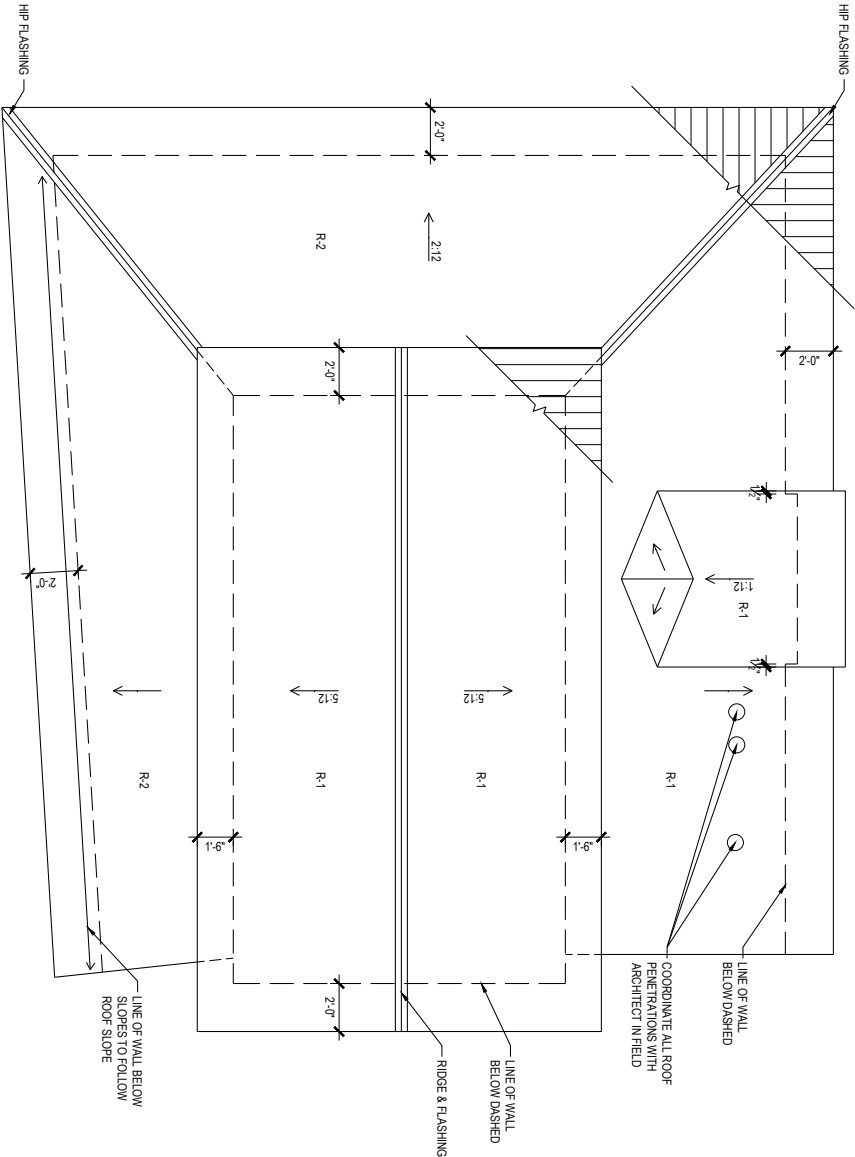
1510 W 24TH ST,  
AUSTIN, TX 78703



|                   |            |
|-------------------|------------|
| ISSUED FOR PERMIT |            |
| PROJECT NUMBER    | 2018       |
| DATE              | 12/21/2020 |

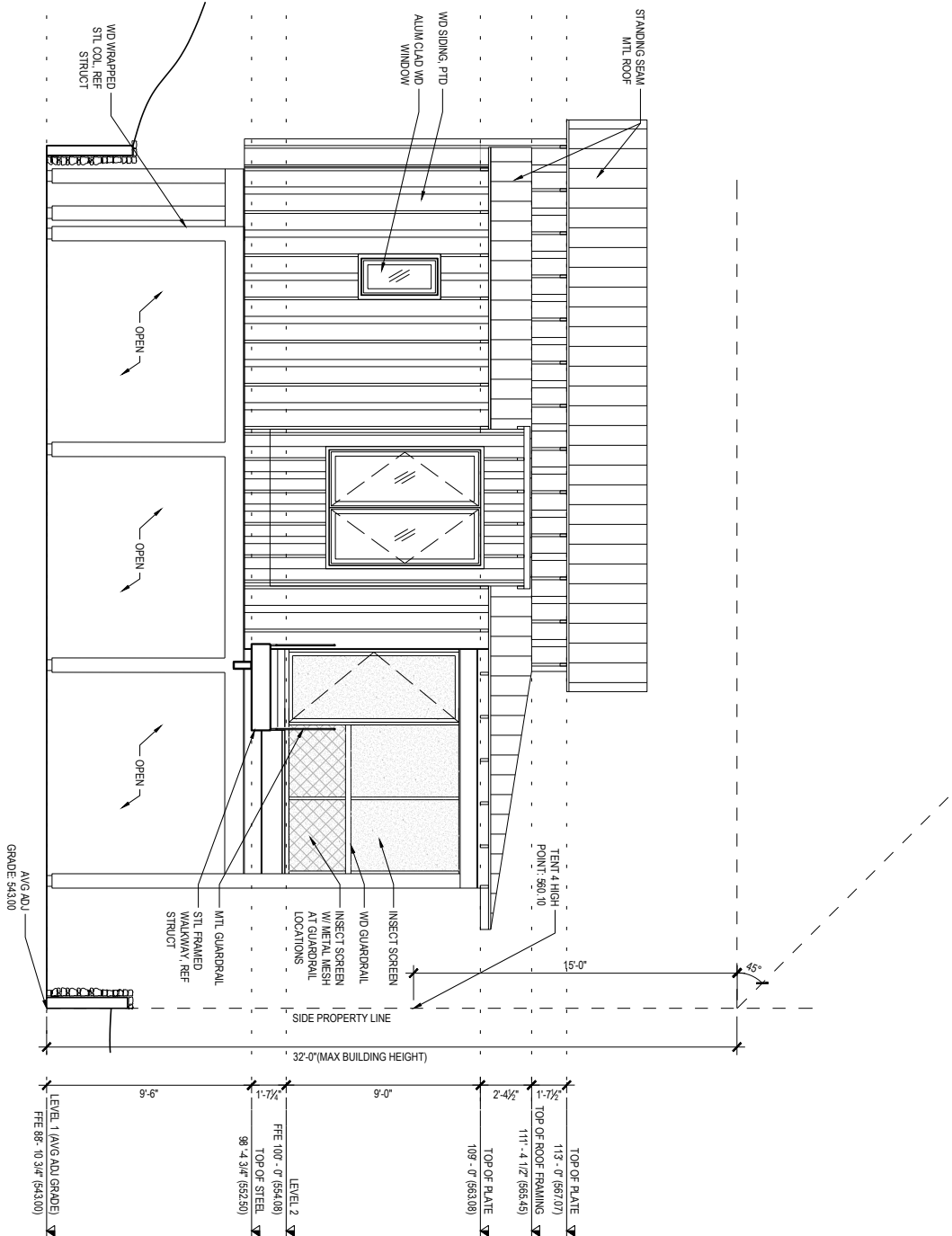
# A232

# ROOF PLAN 01



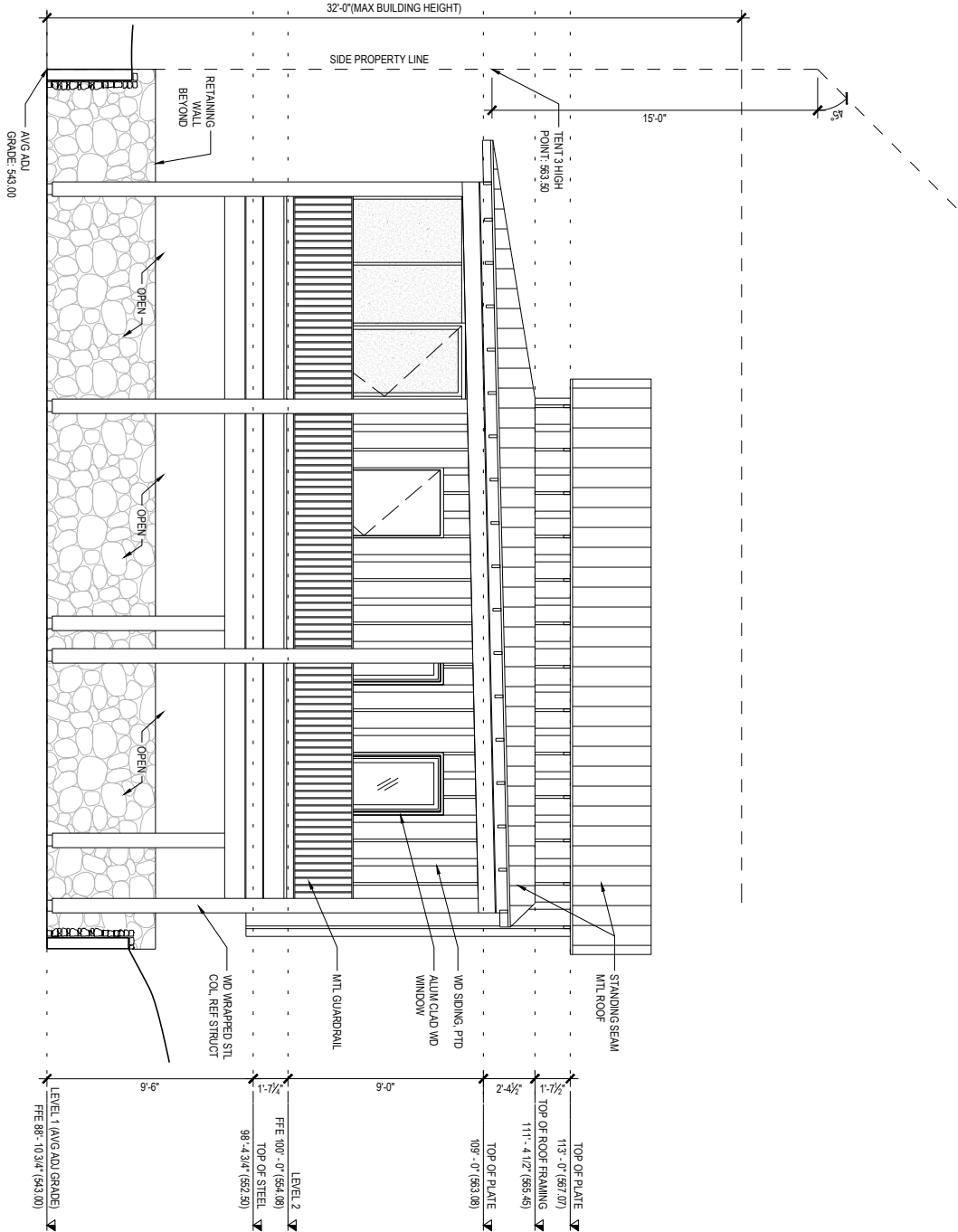
ELEVATION - NORTH 02

SCALE: 1/4" = 1'-0" @ 22x34 | 1/8" = 1'-0" @ 11x17 | A111



ELEVATION - SOUTH 01

SCALE: 1/4" = 1'-0" @ 22x34 | 1/8" = 1'-0" @ 11x17 | A111



CROOK - LEWIS GARAGE APARTMENT

1510 W 24TH ST,  
AUSTIN, TX 78703



REVISION DATE

ISSUED FOR PERMIT  
PROJECT NUMBER 2018  
DATE 12/21/2020

EXTERIOR ELEVATIONS

A321



STRUCTURAL ENGINEER  
SAM COVER  
FORT STRUCTURES  
2235 E 5TH STREET,  
SUITE 105  
PH: 512-665-7026

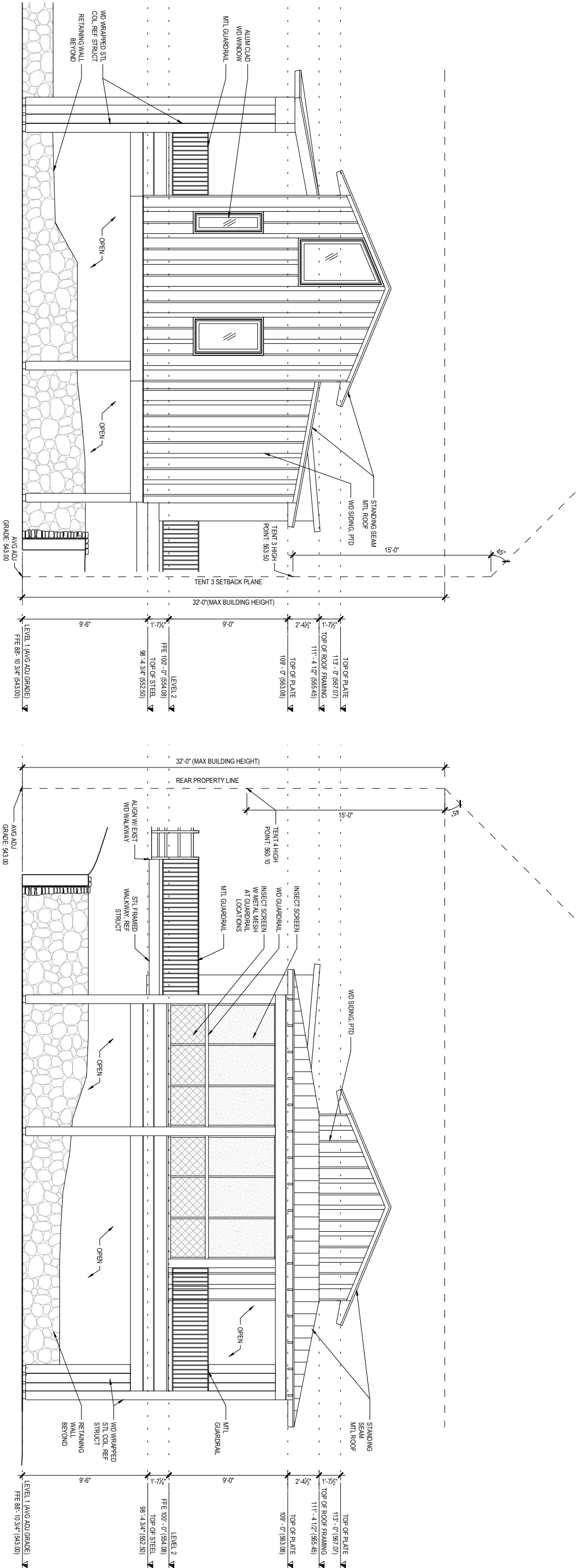
CONTACT:  
AARON TAYLOR

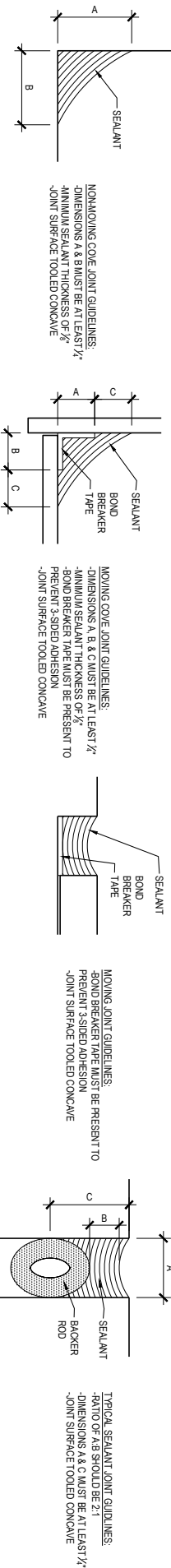
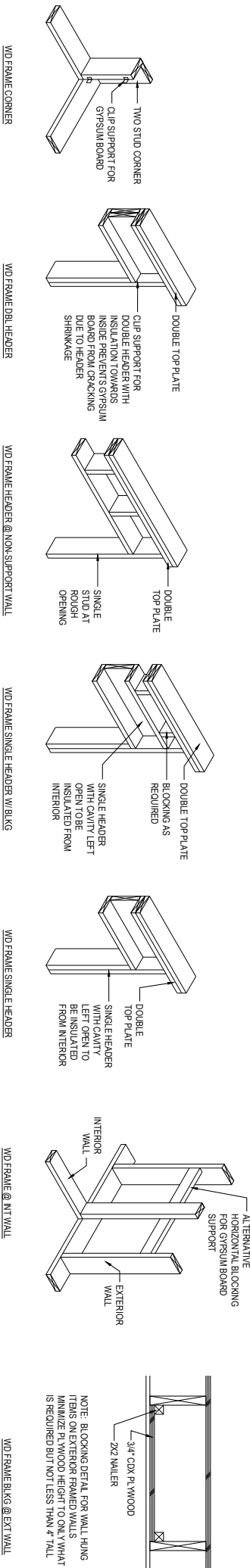
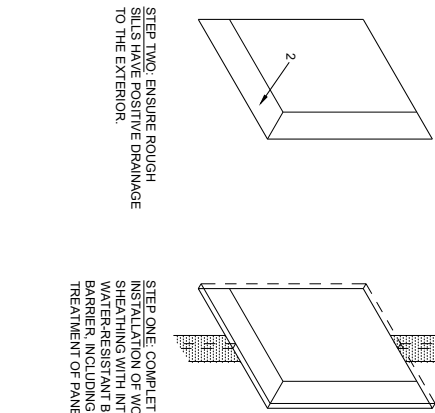
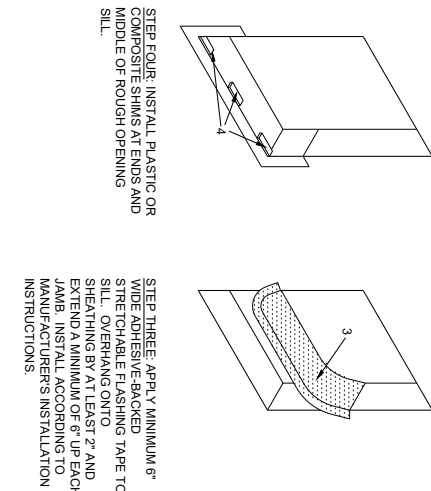
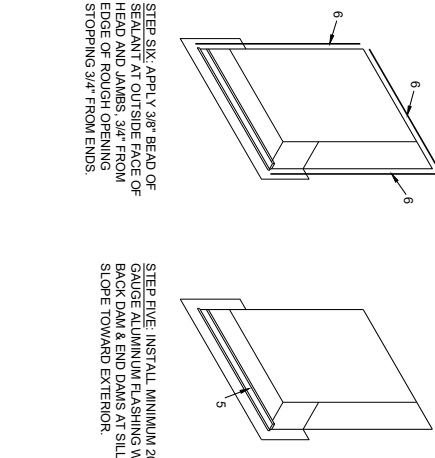
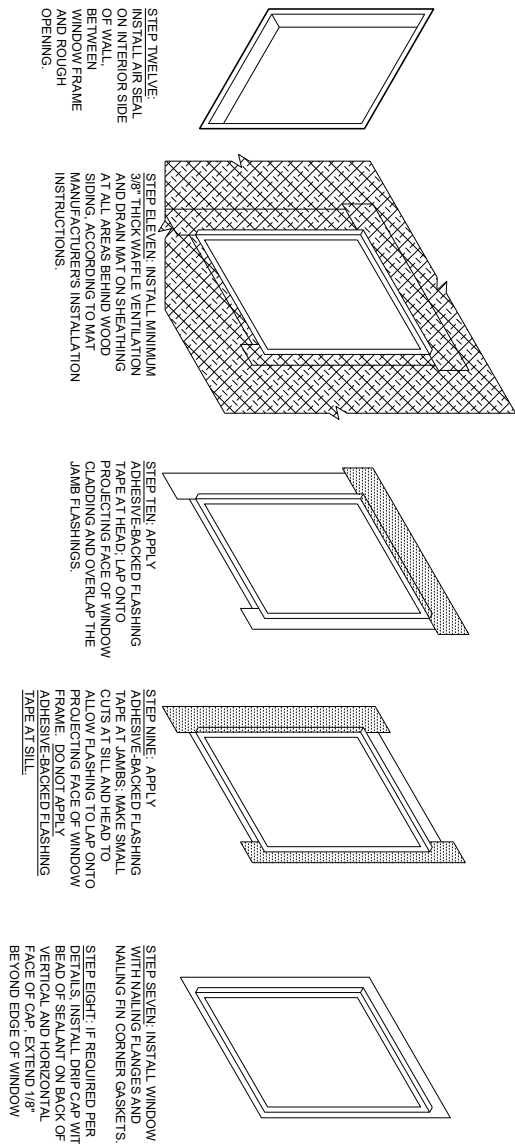
1331 E. 7th Street  
Austin, TX 78702  
PH: 512.476.0201  
K: 512.476.0216  
www.mckinneyyork.com





ELEVATION - EAST  
1'-0" @ 22x34 | 1/8" = 1'-0" @ 11x17 | A111  
01





WINDOW & DOOR INSTALLATION W/ ADHESIVE-BACKED FLASHING @ SIDING 01

WOOD FRAMING GUIDELINES 02

SEALANT JOINT GUIDELINES 03

FINISH INDEX

| SPECIFICATION REFERENCE |                |                                                |             |              |        |                 |        |
|-------------------------|----------------|------------------------------------------------|-------------|--------------|--------|-----------------|--------|
| MAR                     | SECTION NAME   | TYPE                                           | DESCRIPTION | MANUFACTURER | SERIES | COLOR OR FINISH | REMARK |
| K                       | COUNTERTOP     | ALLOW \$160/SF                                 |             |              |        |                 |        |
| CT-1                    | WOOD BASE      |                                                |             |              |        |                 |        |
| B-1                     | FLOOR TILE     | ALLOW \$20/SF (INCLUDING BASE)                 |             |              |        |                 |        |
| T-1                     | WALL TILE      | ALLOW \$16/SF (INCLUDING BASE)                 |             |              |        |                 |        |
| T-2                     | WOOD FLOORING  | APPLY TO WD SIDING & TRIM                      |             |              |        |                 |        |
| WD-1                    | EXTERIOR PAINT | COLOR TBD                                      |             |              |        |                 |        |
| PT-1                    | EXTERIOR PAINT | APPLY TO EXPOSED STEEL & GUARDRAILS. COLOR TBD |             |              |        |                 |        |
| PT-2                    | INTERIOR PAINT | COLOR TBD                                      |             |              |        |                 |        |
| PT-3                    | INTERIOR PAINT | COLOR TBD                                      |             |              |        |                 |        |
| PT-4                    | EXTERIOR STAIN | COLOR TBD                                      |             |              |        |                 |        |
| ST-1                    | EXTERIOR STAIN | COLOR TBD                                      |             |              |        |                 |        |

ROOM FINISH SCHEDULE

| ROOM   |      | SURFACES |              |            |           |            |           | ELEMENTS |          |             |                  |        |    |  |
|--------|------|----------|--------------|------------|-----------|------------|-----------|----------|----------|-------------|------------------|--------|----|--|
| NUMBER | NAME | FLOOR    | BASE         | NORTH WALL | EAST WALL | SOUTH WALL | WEST WALL | CEILING  | CABINETS | COUNTERTOPS | WINDOW COVERINGS | REMARK |    |  |
|        |      |          |              |            |           |            |           |          |          |             |                  |        |    |  |
|        |      | 100      | SCREEN PORCH | WD-1       | B-1       | PT         | PT        | PT       | PT       | WD          |                  |        | WD |  |
|        |      | 101      | KITCHENETTE  | WD-1       | B-1       | PT         | PT        | PT       | PT       | WD          |                  |        | WD |  |
|        |      | 102      | BATH         | T-1        | B-2       | PT         | PT        | PT       | PT       | WD          |                  |        | WD |  |
|        |      | 103      | BEDROOM      | WD-1       | B-1       | PT         | PT        | PT       | PT       | WD          |                  |        | WD |  |
|        |      | 104      | LIVING ROOM  | WD-1       | B-1       | PT         | PT        | PT       | PT       | WD          |                  |        | WD |  |
| 105    | DECK | WD-1     | -            | PT         | PT        | PT         | PT        | PT       | WD       |             | WD               |        |    |  |

DOOR SCHEDULE

| DOOR SIZE   |                  | DOOR           |        | FRAME     |      | DETAILS  |        |       |      |          |        |         |      |      |      |        |
|-------------|------------------|----------------|--------|-----------|------|----------|--------|-------|------|----------|--------|---------|------|------|------|--------|
| DOOR NUMBER | NUMBER OF PANELS | PANEL WIDTH(S) | HEIGHT | THICKNESS | TYPE | MATERIAL | FINISH | GLASS | TYPE | MATERIAL | FINISH | PROFILE | HEAD | JAMB | SILL | REMARK |
| 100         | 3                | 3'-0"          | 8'-0"  |           |      | WD       | PAINT  |       |      | WD       | PAINT  |         |      |      |      |        |
| 101         | 3                | 3'-0"          | 8'-0"  |           |      | WD       | PAINT  |       |      | WD       | PAINT  |         |      |      |      |        |
| 102         | 1                | 2'-6"          | 6'-8"  |           |      | WD       | PAINT  |       |      | WD       | PAINT  |         |      |      |      |        |
| 102A        | 1                | 2'-6"          | 6'-8"  |           |      | WD       | PAINT  |       |      | WD       | PAINT  |         |      |      |      |        |
| 103         | 1                | 2'-6"          | 6'-8"  |           |      | WD       | PAINT  |       |      | WD       | PAINT  |         |      |      |      |        |
| 104         | 1                | 3'-0"          | 6'-8"  |           |      | WD       | PAINT  |       |      | WD       | PAINT  |         |      |      |      |        |
| 105         | 3                | 3'-0"          | 8'-0"  |           |      | WD       | PAINT  |       |      | WD       | PAINT  |         |      |      |      |        |

ELEMENT FINISH SCHEDULE

| ITEM                                | LOCATION                             | DESCRIPTION | FACTORY FINISH | FIELD FINISH        |
|-------------------------------------|--------------------------------------|-------------|----------------|---------------------|
| METAL GUARDS & HANDRAILS            | EXTERIOR                             | PAINT       |                |                     |
| WOOD DECKING                        | EXTERIOR                             | STAIN       |                |                     |
| WOOD DOORS                          | EXTERIOR DOOR, EXTERIOR SIDE @ BRICK |             |                |                     |
| WOOD DOOR FRAMES                    | EXTERIOR DOOR, EXTERIOR SIDE @ BRICK |             |                |                     |
| WOOD DOORS                          | EXTERIOR DOOR, EXTERIOR SIDE @ STONE |             |                |                     |
| WOOD DOOR FRAMES                    | EXTERIOR DOOR, EXTERIOR SIDE @ STONE |             |                |                     |
| WOOD DOORS                          | EXTERIOR DOOR, INTERIOR SIDE         |             |                |                     |
| WOOD DOOR FRAMES                    | EXTERIOR DOOR, INTERIOR SIDE         |             |                |                     |
| WOOD DOORS                          | INTERIOR DOOR                        |             |                |                     |
| WOOD DOOR FRAMES                    | INTERIOR DOOR                        |             |                |                     |
| WOOD SIDING                         | EXTERIOR                             | PAINT       |                |                     |
| WOOD TRIM                           | INTERIOR                             |             |                |                     |
| GUTTERS                             | ALL                                  | SILVER      |                | WEATHERED GALVALUME |
| DOWNSPOUTS                          | ALL                                  | SILVER      |                | WEATHERED GALVALUME |
| ELECTRICAL EQUIPMENT & PANEL BOARDS | EXTERIOR                             | BRICK MATCH |                | PT-10               |
| ELECTRICAL EQUIPMENT & PANEL BOARDS | OCCUPIED SPACES                      |             |                |                     |
| ACCESS DOORS                        | ALL                                  | PAINT       |                |                     |
| MILLWORK                            | INTERIOR                             | PAINT       |                |                     |

PLUMBING & ACCESSORY SCHEDULE

| MARK | ITEM               | MANR | MODEL        | SERIES      | FINISH | REMARK |
|------|--------------------|------|--------------|-------------|--------|--------|
| SK-1 | BATH SINK          | TBD  | ALLOW \$150  | ALLOW \$300 |        |        |
| SK-2 | KITCHEN SINK       | TBD  | ALLOW \$500  |             |        |        |
| WC-1 | TOILET             | TBD  | ALLOW \$400  |             |        |        |
| BT-1 | BATH TUB           | TBD  | ALLOW \$1200 | ALLOW \$800 |        |        |
| BA-1 | BATH ACCESSORY SET | TBD  | ALLOW \$400  |             |        |        |

NOTES:

CONSTRUCTION ASSEMBLIES

- WALL ASSEMBLIES ARE LISTED FROM THE EXTERIOR LAYER TO THE INTERIOR LAYER.
  - ROOF AND FLOOR ASSEMBLIES ARE LISTED FROM THE TOP LAYER TO THE BOTTOM LAYER.
  - SOFFIT AND CEILING ASSEMBLIES ARE LISTED FROM THE BOTTOM LAYER TO THE TOP LAYER.
  - ALL EXTERIOR WALLS SHALL BE EW-1.
- (RW1) METAL ROOF  
METAL ROOFING SYSTEM  
ROOF UNDERLAMENT  
ROOF DECKING W/ RADIANT BARRIER - REF STRUCTURAL  
CONTINUOUS EAVE VENTILATION TROUGHS  
ROOF FRAMING W/ R-38 SPRAY FOAM INSULATION - REF STRUCT
- (RW2) EXTERIOR METAL ROOF  
METAL ROOFING SYSTEM  
ROOF UNDERLAMENT  
ROOF DECKING W/ RADIANT BARRIER - REF STRUCTURAL  
CONTINUOUS EAVE VENTILATION TROUGHS  
ROOF FRAMING W/ R-38 SPRAY FOAM INSULATION - REF STRUCT
- (EW1) BOARD & BATTEN SIDING WALL  
BOARD & BATTEN SIDING, PTD  
DRAINAGE MAT  
EXTERIOR SHEATHING W/ INTEGRAL WEATHER RESISTIVE AND AIR BARRIER  
WALL FRAMING W/ R-13 SPRAY APPLIED FOAM INSULATION - REF STRUCT
- (FL1) WOOD FLOOR  
WOOD FLOORING  
SUBFLOOR - REF STRUCT  
WOOD JOISTS  
2X PT SLEEPERS @ 16" O.C.  
SINGLE-PLY MEMBRANE ROOFING  
PLYWOOD DECKING  
FLOOR FRAMING - REF STRUCT
- (FL2) WOOD DECK  
DECKING, STAINED AND SEALED  
2X PT SLEEPERS @ 16" O.C.  
SINGLE-PLY MEMBRANE ROOFING  
PLYWOOD DECKING  
FLOOR FRAMING - REF STRUCT

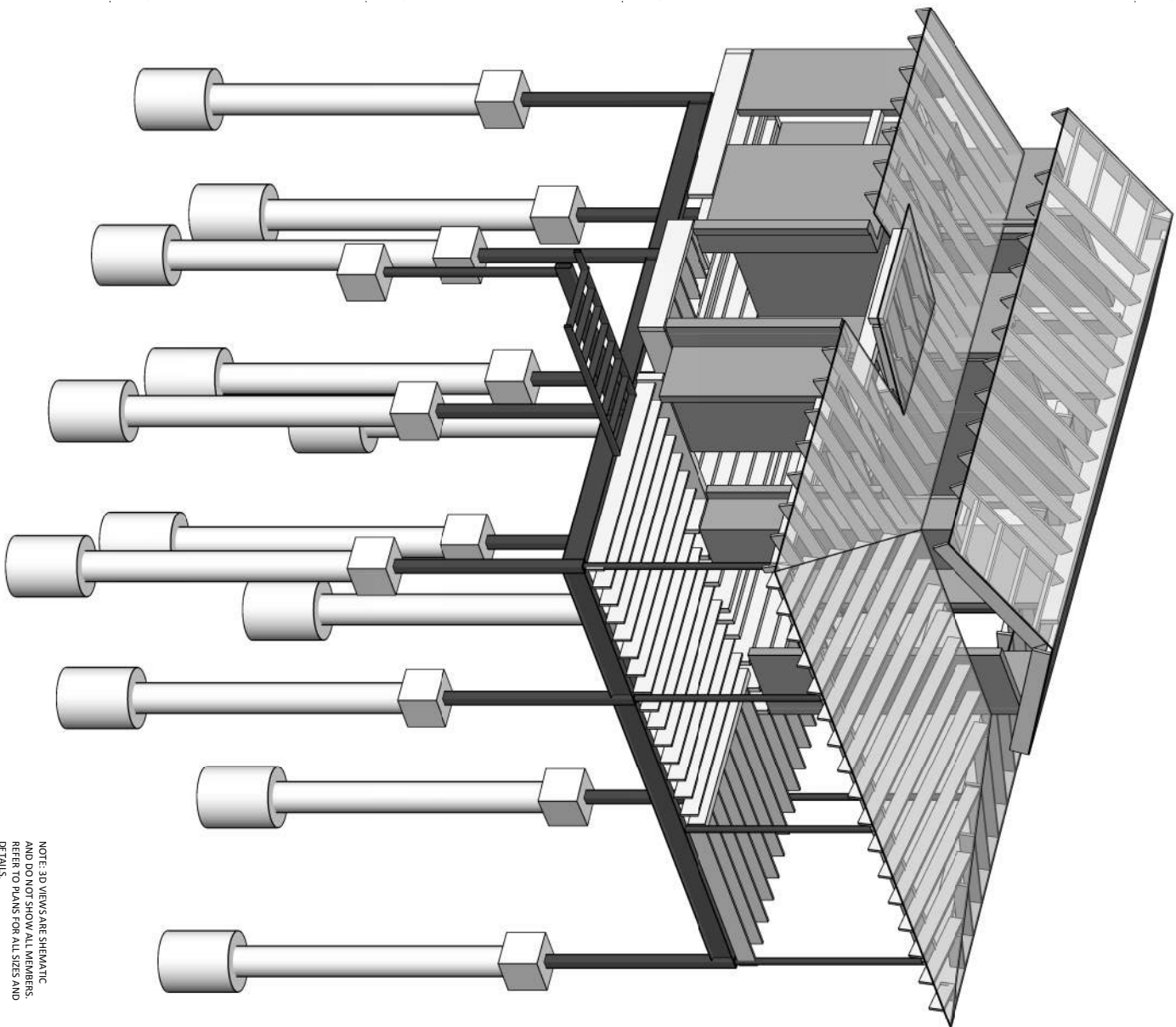
WINDOW & DOOR NOTES

- DIMENSIONS SHOWN ARE TO ROUGH OPENING, UNLESS NOTED OTHERWISE.
- FOR DOOR SWING DIRECTION, REFERENCE PLANS.
- FOR WINDOW SWING DIRECTION, REFERENCE ELEVATIONS.
- PROVIDE INFR STANDARD INTEGRATED SCREENS AT ALL OPERABLE WINDOWS.

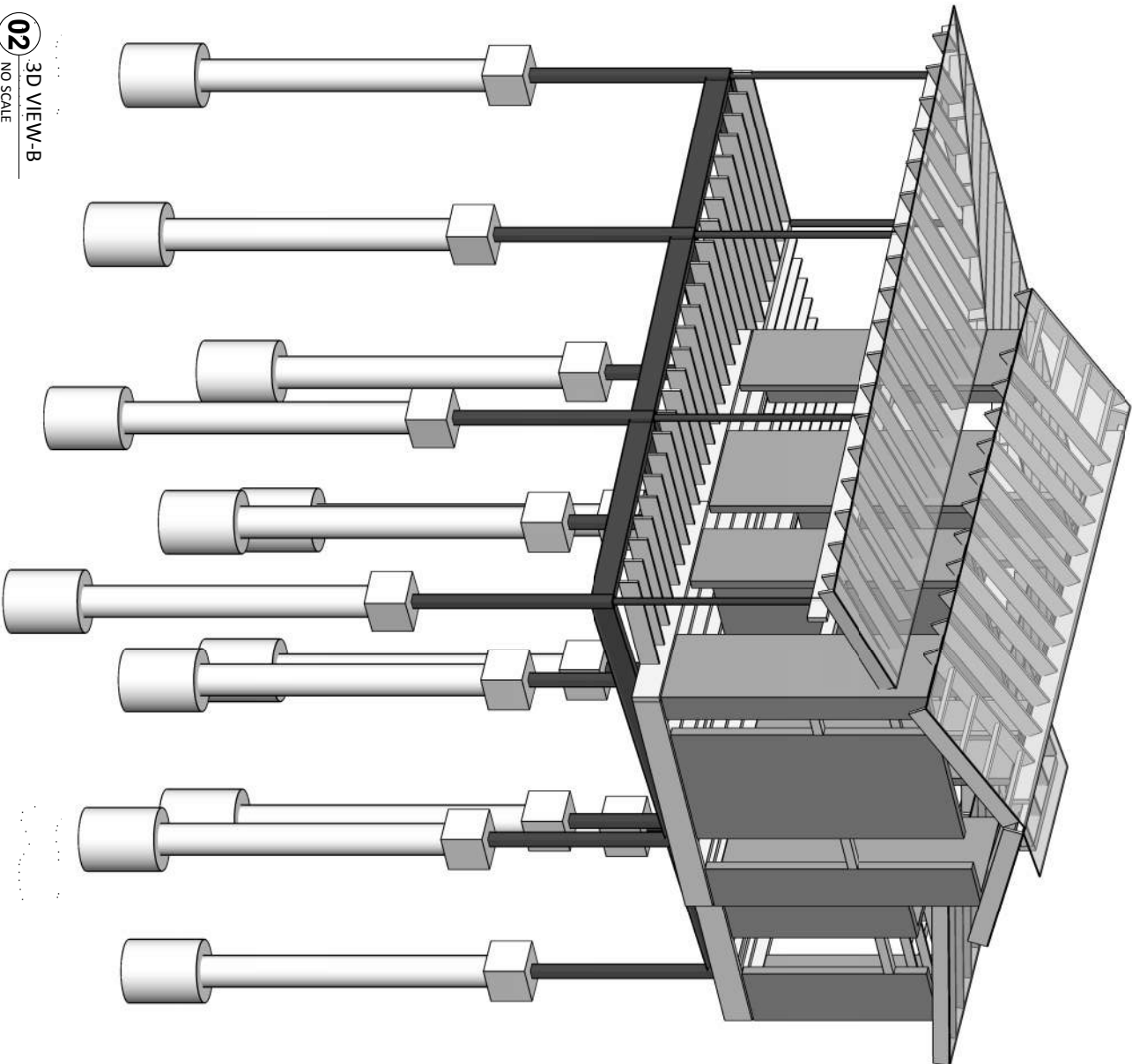
ELEMENT FINISH SCHEDULE NOTES

- ITEMS IN THE ELEMENT FINISH SCHEDULE REFER TO EXPOSED AND SEMI-EXPOSED SURFACES, UNLESS INDICATED OTHERWISE.
- FIELD FINISH ITEMS IN ELEMENT FINISH SCHEDULE UNLESS INDICATED OTHERWISE.





NOTE: 3D VIEWS ARE SCHEMATIC  
AND DO NOT SHOW ALL MEMBERS,  
REFER TO PLANS FOR ALL SIZES AND  
DETAILS.





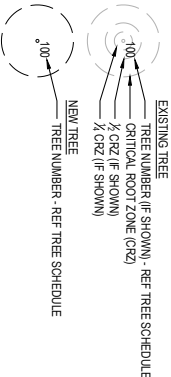
## SHEET NOTES

1. NOT USED

## KEY NOTES

1. REMOVE ROOFING AND FOUNDATION.
2. REMOVE AND SALVAGE MASONRY FLASGS TO EXTENT REQUIRED FOR INSTALLATION OF NEW FOUNDATION. STORE MASONRY FLASGS ON SITE FOR REINSTALLATION.
3. REMOVE AND SALVAGE MASONRY RETAINING WALL, STORE MASONRY ON SITE FOR REINSTALLATION. COORDINATE PRECISE EXTENT OF REMOVAL WITH ARCHITECT IN FIELD PRIOR TO START OF WALL DEMOLITION.
4. EXISTING MASONRY A CONCRETE RETAINING WALL TO REMAIN.
5. REMOVE AND SALVAGE MASONRY FLASGS TO EXTENT REQUIRED FOR REINSTALLATION OF NEW UTILITIES. MASONRY FLASGS ON SITE FOR REINSTALLATION.
6. LOCATION FOR PORTABLE TOILET, CONCRETE WASH-OUT, AND PAINT WASH-OUT.
7. SILT FENCE
8. EXISTING HOUSE TO REMAIN. NO WORK.

## DEMO SITE LEGEND

[illegible]

|                |
|----------------|
| TREE<br>NUMBER |
| COMMON<br>NAME |
| CALIPER (IN.)  |
| REMARK         |

|      |             |     |  |
|------|-------------|-----|--|
| 1201 | TREE        | 25  |  |
| 1202 | TREE        | 25  |  |
| 1203 | CYPRESS     | 42* |  |
| 1204 | CYPRESS     | 34* |  |
| 1205 | LIVE OAK    | 22* |  |
| 1206 | LIVE OAK    | 15* |  |
| 1207 | ELM         | 13* |  |
| 1208 | ELM         | 11* |  |
| 1209 | ELM         | 9*  |  |
| 1210 | LIVE OAK    | 9*  |  |
| 1211 | LIVE OAK    | 11* |  |
| 1212 | LIVE OAK    | 11* |  |
| 1213 | ELM         | 16* |  |
| 1214 | PECAN       | 13* |  |
| 1215 | PECAN       | 15* |  |
| 1216 | CYPRESS     | 17* |  |
| 1217 | CYPRESS     | 17* |  |
| 1218 | WALNUT      | 14* |  |
| 1219 | CYPRESS     | 18* |  |
| 1220 | WALNUT      | 11* |  |
| 1221 | CYPRESS     | 18* |  |
| 1222 | CYPRESS     | 34* |  |
| 1223 | CHINA BERRY | 18* |  |
| 1224 | CYPRESS     | 47* |  |
| 1225 | LIVE OAK    | 22* |  |
| 1226 | PECAN       | 15* |  |
| 1227 | CYPRESS     | 24* |  |
| 1228 | CYPRESS     | 32* |  |
| 1229 | PECAN       | 26* |  |
| 1230 | TREE        | 10* |  |
| 1231 | HACKBERRY   | 18* |  |
| 1232 | LIVE OAK    | 20* |  |
| 1233 | LIVE OAK    | 18* |  |
| 1234 | ELM         | 18* |  |
| 1235 | LIVE OAK    | 17* |  |
| 1236 | ELM         | 23* |  |
| 1237 | ELM         | 16* |  |
| 1238 | LIVE OAK    | 11* |  |
| 1239 | ELM         | 17* |  |
| 1240 | CHINA BERRY | 12* |  |
| 1241 | LIVE OAK    | 26* |  |
| 1242 | ELM         | 14* |  |
| 1243 | ELM         | 8*  |  |
| 1244 | ELM         | 10* |  |
| 1245 | LIVE OAK    | 18* |  |
| 1246 | ELM         | 39* |  |
| 1247 | LIVE OAK    | 29* |  |
| 1248 | LIVE OAK    | 19* |  |
| 1249 | LIVE OAK    | 18* |  |
| 1250 | LIVE OAK    | 18* |  |

| LOT AREA | DESCRIPTION   |
|----------|---------------|
|          | EXISTING SF   |
|          | NEW/ADDED SF  |
|          | FACTOR        |
| 39,654   | TOTAL SF      |
| 100%     | % OF LOT AREA |

| IMPERVIOUS COVER CALCULATIONS                |        |      |      |        |  |  |  |  |  |
|----------------------------------------------|--------|------|------|--------|--|--|--|--|--|
| TOTAL BUILDING COVERAGE                      |        |      |      |        |  |  |  |  |  |
|                                              | 5440   | 0    | 1.00 | 5,400  |  |  |  |  |  |
| DRAINWAY                                     | 8689   | 0    | 1.00 | 8,689  |  |  |  |  |  |
| AS PAVES OTHER CONCRETE                      | 135    | 0    | 1.00 | 135    |  |  |  |  |  |
| LANDSCAPES                                   |        |      |      |        |  |  |  |  |  |
| SIDWALKS                                     | 789    | 0    | 1.00 | 789    |  |  |  |  |  |
| UNCOATED RATIO                               | 945    | 0    | 1.00 | 945    |  |  |  |  |  |
| RETAINING WALLS                              | 164    | 0    | 1.00 | 164    |  |  |  |  |  |
| TOTAL IMPERVIOUS COVER                       |        |      |      |        |  |  |  |  |  |
| MAXIMUM ALLOWABLE IMPERVIOUS COVER PER LOT   |        |      |      |        |  |  |  |  |  |
| 25.2-242                                     | 17,844 |      |      |        |  |  |  |  |  |
| FLOOR AREA                                   |        |      |      |        |  |  |  |  |  |
| LEVEL 1                                      | 3960   | 0    | 1.00 | 3,960  |  |  |  |  |  |
| LEVEL 2                                      | 1386   | 0    | 1.00 | 1,386  |  |  |  |  |  |
| CARPET                                       | 0      | 1009 | 1.00 | 1,009  |  |  |  |  |  |
| ACCESSORY BUILDINGS                          | 54     | 549  | 1.00 | 603    |  |  |  |  |  |
| BASEMENT                                     | 1015   | 0    | 0.00 | 0      |  |  |  |  |  |
| TOTAL FLOOR AREA                             |        |      |      |        |  |  |  |  |  |
| MAXIMUM ALLOWABLE FLOOR AREA PER SINGLEHAFEN |        |      |      |        |  |  |  |  |  |
| 15.602                                       | 7565   | 0    | 19%  | 15,602 |  |  |  |  |  |
| 40%                                          |        |      |      |        |  |  |  |  |  |

ENLARGED SITE PLAN 02

SCALE: 1/8" = 1'-0" @ 22.3/4 | 1/16" = 1'-0" @ 11x17 | A121

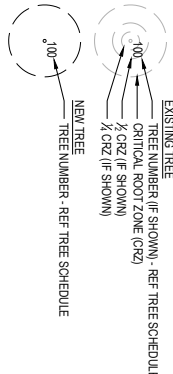
N

1. NO SLOPES ALONG ACCESSIBLE ROUTES GREATER THAN 1:50 IN THE DIRECTION OF TRAVEL, UNLESS INDICATED OTHERWISE.
2. PROVIDE TREE PROTECTION FOR ALL TREES WITHIN AREA OF WORK.

1. TREE SCHEDULE INFORMATION BASED ON 2020 SURVEY BY LENZ & ASSOCIATES INC.

1. EXISTING HOUSE TO REMAIN. NO WORK
2. REINSTATE STONE FLAGS WHERE REMOVED FOR INSTALLATION OF UTILITIES
3. AND FOUNDATION
4. EXISTING POWER POLE
5. REF. SITE PLAN FOR UTILITY CONTINUATION
6. APPROXIMATE ZONE OF PAVES REINSTATEMENT REQUIRED FOR UTILITY
7. CONNECTION. MATCH EXISTING PAVING SECTION. DOWEL NEW CONCRETE
8. EXISTING. REF. UTILITY PLAN PAVEMENT TO EXISTING PATTERN FOR SEAMLESS
9. APPROACH
10. ZONE OF NEW STONE PAVEMENT - REF. GEOTECH
11. NEW MASONRY ON EXISTING CONCRETE RETAINING WALL
12. NEW RETAINING WALL
13. LINE OF BUILDING ABOVE DASHED
14. EXISTING WALKWAY ABOVE DASHED
15. SUB CHAPTER F TENT LIME

|                                                                                     |                      |
|-------------------------------------------------------------------------------------|----------------------|
|  | PROPERTY LINE        |
|  | EASEMENT             |
|  | SETBACK              |
|  | OVERHEAD UTILITY     |
|  | UNDERGROUND ELECTRIC |
|  | GAS LINE             |
|  | WATER LINE           |
|  | WASTEWATER LINE      |
|  | ASPHALT              |
|  | GRAVEL               |
|  | STONE                |
|  | WOOD WALKWAY         |



1510 W 24TH ST,  
AUSTIN, TX 78703

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