

SITE INFORMATION

LAND SURVEY DRAWN BY ALL ALLPOINTS
SURVEYING ON NOVEMBER 23 2020

TREE PROTECTION NOTES:

- MULCH TRAFFIC AREA AND SET PROTECTIVE FENCING AROUND TREES IN CRITICAL ROOT ZONES.
- NO CONSTRUCTION STAGING WITHIN CRITICAL ROOT ZONES.
- FOOTINGS WITHIN CRITICAL ROOT ZONES TO BE EXCAVATED USING AN AIR SPADE BY A CERTIFIED ARBORIST ON SITE AND USING PRESCRIBED SOIL TREATMENT. IF ANY ROOTS 1.5" OR GREATER ARE ENCOUNTERED DURING EXCAVATION, FOOTING MUST BE MOVED TO AVOID ROOT. CONTACT ENGINEER FOR DIRECTION OF SHIFT.
- MATERIAL STAGING, DUMPSTER AND SPOILS PLACEMENT CANNOT BE WITHIN THE 1/2 CRZ OF ANY PROTECTED TREES. PORTABLE TOILET AND CONCRETE WASHOUT CANNOT BE WITHIN THE FULL CRZ OF ANY PROTECTED TREES. COORDINATE EXACT LOCATIONS WITH TREE INSPECTOR DURING PRE-CONSTRUCTION MEETING.
- WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES. IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 2 3/4" PLYWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.
- AN 8" LAYER OF MUCH IS REQUIRED FOR THE FULL CRZ IF IT IS NOT PROTECTED WITHING FENCING.

NOTE:

- AVOID THE 1/2 CRITICAL ROOT ZONE OF ANY PROTECTED TREE WITH ANY NEWLY PROPOSED UTILITY ROUTES AND METER LOCATIONS.

TREE PROTECTION LEGEND

- PROTECTIVE FENCING AROUND TREES. PROVIDE 8" OF MULCH FOR ALL AREAS OF THE FULL CRZ NOT PROTECTED BY THE FENCE
- MATERIALS AND STAGING
- CONSTRUCTION ACCESS PATHWAY

DEMOLITION NOTES:

- ALL EXISTING COMPONENTS TO REMAIN TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.
- THE G.C. IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHED/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.
- DAMAGES TO PROPERTY OF THE OWNER SHALL BE REPAIRED OR PAID FOR BY THE G.C.. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DAMAGES TO THE BUILDING GROUNDS, PLANTINGS, WALLS, PAVEMENT, UTILITIES, FINISHES, FURNISHINGS, ETC.
- WINDOWS AND DOORS IN EXISTING WALLS TO REMAIN TO BE PROTECTED. REPAIR AS REQUIRED DURING CONSTRUCTION.
- CONTRACTOR TO BRACE/SHORE EXISTING CONSTRUCTION TO REMAIN AS REQUIRED.

SIDE
ANGLE
SIDE

1505 Travis Heights Blvd.
Austin, TX 78704



21.10.04

FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

1623 WATERSTON

1623 WATERSTON STREET, AUSTIN, TX 78703

ISSUE SETS

DATE DESCRIPTION
21.10.04 PERMIT SET

21.10.04

SITE PLANS

A1.0

IF PRINTED AT 11X17, SCALE IS 1/2 OF WHAT IS NOTED

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GENERAL & SPECIAL CONDITIONS

1.1 GENERAL CONDITIONS: DOCUMENT A105 OF THE AMERICAN INSTITUTE OF ARCHITECTS, "STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR FOR RESIDENTIAL OR SMALL COMMERCIAL PROJECT" (2007 EDITION), IS PART OF THIS CONTRACT AND APPLIES TO ALL CONTRACTORS AND SUB-CONTRACTORS.

1.2 CODES: ALL WORK SHALL COMPLY WITH CURRENT VERSIONS OF: INTERNATIONAL RESIDENTIAL CODE, INTERNATIONAL ENERGY CONSERVATION CODE, AND OTHER APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS, AND LAWS OF BUILDING OFFICIALS OR AUTHORITIES HAVING JURISDICTION. ALL WORK NECESSARY TO COMPLY WITH SUCH REQUIREMENTS SHALL BE PROVIDED BY CONTRACTOR. DISCREPANCIES BETWEEN CODES, STANDARD PRACTICES AND INFORMATION WITH CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.

1.3 INTER-RELATION OF DOCUMENTS: IF DISCREPANCIES IN INFORMATION OCCUR WITHIN THE CONTRACT DOCUMENTS, REPORT SUCH DISCREPANCIES TO THE ARCHITECT, AS THEY ARE DISCOVERED, BEFORE PROCEEDING WITH CONSTRUCTION.

1.4 PERMITS & FEES: CONTRACTOR SHALL PROVIDE BUILDING PERMIT AND PAY ALL APPLICABLE FEES. SUBCONTRACTORS SHALL PROVIDE PERMITS REQUIRED FOR EACH TRADE. CONTRACTOR SHALL COORDINATE ALL INSPECTIONS REQUIRED BY LOCAL ORDINANCES.

1.5 INSURANCE: CONTRACTOR SHALL FURNISH TO OWNER CERTIFICATES OF INSURANCE AS REQUIRED BY THE CONDITIONS OF THE CONTRACT, IN A FORM ACCEPTABLE TO THE OWNER FOR:
COMPREHENSIVE GENERAL LIABILITY
EMPLOYER'S LIABILITY
BUILDER'S RISK

1.6 RECORD SET OF DRAWINGS: A RECORD SET OF CONTRACT DRAWINGS AND SPECIFICATIONS AND SUBSEQUENT DRAWINGS/CLARIFICATIONS (SK'S) SHALL BE KEPT ON THE JOB AT ALL TIMES WITH ALL CHANGES OR NOTES RECORDED THEREON.

1.7 MISC. FINAL CLEAN UP: (BY GENERAL CONTRACTOR) CLEAN ALL GLASS, PLUMBING FIXTURES, SURFACES, HVAC FILTERS, ETC. REMOVE ALL CARTONS, DEBRIS, ETC. FROM PREMISES. "MOVE IN" CLEAN THROUGHOUT.

1.8 TEMPORARY FACILITIES: CONTRACTOR SHALL PROVIDE AND MAINTAIN JOB PORT-A-CAN.

1.9 PHOTOGRAPHIC DOCUMENTATION: CONTRACTOR IS RESPONSIBLE FOR A PHOTOGRAPHIC AND/OR VIDEO RECORDING OF OPEN WALLS SHOWING LOCATIONS OF ALL ELECTRICAL, PLUMBING AND MECHANICAL RUNS BEFORE INSULATION AND APPLYING GYPSUM BOARD OR OTHER FINISH PRODUCTS TO WALLS. CONTRACTOR SHALL PROVIDE A COPY OF THE PHOTOS AND/OR VIDEO RECORDING TO OWNER AT END OF THE JOB.

1.10 INFORMATION PACKAGE: CONTRACTOR SHALL FURNISH TO OWNER AT MOVE-IN, A BINDER OR FILE OF INFORMATION CONTAINING ALL WARRANTIES, INSTRUCTIONS, PAINT AND STAIN COLORS USED ON THE PROJECT, AND LIST OF SUB-CONTRACTORS.

1.11 SUBMITTALS: CONTRACTOR SHALL FURNISH ARCHITECT WITH THE FOLLOWING SUBMITTALS FOR REVIEW DURING THE CONSTRUCTION PROCESS. THIS LIST IS IN ADDITION TO MATERIAL SAMPLES OR MOCK-UPS REQUESTED BY ARCHITECT OR OWNER:
> WINDOW AND DOOR ORDERS, INCLUDING SHOP DRAWINGS OF ANY CUSTOM WINDOWS AND DOORS
> SHOP DRAWINGS OF ANY CUSTOM STEEL FABRICATIONS (STRUCTURAL AND NON-STRUCTURAL)
> SHOP DRAWINGS OF CABINETS
> SPECIAL EQUIPMENT
> CUT SHEETS OF LIGHT FIXTURES AND PLUMBING FIXTURES
SUBCONTRACTORS SHALL NOT SEND SUBMITTALS DIRECTLY TO ARCHITECT. THE ARCHITECT SHALL REVIEW SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS. THIS REVIEW SHALL NOT INCLUDE REVIEW OF THE ACCURACY OR COMPLETENESS OF DETAILS, SUCH AS QUANTITIES, DIMENSIONS, WEIGHTS OR GAUGES, FABRICATION PROCESSES, CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

1.12 3RD PARTY INSPECTIONS: (NOT IN JURISDICTIONS THAT HAVE IN-HOUSE INSPECTIONS)CONTRACTOR SHALL HIRE QUALIFIED, THIRD PARTY INSPECTOR (MCCOMIS OR EQUAL) TO PROVIDE CONSTRUCTION INSPECTION SERVICES.

2.0 GENERAL: ARCHITECT TO REVIEW BUILDING LAYOUT ON SITE WITH GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

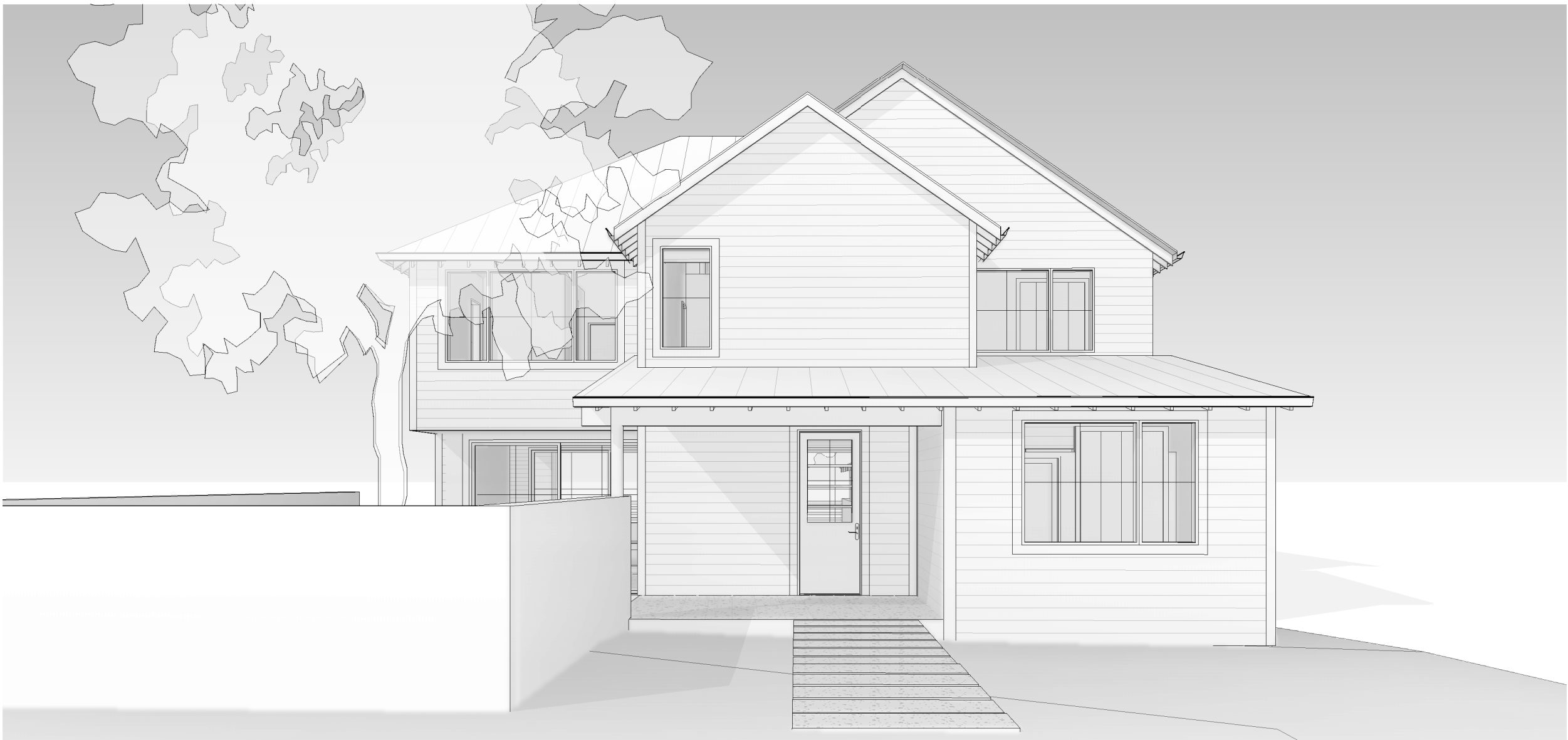
2.1 GRADING: GRADE ALL AREAS INDICATED & ADJACENT TRANSITION AREAS WITH UNIFORM LEVELS OR SLOPES BETWEEN FINISH ELEVATIONS. SHAPE AND COMPACT AS REQUIRED. SLOPE GRADE AWAY FROM BUILDING FOR AT LEAST 5 FEET @ A MINIMUM GRADE OF 5% AT ALL SIDES.

2.2 SEPTIC SYSTEM: GENERAL CONTRACTOR TO PROVIDE INSTALLATION OF PRIVATE WASTE DISPOSAL SYSTEM PER SEPTIC ENGINEERING DOCUMENTS, AS REQUIRED TO MEET ALL APPLICABLE CODES AND REGULATIONS. REVIEW TANK AND FIELD LOCATION WITH ARCHITECT PRIOR TO SITE CLEARING AND CONSTRUCTION.

2.3 WATER WELL: BY CONTRACTOR. COORDINATE ANY NECESSARY SLEEVES AND HOOKUPS WITH OTHER WORK. PROVIDE BURIED COPPER LINE FROM HOUSE TO WELL. DISCUSS OPTIONS AND/OR NEED FOR FILTRATION WITH OWNER. SEE SITE PLAN FOR LOCATION.

WATERSTON - PERMIT SET

1623 WATERSTON AVENUE, AUSTIN, TX 78703



CONTACTS

ARCHITECT: SIDE ANGLE SIDE
1505 TRAVIS HEIGHTS BLVD.
AUSTIN, TEXAS 78704
CONTACT: ANNIE LAURIE-GABRIELL
PHONE: (305) 904.9318 or (305) 450.0806

OWNER INFORMATION

DONNA LEVINE
411 HARROLD STREET #1228, FORT WORTH, TX 76107
PHONE: (512) 676 - 7611

LEGAL DESCRIPTION

LOT 11 LESS 255 SQ FT STARKEY

SITE INFORMATION

LAND SURVEY DRAWN BY ALL ALLPOINTS
SURVEYING ON FEBRUARY 04 2020

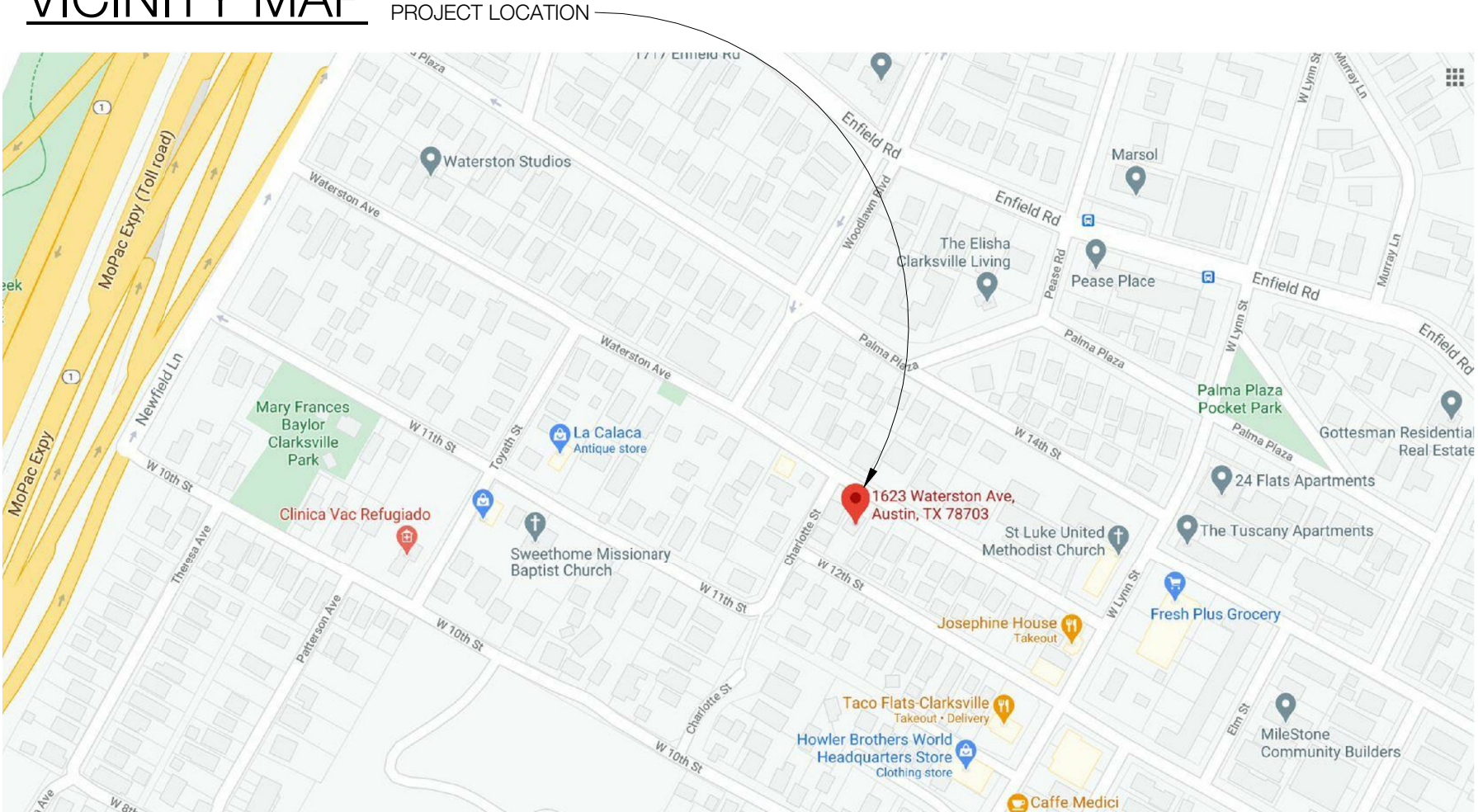
ZONING INFORMATION

Zoning:	SF3
Future Land Use:	SF3
Property ID:	110117
Geographic ID:	0111030602
Legal Description:	LOT 11 LESS 255 SQ FT STARKEY
Date built:	1946
Neighborhood:	Clarksville,
Neighborhood Plan:	Clarksville NPA
TOD:	N/A
Overlay District:	N/A
Floodplain:	N/A
Watershed:	Urban, Lady Bird Lake
Easements:	N/A
Deed Restrictions:	Nope
Open/Expired Permits:	None
Protected Trees:	Yes
McMansion:	Yes, CoA Amendments
Compatibility Standards:	CoA Amendments
Minimum Setbacks:	Front: 25' Interior Side: 5' Rear: 10' 32'
Max. Bldg. Height:	32'
Lot Size:	7,042.53 sf / 0.1617 acres (per TCAD)
Max Bldg. Coverage:	2,816 sf (40%)
Max Impervious Cover:	3,168 sf (45%)
Max F.A.R.:	2.816 sf (40%)
Parking:	Per building use proposed (Code: 25-6 Zoning/Transportation/Appendix A)

SHEET LIST

ARCHITECTURE	
G1.0	COVER SHEET
A1.0	SITE PLANS
A1.1	FLOOR PLANS
A1.2	FLOOR PLANS
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS

VICINITY MAP



TAKEN FROM GOOGLE MAPS

SYMBOLS

	ELEVATION SYMBOL
	SECTION DETAIL SYMBOL
	SECTION SYMBOL
	PARTITION TYPE SYMBOL
	ROOM NAME
	ROOM NAME & NUMBER SYMBOL
	DOOR NUMBER SYMBOL
	DETAIL SYMBOL
	WINDOW SYMBOL

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21.10.04

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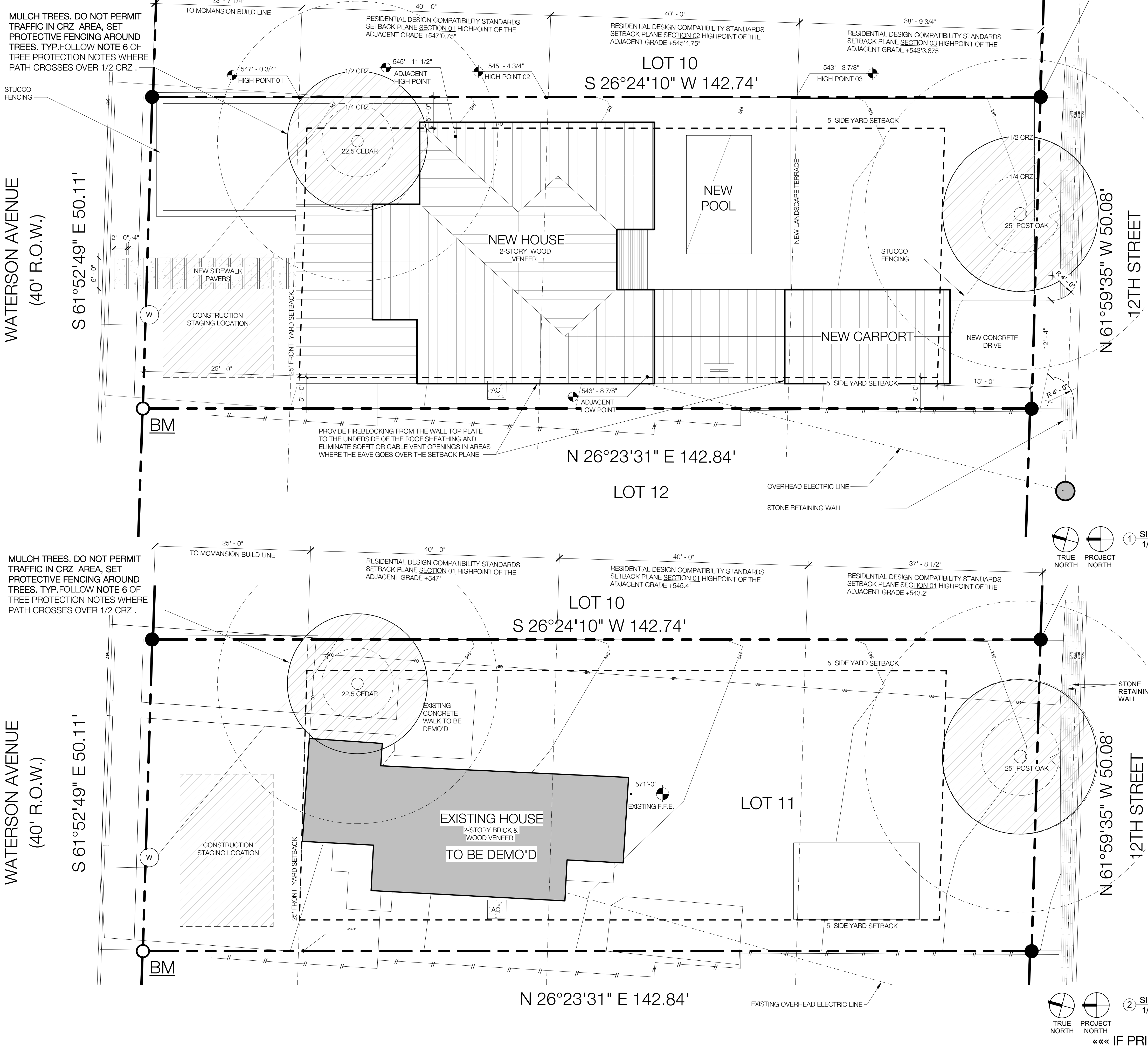
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COVER SHEET

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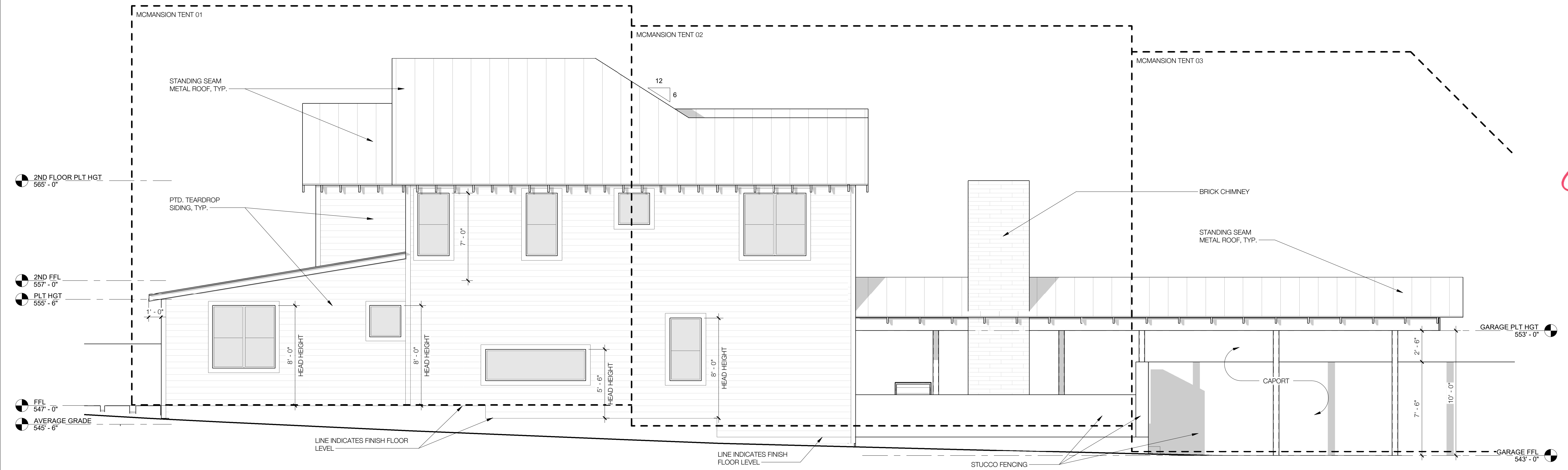
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POSTERIOR ELEVATIONS

A2.0



② west elevation
1/4" = 1'-0"



① north elevation
1/4" = 1'-0"

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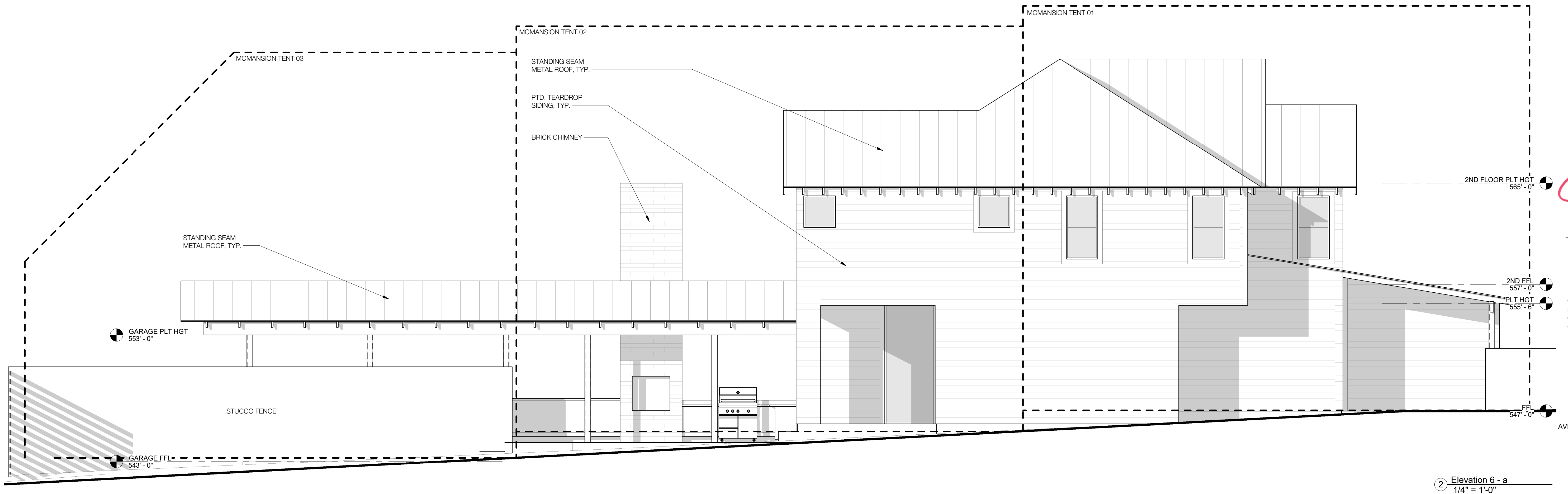
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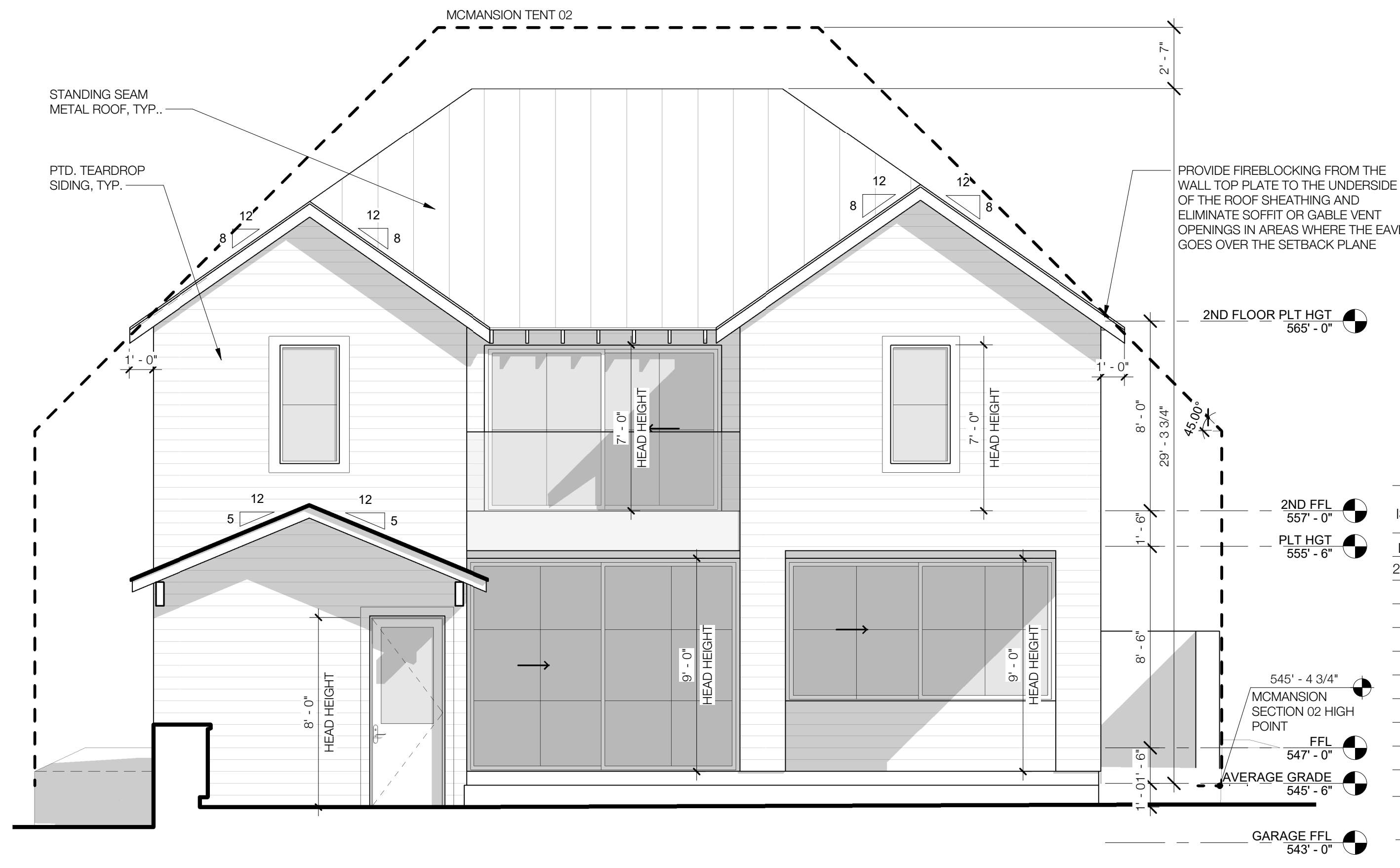
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② Elevation 6 - a
 $1/4" = 1'-0"$



③ SOUTH ELEVATION @ CARPORT
1/4" = 1'-0"



① SOUTH ELEVATION
1/4" = 1'-0"

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