

CITY OF AUSTIN - GROSS FLOOR AREA

AREA	EXISTING/ REMODELED	NEW/ ADDITION	EXEMPTION	TOTAL
1ST FLOOR AREA (INCL. MASONRY)	0'	2,137.5'	0'	2,137.5'
2ND FLOOR AREA (INCL. MASONRY)	0'	1,571.9'	0'	1,571.9'
1st FLOOR CEILING HT. OVER 15'	0'	0'	0'	0'
BASEMENT	0'	0'	0'	0'
MAIN HOUSE ATTIC	0'	625.0'	-625.0'	0'
GARAGE ATTIC	0'	0'	0'	0'
GARAGE (ATTACHED)	0'	0'	0'	0'
GARAGE (DETACHED)	0'	500.0'	-450.0'	50.0'
CARPORT (ATTACHED MAIN HOUSE)	0'	0'	0'	0'
CARPORT (ATTACHED GUEST HOUSE)	0'	0'	0'	0'
GROUND FLOOR PORCHES	0'	617.7'	-617.7'	0'
ACCESSORY BUILDING(S) (DETACHED)	0'	0'	0'	0'
TOTAL GROSS FLOOR AREA	0	5,452.1	-1,692.7	3,759.4
TOTAL LOT AREA				9,445.5'

3,759.4' / 9,445.5' x 100 = 39.80% FLOOR-TO-AREA RATIO (FAR)
ALLOWABLE FAR: 9,445.5' x 40% = 3,778.2'

CITY OF AUSTIN - BUILDING COVERAGE

AREA	EXISTING/ REMODELED	NEW/ ADDITION	TOTAL
1ST FLOOR AREA	0'	2,137.5'	2,137.5'
GARAGE/CARPORT	0'	500.0'	500.0'
COVERED ENTRY	0'	180.1'	180.1'
COVERED SIDE ENTRY	0'	0'	0'
COVERED OUTDOOR LIVING	0'	341.0'	341.0'
TOTAL BUILDING COVERAGE	0	3,158.6'	3,158.6'
TOTAL LOT AREA			9,445.5'

3,158.6' / 9,445.5' x 100 = 33.44% PERCENTAGE OF LOT
ALLOWABLE BUILDING COVERAGE: 9,445.5' x 40% = 3,778.2'

CITY OF AUSTIN - IMPERVIOUS COVERAGE

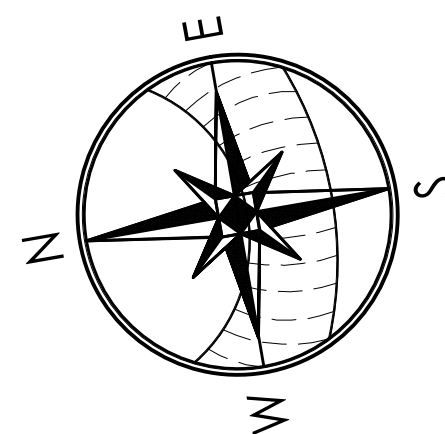
AREA	EXISTING/ REMODELED	NEW/ ADDITION	TOTAL
TOTAL BUILDING COVERAGE	0'	3,141.2'	3,141.2'
DRIVEWAY	1,581.3'	-644.7'	936.6'
SIDEWALKS/WALKWAYS	0'	0'	0'
UNCOVERED PATIOS	0'	0'	0'
UNCOVERED WOOD STAIRS (50%)	0'	0'	0'
AC STAIR PADS	0'	22.2'	22.2'
OTHER: COURTYARD WALL	0'	38.0'	38.0'
TOTAL IMPERVIOUS COVER	1,581.3	2,556.7	4,138.0
TOTAL LOT AREA			9,445.5'

4,138.0' / 9,445.5' x 100 = 43.81% PERCENTAGE OF LOT
ALLOWABLE IMPERVIOUS COVERAGE: 9,445.5' x 45% = 4,250.5'

GENERAL SITE NOTES:

- BUILDER TO RESCULPTURE TOPO/FINISH GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
- FINAL LOCATION OF PROPOSED RESIDENCE TO BE DETERMINED BY BUILDER.
- EXPOSED FOUNDATION TO BE MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS. UNDERPIN ALL EXPOSED FOUNDATIONS.
- THERE ARE NO STORM SEWER INLETS WITHIN THE LOT FRONTAGE OR 10'-0" BEYOND THE SIDE PROPERTY LINES.
- UTILITY LINE LOCATIONS ARE APPROXIMATES- GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.
- VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM ALL DRIVEWAY, WALKWAY AND PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- ALL EXTERIOR HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS. DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.
- GARAGE RECEPTILES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.
- LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED PRIOR TO INSTALLATION.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- LANDSCAPE PLANS TO BE PROVIDED BY OTHERS AND PERMIT FOR SAME TO BE OBTAINED SEPARATELY FROM THESE PLANS.
- NO EXISTING TREES TO BE REMOVED OR DISTURBED WITHOUT OWNER APPROVAL.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.

LEGAL DESCRIPTION:
2407 JARRATT AVENUE
LOT 19 BLOCK 1
AUSTIN, TX 78703
TRAVIS COUNTY



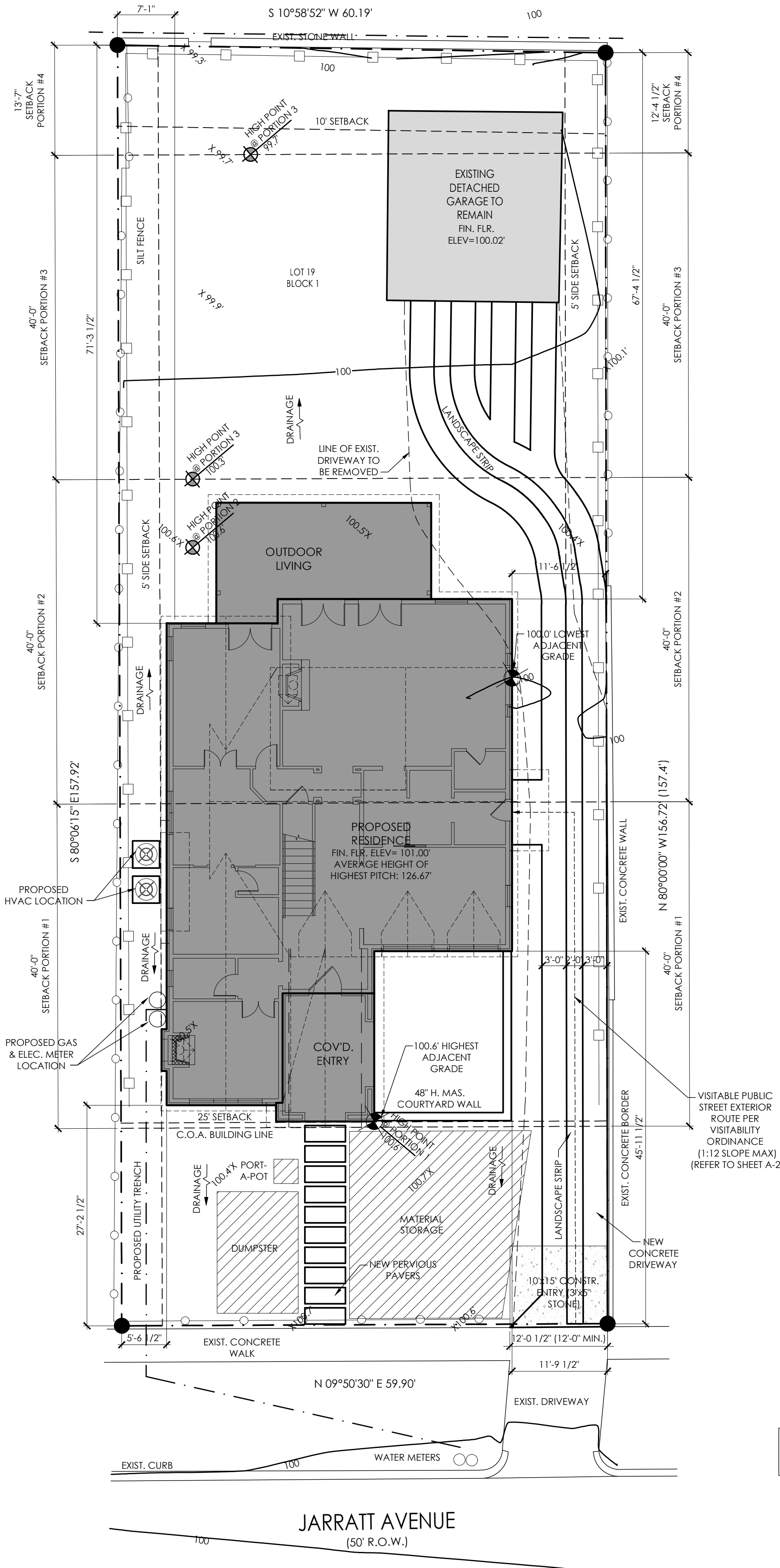
NOTE: LANDSCAPE ARCHITECT TO PROVIDE
SWALES AND AREA DRAINS AS REQUIRED
TO DIVERT WATER AWAY FROM HOUSE.

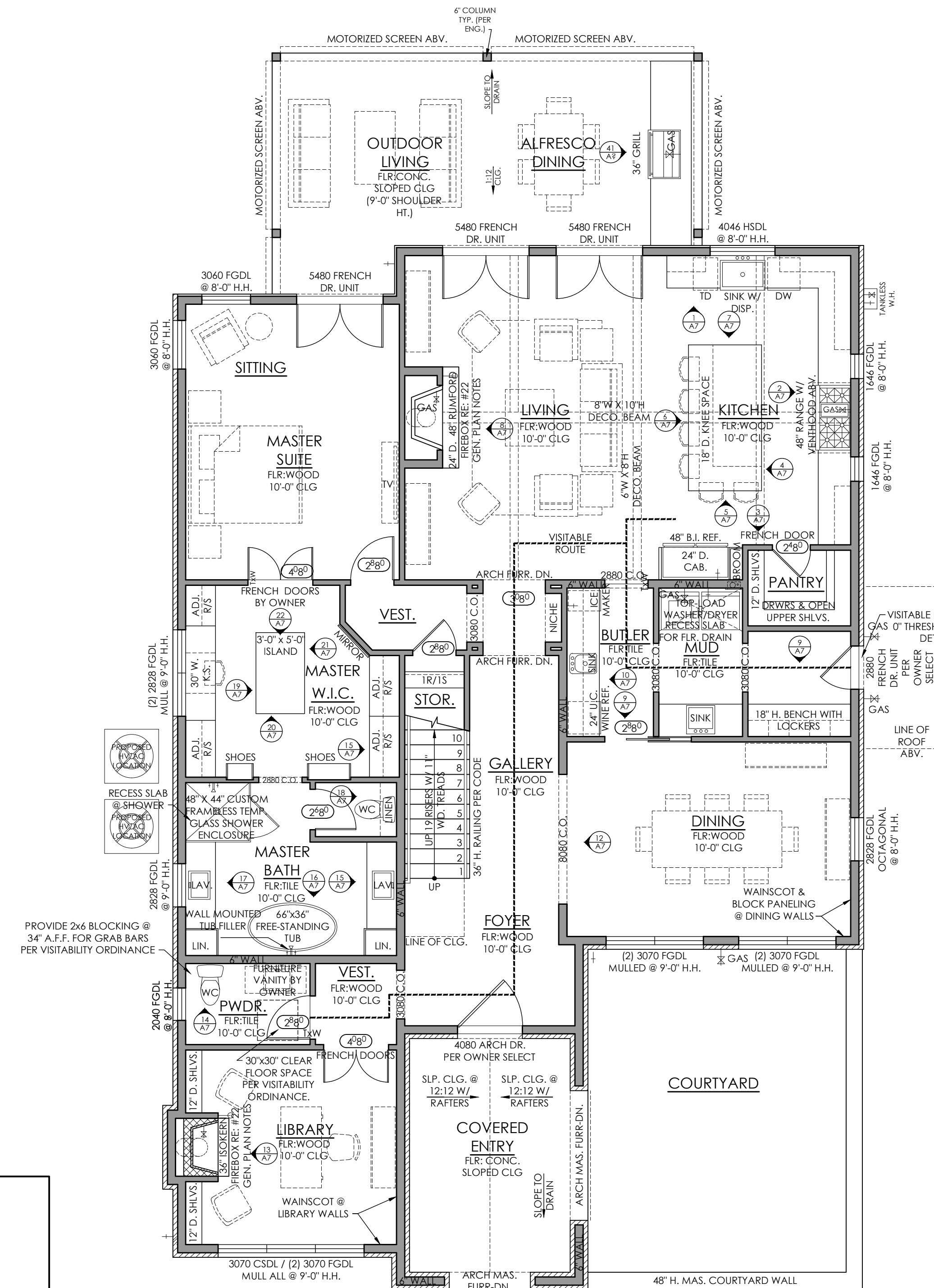
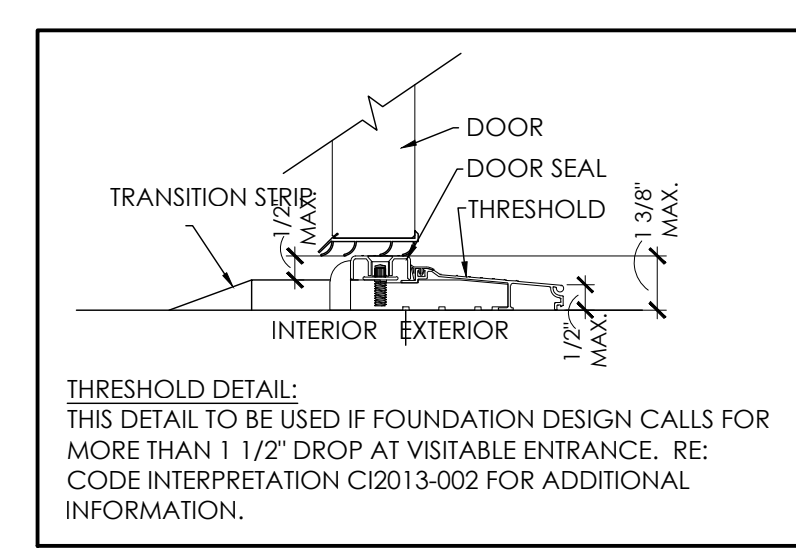
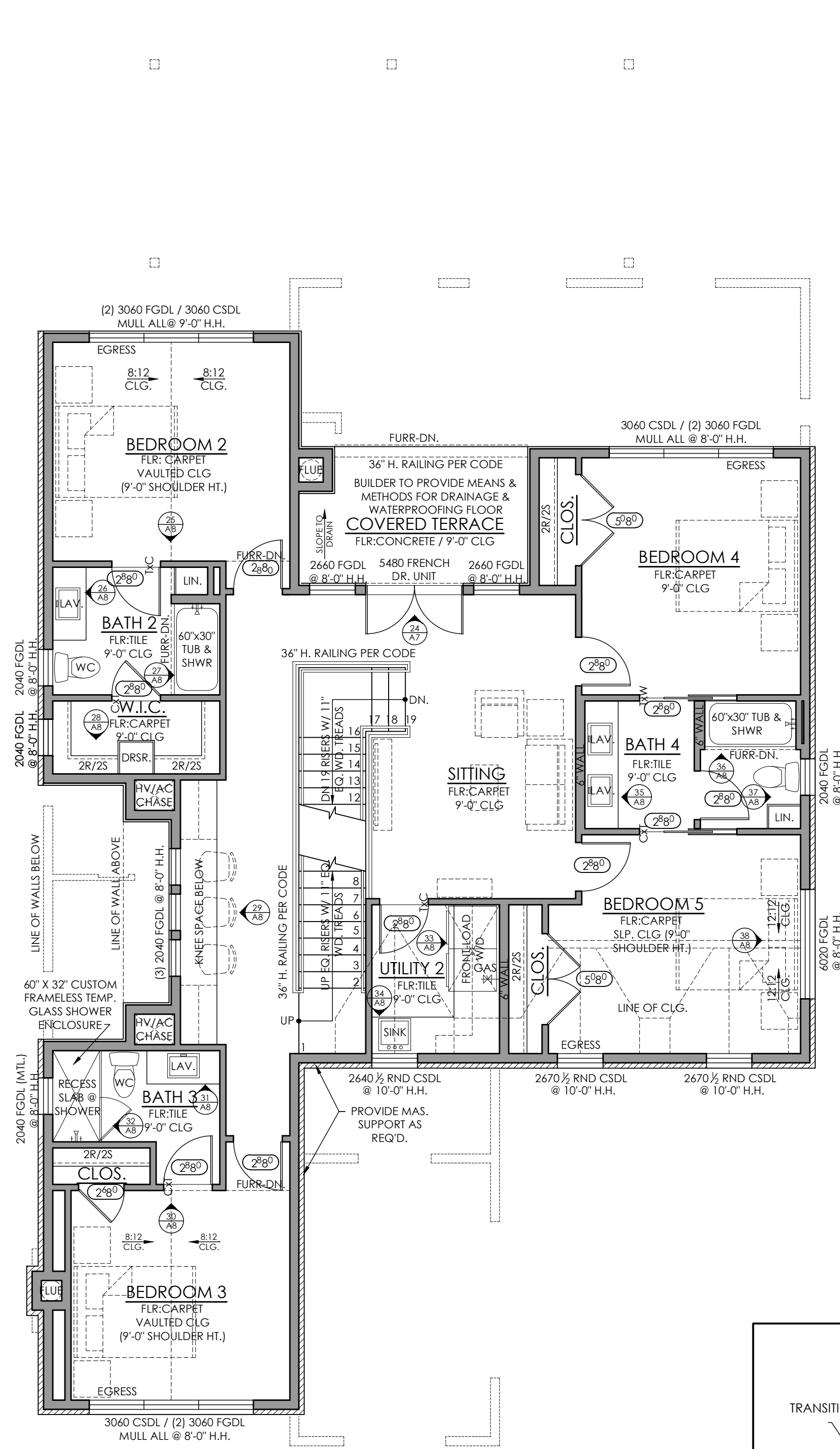
SITE PLAN

SCALE 1:10

GENERAL PROJECT NOTES

- THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (512)458-1363.
- WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE ARCHITECT IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.
- PORTIONS OF THIS WORK MAY NOT HAVE BEEN DRAWN BY A REGISTERED ARCHITECT.
- THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS ARCHITECT.
- THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
- WHEN THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS, MATERIALS OR SYSTEMS, CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS, MATERIALS, AND SYSTEMS SELECTED WHEN INSTALLED.
- ALL COMPONENTS, MATERIALS, SYSTEMS AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES. IF CONFLICTS ARISE BETWEEN ARCHITECTURAL PLANS OR SPECIFICATIONS AND MANUFACTURER'S SPECIFICATIONS CONTRACTOR IS TO CONTACT ARCHITECT PRIOR TO PURCHASE AND/OR INSTALLATION OF MATERIALS FOR DIRECTION.
- ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.
- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY, CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
- THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
- IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE ARCHITECT OR OWNER BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.





SQUARE FOOTAGE CALCULATIONS

LOWER HEATED	2,094.9 SF
UPPER HEATED	1,530.8 SF
TOTAL HEATED	3,625.7 SF
FUTURE ATTIC HEATED	625.0 SF
COVD OUTDOOR LIVING	341.0 SF
COVD ENTRY	180.1 SF
COVD TERRACE	96.6 SF
LOWER MASONRY	42.6 SF
UPPER MASONRY	41.1 SF
TOTAL UNHEATED	1,326.4 SF
TOTAL COVERED AREA	4,952.1 SF

- GENERAL PLAN NOTES:
- THESE DOCUMENTS REFLECT NOMINAL WINDOW SIZES. WINDOW MANUFACTURER TO USE STANDARD SIZES UNLESS NOTED OTHERWISE.
 - ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
 - WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
 - ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
 - ALL OPENINGS BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE EQUIPPED WITH SOLID CORE WOOD DOORS 1 3/8" MIN THICKNESS, AND EQUIPPED WITH A SELF CLOSING DEVICE.
 - ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. GLAZING USED IN DOORS AND PANELS OF BATHTUB/SHOWER ENCLOSURES AND BUILDING WALLS ENCLOSING THESE COMPARTMENTS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
 - IF PLATE HEIGHT IS 9'-0" OR HIGHER, ALL DOORS AND CASED OPENINGS TO BE 8'-0" HT. UNLESS NOTED OTHERWISE. IF PLATE HEIGHT IS LESS THAN 9'-0", ALL DOORS AND CASED OPENINGS TO BE 6'-8" HT. UNLESS NOTED OTHERWISE. EXCEPTION: IF A 7'-0" HT. DOOR IS USED ADJUST WINDOWS TO 7'-0" HEADER HT.
 - PROVIDE WEATHERSEAL AND DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
 - THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
 - ALL BEARING WALLS OVER 9'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 9'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
 - PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
 - PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
 - CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
 - WEATHERSTRIP ATTIC ACCESS DOOR(S).
 - IN VENTED ROOF ASSEMBLIES PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.
 - ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
 - BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
 - PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
 - THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
 - UNLESS NOTED OTHERWISE STANDARD PANTRY SHELVING TO BE AS FOLLOWS:
LOWEST 2 SHELVES TO BE 16" D. WITH HEIGHT SPACING OF 14" CLEAR.
REMAINING SHELVES TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.
 - PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
 - ALL FIREPLACES TO HAVE 20" DEEP HEARTH& 12" NON-COMBUSTIBLE SURROUND.
- LEGEND:
 ○ GAS KEY ✕ GAS ⚡ SHOWER HEAD ⚡ HOSE BIBB

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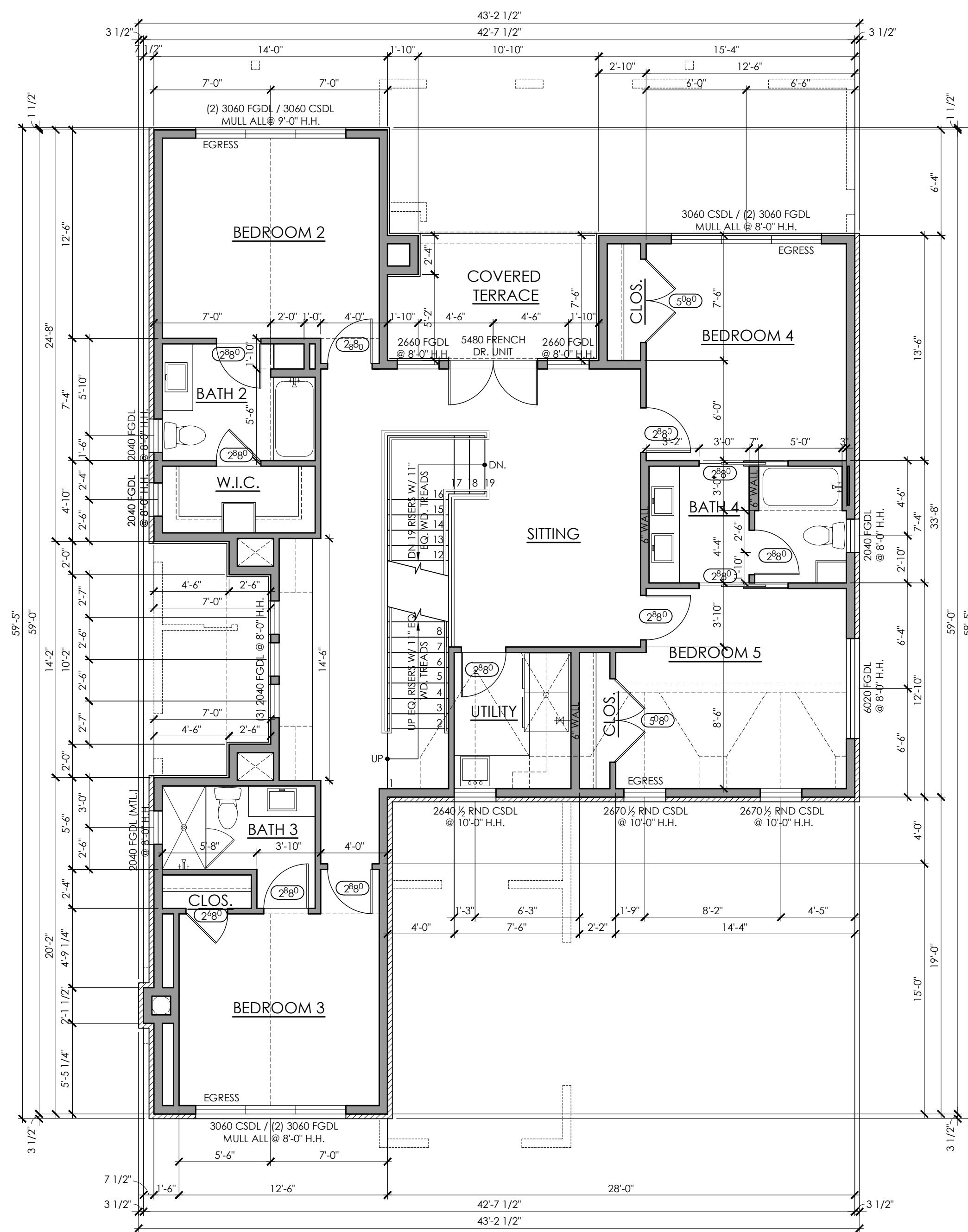
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12/15/2020

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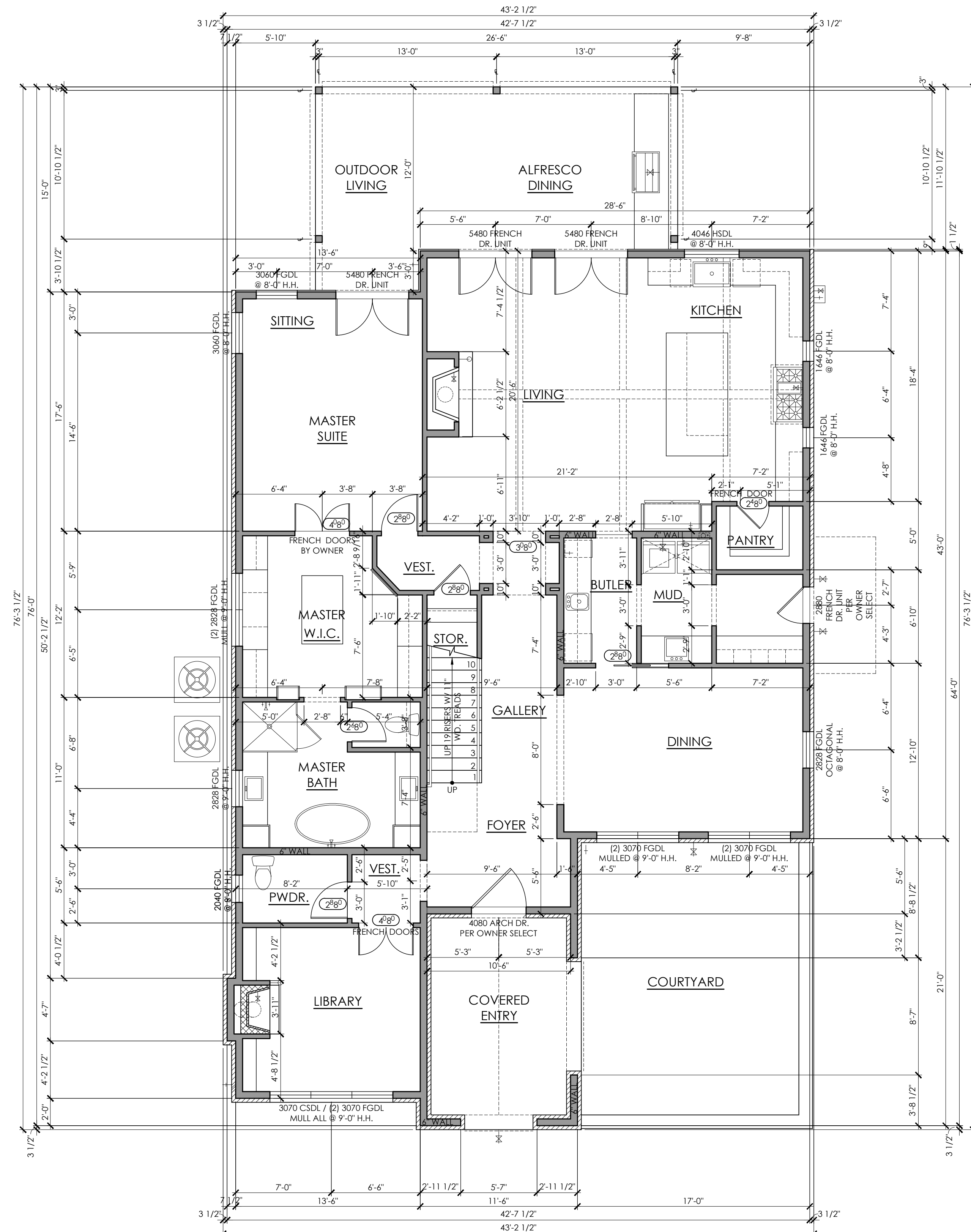
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PROJECT NO: 20120
 DRAWN BY: SFH, LW
 DATE: 12/15/2020
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 PROJECT MGR: EW



SECOND FLOOR DIMENSION PLAN

SCALE 3/16" = 1'-0"



FIRST FLOOR DIMENSION PLAN

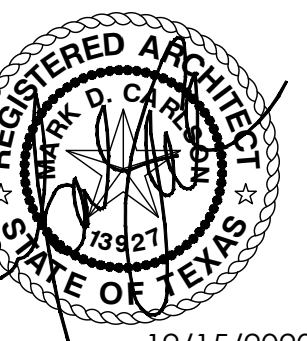
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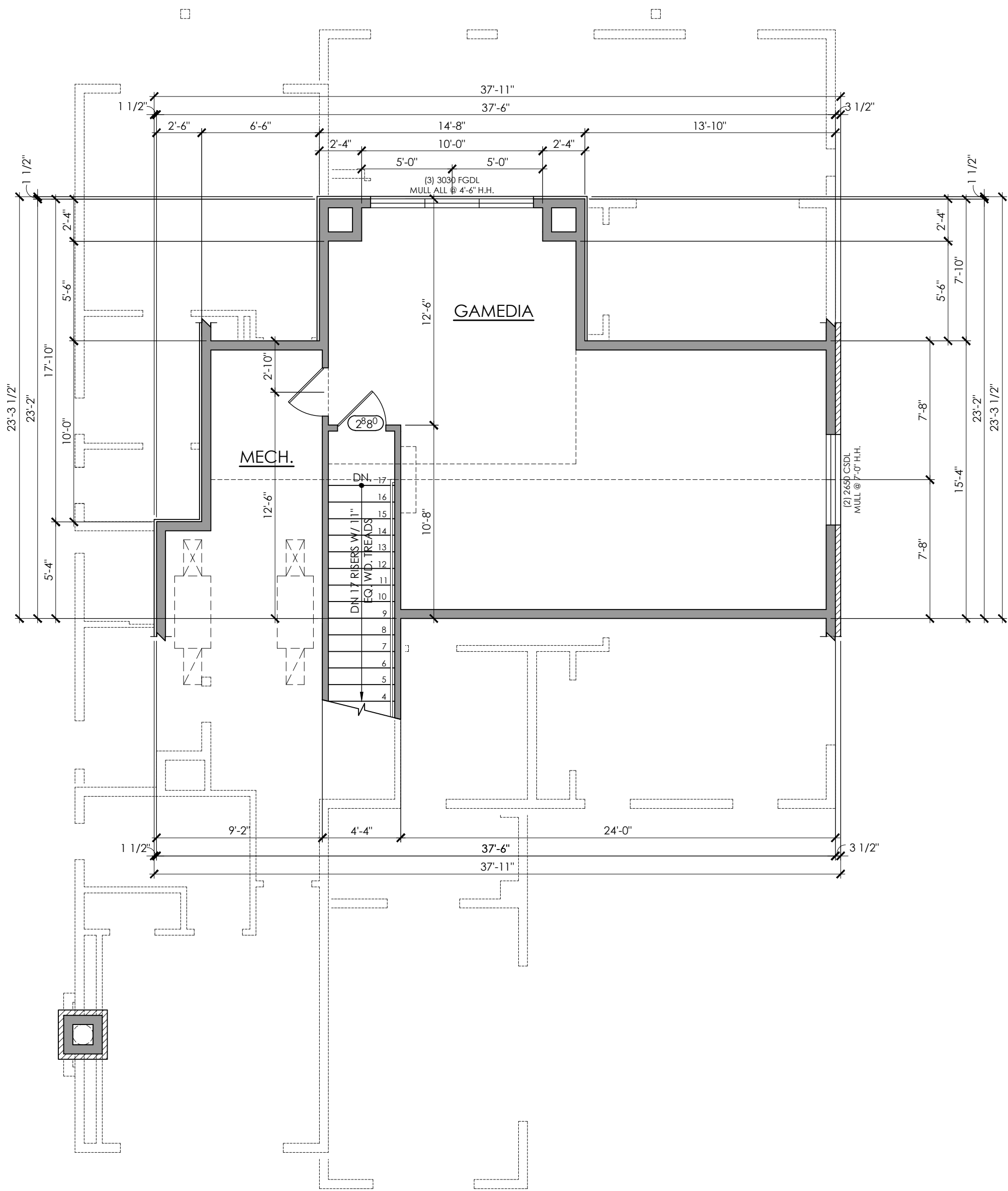


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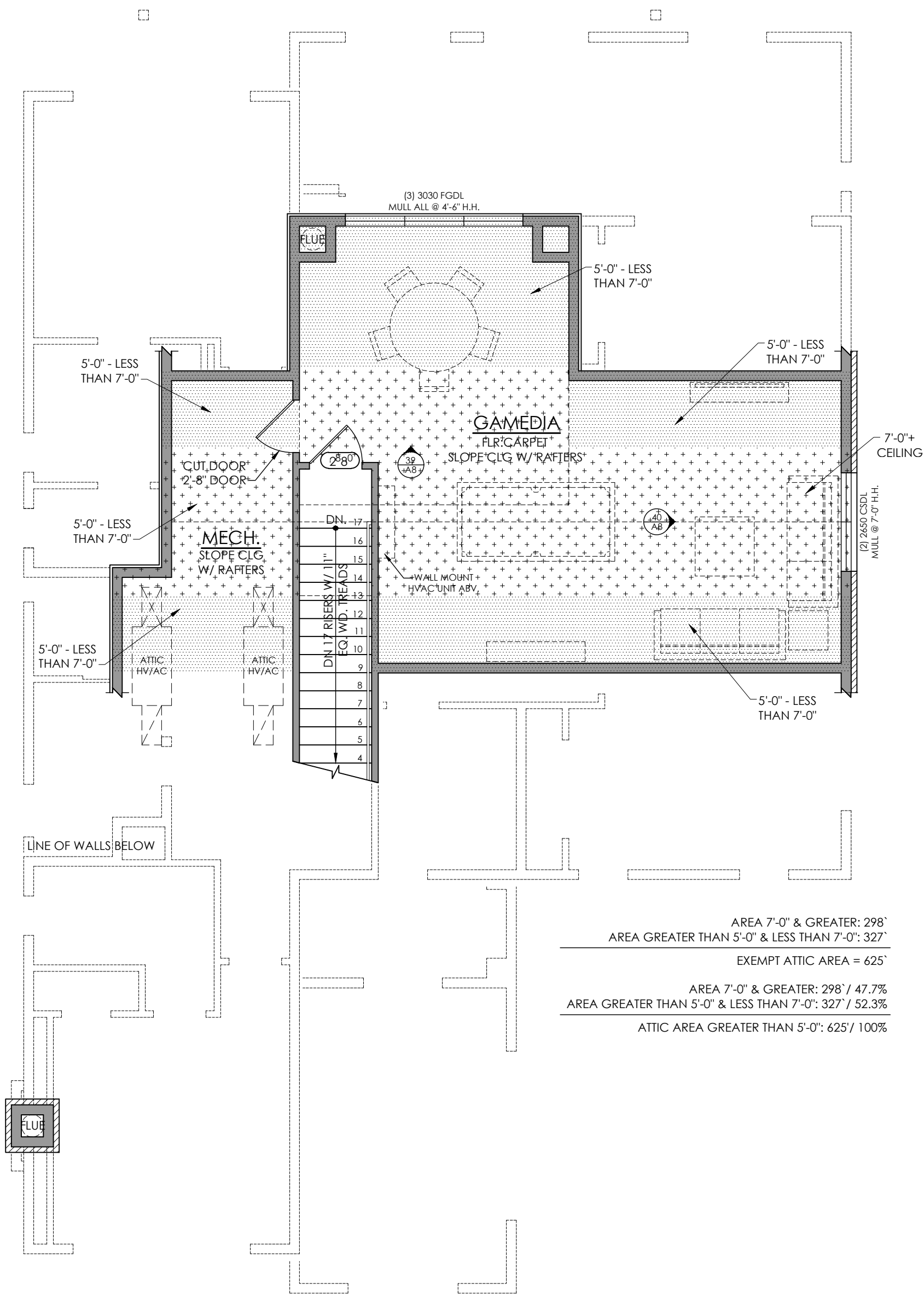
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ATTIC DIMENSION PLAN


SCALE 3/16" = 1'-0"



ATTIC NOTES PLAN

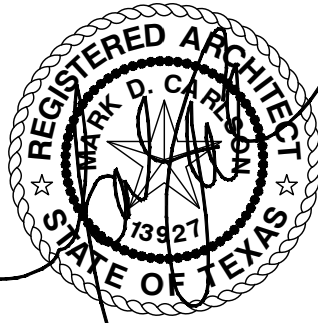
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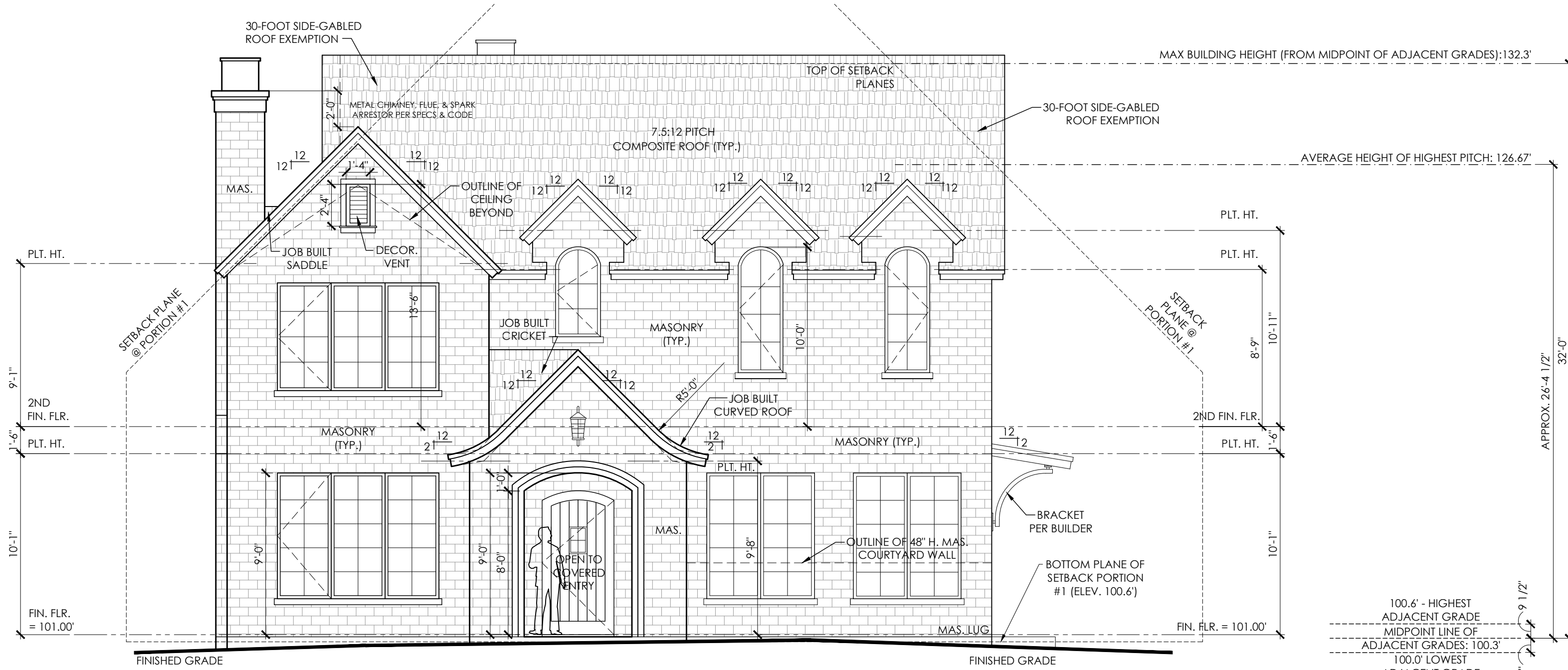
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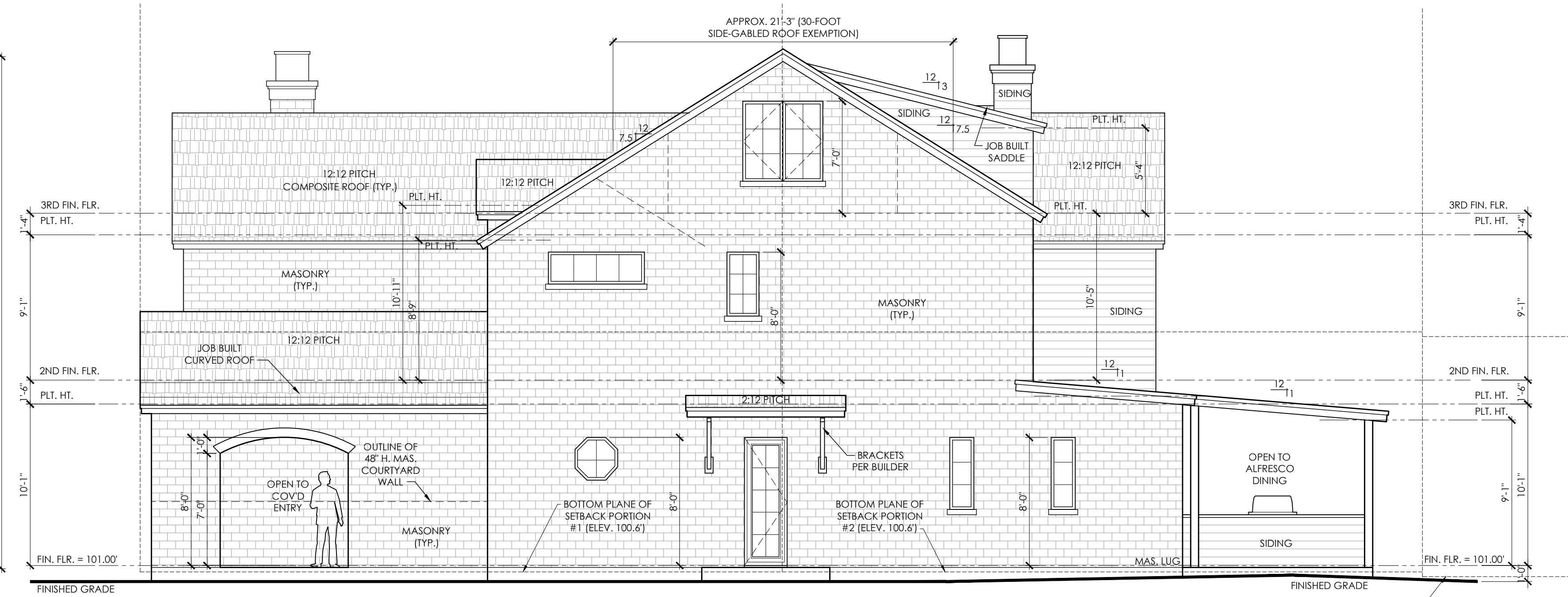
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FRONT ELEVATION

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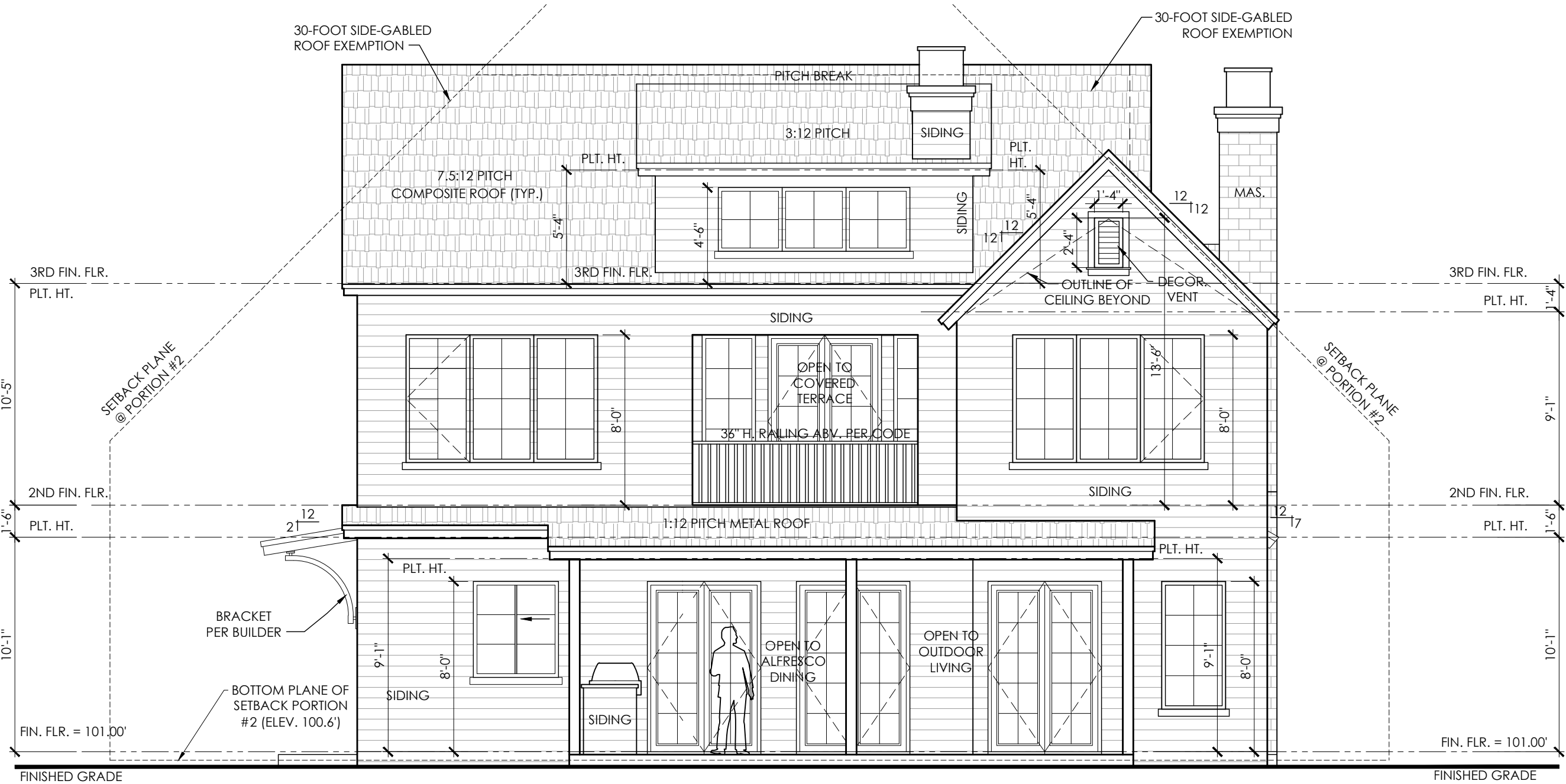


RIGHT ELEVATION

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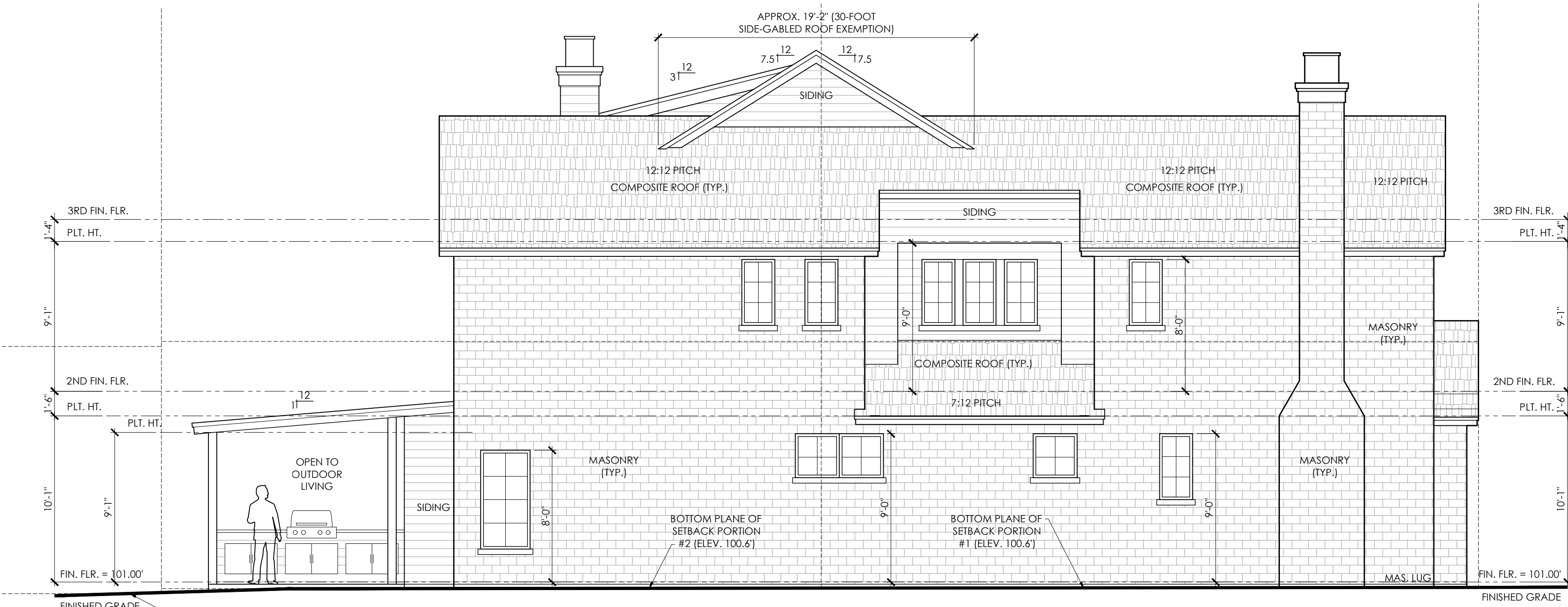
GENERAL ELEVATION NOTES

- ALL WINDOW HDR. HTS. LOWER FLOOR TO BE 8'-0" A.F.F. UNLESS NOTED OTHERWISE ON FLOOR PLANS. ALL WINDOW HDR. HTS. UPPER FLOOR TO BE 6'-8" A.F.F. UNLESS NOTED OTHERWISE ON FLOOR PLANS.
- PROVIDE MIN. 4" W. TRIM AT ALL SIDES OF ALUMINUM WINDOWS. SIDING TRIM AT SIDING WALL VENEER AND 1X4 WD. TRIM AT SIDING/WOOD VENEERS.
- EXPOSED FOUNDATION TO BE MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS. UNDERPIN ALL EXPOSED FOUNDATIONS.
- GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE.
- ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
- ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
- CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAIN FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
- CONTRACTOR TO PROVIDE RAINSCREEN AND FLASHING BEHIND ALL SIDING / SIDING VENEERS TO ASSURE ADEQUATE DRAINAGE.



REAR ELEVATION


SCALE 3/16" = 1'-0"



LEFT ELEVATION

SCALE 3/16" = 1'-0"

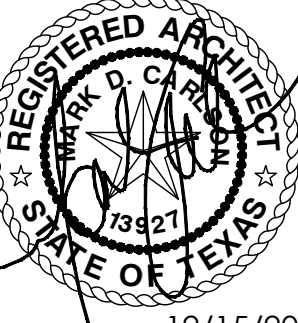
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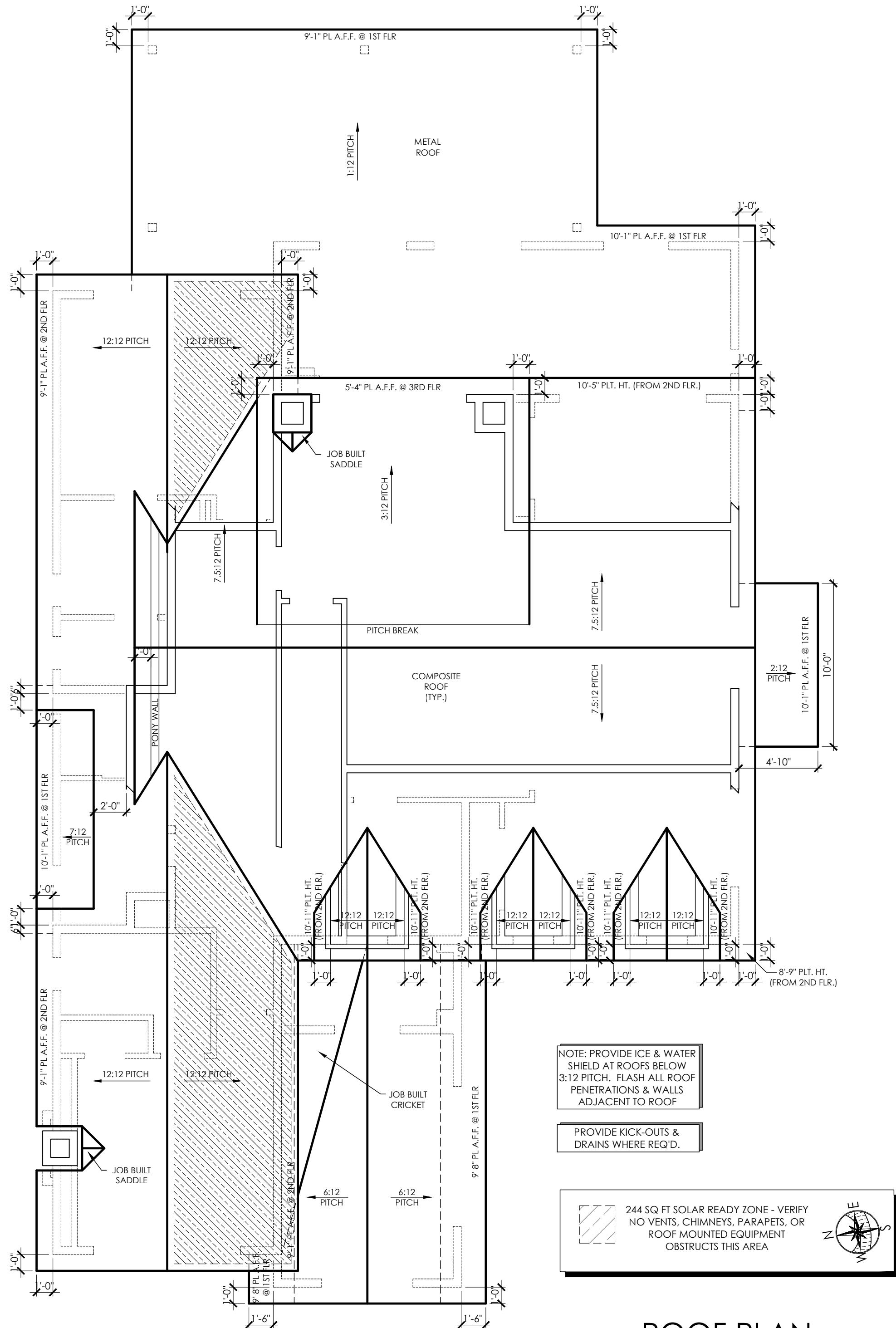
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ROOF PLAN

SCALE 3/16" = 1'-0"

GENERAL ROOF NOTES:

- PITCHES TO BE AS NOTED ON PLANS.
- HIPS, VALLEYS & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS.
- ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE.
- ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF. ALL OVERHANGS TO BE 18" FROM THE FRAMEWALL UNLESS NOTED OTHERWISE.
- U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
- ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
- WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
- BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.

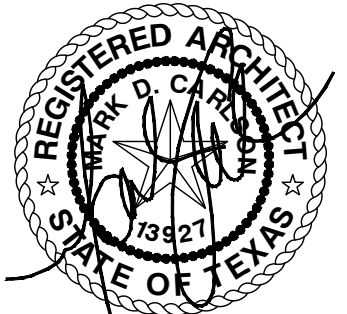
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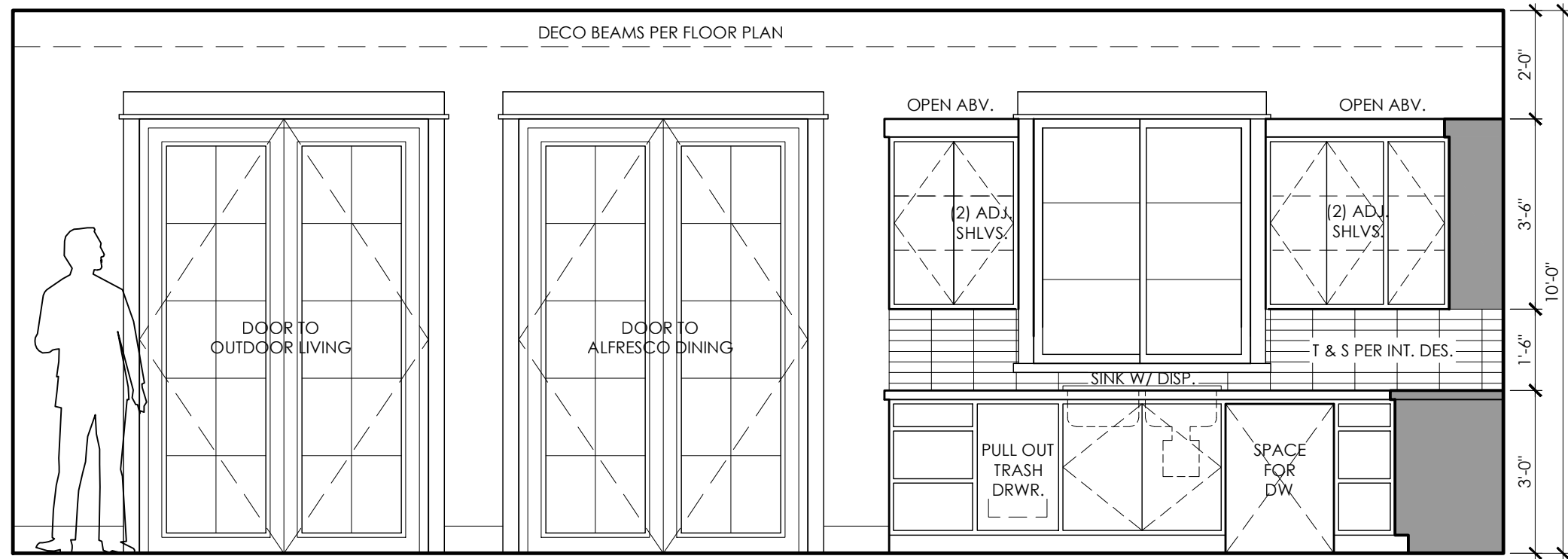


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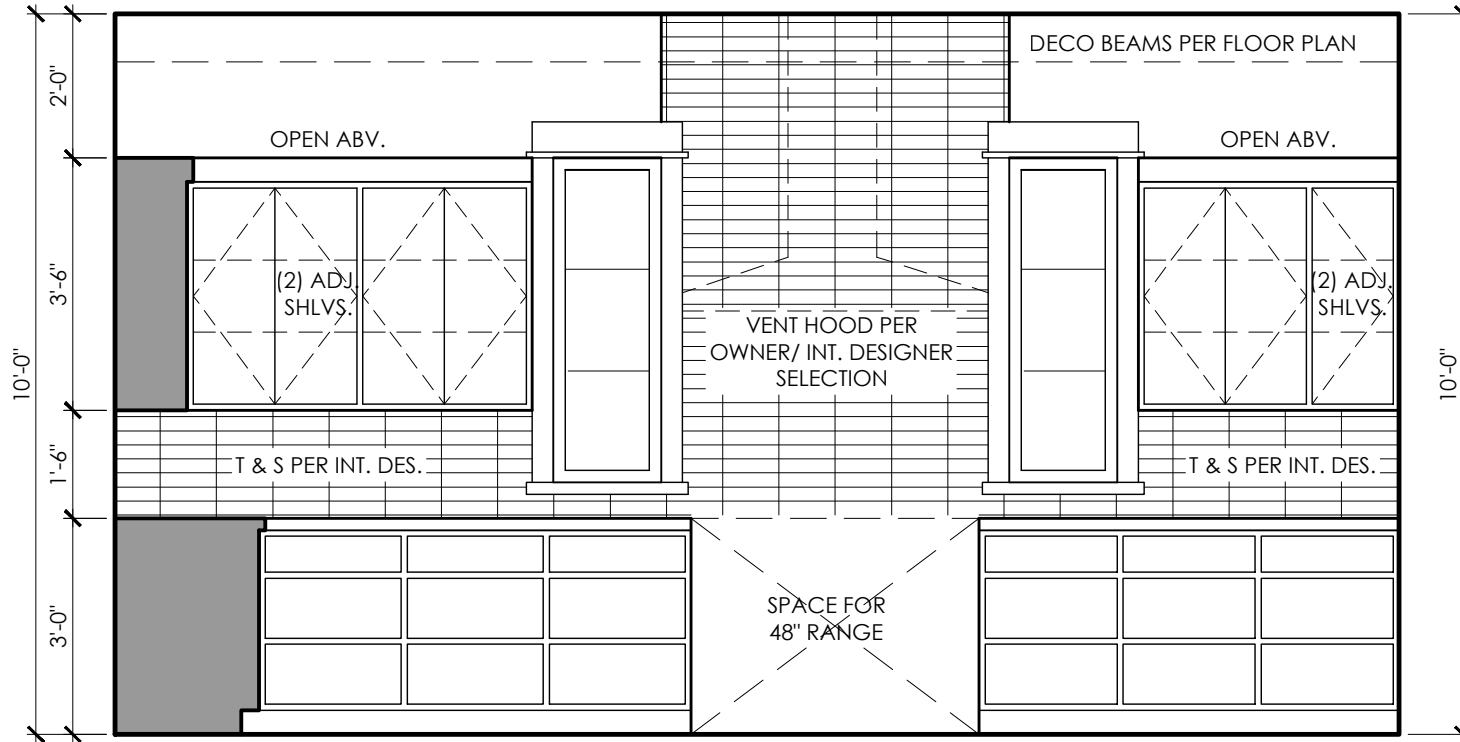
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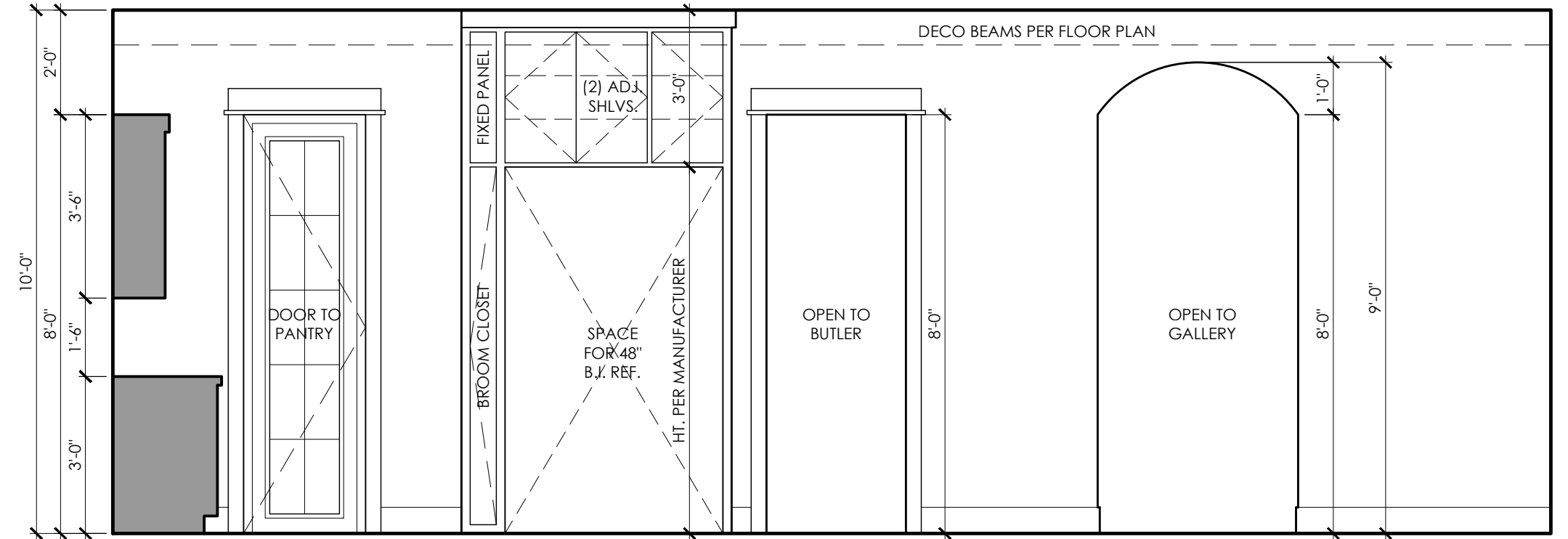
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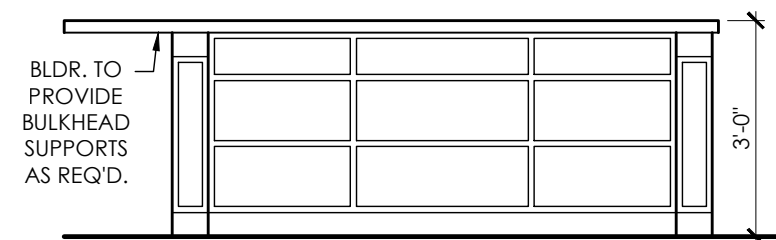
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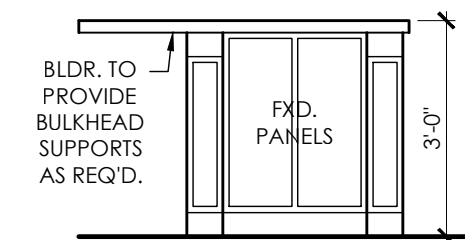
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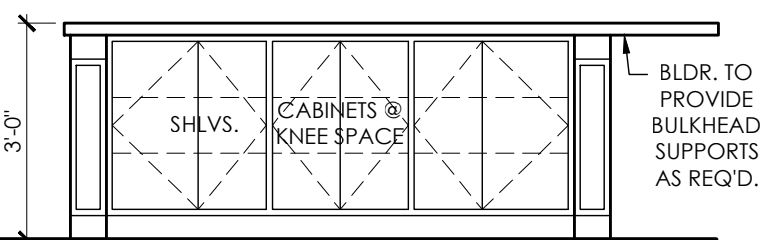
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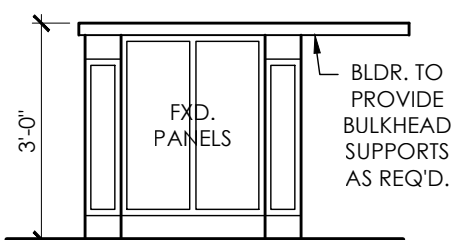
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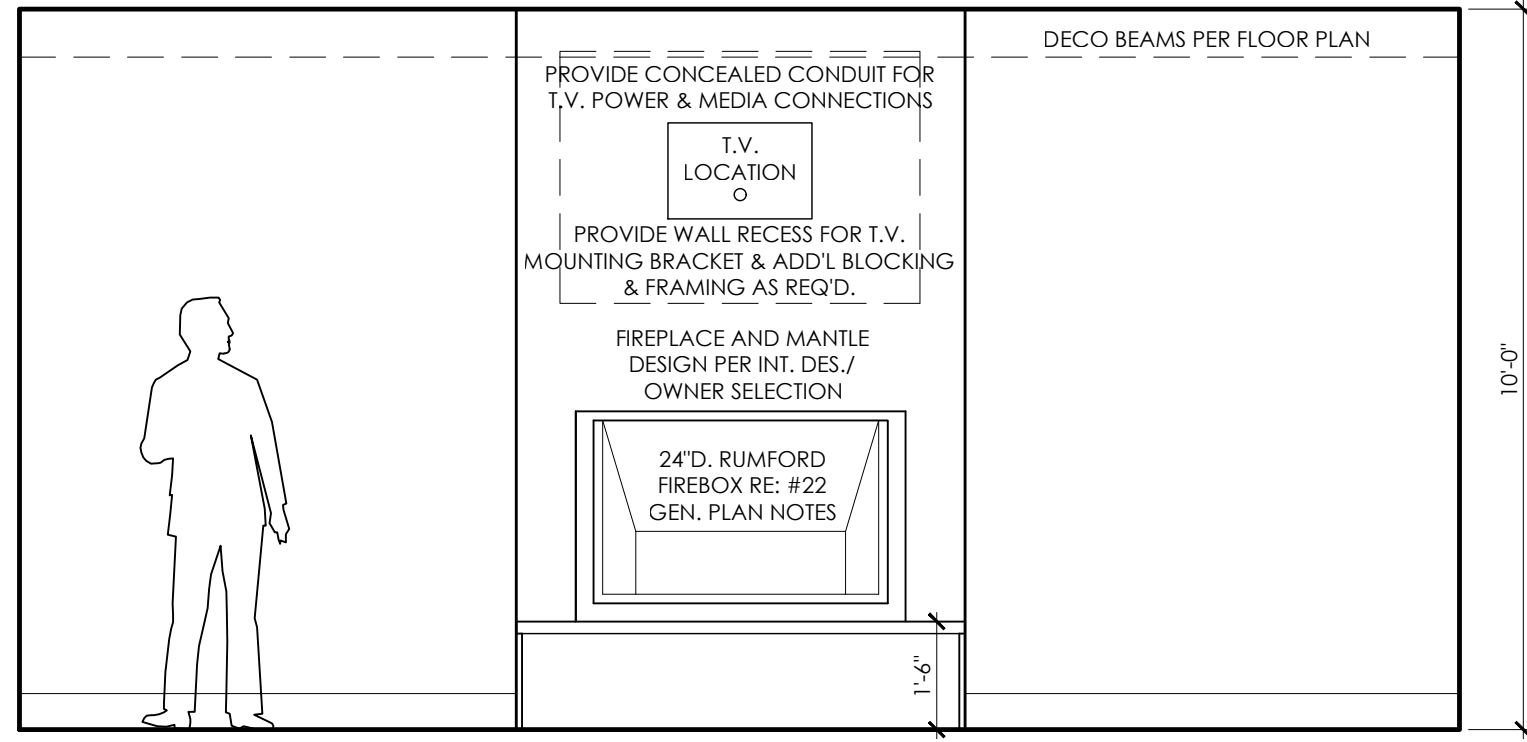
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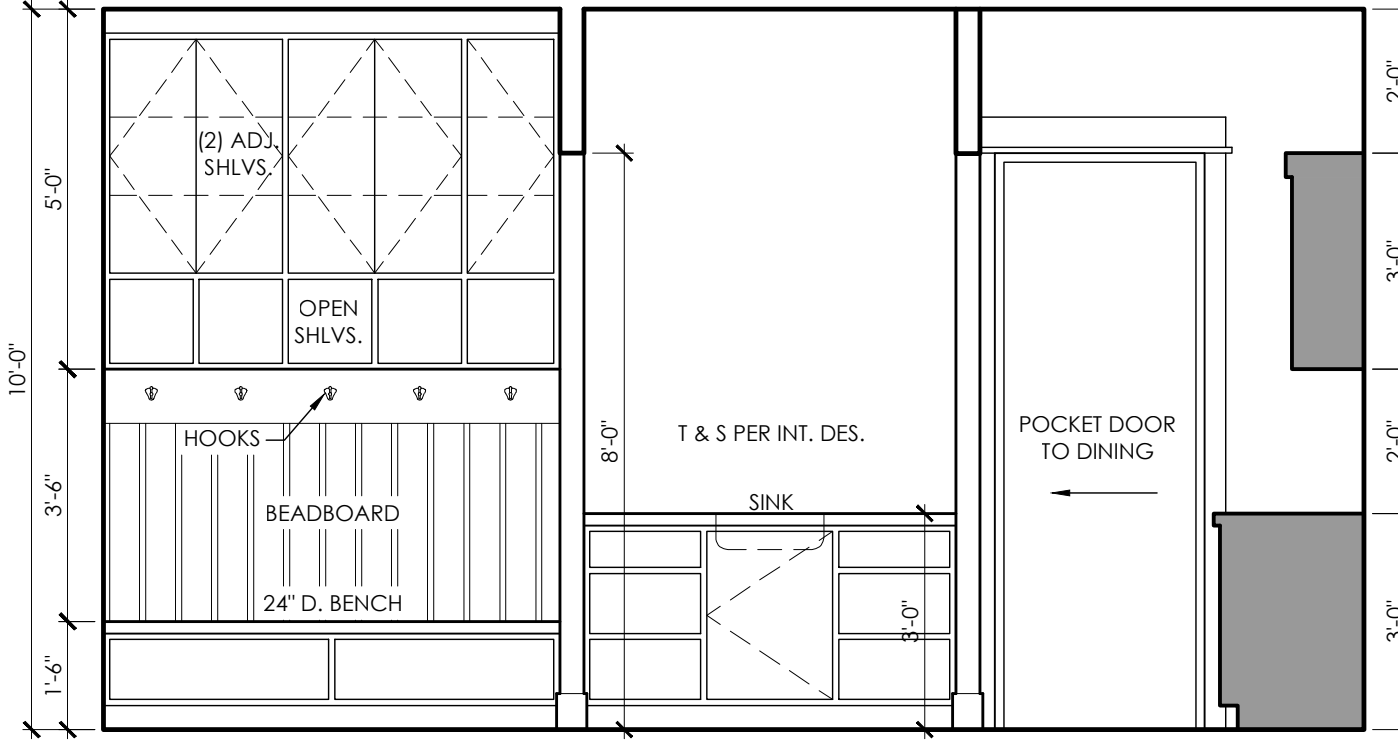
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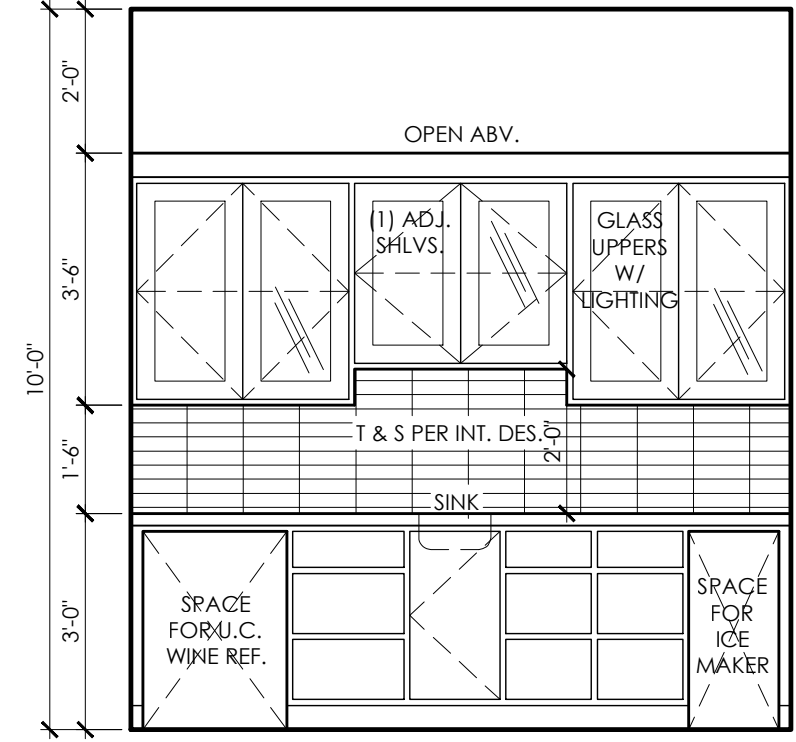
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8 LIVING

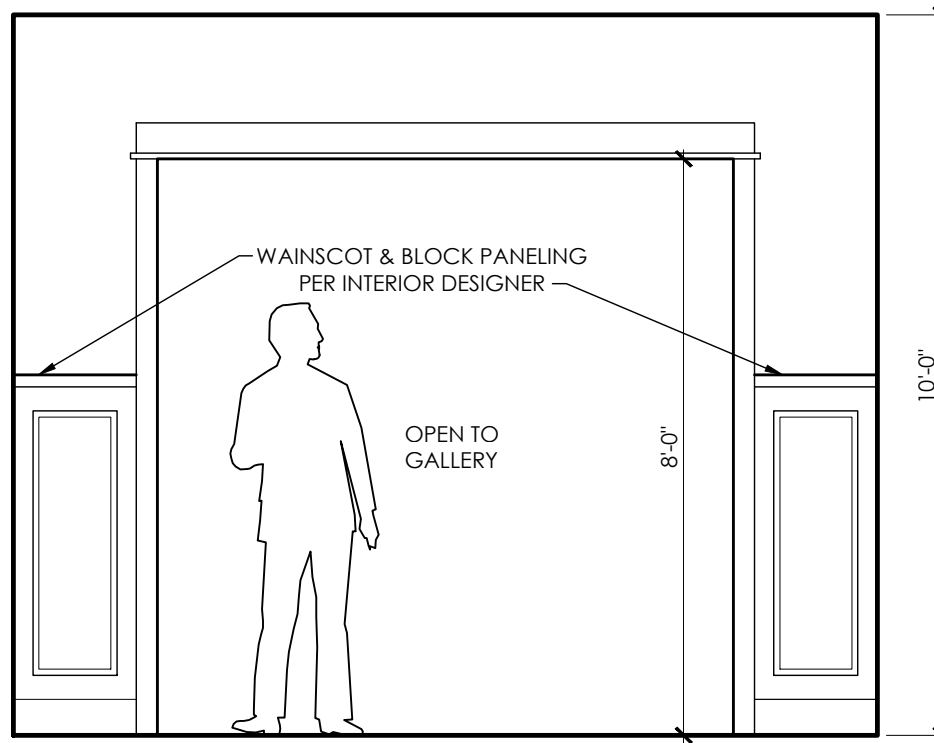


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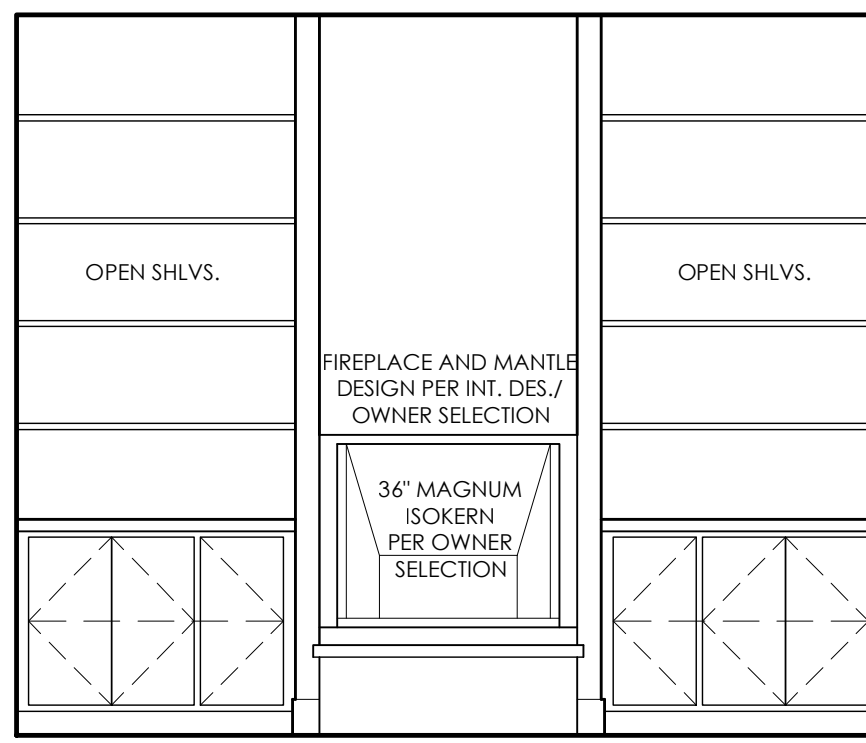


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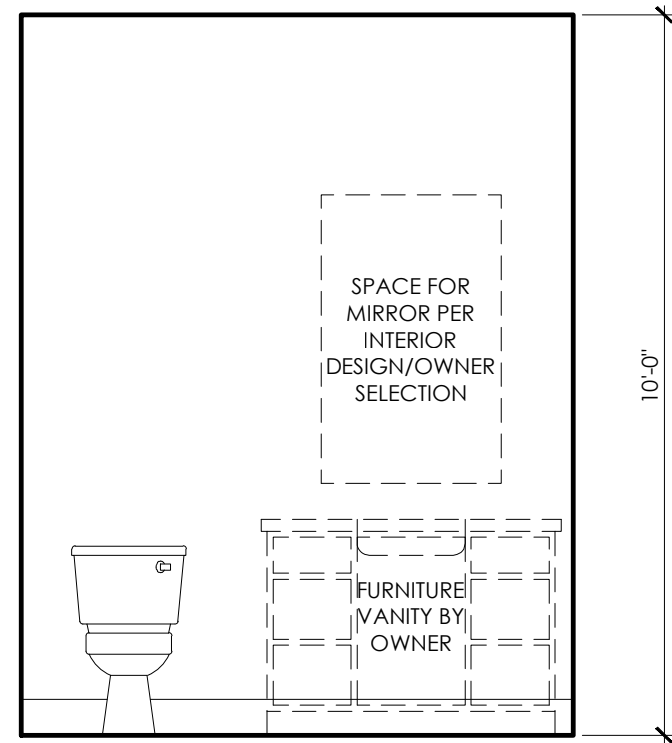
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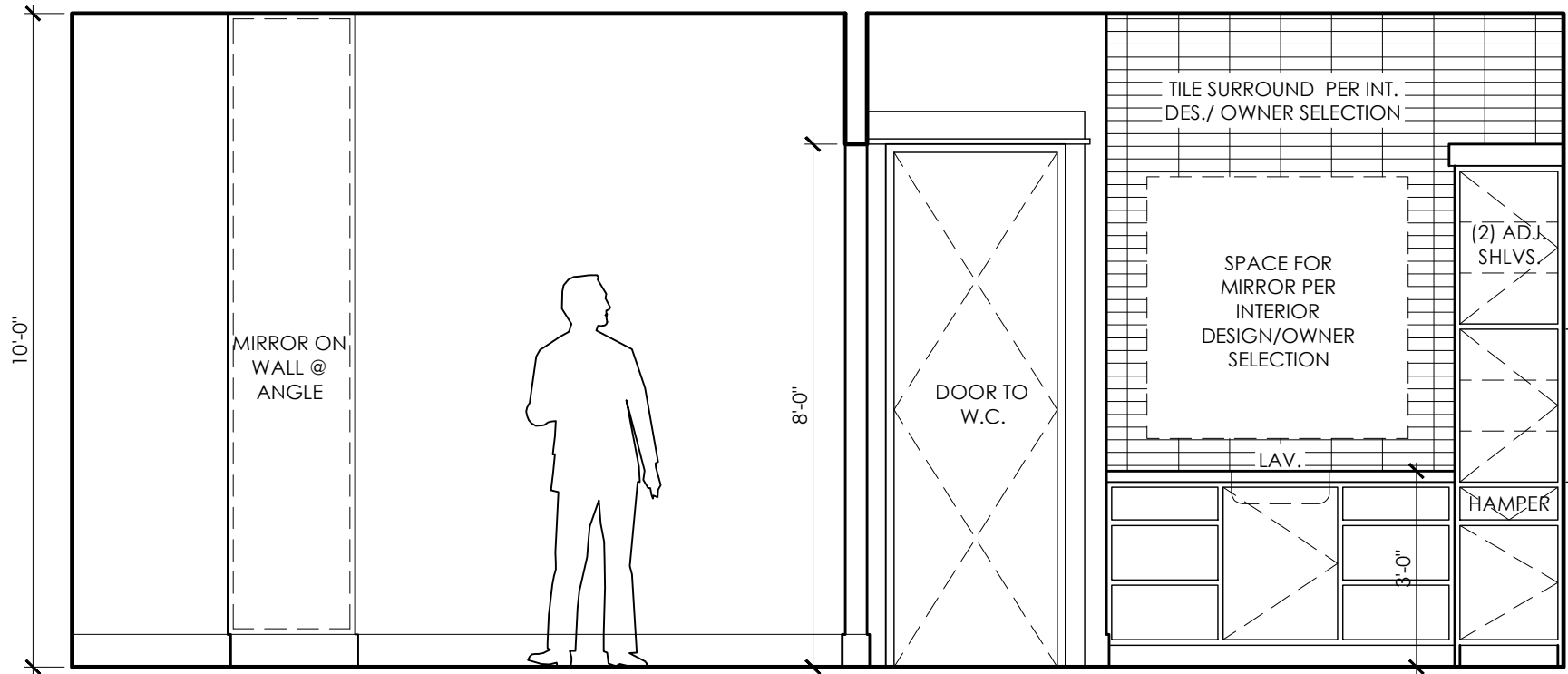
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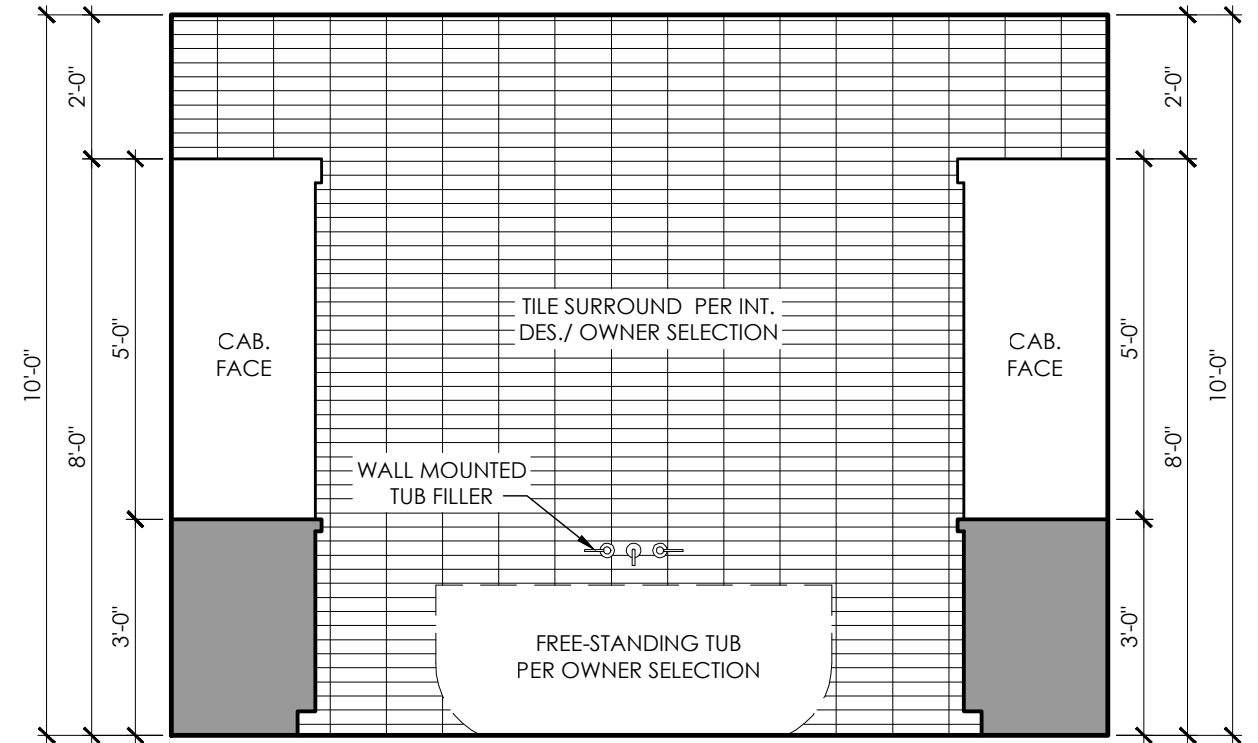
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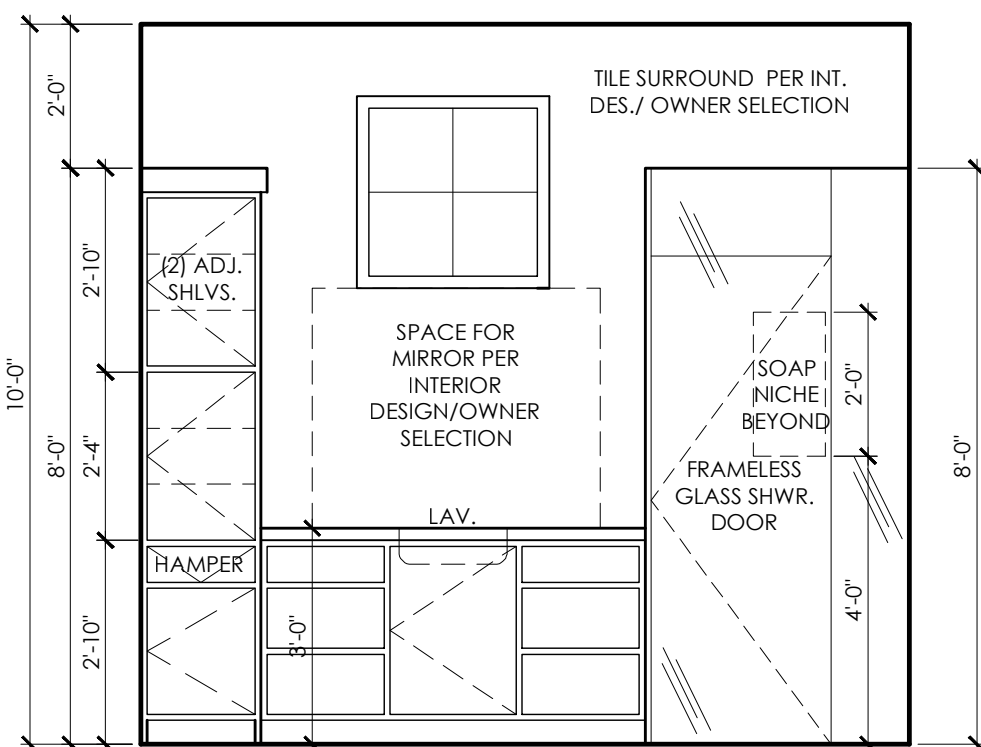
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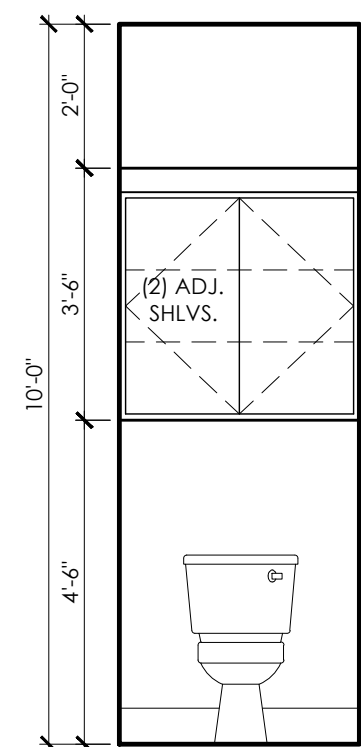
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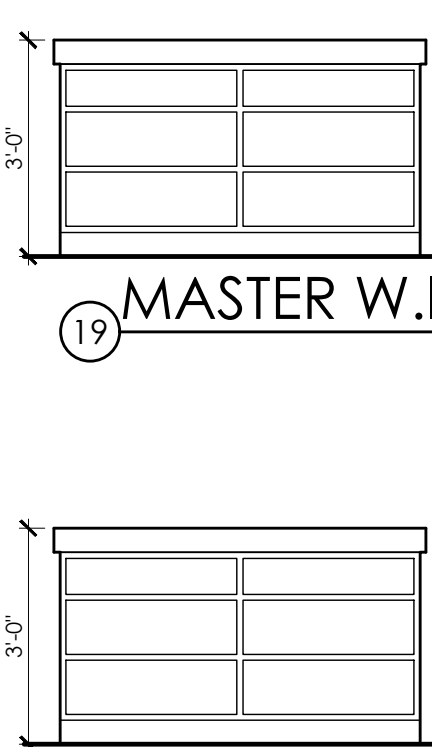
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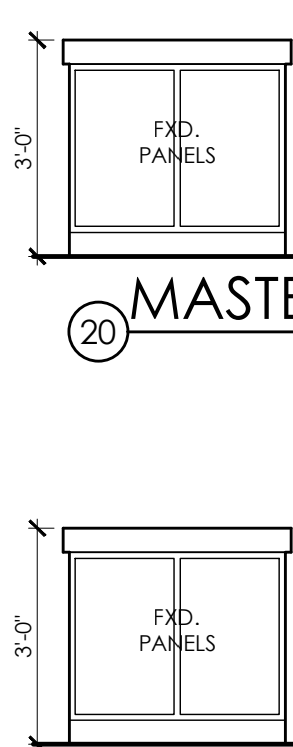
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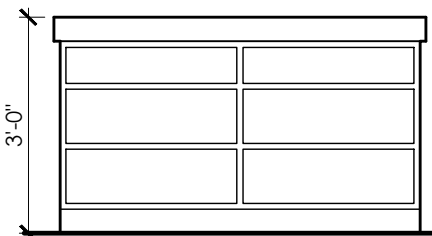
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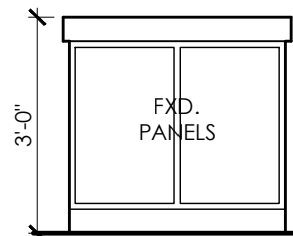
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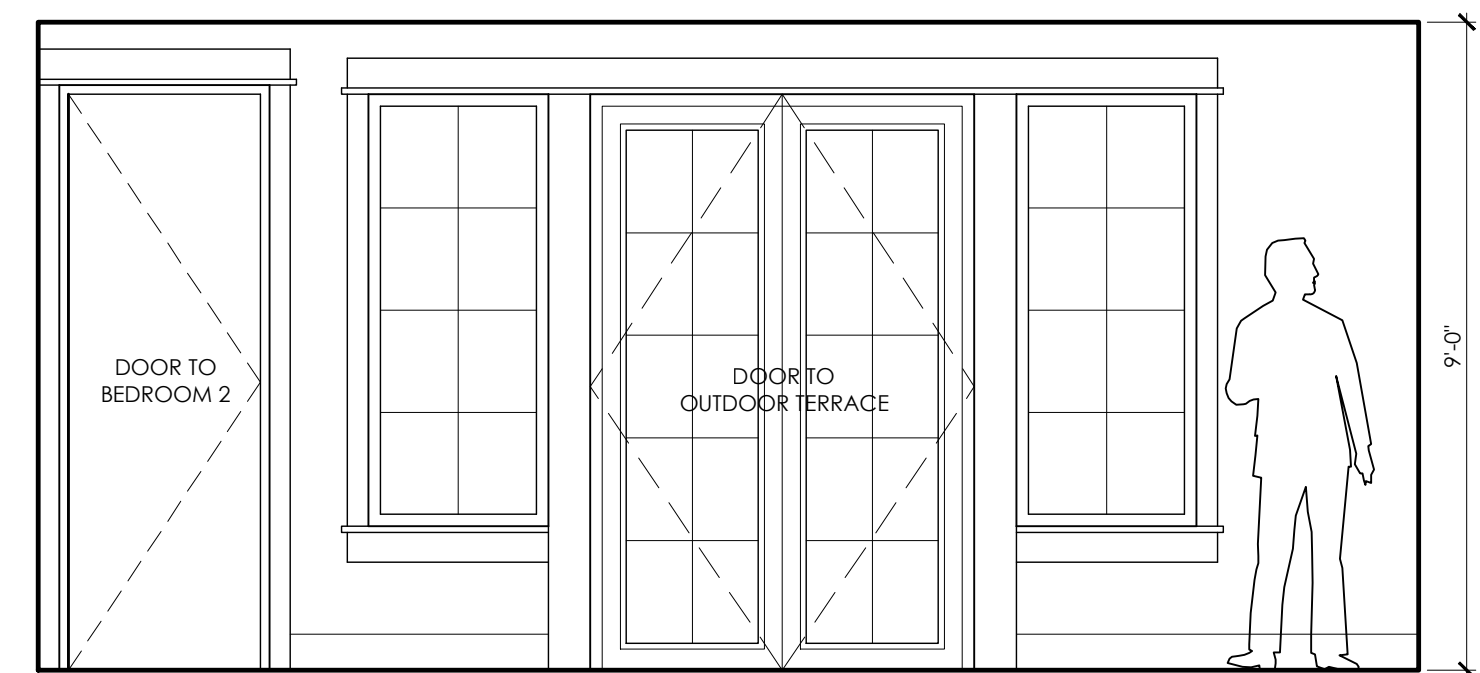
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21 MASTER W.I.C.



22 MASTER W.I.C.



24 SITTING

INTERIOR ELEVATIONS

SCALE 3/8" = 1'-0"

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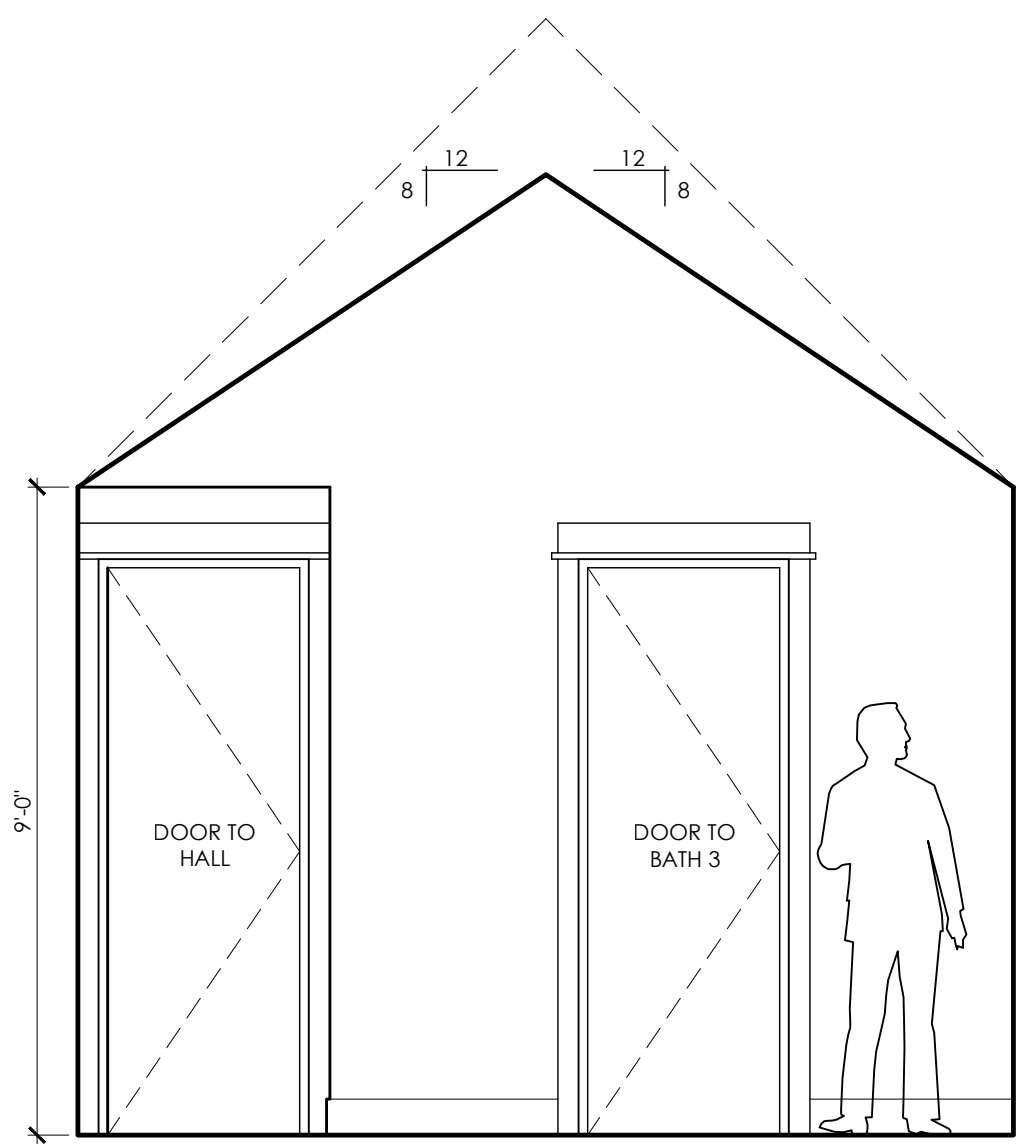
CORNERSTONE ARCHITECTS

12/15/2020

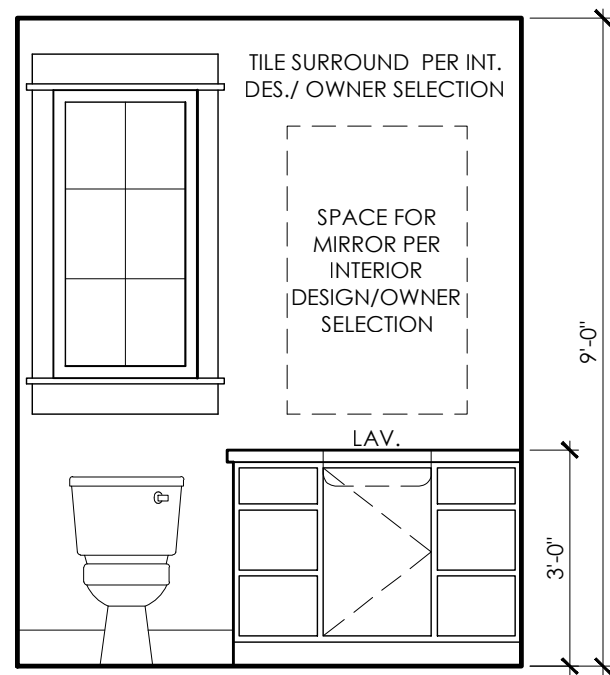
KINSEL RESIDENCE

A7

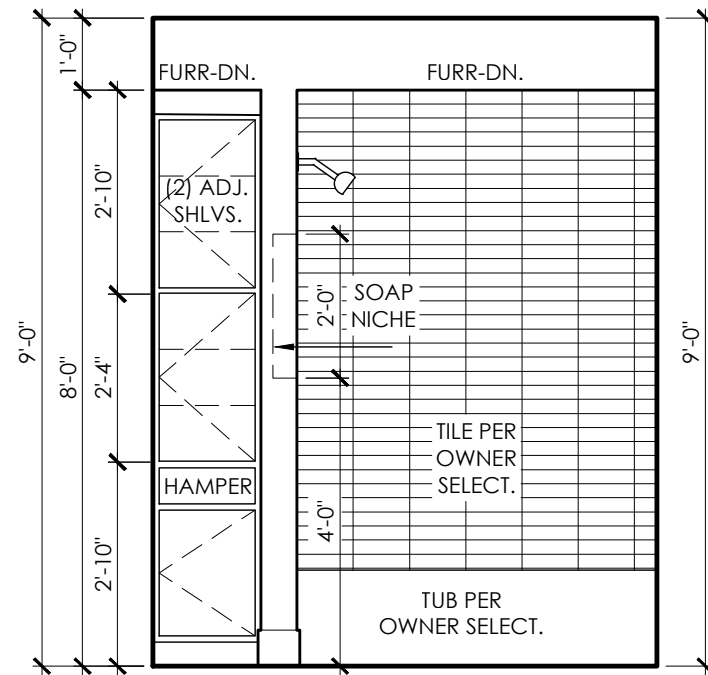
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DRAWN BY: LW
DATE: 12/15/2020
CHECKED BY: JX
PROJECT MGR: EW



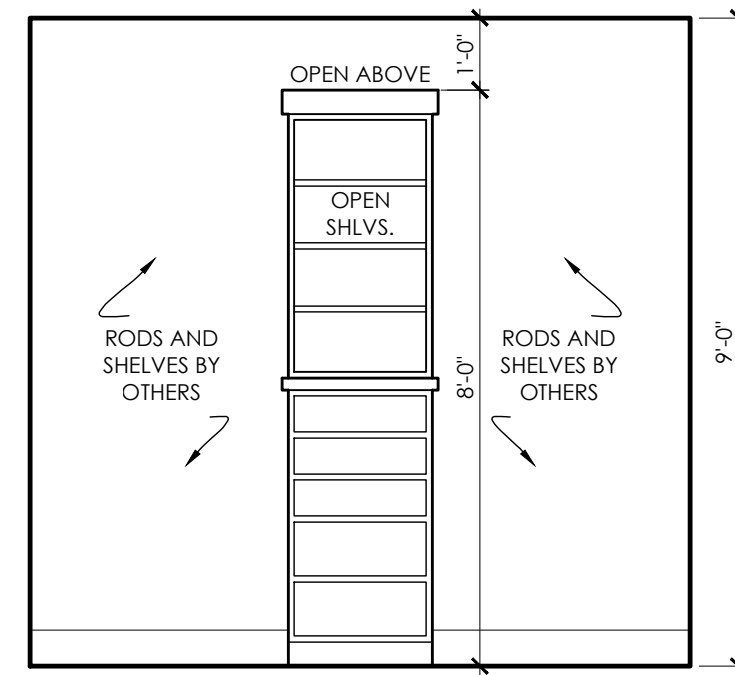
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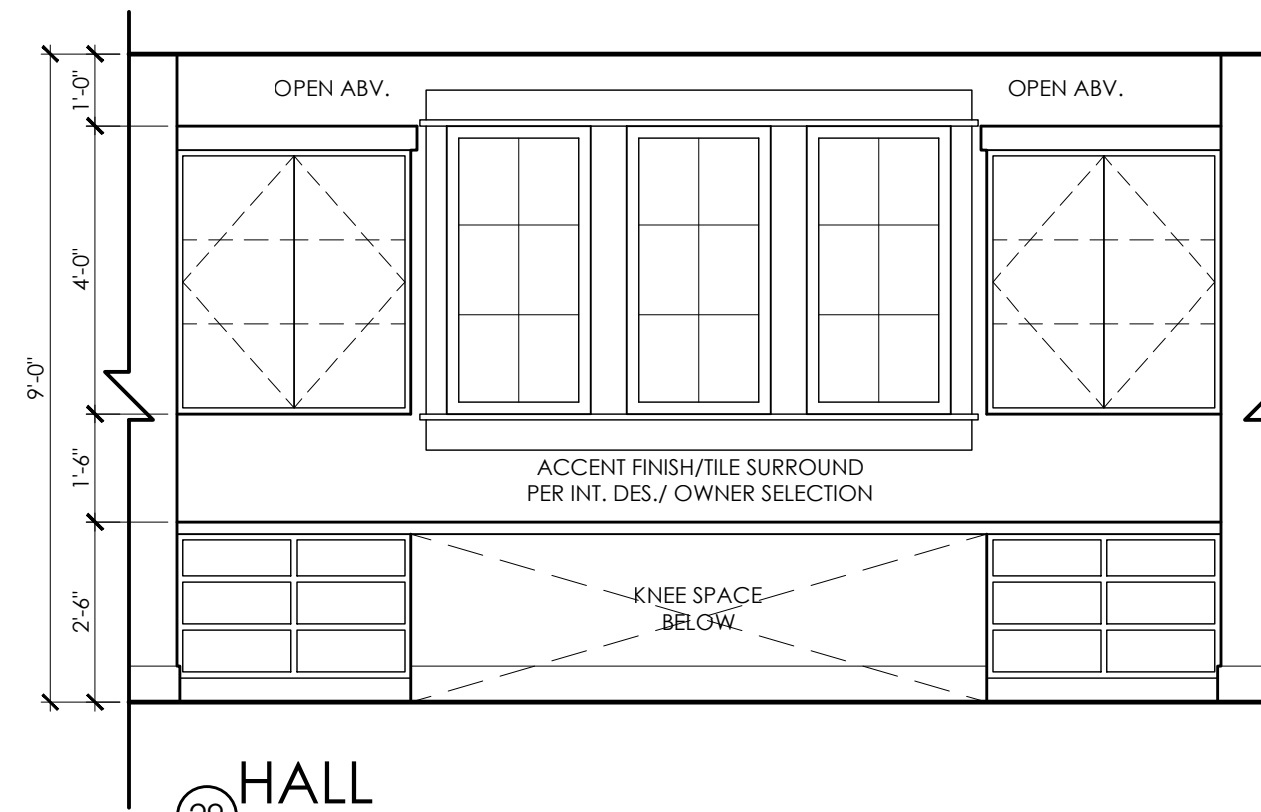
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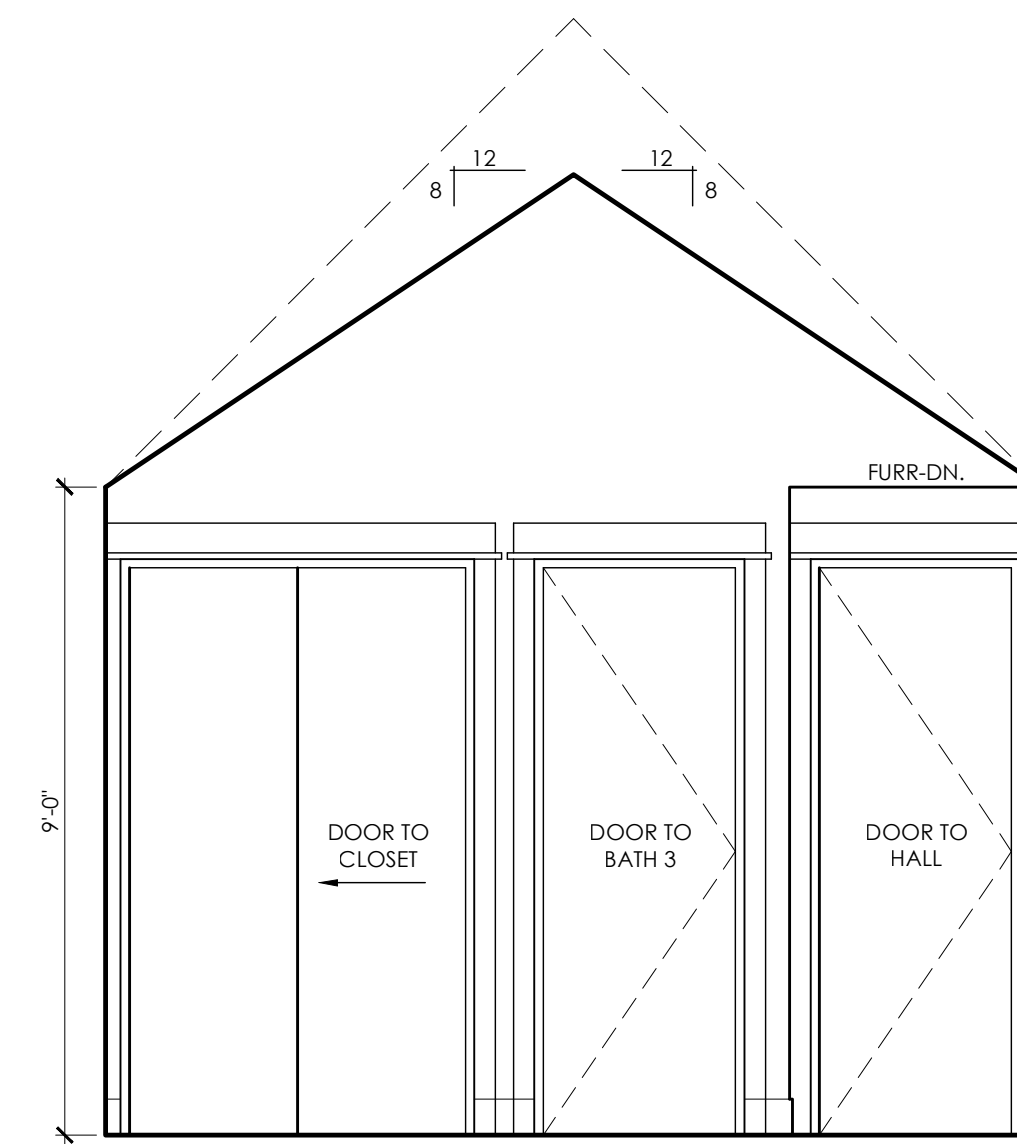
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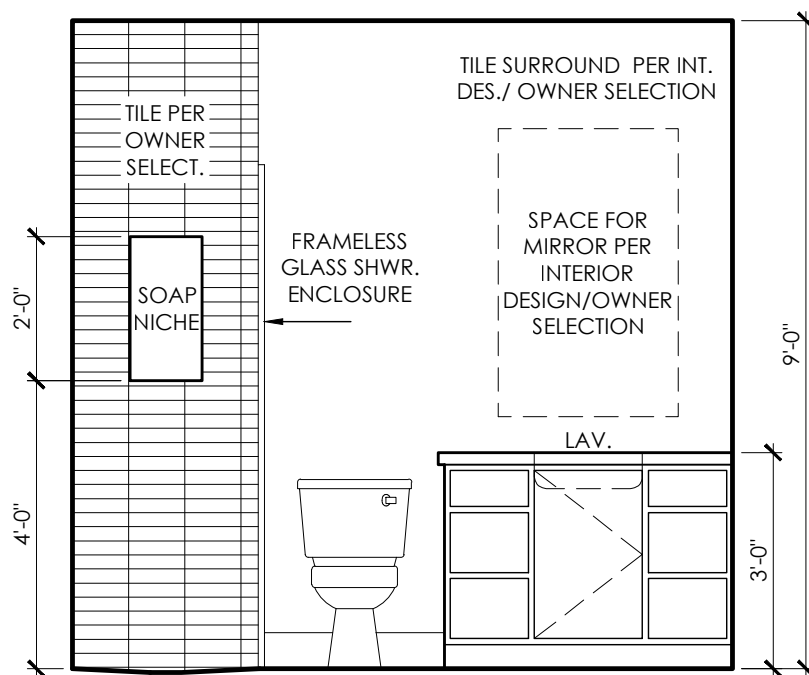
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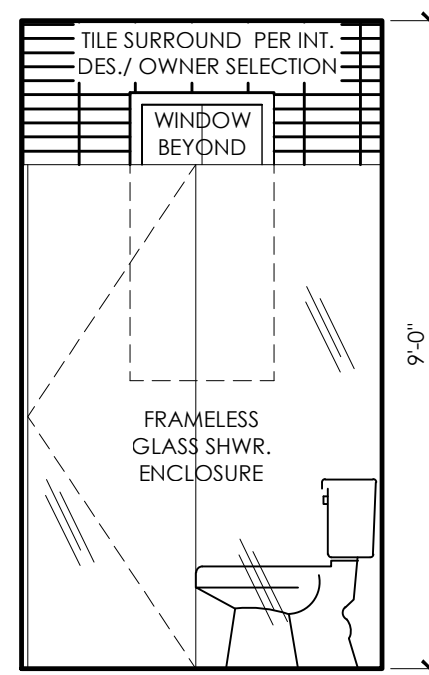
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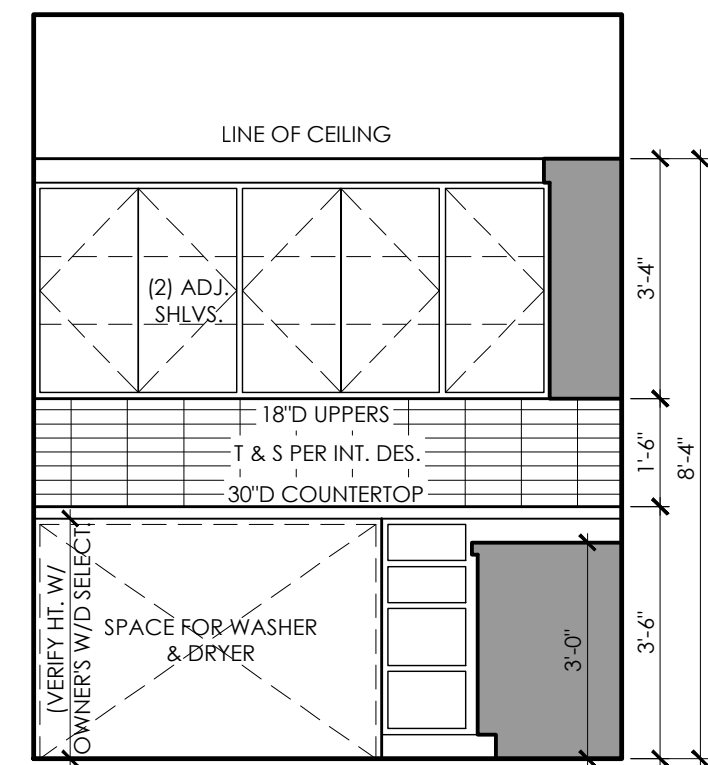
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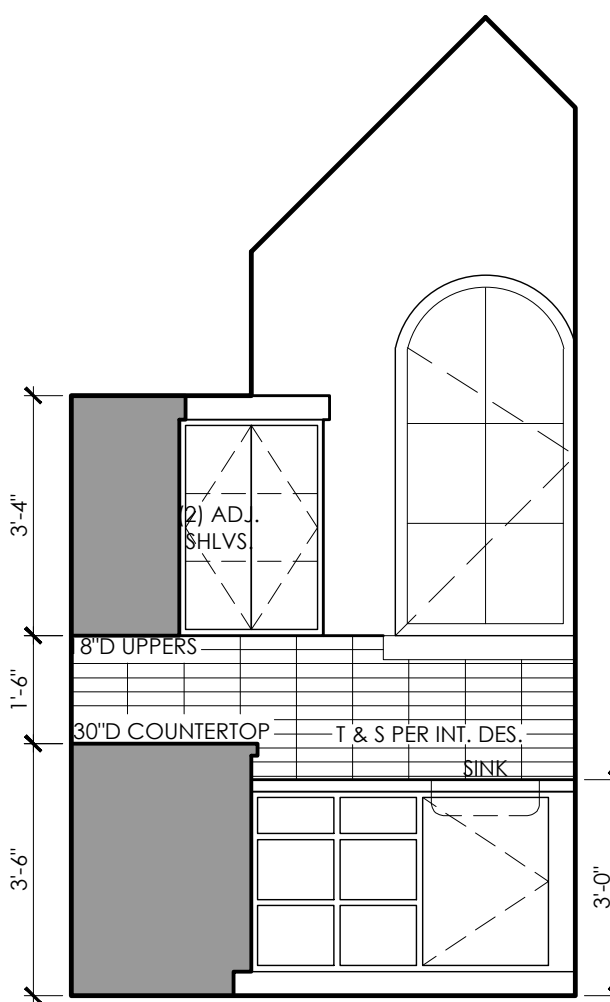
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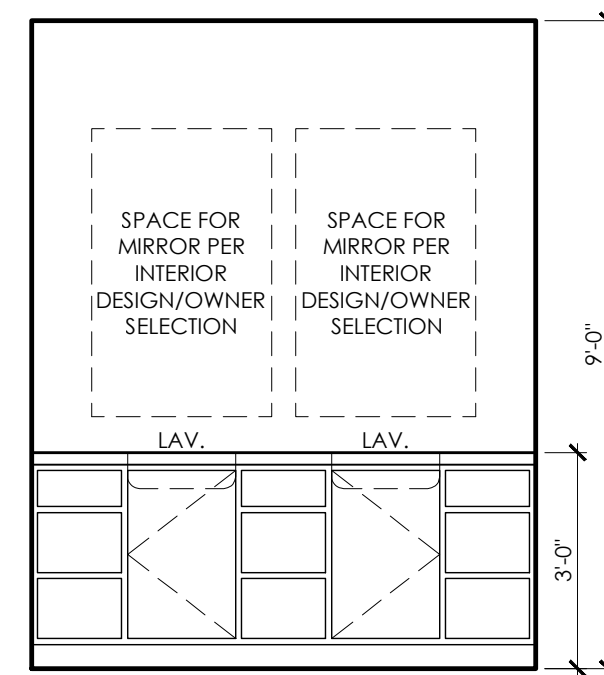
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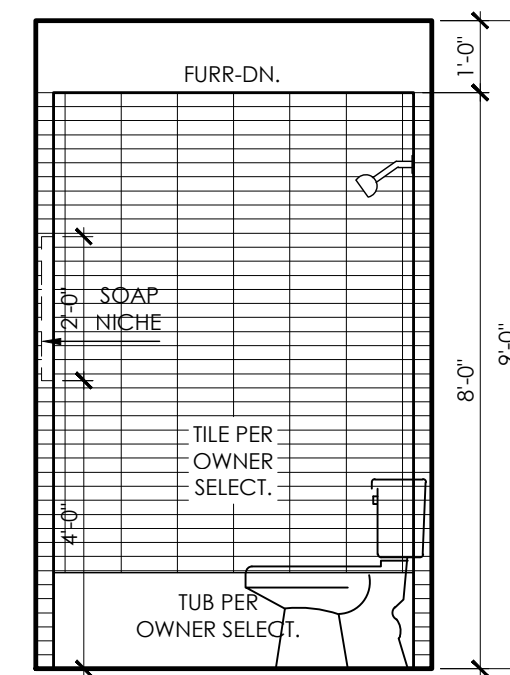
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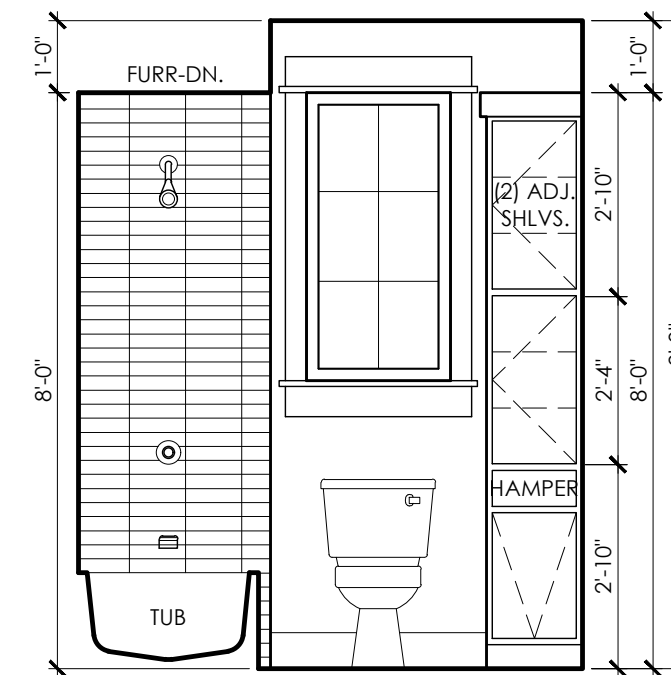
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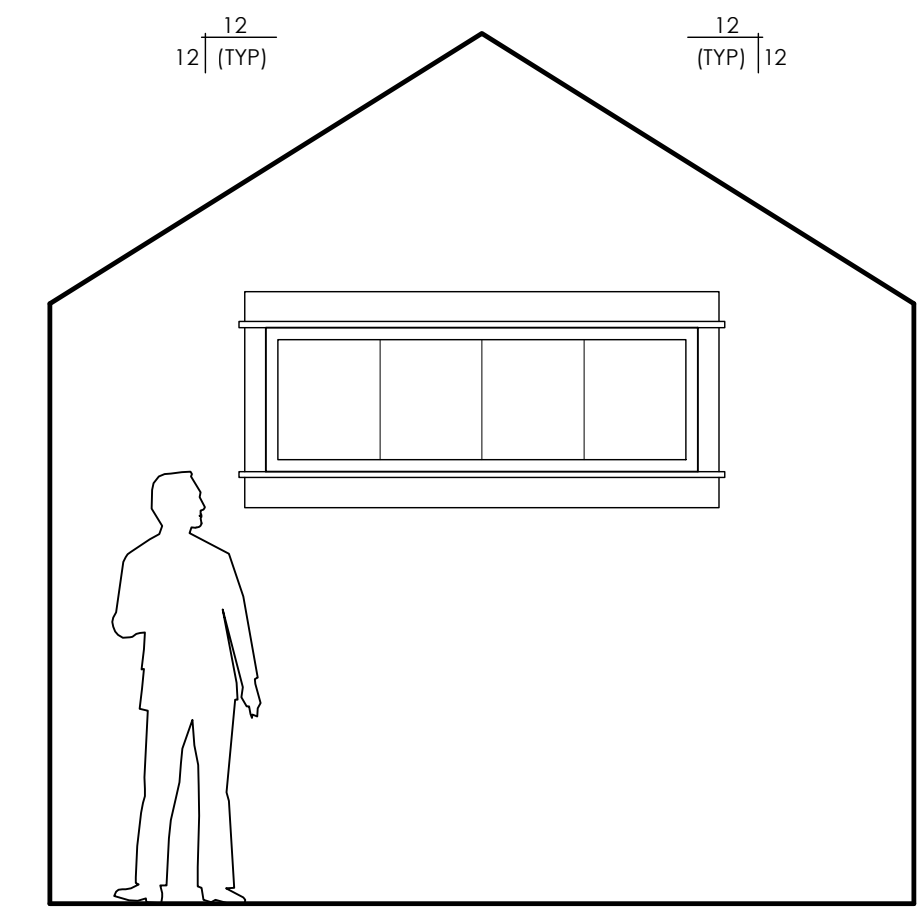
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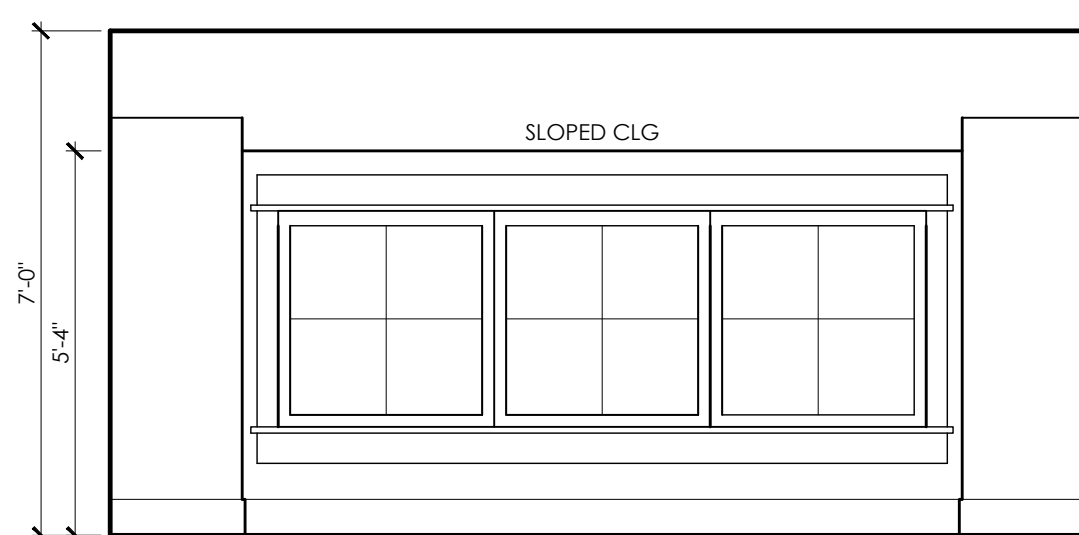
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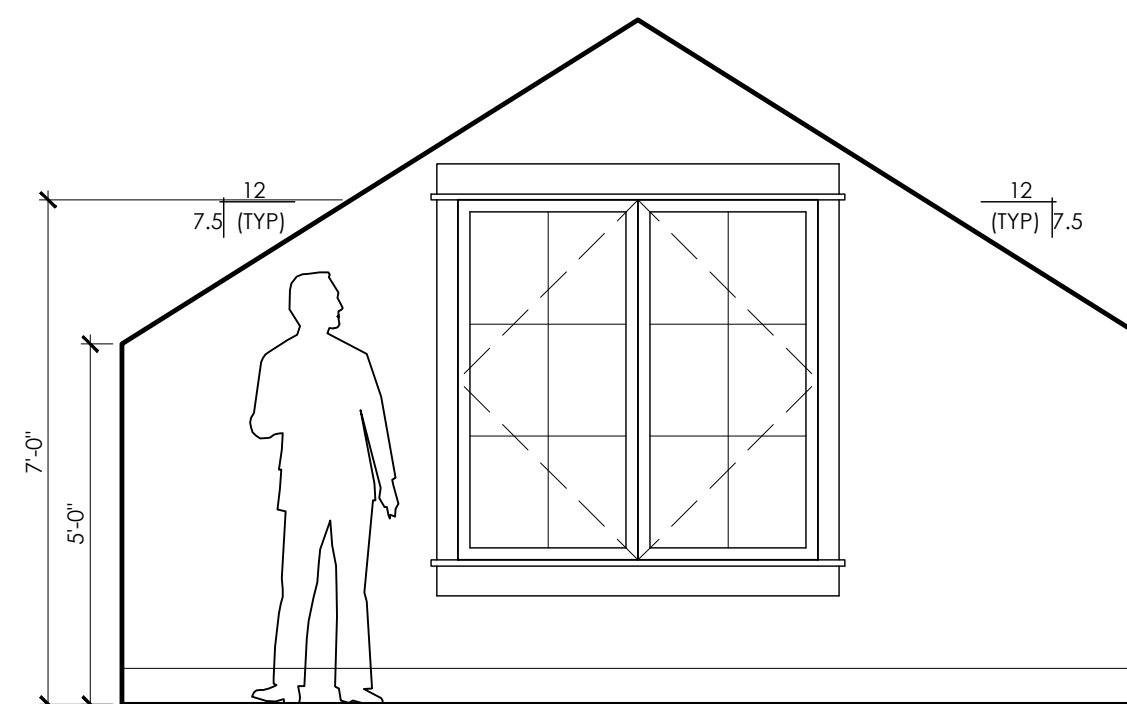
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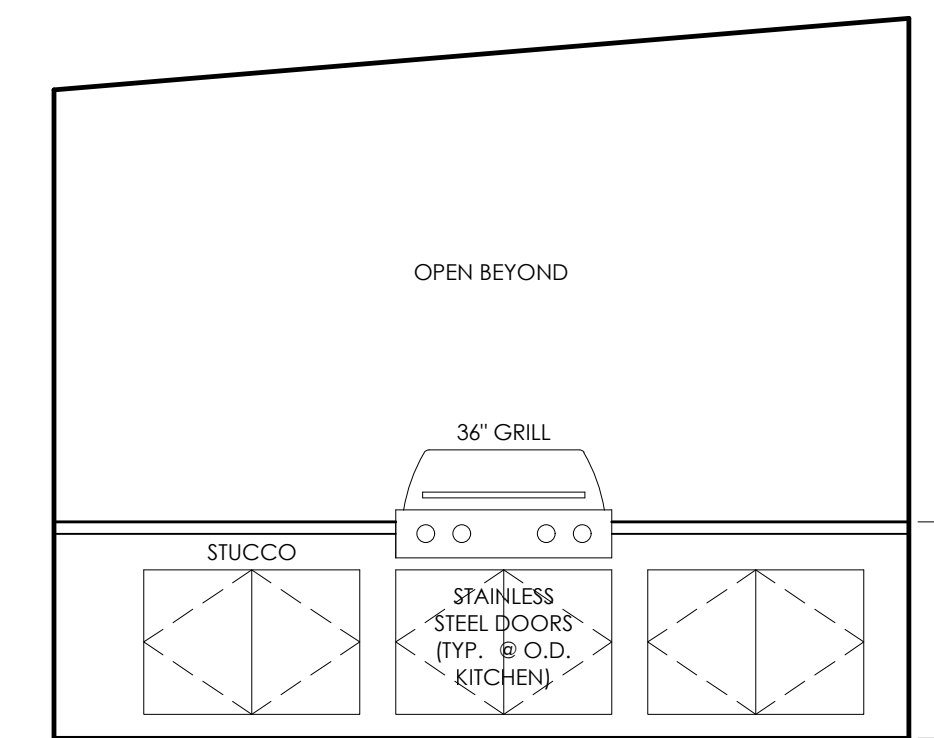
38 BEDROOM 5



39 GAMEDIA



40 GAMEDIA



41 OUTDOOR KITCHEN


GENERAL INT. ELEV. NOTES

- WIDTH DIMENSIONS ARE APPROXIMATE. MEASURE ON SITE FOR EXACT WIDTH OF CABINET AREAS.
- STANDARD STILES BETWEEN DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT STILE PLACEMENT & WIDTH.
- VERIFY CABINETS AND CABINET STYLE(S) WITH OWNER, INTERIOR DESIGNER OR BUILDER. STANDARD DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT DOOR & DRAWER PLACEMENT, FRONTS & HARDWARE.
- SHELVES ARE SPACED EQUALLY UNLESS NOTED. ADJUSTABLE SHELVES IN ALL CABINET LOCATIONS, EXCEPT WHERE NOTED AS FIXED OR GIVEN A SPECIFIC HEIGHT.
- LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
- APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
- PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
- PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW.
- PROVIDE GROMMETS AS REQ'D. FOR CABLES AT ENTERTAINMENT CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
- CABINET CONTRACTOR TO PROVIDE AND INSTALL END PANELS TO MATCH CABINET FACE DESIGNS. PROVIDE AT ALL END PANEL LOCATIONS AND AT ALL WALL FRONTS AT RAISED BAR LOCATIONS. PROVIDE MATCHING OR PER DESIGNER SELECTION BULKHEADS AS REQUIRED FOR STURDY TOP SUPPORT.
- TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
- CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
- SPECIALTY CABINETS, HARDWARE, AND/OR ACCESSORIES TO BE COORDINATED BETWEEN DESIGNER, OWNER & SUBCONTRACTOR AS REQUIRED.

INTERIOR ELEVATIONS

SCALE 3/8" = 1'-0"

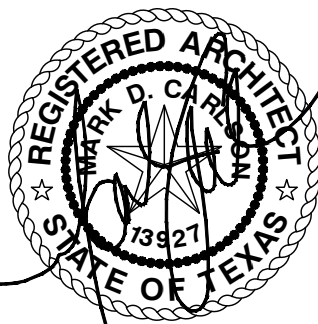
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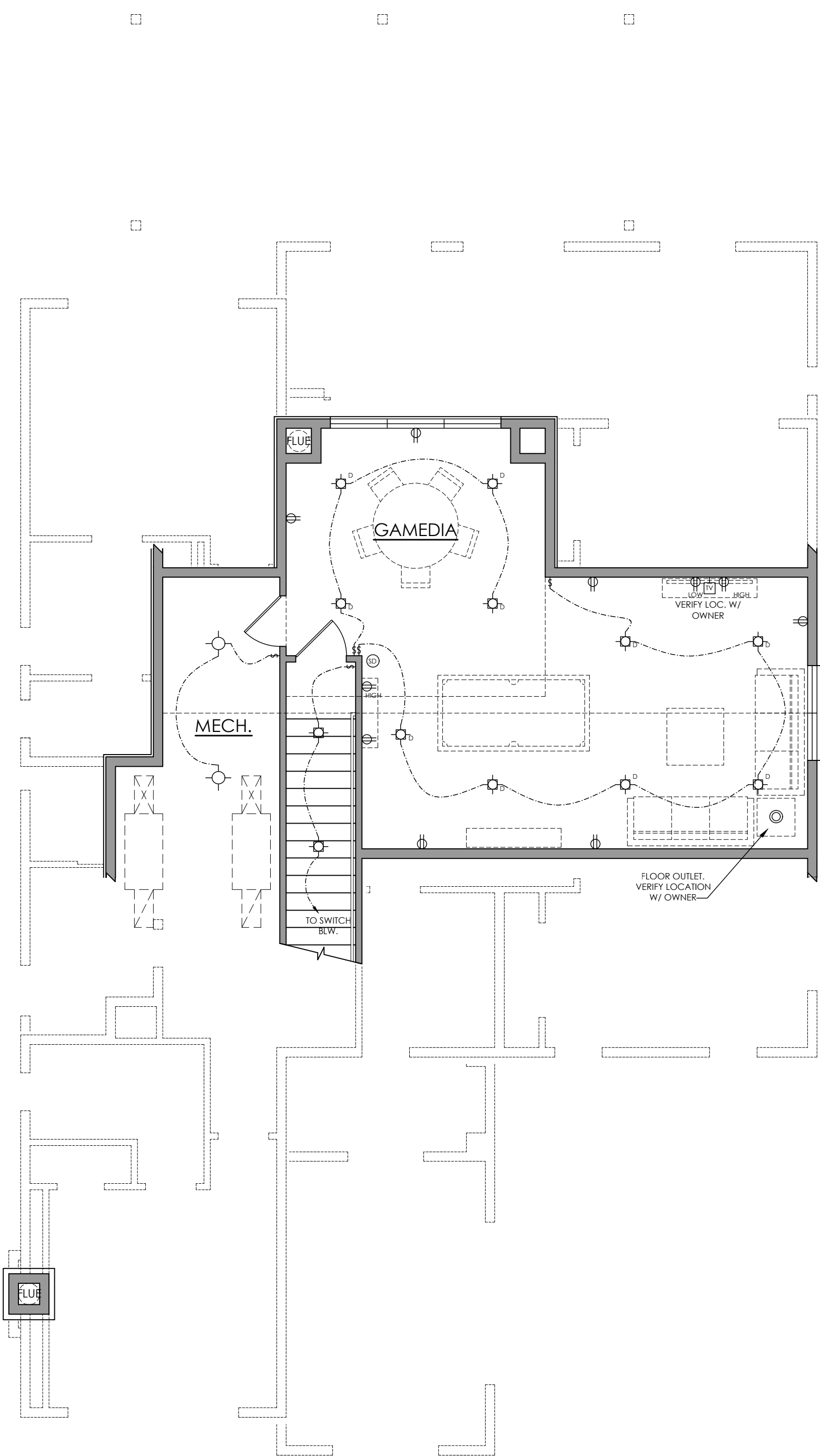


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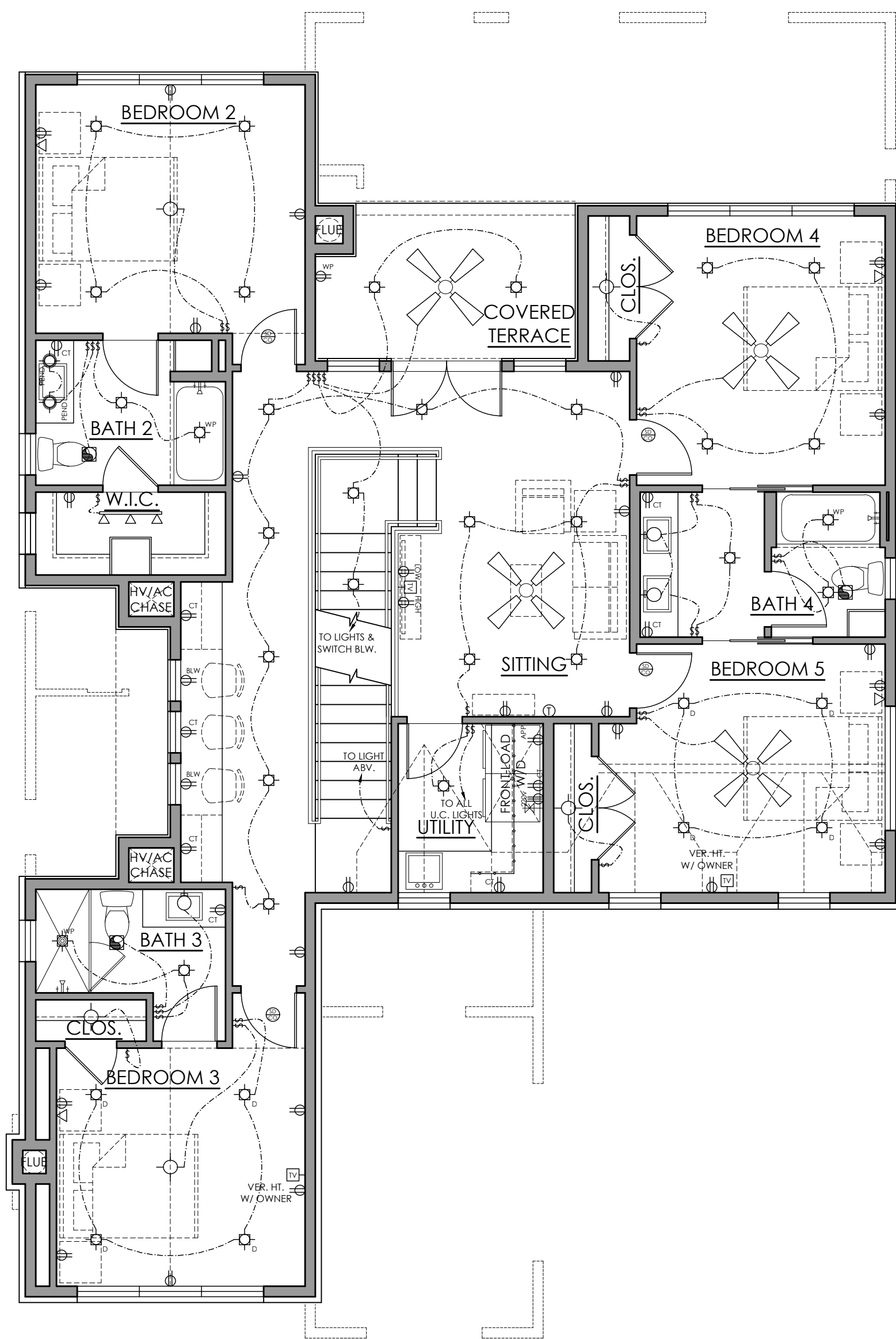
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PROJECT NO: 12020
DRAWN BY: LW
DATE: 12/15/2020
CHECKED BY: 3X
PROJECT MGR: EW



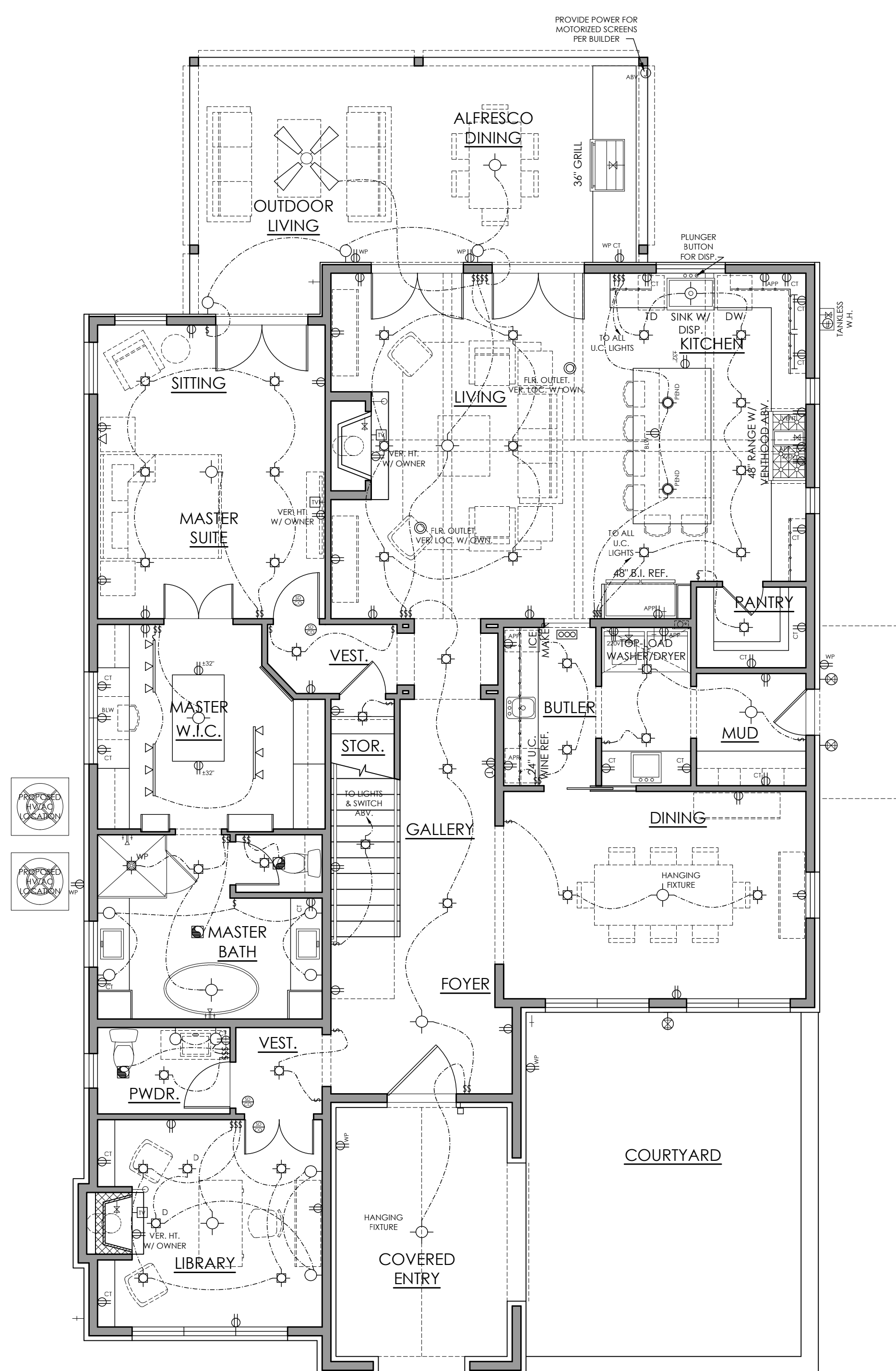
ATTIC ELECTRICAL PLAN

SCALE 3/16" = 1'-0"



SECOND FLOOR ELECTRICAL PLAN

SCALE 3/16" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE 3/16" = 1'-0"


GENERAL ELECTRICAL NOTES:

- ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
- ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES AND HAVE HIS WORK SCHEDULED SO AS NOT TO DELAY THE WORK OF OTHERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS, APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
- COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- ALL RECESSED DOWN LIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID WITH TRIM RINGS AS SPECIFIED BY INTERIOR DESIGNER/OWNER TO MATCH ADJACENT FINISH. PROVIDE SAMPLE OF FINISH FOR APPROVAL PRIOR TO PURCHASE.
- PROVIDE DIMMER SWITCHES TO ALL LIGHTING FIXTURES AND RECESSED DOWN LIGHTS, EXCLUDING STORAGE AREAS AND SECONDARY BEDROOM CLOSETS.
- GANG ALL SWITCHES AND OUTLETS WHERE POSSIBLE.
- ALL SWITCHES TO BE 3'-0" A.F.F. TO CENTER LINE OF SWITCH PLATE. ALL OUTLETS TO BE 1'-0" A.F.F. TO CENTER LINE OF OUTLET, UNLESS NOTED OTHERWISE.
- OUTLETS WITHIN 36" OF A SINK OR LAVATORY TO BE ON A G.F.I. CIRCUIT. ADDITIONAL GFI AS REQUIRED BY CODE.
- OUTLET HEIGHTS AT ALL VANITIES, BASE CABINETS AND OTHER MILLWORK TO BE DETERMINED BY OWNER OR INTERIOR DESIGNER SO AS NOT TO INTERFERE WITH ANY DECORATIVE SPLASH MATERIALS OR DESIGNS.
- VERIFY LOCATION, HEIGHT & TYPE OF POWER TO ALL APPLIANCES. COORDINATE WITH MILLWORK, OWNER, & INTERIOR DESIGNER.
- LOCATION OF FLOOR OUTLETS NOT REQUIRED BY CODE & ALL FLOOR PHONE OUTLETS TO BE VERIFIED BY OWNER.
- PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
- PROVIDE PHONE & CATV OUTLETS PER PLAN OR PER OWNERS REQUEST.
- SUPPLY POWER TO ALL HVAC UNIT(S). (REFER TO SPECS) PROVIDE POWER AS REQ'D. AT A/C COMPRESSOR UNITS.
- PROVIDE SWITCH AT ATTIC ACCESS AND LIGHT NEAR HVAC UNIT(S) IN ATTIC.
- MEDIA COMBINATION OUTLET(S) TO PROVIDE CONNECTIONS FOR ELECTRICAL & VARIOUS MEDIA/TELECOMMUNICATIONS SYSTEMS.
- PROVIDE BLOCKING FOR CEILING FANS WHERE SHOWN ON PLANS.
- PROVIDE FOR MOTION SENSORS AT ALL GARAGE DOORS.
- PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP., & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- COMBINATION SMOKE / CARBON MONOXIDE DETECTORS SHALL BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL DETECTORS SHALL BE HARD WIRED TO PRIMARY AND HAVE BATTERY BACK UP.

ELECTRICAL LEGEND

- SWITCH : SUBSCRIPT
 - D - DIMMER
 - WP - WATERPROOF
 - M - MOTION
- PUSH BUTTON
- THERMOSTAT
- JUNCTION BOX
- DUPLEX OUTLET : SUBSCRIPT
 - CT - ABOVE COUNTER
 - WP - WATERPROOF
 - BLW - BELOW COUNTER
 - USB
- SWITCH TOP PLUG ONLY
- FLOOR OUTLET
- CEILING OUTLET
- DOUBLE GANG
- 220V
- PLUG MOLD
- DATA CONNECTION
- PHONE
- TELEVISION
- COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- ELECTRICAL SERVICE PANEL
- ELECTRICAL SERVICE METER
- DOORBELL CHIMES
- SPEAKER
- LIGHT - CEILING MOUNT
- LIGHT - WALL MOUNT
- LIGHT - RECESSED CAN 4" U.N.O.
- LIGHT - PENDANT
- LIGHT - LOW VOLTAGE UPLIGHT
- LIGHT DIRECTIONAL
- MULTI SOURCE RECESSED
- UTILITY LIGHT
- LED STRIP LIGHT
- LIGHT - TRACK
- LIGHT - FLOOD
- LIGHT - RECESSED IN RISER / WALL
- EXHAUST / VENT
- HEAT LAMP
- VENT / LIGHT COMBO
- CEILING FAN (WITHOUT LIGHT)

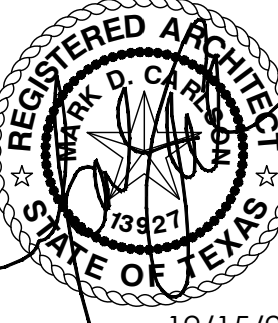
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REVISION:



12/15/2020

KINSEL RESIDENCE

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SHEET

PROJECT NO: 20120
DRAWN BY: SFH, LW
DATE: 12/15/2020
CHECKED BY: X
PROJECT MGR: EW